

December 20, 2019

Members of the Hastings Zoning Board of Appeals  
Village of Hastings-on-Hudson  
7 Maple Avenue, Hastings-on-Hudson, NY 10706

Re: Addition to the 69 Hillside Avenue Residence  
Tax ID 4.80-62-22

To the Members of the Zoning Board of Appeals:

As the Architect for the proposed addition to 69 Hillside Avenue, I am requesting a reduction in the front yard requirement of 25 ft. for the R-7.5 zone, to allow a porch and two-story addition to have front yards that match the nonconforming front yard setbacks of the existing house, which are 9.1 ft. to the front porch and 14.1 ft. to the house. Since there is a pronounced uniformity of alignment of the fronts of existing buildings on the same side of Hillside Avenue, within 250 ft. of the property. In accordance with Zoning Code Section 295-20 D. (2), the reduced front yards may be permitted by the Zoning Board of Appeals, as indicated in the code except below:

**295-20 Required Yards**

**D. Front Yard Depth (2)**

*If, on one side of a street within 250 of any lot, there is a pronounced uniformity of alignment of the fronts of existing buildings and of the depths of front yards that is less than the required minimum depth specified in this chapter, the Zoning Board of Appeals may permit a reduction in the required depth of the front yard for a new building on that lot, of expansions of an existing building on that lot, provided that the spirit and intent of this chapter is met and that the depth of the front yard shall conform as nearly as practicable to that existing on the neighboring lots*

The reason for my request is to permit relocation and rebuilding of the front porch, with the same front yard setback as existing, to allow clearance for cars to enter the driveway that is currently not functional. The two story addition will also have a front yard to match existing, which will add 1,052 SF to the current undersized house that is currently only 1,152 SF in total floor area. The proposed total floor area of the house is 2,014 SF, which is similar in size to the houses in the neighborhood.

I appreciate your understanding of our request and look forward to presenting the drawings at the next Zoning Board of Appeals meeting. Thank you for your time and effort for review of our proposal.

Sincerely,

A handwritten signature in black ink, reading "Christina Griffin". The signature is fluid and cursive, with the first name "Christina" and last name "Griffin" clearly distinguishable.

Christina Griffin AIA LEED AP CPHC

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number:..... Date of application: 12/20/19

Property owner: Christina Briffin & Peter Wolf  
 Property address: 69 Hillside Avenue  
 Name all streets on which the property is located: N/A  
 Sheet: 4.8 Block: 62 Lot/Parcel: 22 Zoning District: R-7.5

Applicant: Christina Briffin  
 Standing of applicant if not owner: Owner & Architect  
 Address: 69 Hillside Avenue  
 Daytime phone number: 914-400-4171 Fax number: .....  
 E-mail address: cg@cghostudio.com

ZBA action requested for (See §295-146B & C :

☐

Use Variance/s;

Interpretation;

☒

Area Variance/s;

View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295-20</u> <u>D. (2)</u>	<u>Front Yard</u> <u>Depth</u>	<u>8.9 ft. at front</u> <u>porch</u>	<u>9.1 ft. at proposed</u> <u>porch</u>
		<u>14.1 ft. at house</u>	<u>14.1 ft. at proposed</u> <u>addition</u>

\*See example below:

.....295-68F.1a.....	.....Front Yard Min. 30 ft. deep.....	.....26.5 ft.....	.....19.5 ft.....
.....295-68A.....	.....Permitted Principal Use.....	.....Single Family Home.....	.....Conversion to Dental Office.....

# VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals  
Zoning Analysis



## ZONING REQUIREMENTS:

### YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	29 ft.	8.9 ft.	9.1 ft.
REAR	25 ft.	84.9 ft.	65.9 ft.
SIDE ONE	12 ft.	7.5 ft.	10.5 ft.
SIDE TWO	8 ft.	18.3 ft.	9.5 ft.
TOTAL OF TWO SIDES	20 ft.	25.0 ft.	20 ft.

### YARD SETBACKS (Accessory Structure)

EXISTING DETACHED GARAGE

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR		43.9 ft.	43.9 ft.
SIDE		4 ft.	4 ft.

### BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2	2
FEET	35 ft.	11-2.6 ft.	35 ft.

### LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	7,900 sq. ft.	5,596 sq. ft.	5,596 sq. ft.
*BLDG. COVERAGE/ % OF LOT AREA	30%	17%	29.6%
*DEVELOPMENT COVERAGE/ % OF LOT AREA	40%	27%	38%

\*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

### OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single Family	Single Family	Single Family

\*\* Single Family, Two Family, Commercial, Mixed Use etc.

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises: *N/A*

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....	.....	.....	.....
.....	.....	.....	.....

- List pending violations on this property if any:

*None*

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

\_\_\_\_\_  
Applicant

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



Name : Christina Britton, being duly sworn, deposes and says that he/she resides at 69 Hillside Avenue in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.8 Block 62 and Lot 22 of the tax map, and that he/she hereby authorized Christina Britton to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

\_\_\_\_\_  
Owner

SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
Notary Public

### **NOTICE**

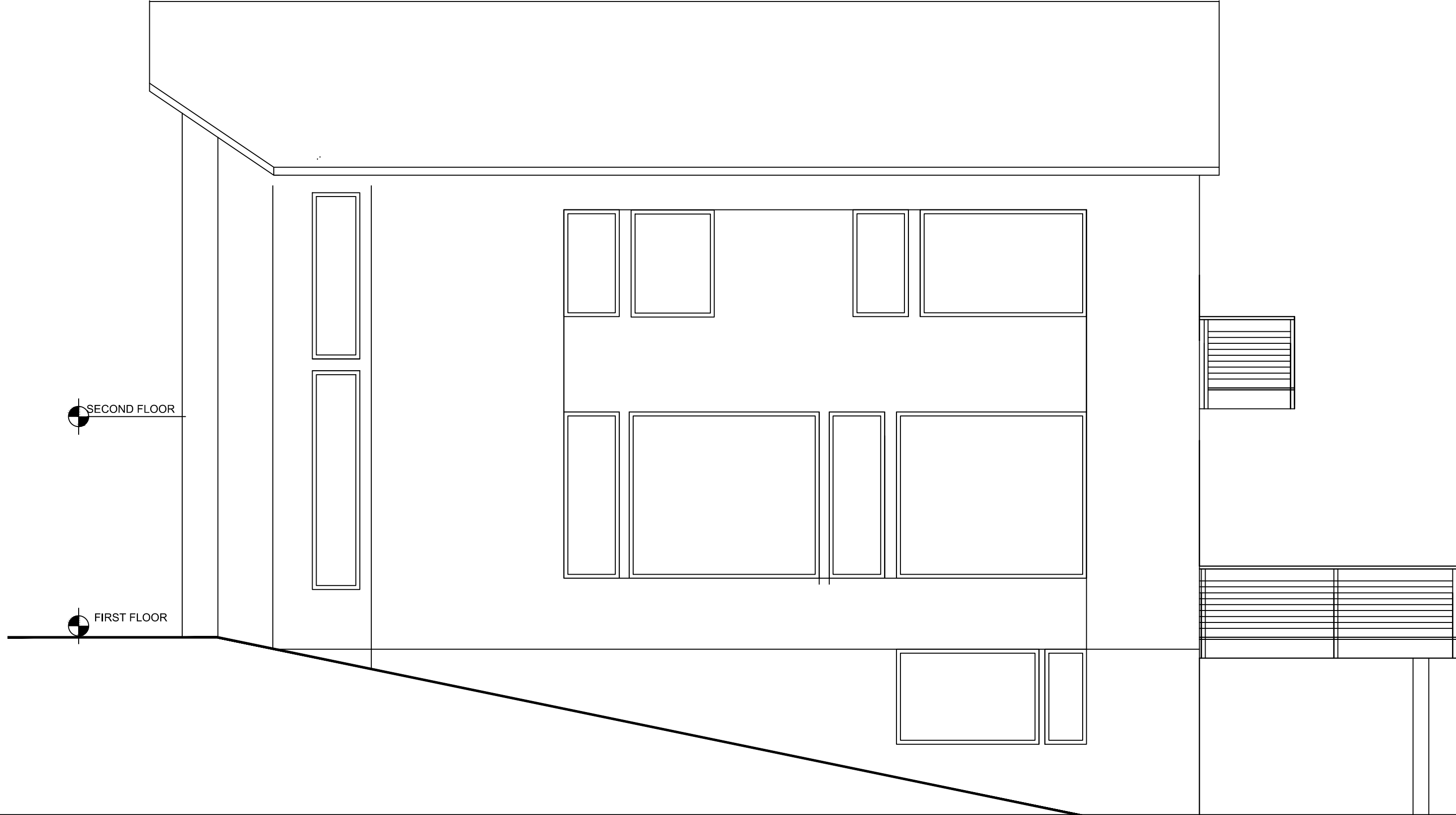
This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

