

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number: Date of application: 4/7/16

Property owner: Mr & Mrs Manchio Loy
 Property address: 132 Edgars Lane
 Name all streets on which the property is located: Edgars Lane
 Sheet: 4.20 Block: 11 Lot/Parcel: 18 Zoning District: R-10

Applicant: Eugene Vetrano
 Standing of applicant if not owner: Architects Representative
 Address: 755 Main Street (Box B-d) Monroe, CT 06468
 Daytime phone number: (203) 770-0369 Fax number:
 E-mail address: ejvb@sbcglobal.net

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295-68F.1c</u>	<u>Sideways - 30' total</u>	<u>22.1' / 8.3'</u>	<u>22.1' / 8.3'</u>
	<u>each of which is</u>		
	<u>at least 12'</u>		
<u>295-55A</u>	<u>EXTENSION OF AN</u>	<u>22.1' / 8.3'</u>	<u>22.1' / 8.3'</u>
	<u>EXISTING NON-CONFORMITY</u>		

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-58A.....Permitted Principal Use.Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30'	30'	30'
REAR	30'	51.5'	51.5'
SIDE ONE	12'	13.8'	13.8'
SIDE TWO	18'	8.3'	8.3'
TOTAL OF TWO SIDES	30'	22.1'	22.1'

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	N/A		
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	1 1/2	1 1/2
FEET	30'	22'	22'

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 sq ft	9,098 sq ft	9,098 sq ft
BLDG. COVERAGE/ % OF LOT AREA	25%	19%	22.4%
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	39%	39%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single Family	Single Family	Single Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

None

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Eugene Vitale
Applicant

Sworn to before me this 6th day
of April, 2016

[Signature]
Notary Public

**My Commission Expires
April 30, 2020**

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : Bertha M. H. Lay, being duly sworn, deposes and says that
he/she resides at 132 Edgars Lane in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 4.20 Block 11 and Lot 18 of the tax map, and that
he/she hereby authorized _____ to make the annexed
application in his/her behalf and that the statement of fact contained in said application are true.

Bertha M. H. Lay
Owner

SWORN TO BEFORE ME THIS 25th DAY
OF MARCH 2016

Susan Healy
Notary Public

SUSAN HEALY
Notary Public, State Of New York
No. 01HE6062887
Qualified In Westchester County
Commission Expires August 20, 2017

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in
accordance with the foregoing and as required by law.

SALVATORE MANCINI, AIA
EUGENE VETRANO, AIA Associate
Bradford Green, Bldg #8, Suite D
755 Main Street
Monroe, Connecticut 06468
Ph. (203) 770-0369
FAX (203) 445-1353

10618 Piazza Fontana
West Palm Beach, Florida 33412
(561) 762-9618

April 6, 2016

Village of Hastings-on-Hudson
Zoning Board of Appeals
7 Maple Avenue
Hastings-on-Hudson, New York 10706

Re: Request for a Variance at 132 Edgars
Lane, Hastings-on-Hudson, NY 10706

To Whom It May Concern,

The following points of consideration are noted for the requested Appeal for a Variance:

- It is our opinion that no undesirable changes will be produced in the character of the neighborhood nor will there be a detriment to any nearby properties. Every effort was made to assure that the proposed addition would not compromise the architectural integrity of the Lay residence, nor would it negatively impact on the aesthetics of the adjoining properties.
- Other schematic designs were explored, but, it is our opinion that the only feasible design solution, to meet the needs of Mr. & Mrs. Lay, is the proposed design. Due to the fact that the Lay property is existing non-conforming; in regards to Side Yard Setback, and our proposed rear addition will be constructed within the required setback for the R-10 zone, we will require a variance to meet the present R-10 area requirements.
- Although we are requesting this variance, it should be noted that the Lay home was built in the 1950's, and it is our understanding that the construction, at that time, did in fact meet all existing codes. Additionally a rear addition was filed for in 1988, for which a permit was issued and the addition was constructed, with a Certificate of Occupancy issued in 1989.
- The requested area variance is for the total side yard and single side yard requirement. As per code the side yard setbacks for an R-10 zone are 30' total, each of which is at least 12'. Due to the fact that the existing side yard setbacks are non-conforming, at 22.1' total, with side yards of 12.8' and 8.3' and the proposed addition will be aligned with the side yard of the existing residence (on the 8.3' side of the structure), we are requesting side yard variance of 3.7' on the

LAY RESIDENCE – Pg 2

new construction side and still ask that the existing non-conforming total setback of 22.1' be included in the variance.

- It is our opinion that the proposed variance will not have any adverse effect or impact on the physical or environmental conditions in the neighborhood or district, due to the fact that the proposed construction will be on a level portion of the rear yard, aligning with the previously constructed addition of 1989. It also appears, when viewing the adjoining properties on the Westchester County GIS website, that many of the adjoining and adjacent properties on Edgar Lane and neighborhood streets that, most of the homes are existing non-conforming regarding side yard setbacks.
- We would like to note that Mr. & Mrs. Lay have resided in their home for many years and are planning on residing in Hastings-on-Hudson for many more years. We also want the board to know that Mr. Lay is presently receiving Dialysis treatment out of the home three days a week and because of his age he would like to have the opportunity to start treatment at home. With that in mind and due to the space constraints in the existing floor plan of their home, they are considering this addition as a room where Mr. Lay can comfortably receive his treatments and most likely in the near future use the room as his sleeping/day room. We have also included a handicap accessible bathroom in the addition to help accommodate all of Mr. Lay's needs.

Thank you in advance for your time and consideration in this matter. We will be more than happy to provide any additional information that you may require in this application process.

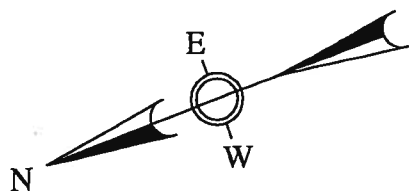
Respectfully yours,

A handwritten signature in cursive script, appearing to read "Eugene Vetrano".

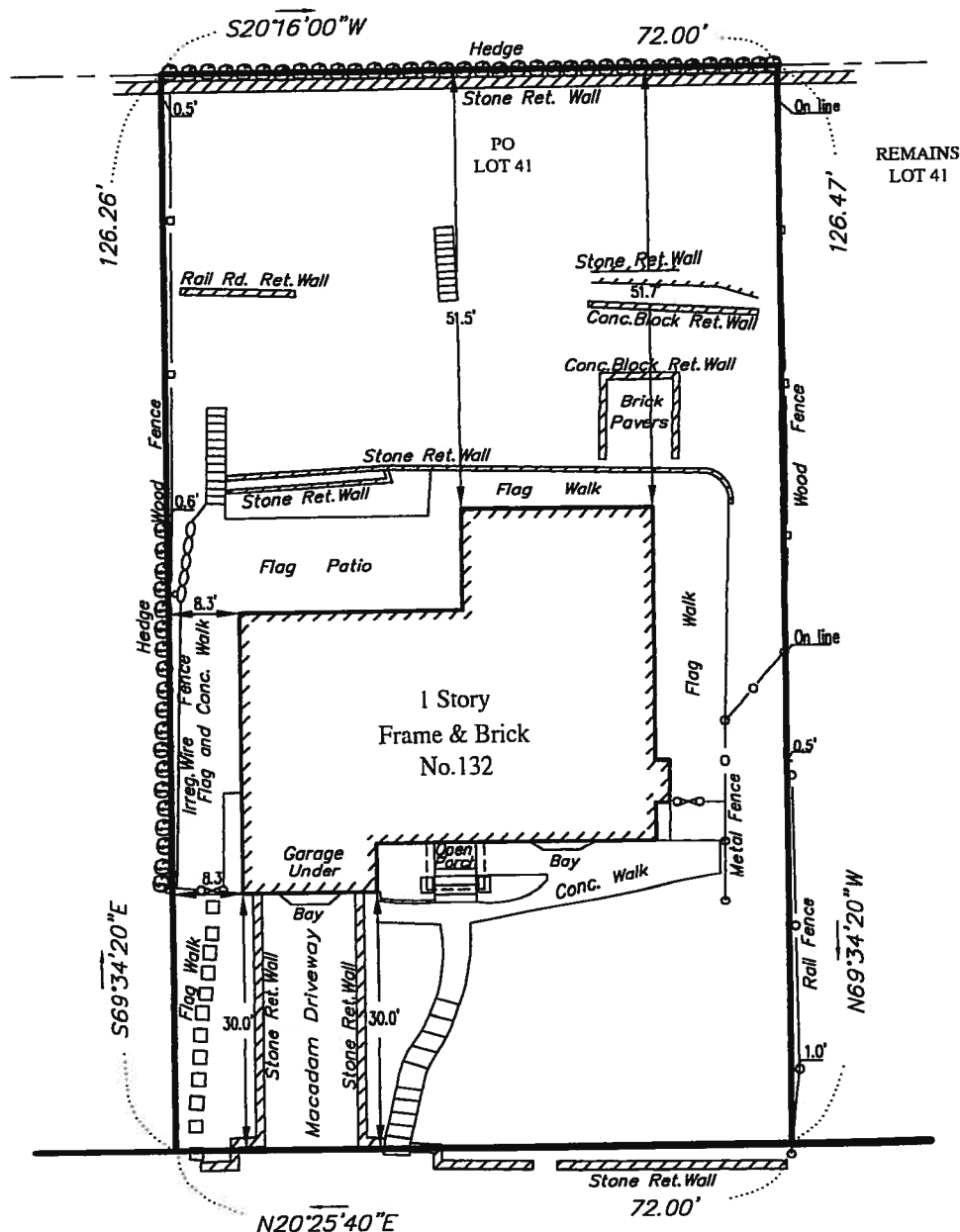
Eugene Vetrano,
for Salvatore Mancini AIA

