

June 23, 2016  
Members of the Hastings Zoning Board of Appeals  
Village of Hastings-on-Hudson  
7 Maple Avenue  
Hastings-on-Hudson, NY 10706  
Re: Relocate Front Porch at the Mulaire Residence  
9 Jefferson Avenue

Dear Chairperson and Members of the Zoning Board of Appeals:  
As the Architect representing Edmond & Nadia Mulaire, I am submitting the following drawings, dated June 23, 2015, which describes the relocation of the front porch at the Mulaire Residence.

- S-1 Site Plan, Table of Zoning Data, Drainage Calculations
- A-1 Basement Plan
- A-2 First Floor Plan
- A-3 Second Floor Plan
- A-3 North & West Elevations
- A-4 South & East Elevations
- Survey

We are requesting a variance from the following section of the Hastings Zoning Code:

**1. Variance from Section 295-68.F (1a) – Front Yard Setback**

We are requesting a variance for a non-conforming front yard setback. The existing porch currently has a setback of 24'-6" which is less than the 30 ft required. We would like to relocate the porch. The new setback will be 26'-10", which will reduce the non-conforming setback by 2'-4". The new porch provides entry into the new enlarged foyer for the house

I look forward to presenting the drawings at the July 28, 2015 Zoning Board of Appeals meeting.

Sincerely,



**Christina Griffin** AIA LEED AP BD+C CPHC

cc: Edmond & Nadia Mulaire

Pd \$200.  
6/30

# VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for  
Variance/Interpretation/View Preservation



Case number: ..... Date of application: 6/30/16

Property owner: Edmond + Nadia Mulaire  
Property address: 9 Jefferson  
Name all streets on which the property is located: .....  
Sheet: 4.80 Block: 74 Lot/Parcel: 1 Zoning District: R-10

Applicant: Christina Griffin  
Standing of applicant if not owner: Architect  
Address: 10 Spring Street  
Daytime phone number: 478-0799 Fax number: n/a  
E-mail address: jm@cgaudio.com

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s. ☒ Area Variance/s  
☐ Interpretation. ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295-68.5F</u> <u>(1a)</u>	<u>Front Yard</u> <u>Setback</u> <u>shall be 30'</u>	<u>Existing</u> <u>Front Yard</u> <u>setback is</u> <u>24'-8"</u>	<u>Relocate the exist</u> <u>entry Porch,</u> <u>(which currently</u> <u>has a setback of 24'-6")</u> <u>to accomodate the new</u> <u>layout. New Porch will</u> <u>have a setback of 26'-10"</u>

\*See example below:

<u>295-68F.1a.</u>	<u>Front Yard Min. 30 ft. deep.</u>	<u>26.5 ft.</u>	<u>19.5 ft.</u>
<u>295-68A</u>	<u>Permitted Principal Use.</u>	<u>Single Family Home.</u>	<u>Conversion to Dental Office.</u>

# VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



## ZONING REQUIREMENTS:

### YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30 FT	24'-8" *	24'-8" *
REAR	30 FT	51'-10"	51'-10"
SIDE ONE	12 FT	+/- 87'-8"	+/- 87'-8"
SIDE TWO		+/- 106'-0"	+/- 106'-0"
TOTAL OF TWO SIDES	30 FT	+/- 193'-8"	+/- 193'-8"

### YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	n/a	n/a	n/a
REAR	n/a	n/a	n/a
SIDE	n/a	n/a	n/a

### BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2 1/2	2 1/2
FEET	35 FT	+/- 32'-2"	+/- 32'-2"

### LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 SF	52,789 SF	52,789 SF
BLDG. COVERAGE / % OF LOT AREA	25%	3.14%	3.16%
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	5.5%	5.5%

\*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

### OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single family	Single family	Single family

\*\* Single Family, Two Family, Commercial, Mixed Use etc.