RENOVATIONS & EXTENSIONS TO

69 HILLSIDE AVENUE

CHRISTINA GRIFFIN ARCHITECT PC

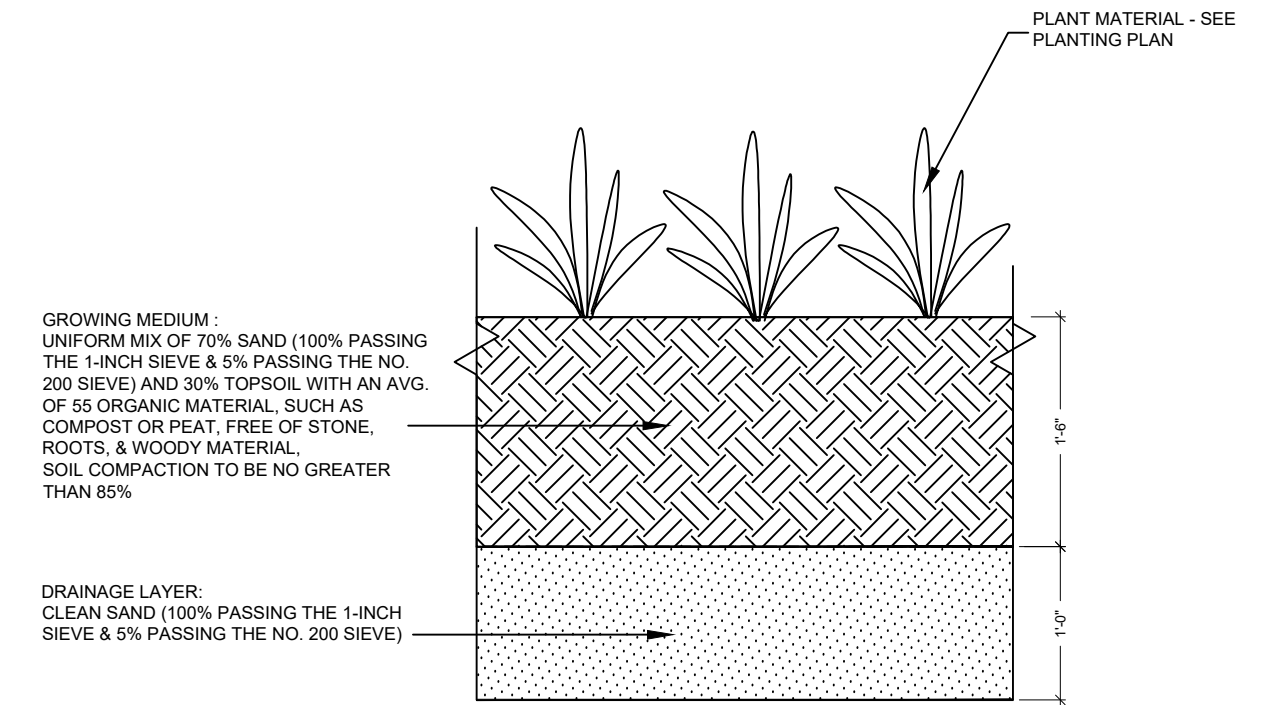
10 Spring Street, Hastings-on-Hudson, NY 10706



GENERAL NOTES											INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT											DATES																																																																																																																																			
1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.											12. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.											CONSTRUCTION DRAWINGS BLDG. PERMIT SUB. ZBA SUBMISSION		12-2-19 12-17-19 12-23-19																																																																																																																																	
2. All construction shall comply fully with the 2015 International Residential Code and 2017 Uniform Code Supplement, 2015 International Energy Conservation Code, local building code, fire department regulations, and all other agencies having jurisdiction over project.											13. The Contractor shall be responsible for providing all labor & materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.																																																																																																																																														
3. Approved stamped set of building plans must be present on site for all inspections.											14. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.																																																																																																																																														
4. A current Westchester County licensed and insured contractor must be on file with current building permit untill Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued untill a new Westchester County licensed and insured contractor is retained.											15. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.																																																																																																																																														
5. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.											16. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.																																																																																																																																														
6. Licensed electrician to file electrical permit.											17. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.																																																																																																																																														
7. Licensed plumber to file plumbing permit.											18. Contractor shall keep work site free from debris & accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.																																																																																																																																														
8. For the HVAC system, the Contractor must use Manual S&L to size the system, in accordance with IRC 2015.											19. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished																																																																																																																																														
9. The Contractor is required to have a HERS rater perform a blower test and submit a projected compliance report to the Building Department											20. All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.																																																																																																																																														
10. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.											21. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.																																																																																																																																														
11. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.											22. The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.																																																																																																																																														
											23. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.																																																																																																																																														
											24. The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.																																																																																																																																														
											25. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.																																																																																																																																														
											26. The contractor shall supervise and direct the work using his best skill and attention, he shall																																																																																																																																														
											be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.																																																																																																																																														
											27. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.																																																																																																																																														
											28. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.																																																																																																																																														
											29. New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.																																																																																																																																														
											30. All insulation to comply with N1105.2 Mandatory requirements of 2015 IRC.																																																																																																																																														
											31. If blown or sprayed insulation used, Installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, data and post the certificate in a conspicuous location on the job site per N1105.4.2.2 of the 2015 IRC and submit an original signed copy for Building Departments records.																																																																																																																																														
											32. All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.																																																																																																																																														
											33. Substitutions of equipment or materials other than those shown on the drawings or																																																																																																																																														
											in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings & detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.																																																																																																																																														
											34. All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.																																																																																																																																														
											35. Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.																																																																																																																																														
											a) Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.																																																																																																																																														
											b) Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.																																																																																																																																														
											c) Removal of stains and paint from glass, hardware, finished flooring, cabinets, etc.																																																																																																																																														
											d) Final cleaning of all chrome and aluminum metal work.																																																																																																																																														
											e) Restoration of property by returning shrubs to original locations, filling of all																																																																																																																																														
											ruts and raked topsoil and repairs to damaged blacktop.																																																																																																																																														
											36. Finish materials and paint colors shall be reviewed and approved by the homeowner.																																																																																																																																														
											37. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.																																																																																																																																														
											Energy Notes R-Values & U-Factors 2015 International Energy Conservation Code Climate Zone 4A																																																																																																																																														
											Ceiling R-49 Wall R-20 Glazing 0.40 Floor R-19											Required R-49 R-27.5 0.32 R-30		Proposed R-49 R-27.5 0.32 R-30																																																																																																																																	
											Design Criteria: 5750 Degree Days 15% Maximum Glazing																																																																																																																																														
											R402.2.1 CEILINGS WITH ATTIC SPACES - Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.																																																																																																																																														
											Certification I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2015 International Residential Code, 2015 International Energy Conservation Code & 2016 Supplement, and the 2017 NYS Unifrom Code Supplement.																																																																																																																																														
											DESIGN REQUIREMENTS for the 2015 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA																																																																																																																																														
											SUBJECT TO DAMAGE FROM																																																																																																																																														
GROUND SNOW LOAD											WIND SPEED (MPH)											TOPO EFFECTS											SPECIAL WIND REGION											WIND-BORN DEBRIS ZONE											SEISMIC DESIGN CATEGORY											WEATHERING											FROST LINE DEPTH											TERMITE											WINTER DESIGN TEMP.											ICE SHIELD UNDERLAYMENT REQUIRED											FLOOD HAZARDS											AIR FREEZING INDEX											MEAN ANNUAL TEMP.										
30 PSF											115-120											NONE											YES											YES											C											SEVERE											42" MIN											MODERATE TO HEAVY											0° - 10°											YES											NO											1,000 OR LESS											52.2° F										