RICHARD J. DOMATO
LAND SURVEYOR
Chase Bank Building
22W. First Street-Room 401
Mt. Vernon, N.Y. 10550
(914)667-0565

Scale : 1"=15'



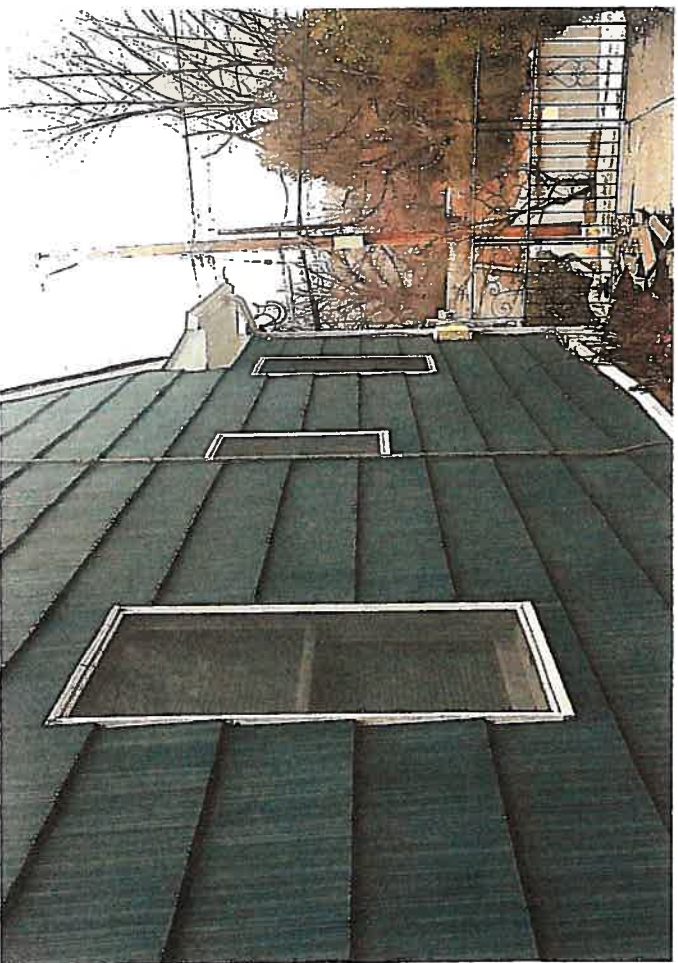
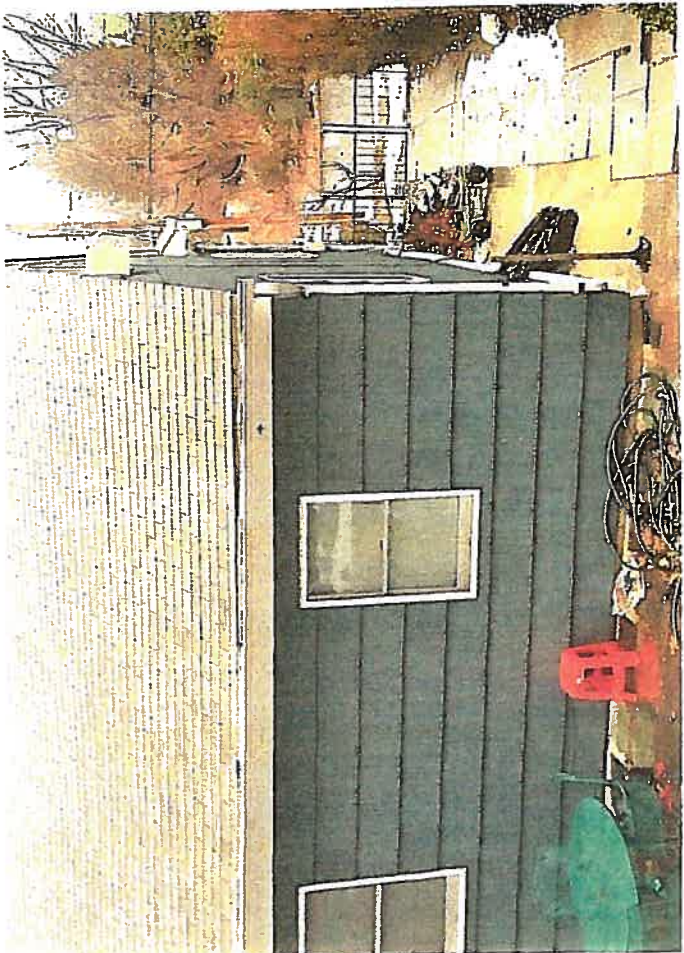
N.Y.S.LIC. No.049418

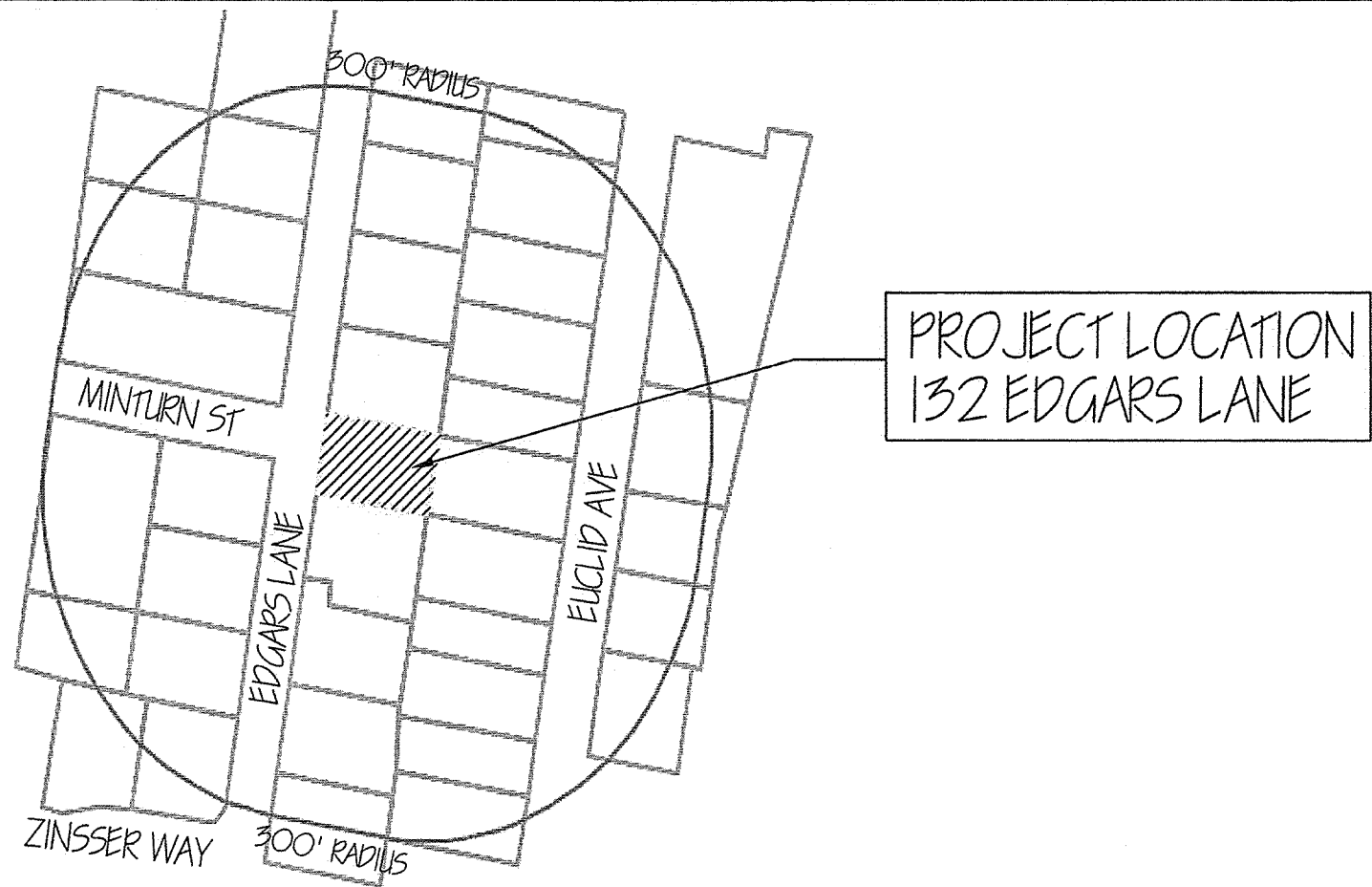


EDGARS LANE

"SURVEYED AS IN POSSESSION"