**VILLAGE OF HASTINGS-ON-HUDSON**  
**Zoning Board of Appeals**  
Application and Procedure for Application for  
Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action

- List pending violations on this property if any:

none

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

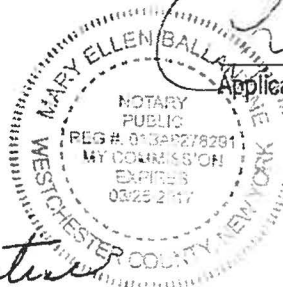
Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 30<sup>th</sup> day  
of June, 2016

Mary Ellen Ballantine  
Notary Public



Christina [Signature]  
Applicant

VILLAGE OF HASTINGS-ON-HUDSON  
Zoning Board of Appeals  
Application and Procedure for Application for  
Variance/Interpretation/View Preservation



STATE OF NEW YORK  
COUNTY OF WESTCHESTER  
VILLAGE OF HASTINGS ON HUDSON

Name: Edmond Mulaire, being duly sworn, deposes and says that  
he/she resides at 9 Jefferson Ave in the Village of Hastings-on-  
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,  
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and  
designated as Sheet 4.80 Block 74 and Lot 1 of the tax map, and that  
he/she hereby authorized Christina Griffin to make the annexed  
application in his/her behalf and that the statement of fact contained in said application are true.

Edmond Mulaire

Owner

SWORN TO BEFORE ME THIS 2nd DAY  
OF March 20016

Ann G Scholl  
Notary Public

ANN G SCHOLL  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01SC605551  
Qualified in Westchester County  
My Commission Expires December 30, 2016

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in  
accordance with the foregoing and as required by law.



DRIVE  
COCHRANE

COCHRANE DRIVEWAY  
AS PER FILED MAP No. 2139  
(UNIMPROVED ROAD)

TOPOGRAPHIC SURVEY  
OF PROPERTY  
SITUATE IN THE  
VILLAGE OF HASTINGS ON HUDSON  
TOWN OF GREENBURGH  
WESTCHESTER COUNTY  
NEW YORK

SCALE: 1"= 200'  
SURVEYED: NOVEMBER 14, 2014  
ADDITIONAL TOPOGRAPHIC INFORMATION: DECEMBER 11, 2014

• THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOTS Nos. 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 181, 182, 183, 184, 184-A, 185 & 186 ON A CERTAIN MAP ENTITLED, "FINAL MAP HUDSON HEIGHTS, HASTINGS ON HUDSON, WESTCHESTER COUNTY, N.Y." FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS, FORMERLY THE WESTCHESTER COUNTY REGISTER'S OFFICE, ON SEPTEMBER 28, 1915, AS FILED MAP No. 2139

• PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF GREENBURGH - VILLAGE OF HASTINGS SECTION; 004.080 BLOCK; 104 LOTS; 1, 2 & 7

• TAX LOT 1: 9 JEFFERSON AVENUE  
PROPERTY AREA: 27,238 Sq.Ft. - 0.6252 ACRE

• TAX LOT 2: JEFFERSON AVENUE  
PROPERTY AREA: 5,695 Sq.Ft. - 0.1307 ACRE

• TAX LOT 7: COCHRANE AVENUE  
PROPERTY AREA: 19,855 Sq.Ft. - 0.4558 ACRE

• TOTAL: 52,788 Sq. Ft. - 1.2118 ACRES

• ELEVATIONS ARE BASED ON AN ARBITRARY DATUM, FINISHED FLOOR IS 100.0

• SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.

• THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.

• ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON

• UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.

• ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.

• THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: GEROLD LIBBY

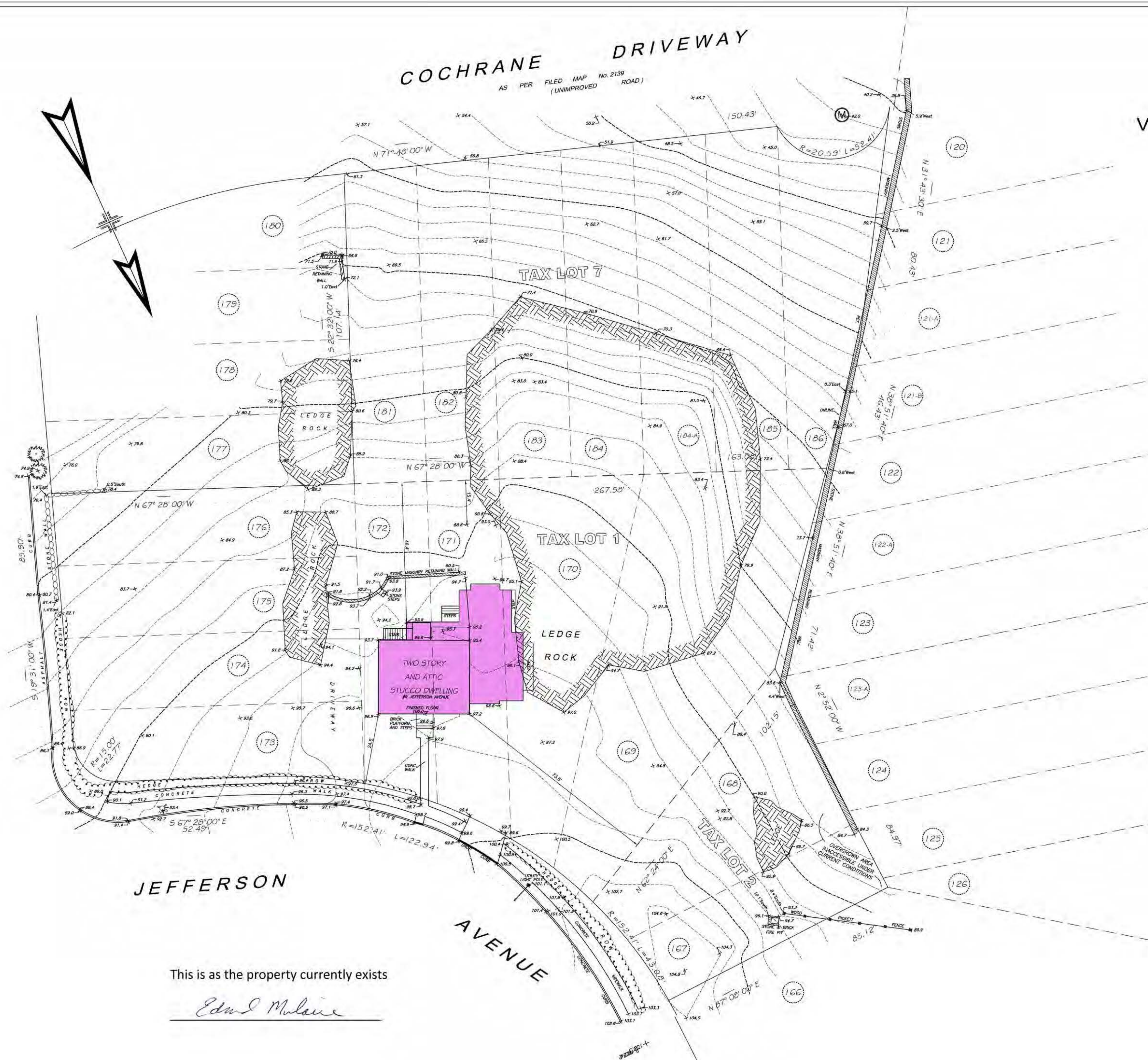
**Link**  
**Land Surveyors P.C.**  
21 Clark Place, Suite 1-B Phone 845-828-5857  
Mahopac N.Y. 10541 Fax 845-621-0013

**ERIK J. LINK**  
NEW YORK STATE LICENSED  
LAND SURVEYOR NO. 050542

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This is as the property currently exists

*Edmund Mulane*





NEW ENTRY PORCH AT THE

MULAIRE RESIDENCE

9 JEFFERSON AVENUE, HASTINGS-ON-HUDSON, N Y 10706

CHRISTINA GRIFFIN ARCHITECT

10 Spring Street, Hastings-on-Hudson, NY 10706



ZONING BOARD SUBMISSION 6-23-16

GENERAL NOTES

1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.

2. All construction shall comply fully with the Residential Code of NYS, existing building code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.

3. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires

4. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.

5. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.

6. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.

7. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.

8. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
9. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.

10. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.

11. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.

12. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.

13. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.

14. All dimensions and conditions shown and assumed on the drawings must be verified at site by contractor before ordering any material or doing any work.
15. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.

16. The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.

17. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.

18. The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.

19. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.

20. The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.
21. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.

22. Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.

23. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.

24. New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.

25. All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.

26. Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for

approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.

27. All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.

28. Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following:

- a) Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.

b) Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.

c) Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.

d) Final cleaning of all chrome and aluminum metal work.

- e) Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.

29. Finish materials and paint colors shall be reviewed and approved by the homeowner.

30. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.