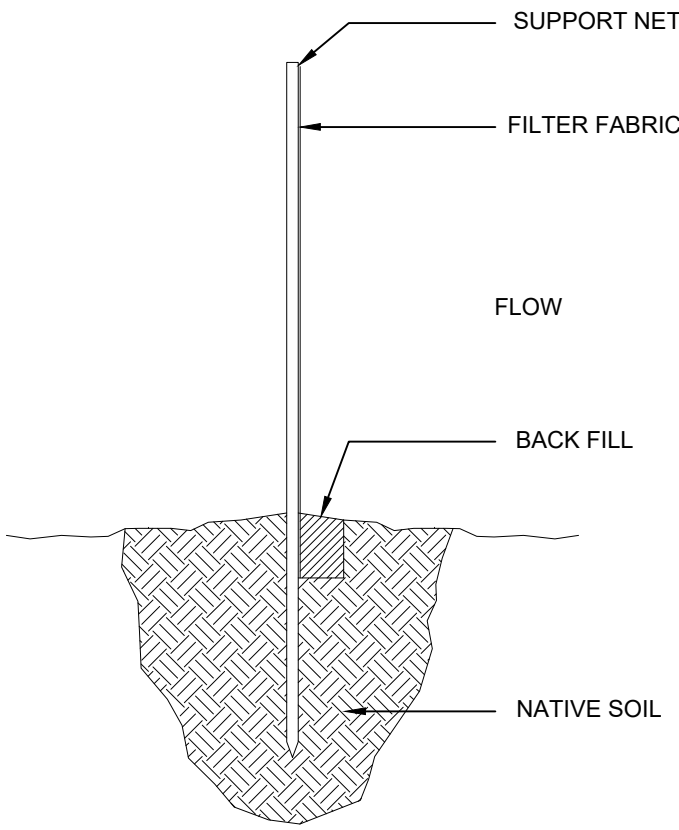
Christina Griffin





## STORMWATER PLANTER DETAIL

NO SCALE



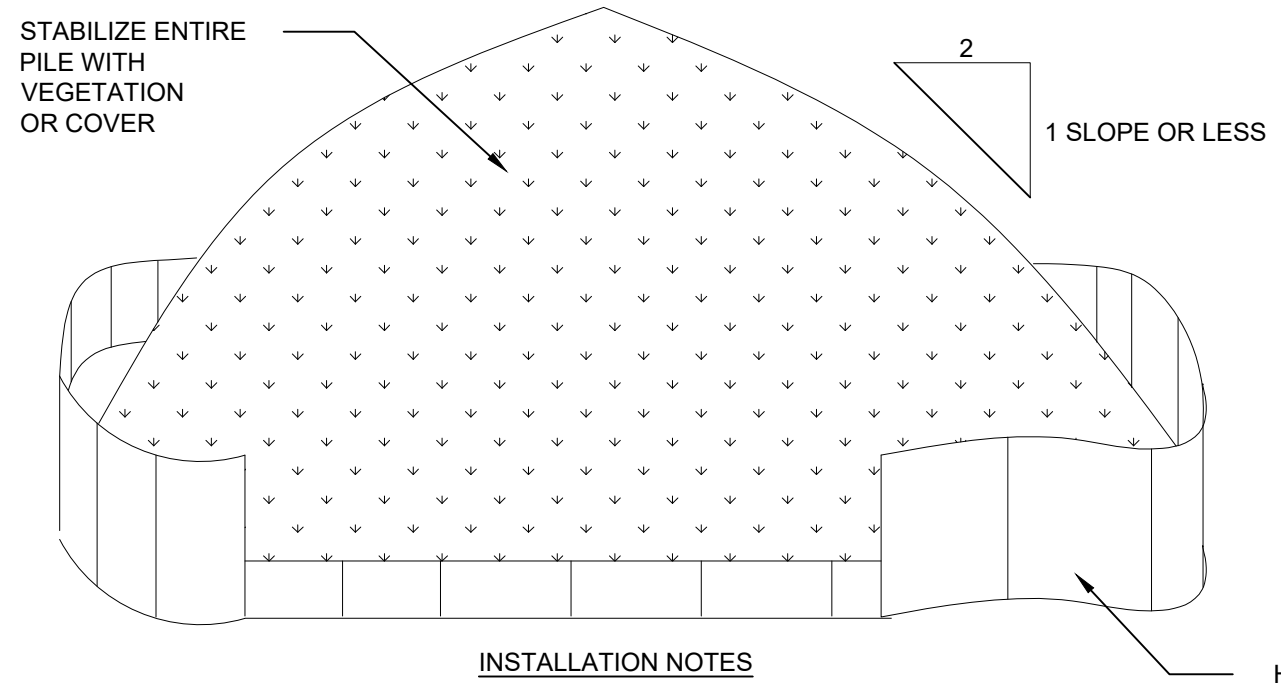
### TOE-IN METHOD

#### INSTALLATION NOTES

- EXCAVATE A 4" X 4" TRENCH ALONG LOWER PERIMETER OF THE SITE
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW)
- DRIVE THE POST INTO GROUND UNTIL THE NETTING IS APPROXIMATELY 2" FROM THE TRENCH BOTTOM
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH; BACKFILL THE TRENCH AND TAMP THE SOIL; STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH
- JOIN SECTION AS SHOWN ABOVE

## SILT FENCE

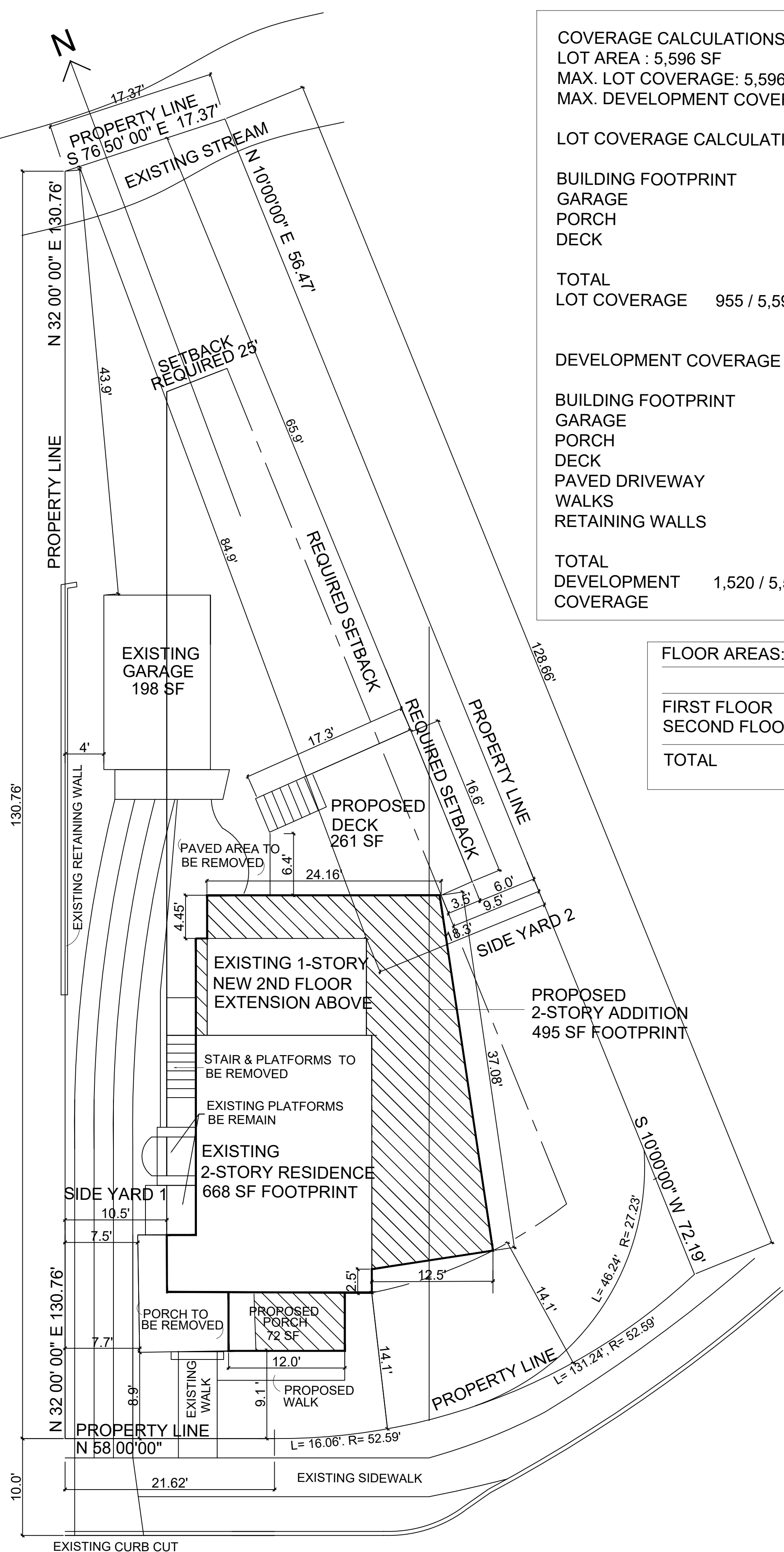
SCALE: 1/2" = 1'-0"



- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50 - 75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAYBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUND BY SILT FENCE.