R-16-407

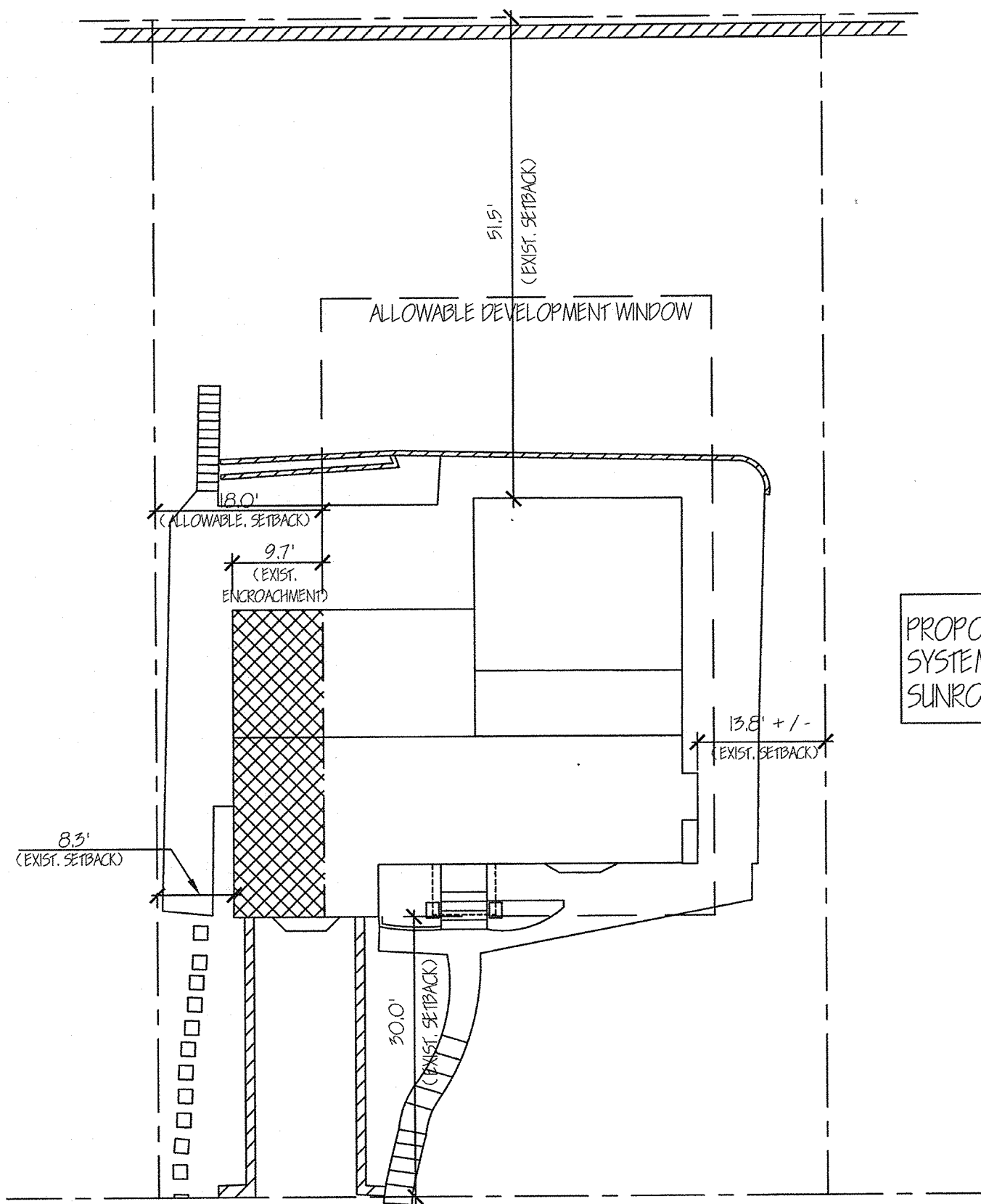




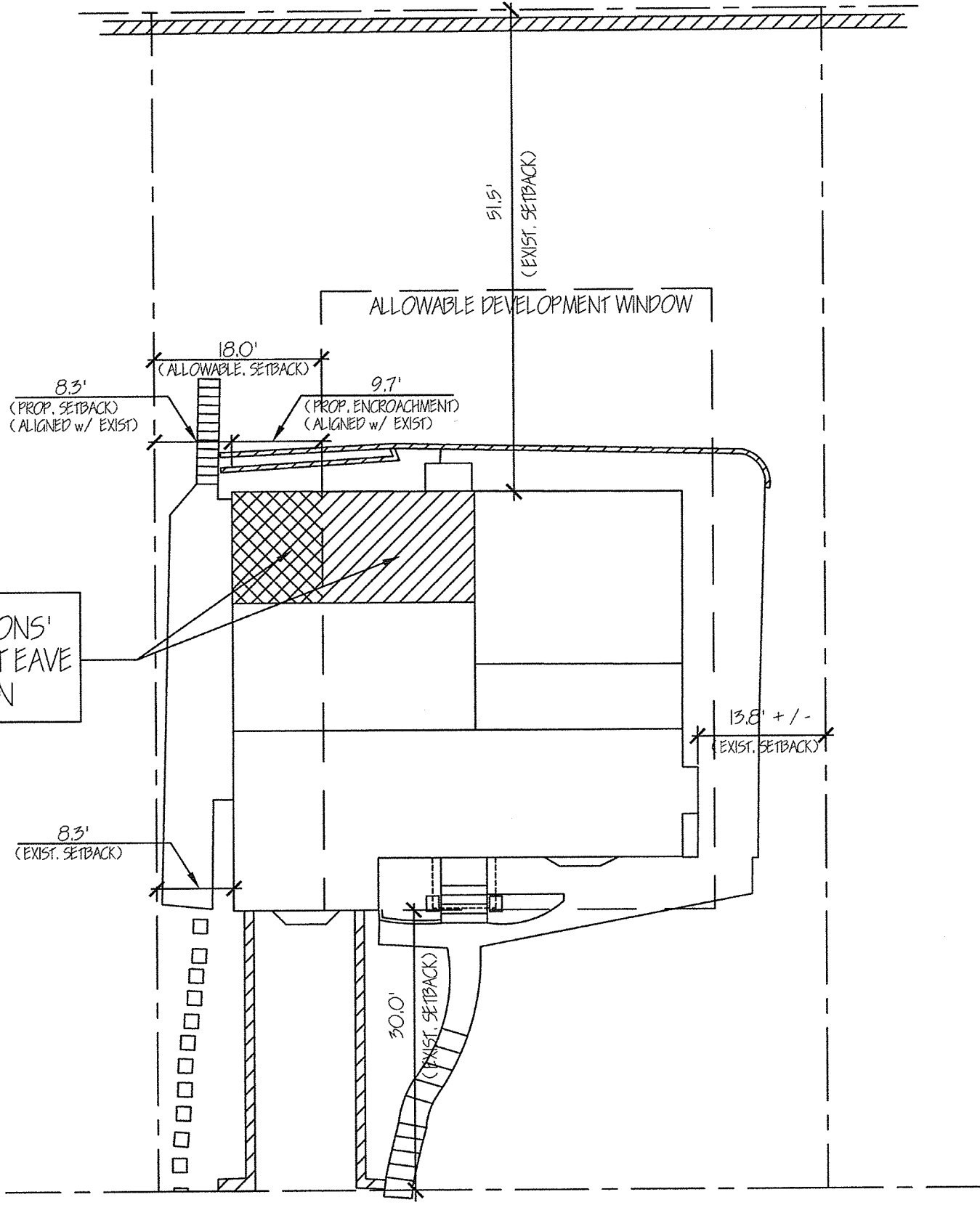
ZONING DATA				
ZONE R-10 BLOCK - 0642, LOT - 152 PROPERTY I.D. 4.20-11-18				
	REQUIRED	EXISTING	PROPOSED	COMMENTS
LOT AREA	10,000 s.f.	9,098 s.f.	9,098 s.f.	EXISTING NON-CONFORMING
FRONT YARD SETBACK	30'	30'	30'	CONFORMING
REAR YARD SETBACK	30'	51.5'	51.5'	CONFORMING
SIDE YARD SETBACK	12' / 30'	12' / 30'	8.3' / 22.1'	EXISTING NON-CONFORMING
BUILDING COVERAGE	25%	19%	22.4%	CONFORMING
DEVELOPMENT COVERAGE	35%	39%	39%	EXISTING NON-CONFORMING - PROPOSED SUNROOM ADDITION TO BE CONSTRUCTED ON EXISTING FLAG-STONE PAVERS - (INCLUDED IN TOTAL COVERAGE)
BUILDING HEIGHT	21 / 2 - 35'	1 - 22'	1 - 22'	CONFORMING

PROJECT LOCATION MAP w/ 300' radius

NOT TO SCALE



PROPOSED 'FOUR SEASONS' SYSTEM 230 - STRAIGHT EAVE SUNROOM AND ADDITION



EXISTING CONDITION SETBACK ENCROACHMENT

SCALE 1" = 15'

PROPOSED SETBACK ENCROACHMENT

SCALE 1" = 15'

ZBA-1

DRAWN BY G.V.
CHECKED BY S.M.
SCALE AS NOTED

FILE NUMBER
45-LAY-16

PROJECT TITLE
PROPOSED "FOUR SEASONS" SYSTEM 230 STRAIGHT EAVE SUNROOM
MR. & MRS. MANCHILU LAY
132 EDGARS LANE
HASTINGS-ON-HUDSON, NEW YORK 10706

5/9/16	ZBA SUBMISSION
2/18/16	BUILDING DEPARTMENT
2/16/16	FINAL CONTRACTOR/ OWNER REVIEW
2/11/16	CONTRACTOR/ OWNER REVIEW
DATE	ISSUED TO

SALVATORE MANCINI, AIA

FL ARCHITECTURAL LICENSE # AO 0013589 N.Y. ARCHITECTURAL LICENSE # 013600
CT. ARCHITECTURAL LICENSE # 5682
BRADFORD GREEN, BLDG 8, SUITE D
755 MAIN STREET
MONROE, CT 06468

REVISIONS	DATE	DESCRIPTION





FOUR SEASONS SUBURBAN SUNROOMS, INC.