Energy Notes R-Values & U-Factors

NYS Energy Code  
Climate Zone 4

	Required	Proposed
Ceiling	R-38	R-38
Wall	R-13	R-18
Glazing	0.35	0.32
Floor	R-19	R-30

Design Criteria:  
5750 Degree Days  
15% Maximum Glazing

Certification

I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2010 Residential Code of New York State, and the 2010 New York State Energy Conservation Construction code.

*Christina Griffin*

INSULATION & FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR b	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4	0.35	0.60	38	13
MASS WALL R-VALUE ( g )	FLOOR R-VALUE	BASEMENT ( c ) WALL R-VALUE	SLAB R-VALUE & DEPTH ( d )	CRAWL SPACE ( c ) WALL R-VALUE
5/10 ( g )	19	10/13 ( c )	10, 2FT ( d )	10/13 ( c )

- a. R-VALUE ARE MINIMUMS. U-FACTORS. R-19 INSULATION SHALL BE PERMITTED TO BE COMPRESSED INTO 2X6 CAVITY.
- b. THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.
- c. THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND TO FRAMING CAVITY INSULATION: EITHER INSULATION MEETS THE REQUIREMENTS.
- d. R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
- g. THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE EXTERIOR OF THE MASS WALL.

DESIGN REQUIREMENTS for the 2010  
RESIDENTIAL CODE OF NEW YORK STATE  
CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

		SUBJECT TO DAMAGE FROM			
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE
30 psf	100-110	C	severe	42" min	medium to heavy

DATES

PRELIMINARY BID DESIGN DRAWINGS	1-28-16
CONSTRUCTION BID DOCUMENTS	3-04-16
BUILDING PERMIT SUBMISSION	3-31-16
BUILDING PERMIT RE-SUBMISSION	4-18-16
ZONING BOARD SUBMISSION	6-23-16

HASTINGS GREEN  
BUILDING CODE (HGBC)  
COMPLIANCE NOTES

- COMPLIANCE WITH HGBC PART 1:
1. GREEN SPACE AT REAR YARD TO BE REPLANTED. INVASIVE TO BE REMOVED TO COMPLY WITH HGBC 160-8 E

2. EXTERIOR LIGHTING TO COMPLY WITH HGBC 160-9 A(1)

3. HIGH EFFICIENCY HEATING EQUIPMENT TO COMPLY WITH 160-9 A(2)

4. HIGH EFFICIENCY COOLING EQUIPMENT TO COMPLY WITH HGBC 160-9 A(3)

5. FIXTURES & APPLIANCES TO COMPLY WITH HGBC 160-9 A (4)

6. ELECTRONIC THERMOSTATS TO COMPLY WITH HGBC 160-9 B

7. TOILET, SHOWERS & FAUCETS TO COMPLY WITH HGBC 160-10A, B & C

8. PAINTS, STAINS AND OTHER FINISHING MATERIALS TO COMPLY WITH HGBC 160-11 1, 2, 3, 4 & 5

9. STEEP SLOPE ROOF TO HAVE MIN. 0.29 SRL TO COMPLY WITH HGBC 160-11 B

10. CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH HGBC 160-11 C

- COMPLIANCE WITH HGBC PART 3:
- 5 ADDITIONAL POINTS PROVIDED BY THE FOLLOWING ITEMS:
1. CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH HGBC 160-12B