## SOIL STOCKPILE

SCALE: 1/2" = 1'-0"



### COVERAGE CALCULATIONS:

LOT AREA : 5,596 SF

MAX. LOT COVERAGE: 5,596 SF X 30 % =

1,678 SF

MAX. DEVELOPMENT COVERAGE: 5,595 SF X 40% = 2,238 SF

### LOT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED
BUILDING FOOTPRINT	668 SF	1,129 SF
GARAGE	198 SF	198 SF
PORCH	89 SF	72 SF
DECK	--	261SF
TOTAL	955 SF	1,660SF
LOT COVERAGE	955 / 5,596 = 17%	1,660 / 5,596 = 29.6%

### DEVELOPMENT COVERAGE CALCULATIONS:

	EXISTING	PROPOSED
BUILDING FOOTPRINT	668 SF	1,129 SF
GARAGE	198 SF	198 SF
PORCH	89 SF	72 SF
DECK	--	261SF
PAVED DRIVEWAY	455 SF	300 SF
WALKS	97 SF	138 SF
RETAINING WALLS	13 SF	13 SF
TOTAL	1,520 SF	2,111 SF
DEVELOPMENT COVERAGE	1,520 / 5,596 = 27%	2,111 / 5,596 = 38%

### FLOOR AREAS:

	EXISTING	PROPOSED	TOTAL
FIRST FLOOR	688 SF	441 SF	1,129 SF
SECOND FLOOR	471 SF	592 SF	1,063 SF
TOTAL	1,159 SF	1,033 SF	2,192 SF

## SITE PLAN

SCALE: 1/8" = 1'-0"

## SITE DATA for ZONING CODE COMPLIANCE

OWNERS: CHRISTINA GRIFFIN & PETER WOLF  
ZONING DISTRICT: R-7.5

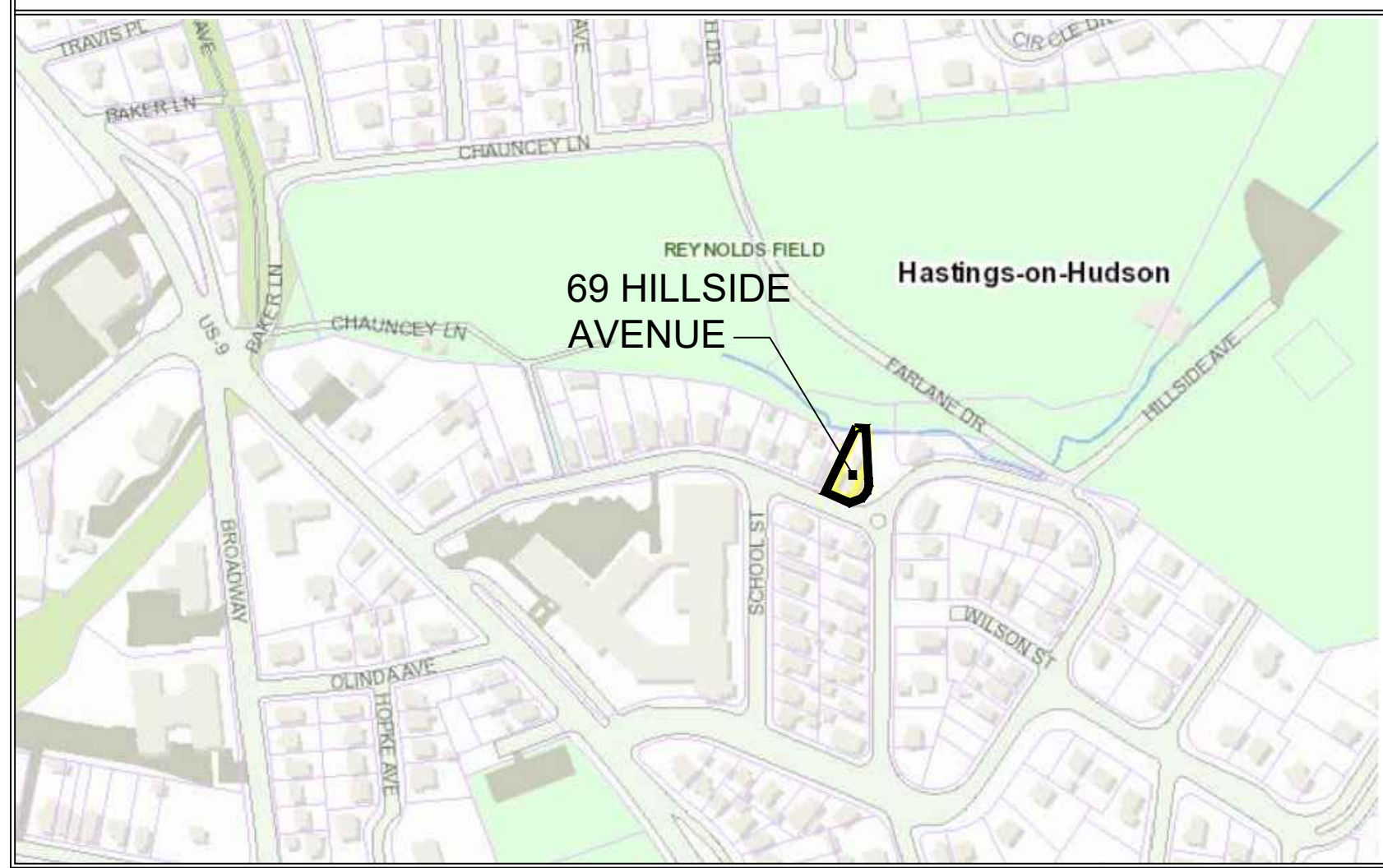
TAX LOT NO. : 4.80-62-22

SURVEYED BY: SUMMIT LAND SURVEYING P.C.  
MUNICIPALITY: HASTINGS-ON-HUDSON

	REQ. CODE	EXISTING	PROPOSED
ZONING DISTRICT USE	One Family	One Family	One Family
MINIMUM LOT SIZE	7,500 SF	5,596 SF	5,596 SF
MINIMUM LOT WIDTH	50 FT	17.37 FT	17.37 FT
MAXIMUM BUILDING COVERAGE	30%	17%	29.6%
MAXIMUM IMPERVIOUS COVERAGE	40%	27%	38%
MIN. SETBACK DIMENSIONS			
Front	25 FT	8.9 FT	9.1 FT
Rear	25 FT	84.9 FT	65.9 FT
Side 1	12 FT	7.5 FT	10.5 FT
Side 2	8 FT	18.3 FT	9.5 FT
Side 1 & 2	20 FT	25.8 FT	20 FT
MAXIMUM HEIGHT	2 1/2 STORIES / 35 FT	2 STORIES / +/- 28 FT	2 STORIES / 35 FT

## LOCATION MAP

NO SCALE



RENOVATIONS & EXTENSIONS TO  
69 HILLSIDE AVENUE  
Hastings-on-Hudson, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street

Hastings-on-Hudson, New York 10706

914.478.0799 tel 914.478.0806 fax

www.christinagriffinarchitect.com

DATE: CONSTRUCTION DRAWINGS 12-2-19

BLOG PERMIT SUB. 12-17-19

ZBA SUBMISSION 12-23-19

Drawing Title

SITE PLAN

Scale:

AS SHOWN

S-1





PHOTO OF FRONT YARDS  
IN NEIGHBORHOOD



NEIGHBORHOOD ARIAL MAP



NEIGHBORHOOD TAX MAP

RENOVATIONS & EXTENSIONS TO  
69 HILLSIDE AVENUE  
Hastings-on-Hudson, NY 10706



59 HILLSIDE



65 HILLSIDE



67 HILLSIDE



PHOTO OF 69 HILLSIDE



47 HILLSIDE



53 HILLSIDE



57 HILLSIDE

NEIGHBORING PROPERTIES WITHIN 250 FEET FROM 69 HILLSIDE

FRONT YARDS OF PROPERTIES WITHIN  
250 FT. OF 69 HILLSIDE  
INFORMATION IS TAKEN FROM WESTCHESTER COUNTY  
GEOGRAPHIC INFORMATION SYSTEMS, MUNICIPAL TAX  
PARCEL DATA

ADDRESS	FRONT YARD
69 HILLSIDE	8.9 FT.
67 HILLSIDE	+/- 3 FT.
65 HILLSIDE	+/- 2 FT.
59 HILLSIDE	+/- 12 FT.
57 HILLSIDE	+/- 15 FT.
53 HILLSIDE	+/- 3.5 FT.
47 HILLSIDE	+/- 6 FT.
AVERAGE FRONT YARD	7.2 FT.