83 EAST MAIN ST. (RTE 119), ELMSFORD, NEW YORK, 10523 - (914) 592-7455

PROPOSED "FOUR SEASONS" SYSTEM 230 STRAIGHT EAVE SUNROOM

MR. & MRS. MANCHILU LAY

132 EDGARS LANE

HASTINGS-ON-HUDSON, NEW YORK 10706



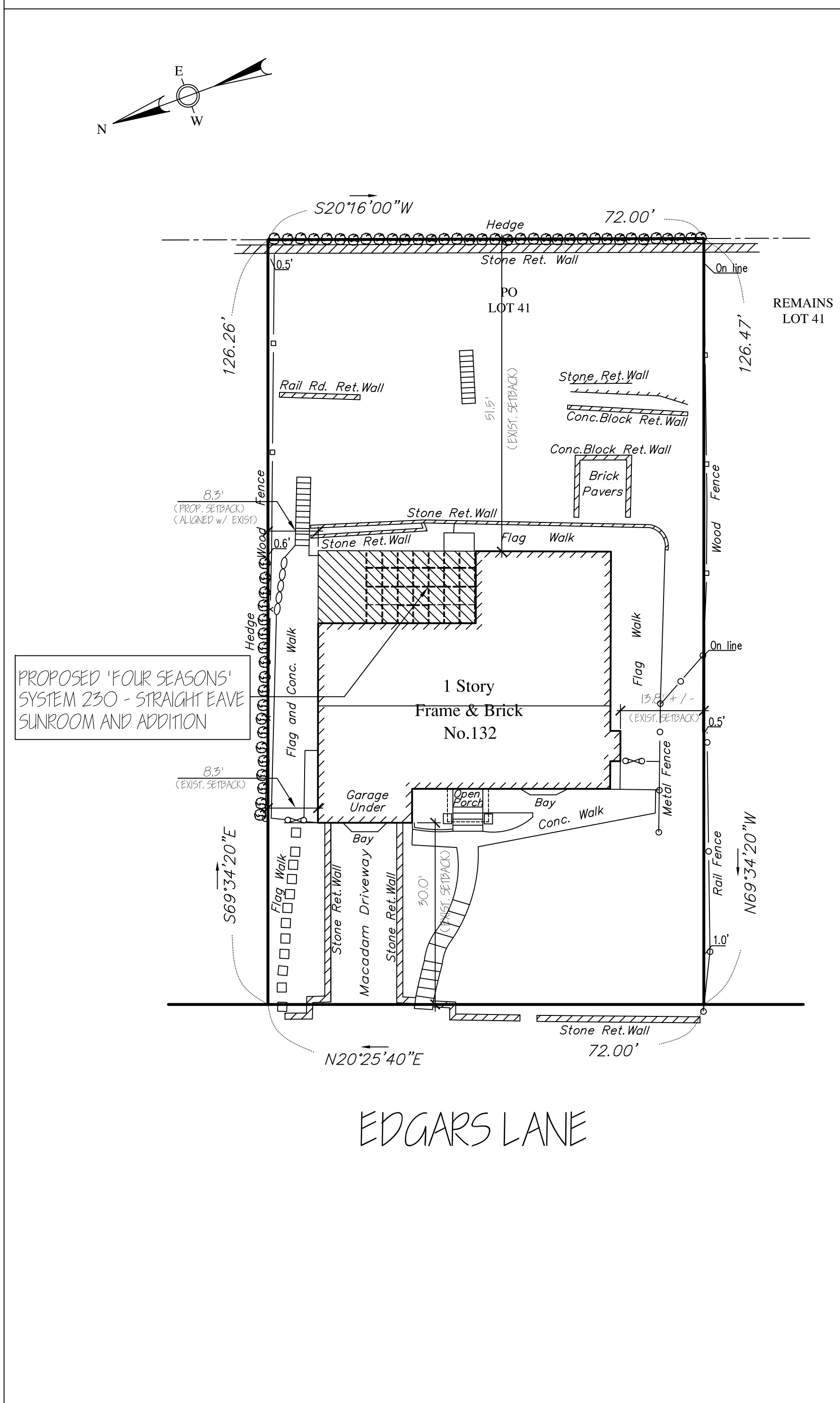
THE DRAWING AND NOTES FOR THIS PROJECT HAVE BEEN PREPARED BY OR UNDER THE DIRECTION OF THE ARCHITECT OF RECORD FOR THE PROJECT, SALVATORE MANCINI, NEW YORK STATE LICENSE NO. 015600. TO THE BEST OF HIS KNOWLEDGE, INFORMATION, & BELIEF THE EXISTING & PROPOSED ELEMENTS MEET WITH THE REQUIREMENTS OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, SPECIFICALLY SECTION 502.2.5, AS IT PERTAINS TO SUNROOMS, AND MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODES, AS ADOPTED BY NEW YORK STATE, REGARDING: WIND, SEISMIC, FLOOR LOADS AND ROOF LOADS.

SALVATORE MANCINI, AIA
N.Y. LICENSE # 015600

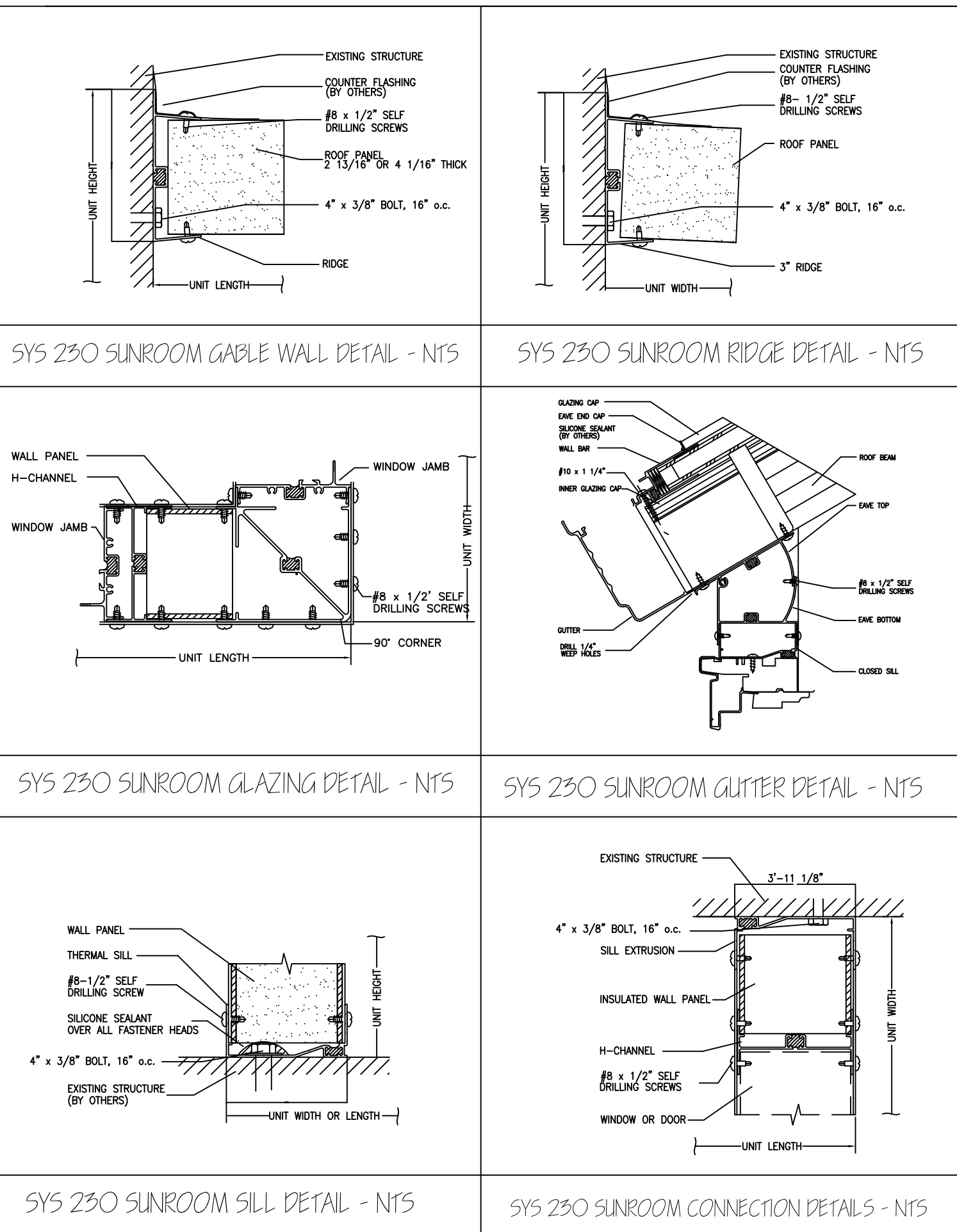
SITE PLAN

SCALE 1" = 15'

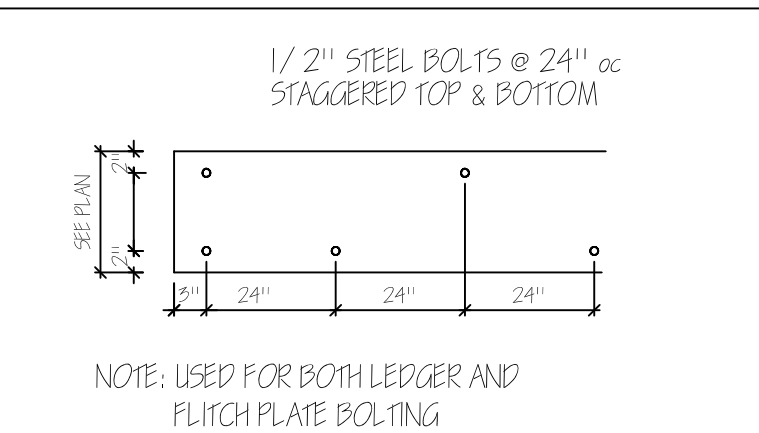
THE INFORMATION USED IN THE PREPARATION OF THIS SITE PLAN IS TAKEN FROM A SURVEY BY RICHARD J. DOMATO, LAND SURVEYOR, N.Y.S. L.C. No. 049418, 22 WEST FIRST STREET, MT. VERNON, NEW YORK 10550. SURVEY DATED FEBRUARY 10, 2016.



TYPICAL UNIT DETAILS



TYP. BOLTING DETAIL



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

THE DESIGN CONFORMS WITH TABLE RR 301.2(1) OF THE RESIDENTIAL CODE OF NEW YORK STATE

GROUND SNOW LOAD	WIND Speed * (mph)	SEISMIC DESIGN CATEGORY *	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP. *	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD *
			Weathering *	Frost line Depth *	Termites *	Decay *		
20 p.s.f.	110	C	SEVERE	42"	MOD./H.V.	SL./MOD.	7°	YES
								FIRM 8/5/91

GENERAL NOTES

DIVISION I - GENERAL CONDITIONS

SCOPE OF WORK - The work includes:

Construction of a "Four Seasons" System 230 - Straight Eave Sunroom, on a new insulated concrete slab. Sunroom addition to include full bathroom as noted on plans. Work also includes all Electrical as per code, all protection as required during construction and removal of all debris to an approved off site facility. Work under this contract does not include A/C, painting, tile or floor finishes.

- The Architect certifies that the plans have been prepared in accordance with the New York State Energy Conservation Construction Code, latest edition.
- The Contractor shall provide proof that he is a duly licensed renovation contractor in Westchester County and be responsible for all fees, permits and inspections required by the municipality including those of all sub-contractors.
- The Contractor shall furnish all labor, materials, tools, equipment, appliances, transportation, etc. to complete in a workmanlike manner everything shown, called for or reasonably implied in the plans, notes, specifications and details.
- Contractor shall be responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, distortion, and mis-alignment according to applicable codes, standards and good practice.
- Temporary utilities (limited to electric and water) shall be available through the owners house services.
- Contractor shall furnish and install the "Four Seasons Sunroom" components in strict conformance with the manufacturers best standards and specifications.
- Drawings shall not be deemed to show all existing conditions. Drawings are not intended to be scaled: use dimensions only. Electrical work indicated is diagrammatic only.
- Match and lining up with existing conditions takes precedence over the dimensions and or details shown on the drawings.
- The Architect shall not be responsible for any revisions, alterations or additions to the contract documents without his specific authorization and approval. The Architect has not been retained for field supervision/inspection.
- The contractor shall carry workman's compensation and liability insurance naming the owner and the architect as co-insured. This insurance shall comply with the requirements of the Village of Hastings-On-Hudson, and shall name the owner and Architect as co-insureds.

DIVISION II - THE WORK

Construction of A "Four Seasons" System 230 Straight Eave Sunroom.

- Footing trenches shall be excavated to proper sub grade. Bottom of all footings to be excavated level and kept free of standing water at all times. All footings shall bear on undisturbed earth or rock with a minimum bearing capacity of 15 tons per square foot. Backfill shall be clean material free of any debris. No backfilling to occur prior to framing being complete through first floor.
- Finish grades to slope away from structures.
- All footings shall bear undisturbed soil or rock of not less than (15) one and one half tons per square foot. The Village of Hastings-On-Hudson Building Inspector shall be advised prior to the pouring of any concrete as per Village codes and requirements. Footings shall be pinned to rock as required.
- Plain concrete shall develop a minimum of 3000 P.S.I. at 28 days.
- All slabs on grade shall be placed only after thorough compaction of the subgrade. All reinforcements in slabs on grade shall be placed 1" below top surface of the concrete.
- All piers shall be formed with 12" diameter sono tubes and reinforced as indicated in the plans. (N.I.C.)
- All steel shall conform to ASTM A-36 and shall be shop painted.
- Materials shall be as follows: (AS REQUIRED)
 - Bolts and washers shall conform to ASTM A-325
 - Welded wire mesh shall conform to ASTM A-497
 - Reinforcing steel shall be Grade 40 billet steel conforming to ASTM A-615.
 - Sheet decking shall be as manufactured by the Vulcraft Co. and shall be min. 18 gauge 2" deep galvanized, with bituminous coating added to bottom surface.
 - All sill plates shall be (2) 2 x 6 P.T. bolt together as required.
 - Deck framing lumber shall be Pressure Treated (N.I.C.)
 - All hardware shall be galvanized.
- All lumber shall be Douglas FIR (Fb=1300 P.S.I.), Plywood shall be installed as per recommended specification of the Douglas Fir Plywood Association "Construction Guide" for subfloors, floors, sheathing, etc.
- Exterior wood trim, bases, fascias and soffits shall be 1x and 3/4x widths, as shown in the plans and shall be Red Cedar "A" grade. All exterior corners shall be mitered and interior corners square butt.
- Flooring shall be provided by owner and installed by contractor.
- Provide aluminum step and roll flashing to ensure adequate protection at all hips, valleys, projections through roof, intersections of roof and vertical surfaces, and any other condition shown on the plans or requiring flashing.
- Provide sealant around all windows, doors and other openings for a watertight condition. Sealants shall be silicone, clear.
- Electrical - Provide all new electrical distribution as indicated on drawings. Eliminate any deficient electrical wiring conditions or violations uncovered by work. All wiring shall be done in strict compliance with the National Electric Code and all applicable local codes. Contractor shall furnish the owner with an inspection certification from the inspection agency having jurisdiction.

Contractor is to verify that existing house is in compliance with NYS CODES regarding SMOKE DETECTORS and CARBON MONOXIDE DETECTORS. Contractor to notify owner of any violations and to provide pricing for additional work as required. Contractor is not to proceed with work until price is agreed upon with owner.

17. Heating - Furnish all labor, materials, tools and equipment necessary and required to supply and install Heating in new Sunroom. Heating shall be electric baseboard heat, designed and installed in accordance with the NYS Energy Conservation Construction Code. Contractor to provide all calculations and certifications as to load, capacity and conformance to code.

A/C BY OTHER.

ZONING DATA

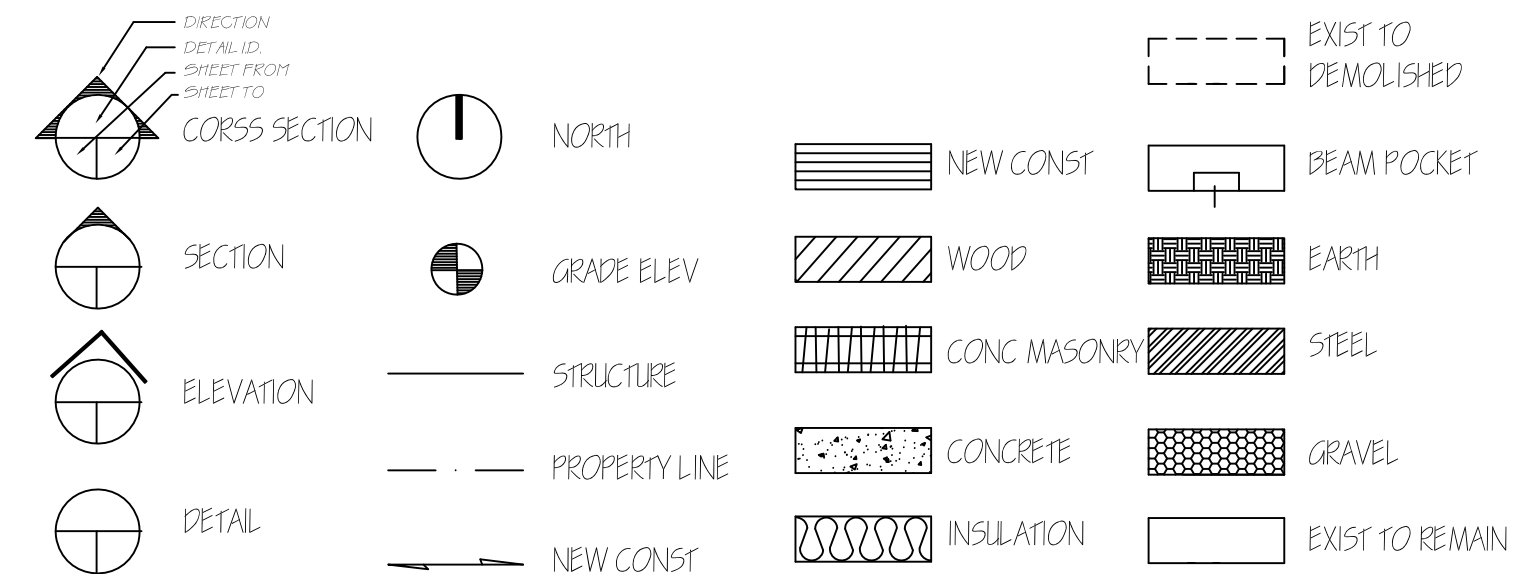
	REQUIRED	EXISTING	PROPOSED	COMMENTS
LOT AREA	10,000 s.f.	9,098 s.f.	9,098 s.f.	EXISTING NON-CONFORMING
FRONT YARD SETBACK	30'	30'	30'	CONFORMING
REAR YARD SETBACK	30'	51.5'	51.5'	CONFORMING
SIDE YARD SETBACK	12' / 30'	12' / 30'	8.3' / 22.1'	EXISTING NON-CONFORMING
BUILDING COVERAGE	25%	19%	22.4%	CONFORMING
DEVELOPMENT COVERAGE	35%	39%	39%	EXISTING NON-CONFORMING - PROPOSED SUNROOM ADDITION TO BE CONSTRUCTED ON EXISTING FLAG-STONE PAVERS - (INCLUDED IN TOTAL COVERAGE)
BUILDING HEIGHT	21' / 2 - 35'	1 - 22'	1 - 22'	CONFORMING