CHRISTINA GRIFFIN ARCHITECT PC  
10 Spring Street  
Hastings-on-Hudson, New York 10706  
914.478.0795 tel 914.478.0806 fax  
www.christinagriffinarchitect.com

DATE: INSTRUCTION DRAWINGS 12-2-19  
DRAWING TITLE: STUDY OF FRONT YARDS 250 FT. FROM LOT 69 PERMIT SUB 12-17-19  
SCALE: AS SHOWN

S-2



LEGEND

INTERIOR WALL:  
5/8" gypsum board ea. side  
of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH  
ACOUSTICAL INSULATION:  
5/8" gypsum board each side  
of 2 x 4s @ 16" o.c.,  
3" ThermoFiber acoustical insulation

GARAGE / DWELLING SEPARATION WALL:  
5/8" type X gypsum board on one side,  
1/2" ody plywood, 2" x 6" studs 16" o.c.,  
R-21 batt insulation, 1/2" gypsum board.

EXTERIOR WALL:  
Siding as shown on elevations,  
1 1/2" zip R sheathing,  
5/8" Advantech engineered sheathing  
2x6 studs 16" o.c., R-21 Batt insulation  
5/8" gypsum board

FOUNDATION WALL:  
10" reinforced concrete wall, stucco  
finish above grade, troweled on  
waterproofing below grade

XX

ELEVATION  
NO.

ELEVATION

XX

ELEVATION  
NO.

SECTION DETAIL

XX

SHEET NO.

XX

SHEET NO.

XX

DOOR TYPE:  
FOR DESCRIPTION,  
SEE SPECIFICATIONS -  
DOOR SCHEDULE

XX

WINDOW TYPE:  
FOR DESCRIPTION,  
SEE SPECIFICATIONS -  
WINDOW SCHEDULE

FINISH KEY

F - FLOOR, W - WALL, C - CEILING  
ALL MATERIALS INDICATED ARE NEW UNLESS OTHERWISE NOTED

FLOOR

1. Warm matt, decorative type, concrete floor.  
2. 3 1/2" wide, warm color, oak floor.  
3. Tile on 1 1/2" reinforced mud base.  
4. Exposed concrete slab

WALL

1. 5/8" gypsum board.  
2. Tile on 5/8" moisture resistant gypsum board 42" above floor.  
3. Tile on 5/8" moisture resistant gypsum board 42" above floor.  
4. Tile on 1/2" Densshield board to ceiling at shower.

CEILING

1. 5/8" gypsum board.  
2. 5/8" moisture resistant gypsum board.

TRIM

1. New paint grade trim. Casing: 1"x4". Base: 1"x6". No ceiling trim.

LIGHT & VENTILATION

ROOM	FLOOR AREA	LIGHT		VENTILATION		COMPLIANCE
		MINIMUM REQUIRED 8% FLOOR AREA	PROVIDED	MINIMUM REQUIRED 8% FLOOR AREA	PROVIDED	
FIRST FLOOR						
KITCHEN	195 SF	15.6 SF	32 SF	7.8 SF	24 SF	YES
STUDY	315 SF	25.2 SF	128 SF	12.6 SF	63 SF	YES
LIVING ROOM / DINING	355 SF	28.4 SF	170 SF	14.2 SF	63 SF	YES
SECOND FLOOR						
MASTER BEDROOM	238 SF	19.1 SF	70.6 SF	9.6 SF	38.2 SF	YES
BEDROOM #1	183 SF	14.7 SF	33 SF	7.4 SF	33 SF	YES
BEDROOM #2	143 SF	11.5 SF	33 SF	5.7 SF	13.5 SF	YES

BUILDING CODE COMPLIANCE NOTES

1.THE THERMAL ENVELOPE FOR THE HOUSE SHALL MEET REQUIREMENTS OF 2015 INTERNATIONAL RESIDENTIAL CODE N1101.5.1, SEE INSULATION VALUES SHOWN ON TYPICAL WALL SECTION, DWG. A-9

2. WALL BRACING SHALL BE PROVIDED TO COMPLY W/ 2015 INTERNATIONAL RESIDENTIAL CODE R602.10

3. NOT LESS THEN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE HIGH EFFICACY LAMPS AS PER R404 OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE

4. AS PER 2015 INTERNATIONAL RESIDENTIAL CODE R303.3, ALL BATHROOMS WILL COMPLY WITH VENTILATION REQUIREMENTS

5. ALL HABITABLE SPACES AND EVERY SLEEPING ROOM IS IN COMPLIANCE SECTION R310 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE EMERGENCY ESCAPE AND RESCUE OPENINGS

6. WINDOW FALL PROTECTION SHALL BE PROVIDED TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE R312.2.1

7. UNDER STAIR PROTECTION WILL BE PROVIDED BY INSTALLING 5/8" FIRECODE GYPSUM BOARD UNDER STAIRS, TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE R302.7

8. FIRE BLOCKING SHALL BE PROVIDED TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE R602.6

9. PROPER COMBUSTION AIR SHALL BE PROVIDED FOR THE MECHANICAL ROOM TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE M1701.1

10. THE DIRECT VENT BOILER SHALL HAVE INTAKE AND EXHAUST VENTS TO COMPLY WITH APPENDIX C OF 2015 INTERNATIONAL RESIDENTIAL CODE

11.MAKE-UP AIR SHALL BE PROVIDED FOR THE 1,000 CFM COOKTOP EXHAUST FAN AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST, TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE M1503.4

12. INFORMATION WILL BE PROVIDED FOR FACTORY-BUILT FIREPLACES TO SHOW COMPLIANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE R1004

13. INFORMATION INCLUDING UL LISTINGS WILL BE PROVIDED FOR FIREPLACES AND STOVES TO SHOW COMPLIANCE W/ CHAPTER 10 OF 2015 INTERNATIONAL RESIDENTIAL CODE

14. TIGHT-FITTING DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR, SHALL BE PROVIDED FOR FIREPLACES IN COMPLIANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE N1102.4.2 (R402.4.2)

15. INFORMATION WILL BE PROVIDED FOR CHIMNEYS TO SHOW COMPLIANCE WITH CHAPTERS 10, 18, AND 24 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE

16. AS PER 2015 INTERNATIONAL RESIDENTIAL CODE R R314 & R315 HARD WIRED SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE PROVIDED AS FOLLOWS:

- 1 HARDWIRED SMOKE DETECTOR IN EACH BEDROOM.
- 1 HARDWIRED SMOKE DETECTOR IN IMMEDIATE VICINITY OF BEDROOMS
- 1 HARDWIRED SMOKE DETECTOR PER FLOOR
- 1 HARDWIRED CARBON MONOXIDE DETECTOR IN IMMEDIATE VICINITY OF BEDROOMS
- 1 HARDWIRED CARBON MONOXIDE DETECTOR IN GARAGE

17. ALL MANDATORY COMPONENTS SHALL BE PROVIDED AS REQUIRED BY THE FOLLOWING 2015 INTERNATIONAL CODE SECTIONS:

- R401.3 PERMANENT CERTIFICATE
- R402.2.4 ATTIC OR CRAWL SPACE ACCESS
- R402.4 AIR LEAKAGE
  - R402.4.1.1 INSTALLATION
  - R402.4.1.2 TESTING
- R402.4.4 COMBUSTION CLOSETS
  - R403.3.2 DUCT SEALING
  - R403.3.3 DUCT TESTING
- R403.3.5 BUILDING CAVITIES
- R403.4 MECHANICAL SYSTEM PIPING INSULATION
- R403.6 MECHANICAL VENTILATION
- R403.7 EQUIPMENT SIZING
- R404.1 LIGHTING

The basement plan shows two large 'UNFINISHED BASEMENT' areas. A 'DECK ABOVE' is located at the top right. An 'EXISTING GARAGE' is at the top left. The plan includes various dimensions for walls, openings, and setbacks. A 'PROPERTY LINE' is indicated on the right side. Structural details like 'EXISTING COLUMN' and 'EXISTING STAIR' are noted.

**BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

The first floor plan shows a 'KITCHEN' with a cooktop, sink, and waste. A 'DINING AREA' and 'LIVING AREA' are adjacent. A 'FOYER' leads to a 'PORCH'. A 'BATH' is located near the kitchen. The plan includes dimensions for rooms, hallways, and setbacks. A 'PROPERTY LINE' is indicated on the right side. Structural details like 'EXISTING COLUMN' and 'EXISTING STAIR' are noted.

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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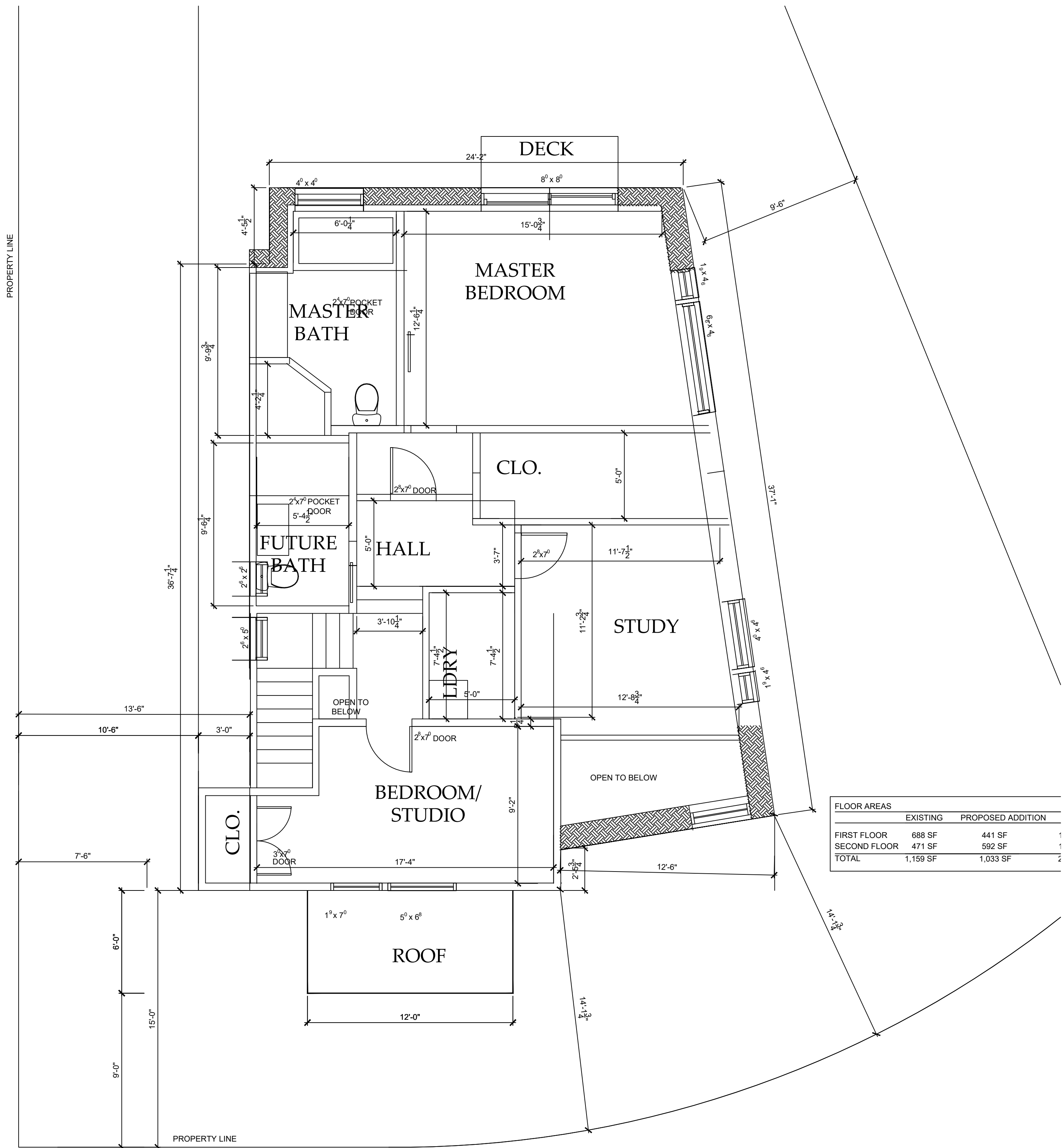
CONSTRUCTION DRAWINGS 12-2-2019  
BLDG. PERMIT SUB 12-17-19  
ZBA SUBMISSION 12-23-19