DESIGN LOADS

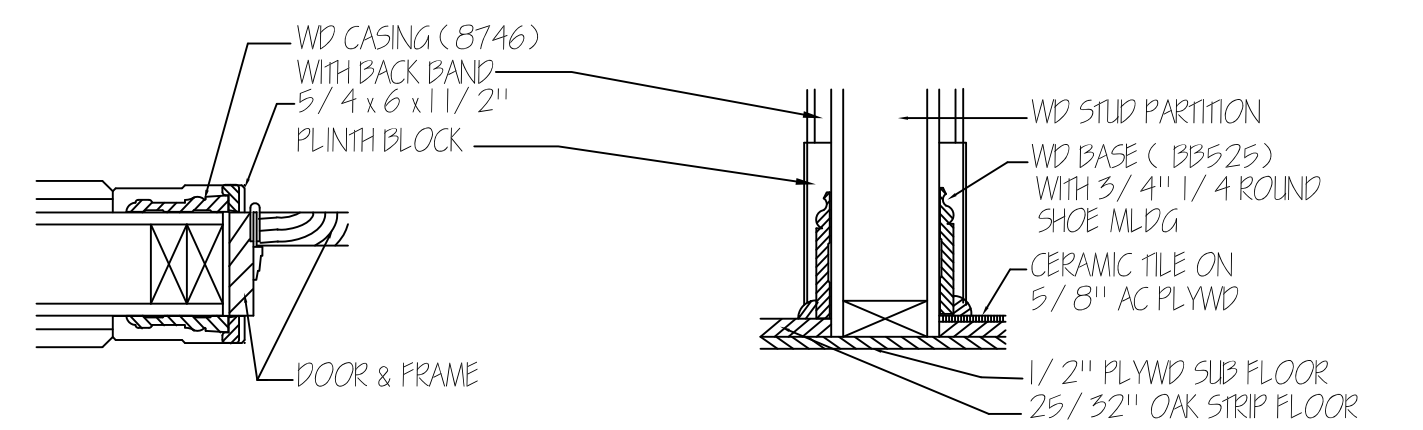
FIRST FLOOR LL. = 40 # / SQ. FT.
ROOF LL. = 20 # / SQ. FT.

"FOUR SEASONS" CLASS R- VALUE = 4.0
"FOUR SEASONS" CLASS U-VALUE = 0.25

SYMBOLS



SECTION @ CASING & BASE (TYP)



DRAWING LIST

T-1	TITLE SHEET, GENERAL NOTES, DETAILS, SITE PLAN
A-1	DEMOLITION NOTES, FOUNDATION PLAN, FLOOR PLAN, ELECTRICAL PLAN
A-2	ELEVATIONS, CROSS SECTION, TYPICAL WALL SECTION

REVISIONS	DATE	DESCRIPTION
-----------	------	-------------

REVIEW	2/11/16, 2/16/16
BUILDING DEPT	
FOR CONSTRUCTION	
ISSUED TO	DATE

SALVATORE MANCINI, AIA

FL ARCHITECTURAL LICENSE # A0 0015589 N.Y. ARCHITECTURAL LICENSE # 015600
CT. ARCHITECTURAL LICENSE # 5682
BRADFORD GREEN, BLDG B, SUITE D
755 MAIN STREET
MONROE, CT 06468

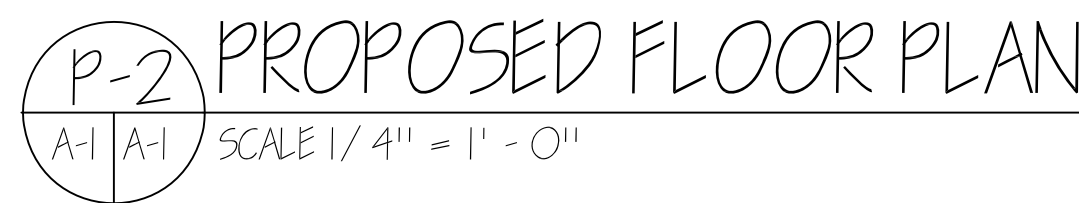
T-1



1. REMOVE EXISTING FLAGSTONE PATIO, STORE PIECES FOR FUTURE USE, AS REQUIRED.
2. REMOVE EXISTING WINDOW FROM CORNER BEDROOM.
3. REMOVE EXTERIOR SIDING FROM WITHIN AREA OF NEW SUNROOM AND BATHROOM ADDITION.
4. REMOVE EXISTING OVERHANG AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. NEW
5. PROTECT ALL AREAS DURING DEMOLITION & CONSTRUCTION, AND KEEP ENTIRE RESIDENCE WATERIGHT AND WEATHERIGHT THROUGHOUT.
6. CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND NEAT CONDITION AT ALL TIMES. CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT RUBBISH AND DEBRIS FROM SPREADING TO WIND AND BECOMING A NUISANCE TO ADJACENT PROPERTIES.
7. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM SITE TO APPROVED REUSE FACILITY.

WINDOW SCHEDULE

1. ALL WINDOWS EQUIPPED WITH SCREENS & GRILLS
2. WINDOWS TO BE ANDERSEN SERIES # 200 TILT WASH DHM
(OR EQUAL)
3. COLOR TO MATCH EXISTING



-  = LIGHT FIXTURE (BY OWNER)
-  = NULCONE EXHAUST/ LIGHT (OR EQUAL)
-  = DUPLEX OUTLET
-  = GROUND FAULT/ WATERPROOF DUPLEX OUTLET
-  = SINGLE POLE SWITCH
-  = 3 WAY SWITCH
-  = SMOKE DETECTOR, HARD WIRED, w/ BATTERY BACKUP
-  = THERMOSTAT

1. FINAL TYPE AND LOCATION, AND ADDITIONAL ELECTRICAL COMPONENTS TO BE APPROVED BY OWNER (AS PER CODE).

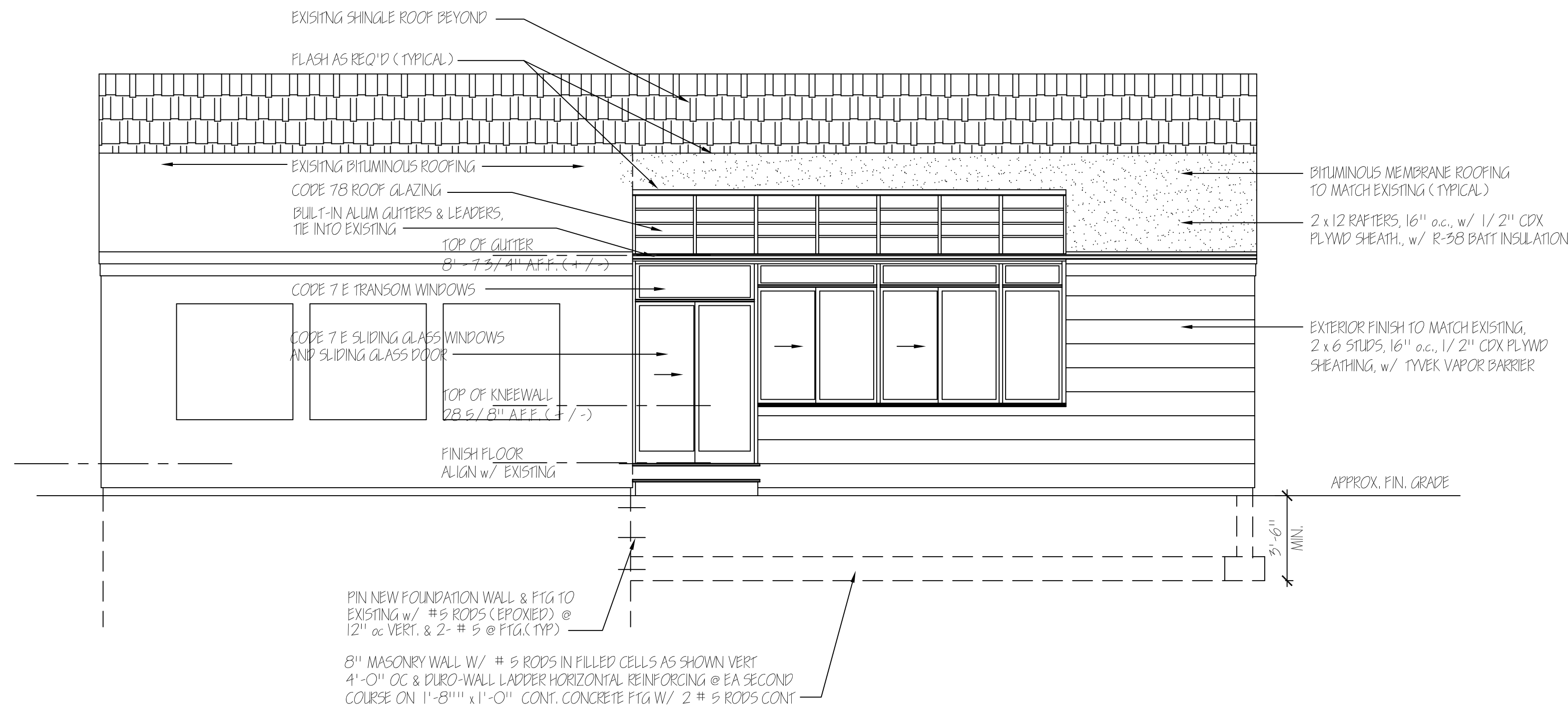


PROJECT TITLE
PROPOSED "FOUR SEASONS" SYSTEM 250 STRAIGHT EAVE SUNROOM
MR. & MRS. MANCHILL LAY
132 EDGARS LANE
HASTINGS-ON-HUDSON, NEW YORK 10706

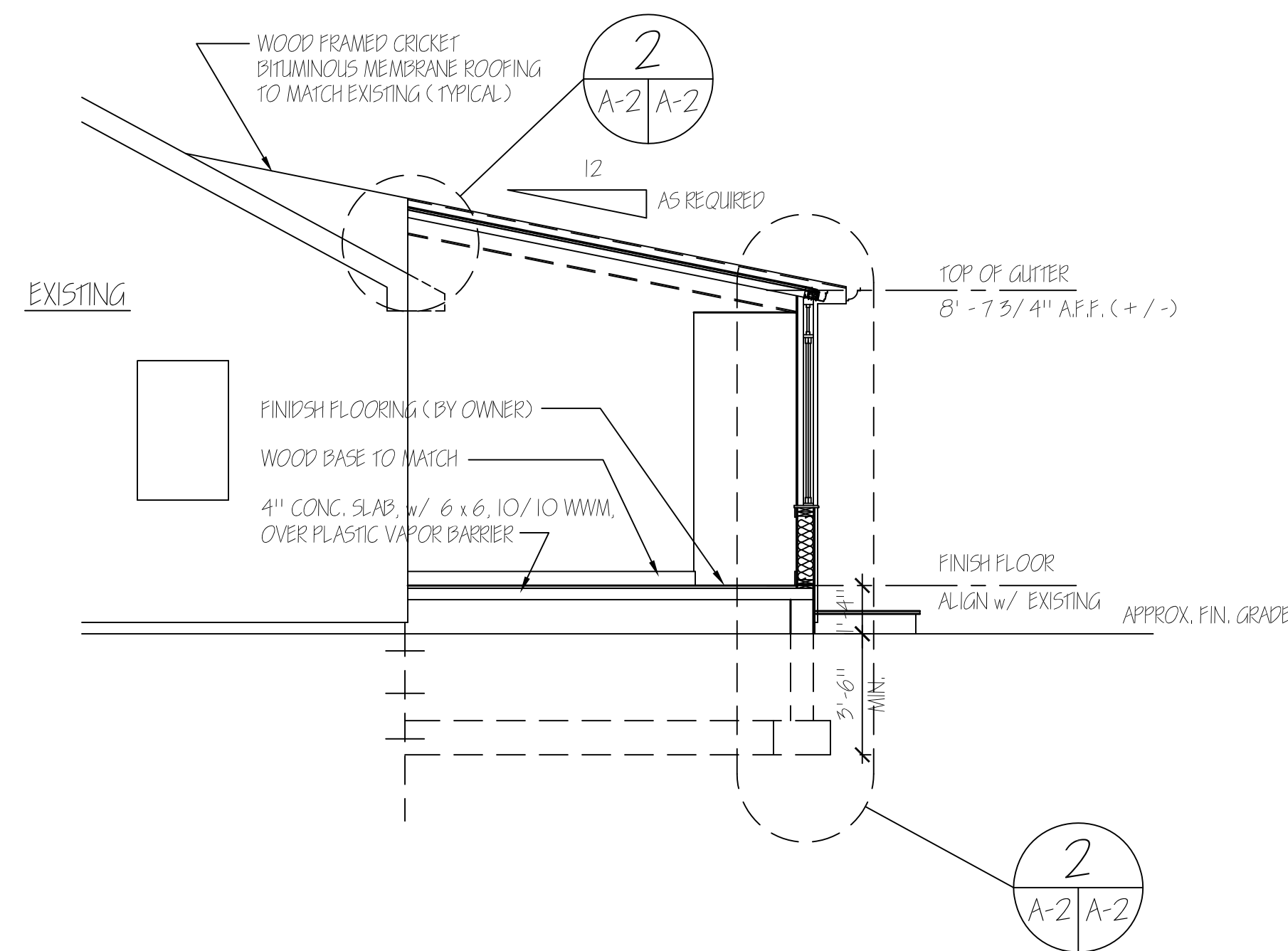
	BUILDING DEPARTMENT
2/16/16	FINAL CONTRACTOR / OWNER REVIEW
2/11/16	CONTRACTOR / OWNER REVIEW
DATE	ISSUED TO

FILE NUMBER 45-LAY-16	SCALE AS NOTED	DRAWN BY CW / SM	CHECKED BY SM
DRAWING NUMBER A-1			

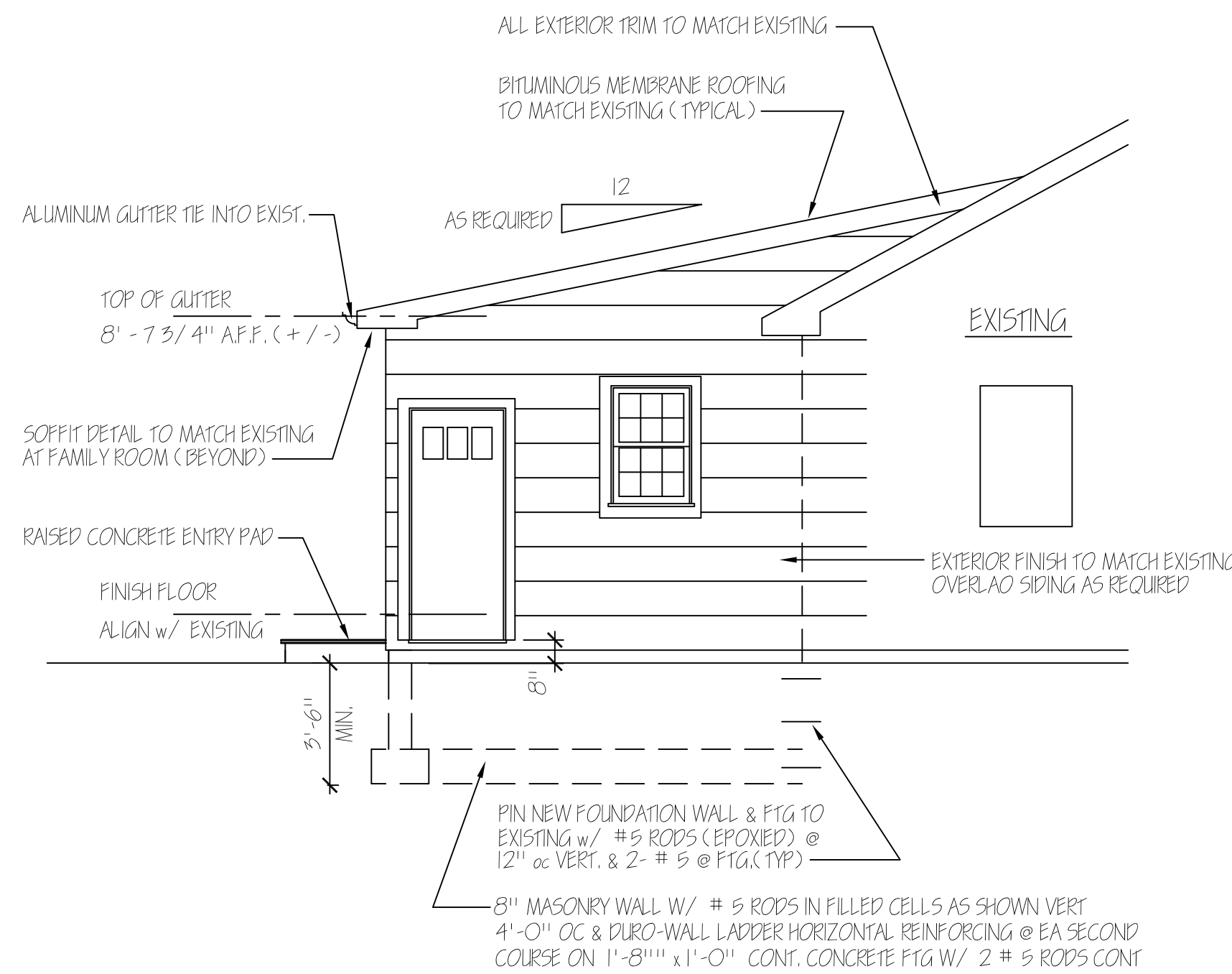
NOTE: ALL HEADERS TO BE 2 - 2 x 10'S UNLESS OTHERWISE NOTED