Drawing Title  
FOUNDATION PLAN  
FIRST FLOOR PLAN

Scale:  
AS SHOWN

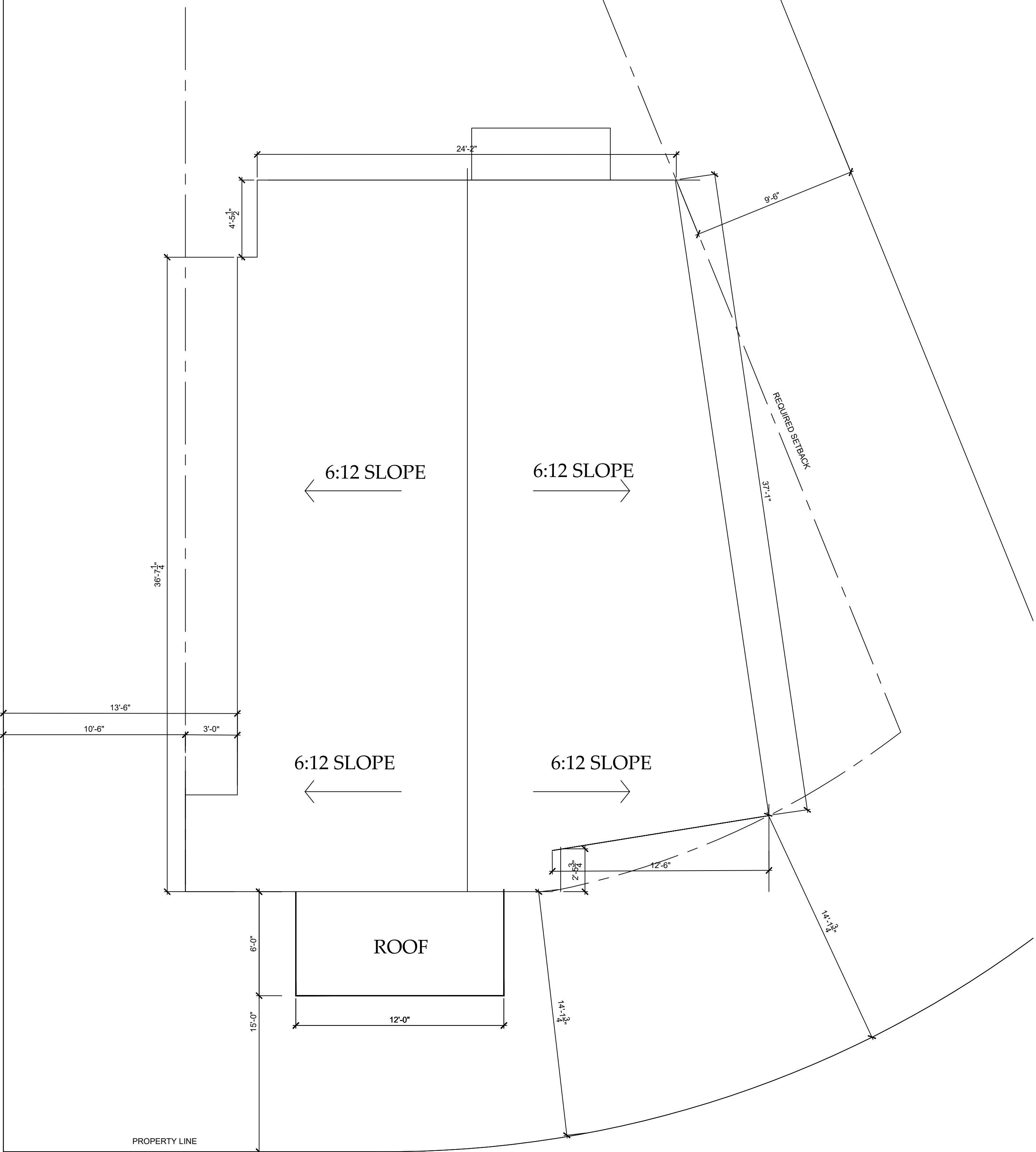
A-1





SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

BUILDING CODE COMPLIANCE NOTES

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2. WALL BRACING SHALL BE PROVIDED TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE R602.10.
3. NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES ARE HIGH EFFICACY LAMPS AS PER R404 OF THE 2015 INTERNATIONAL ENERGY CONSERVATION CONSTRUCTION CODE.
4. AS PER 2015 INTERNATIONAL RESIDENTIAL CODE R303.3, ALL BATHROOMS WILL COMPLY WITH VENTILATION REQUIREMENTS.
5. ALL BASEMENT HABITABLE SPACES AND EVERY SLEEPING ROOM IS IN COMPLIANCE WITH SECTION R310 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE. EMERGENCY ESCAPE AND RESCUE OPENINGS.
6. WINDOW FALL PROTECTION SHALL BE PROVIDED TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE R312.2.1.
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8. FIRE BLOCKING SHALL BE PROVIDED TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE R602.8.
9. PROPER COMBUSTION AIR SHALL BE PROVIDED FOR THE MECHANICAL ROOM TO COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE M170.1.1.
10. THE DIRECT VENT BOILER SHALL HAVE INTAKE AND EXHAUST VENTS TO COMPLY WITH APPENDIX C OF 2015 INTERNATIONAL RESIDENTIAL CODE.
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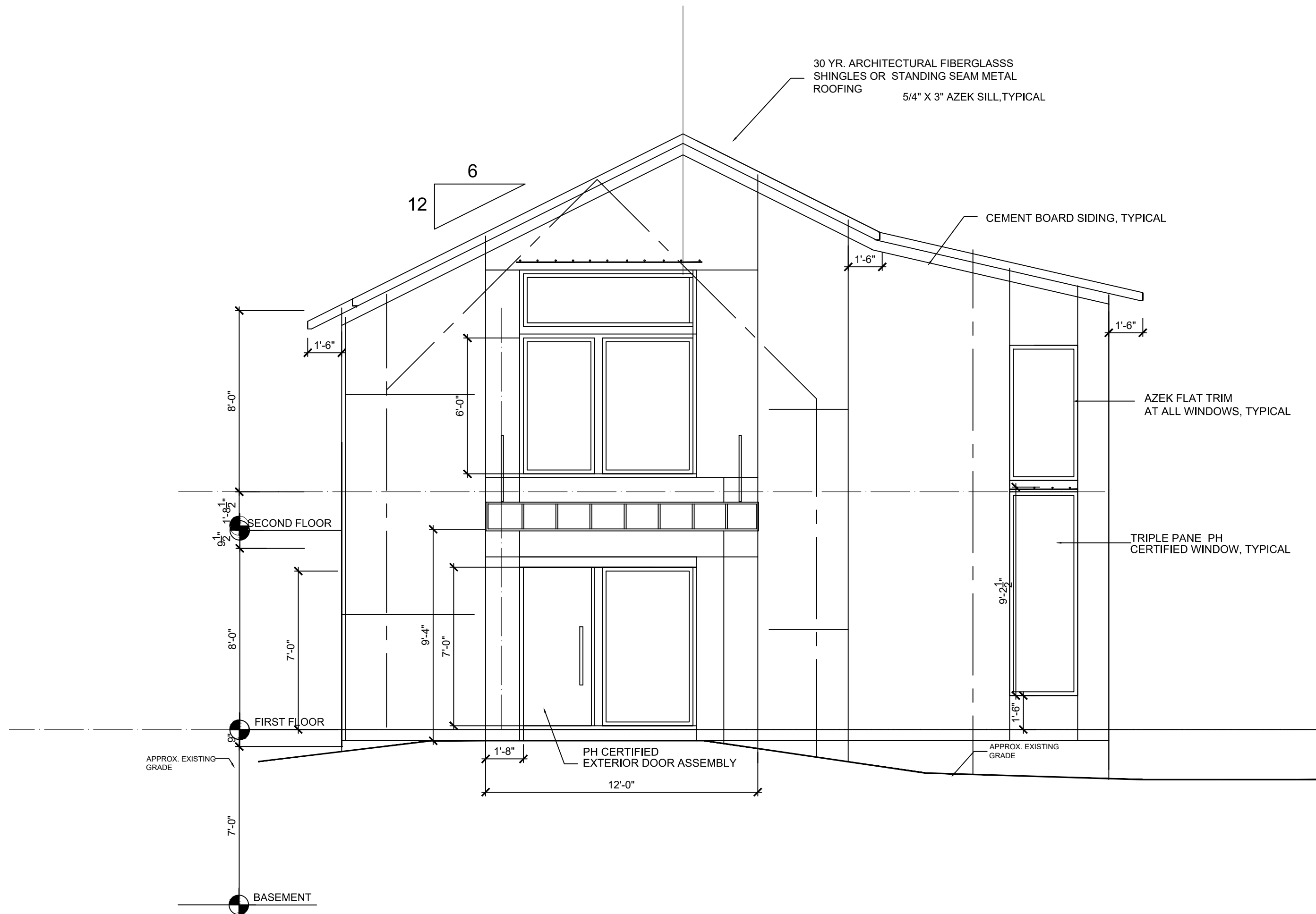
CONSTRUCTION DRAWINGS 10-2-2019  
B.L.D.G. PERMIT SUB. 12-17-19  
ZBA SUBMISSION 12-23-19

Drawing Title  
SECOND FLOOR PLAN  
ROOF PLAN

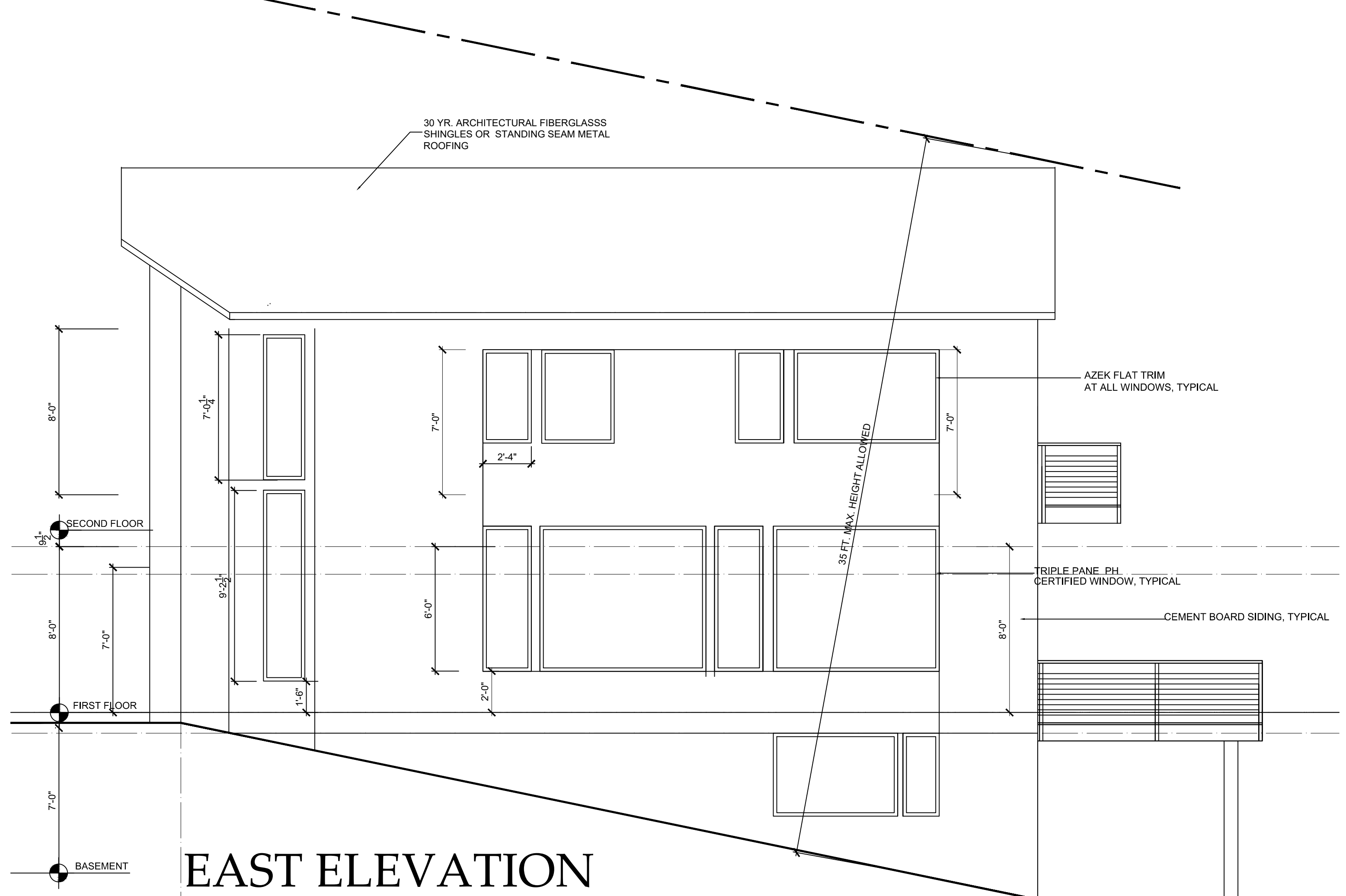
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A-2