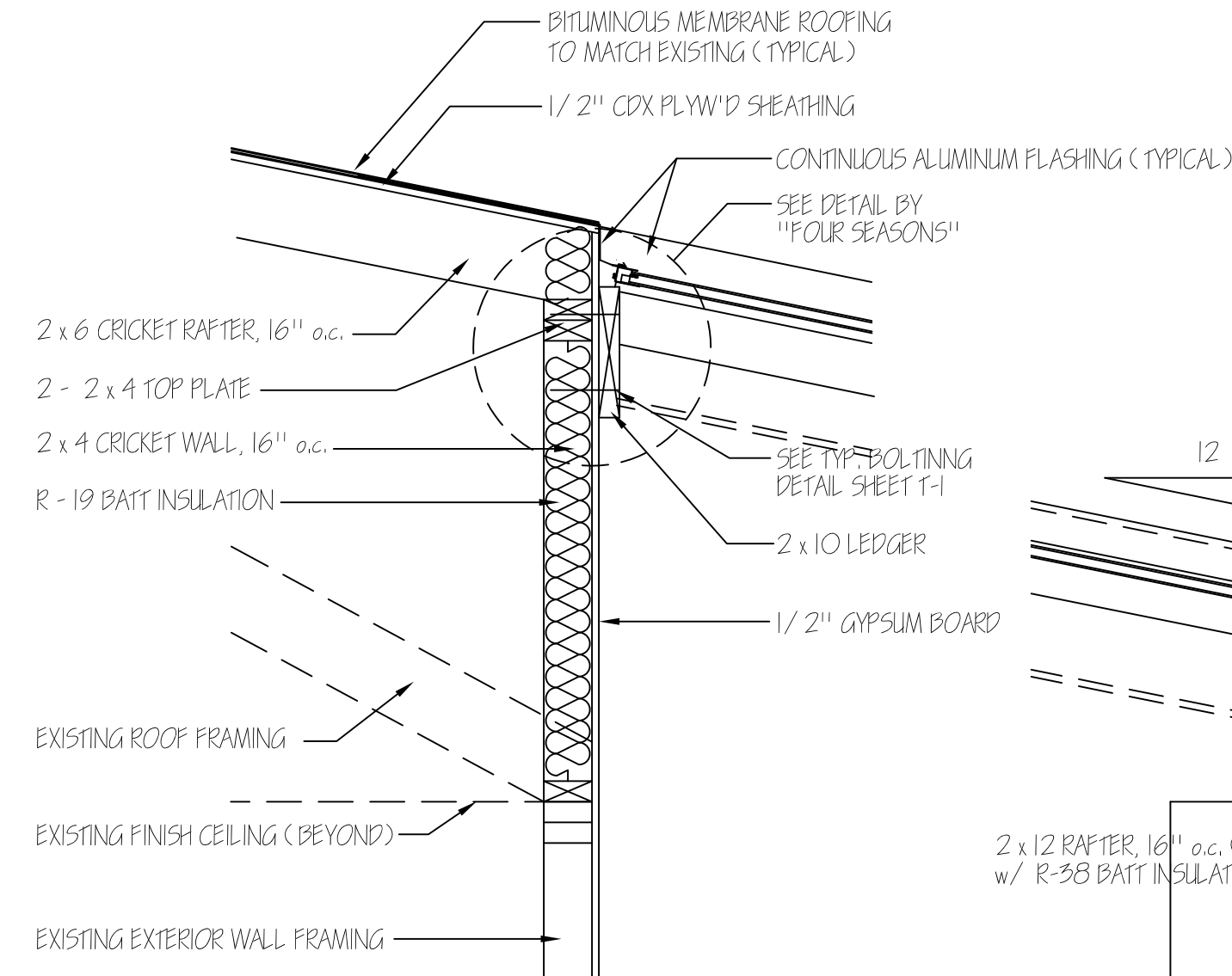
E-1
A-2 A-2
PROPOSED NORTH ELEVATION
SCALE 1/4" = 1' - 0"



A-A
A-1 A-2
CROSS SECTION A-A
SCALE 1/4" = 1' - 0"

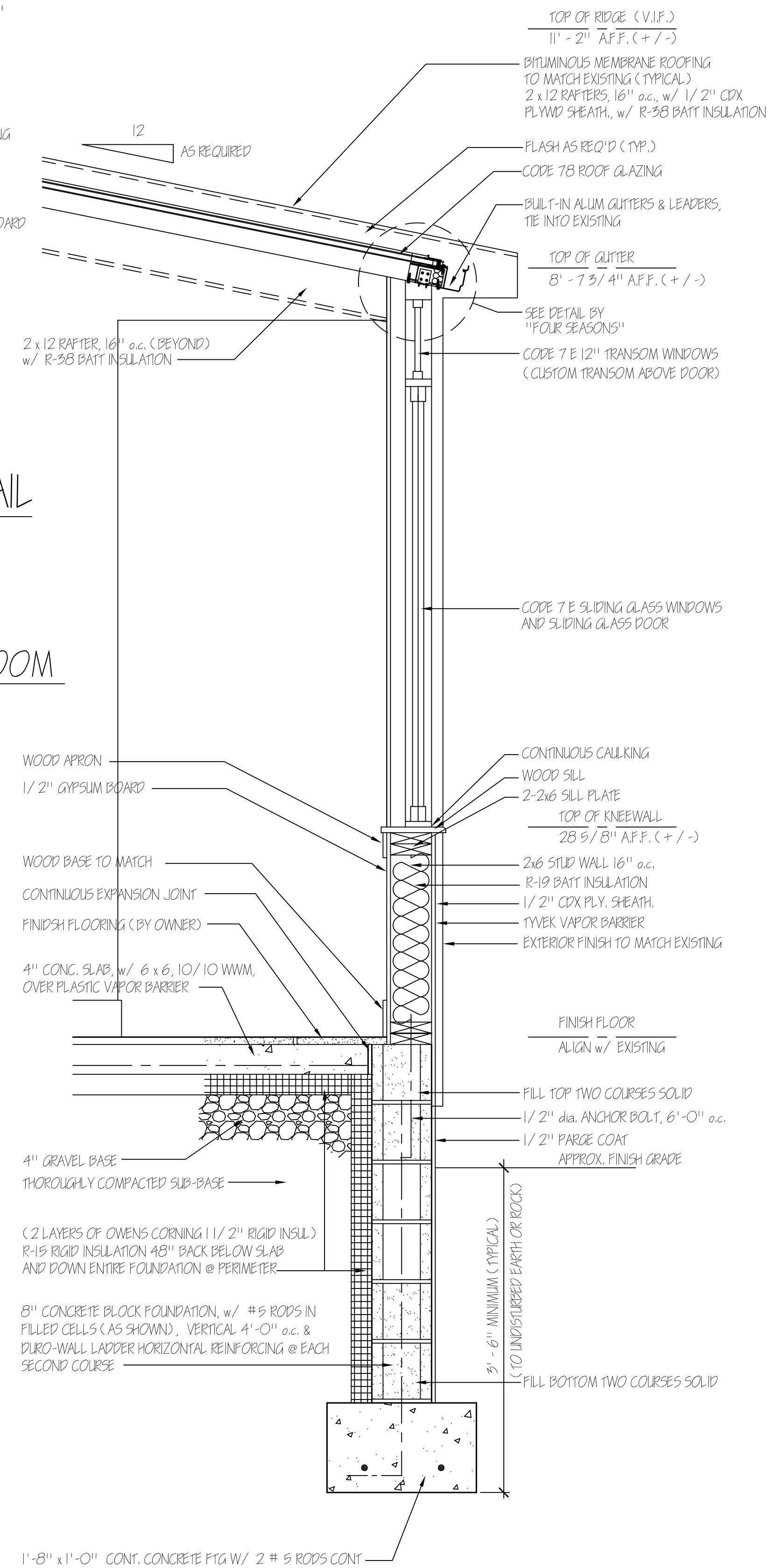


E-2
A-2 A-2
PROPOSED EAST ELEVATION
SCALE 1/4" = 1' - 0"



2a
A-2 A-2
RIDGE DETAIL
SCALE 1" = 1' - 0"

SUNROOM



2
A-2 A-2
TYPICAL WALL SECTION
SCALE 1" = 1' - 0"

NOTE: ALL HEADERS TO BE 2 - 2 x 10's UNLESS OTHERWISE NOTED

SALVATORE MANCINI, AIA

FL ARCHITECTURAL LICENSE # AQ 0005569

CT ARCHITECTURAL LICENSE # 5682

BRAEFORD GREEN, BUILDING, SUITE D

755 MAIN STREET

MONROE, CT 06468

PROJECT TITLE
PROPOSED "FOUR SEASONS" SYSTEM 250 STRAIGHT EAVE SUNROOM

MR. & MRS. MANCHILU LAY

132 EDGARS LANE

HASTINGS-ON-HUDSON, NEW YORK 10706

DATE	ISSUED TO
2/16/16	BUILDING DEPARTMENT
2/17/16	FINAL CONTRACTOR/ OWNER REVIEW
2/17/16	CONTRACTOR/ OWNER REVIEW

FILE NUMBER 45-LAY-16	SCALE AS NOTED	DRAWN BY GM/SM	CHECKED BY SM	DRAWING NUMBER A-2
--------------------------	-------------------	-------------------	------------------	------------------------------