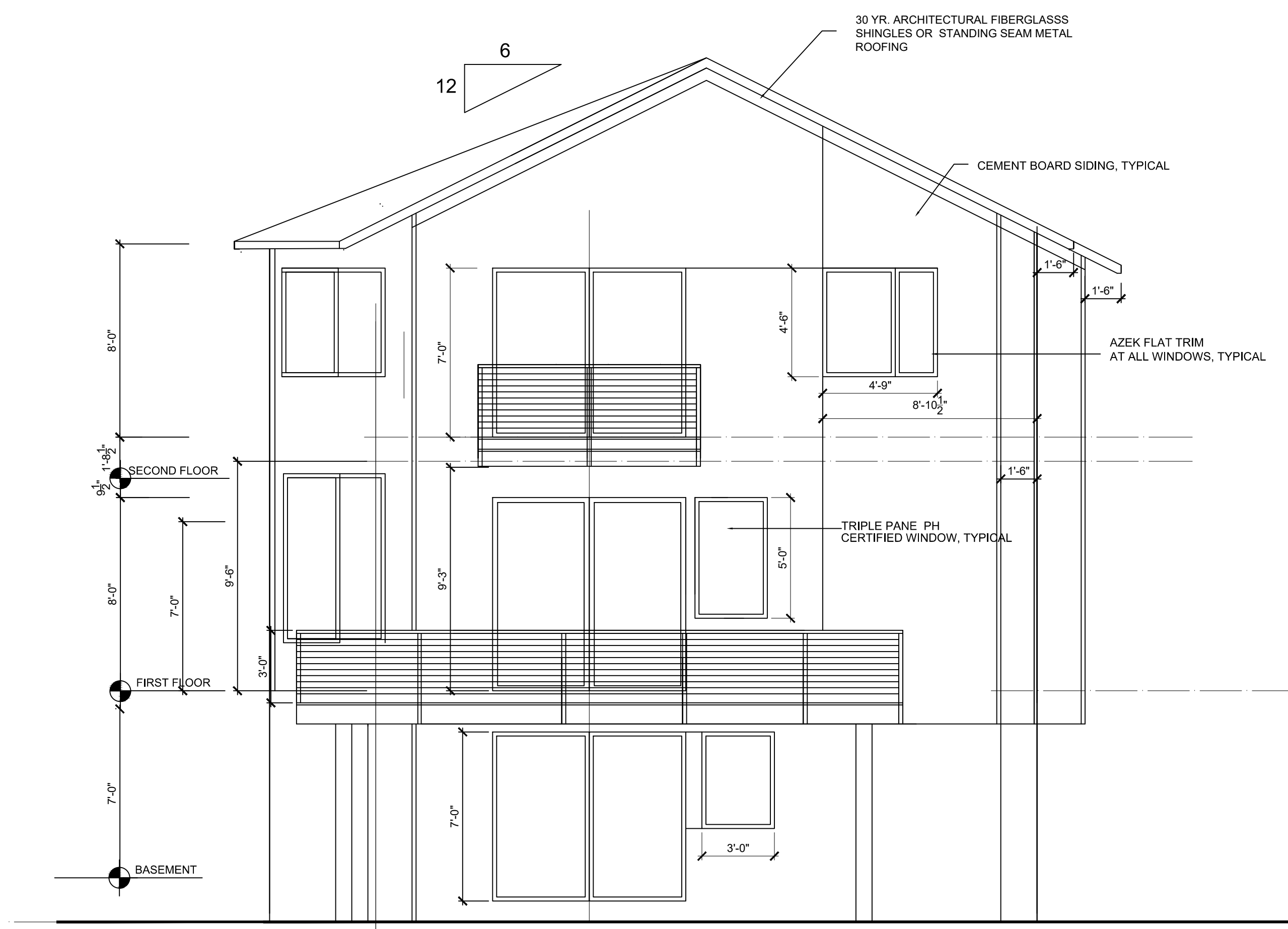




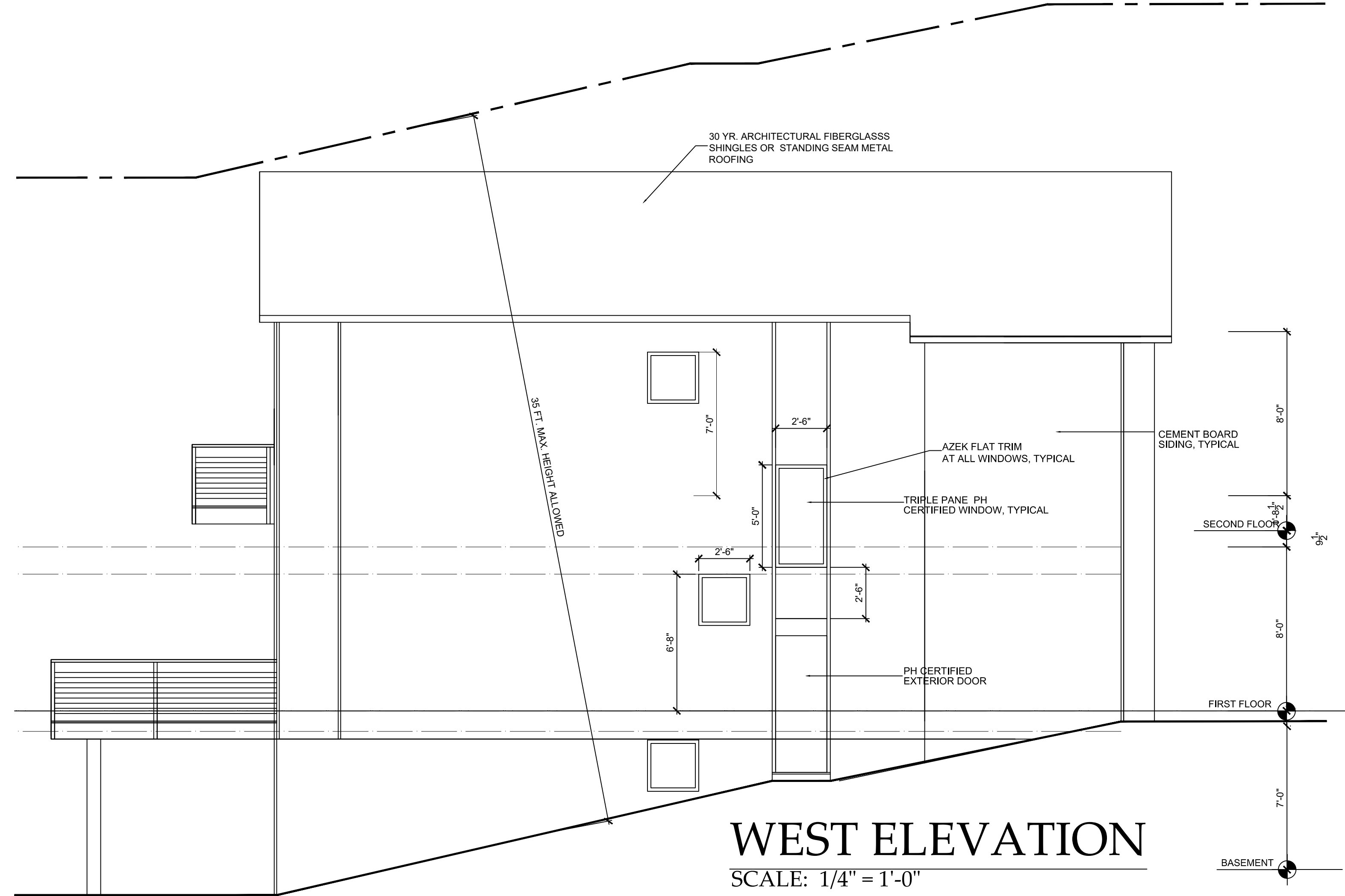
**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

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Date  
CONSTRUCTION DRAWINGS 12-2-19  
BUILDING PERMIT SUB 12-17-19  
ZBA SUBMISSION 12-28-19

Drawing Title  
EXTERIOR  
ELEVATIONS  
Scale:  
AS SHOWN

**A-3**