2. HIGH EFFICIENCY COOLING SYSTEM TO COMPLY WITH HGBC 160-12 J

3. HIGH EFFICIENCY HEATING SYSTEM TO COMPLY WITH HGBC 160-12 K

4. LED LIGHTING TO COMPLY WITH HGBC 160-12 Q

5. RESTORING PREVIOUSLY DEVELOPED AREAS W/ NATIVE PLANTS TO COMPLY WITH HGBC 160-12 V

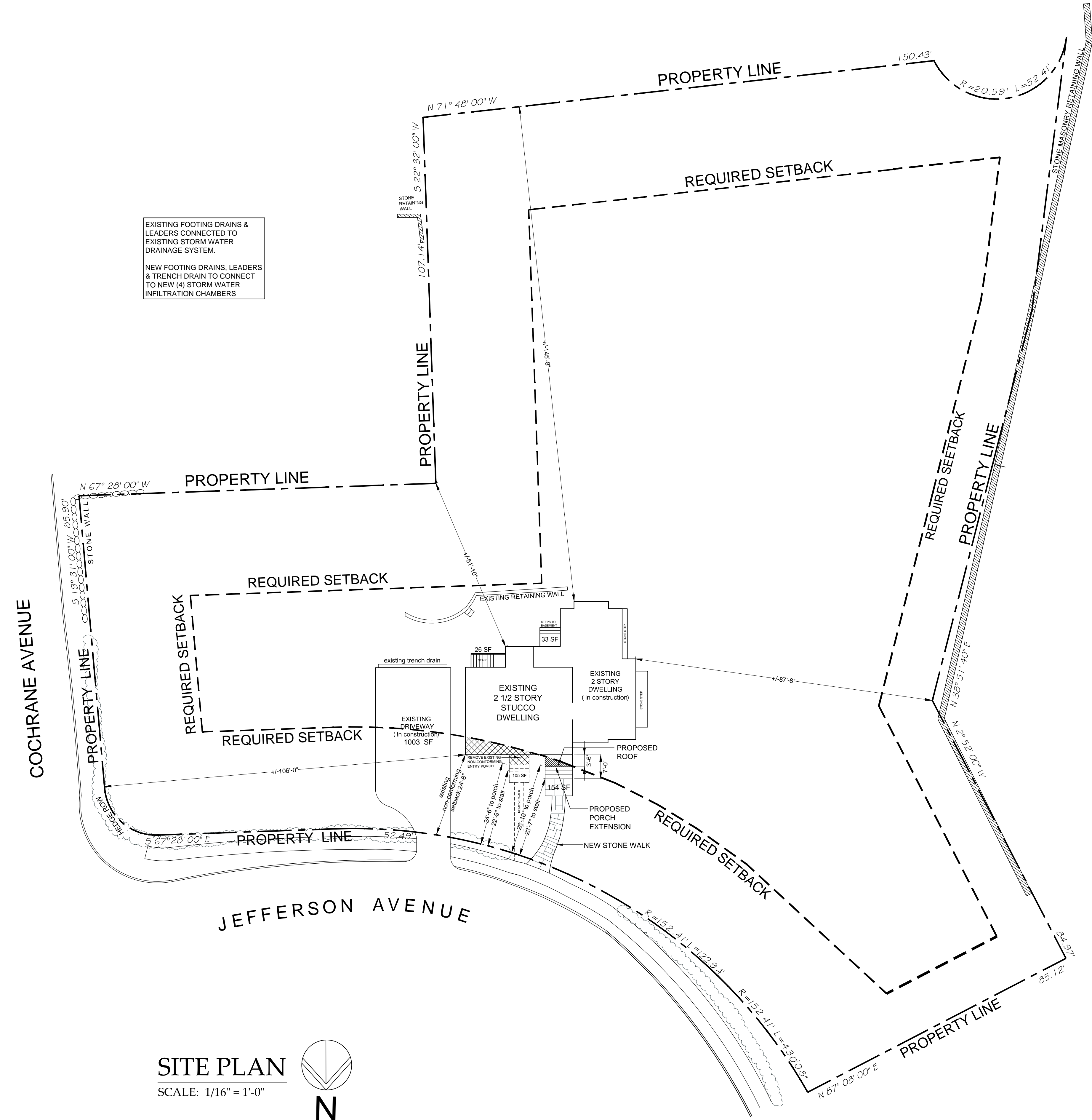
LIST of DRAWINGS

TITLE SHEET	GENERAL NOTES, ZONING DATA, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS
S-1	SITE PLAN
A-1	BASEMENT PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	NORTH & WEST ELEVATIONS
A-5	SOUTH & EAST ELEVATIONS



TABLE OF ZONING DATA		ZONING DISTRICT: R-10	
	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 SF	52,789 SF	52,789 SF
MINIMUM LOT WIDTH	100 FT	256 FT	256 FT
BUILDING COVERAGE	25% (13,197 SF)	3.14% (1,661 SF)	3.16% (1,673 SF)
DEVELOPMENT COVERAGE	35% (18,476 SF)	5.5% (2,906 SF)	5.5% (2955 SF)
FRONT YARD SETBACK	30 FT	24'-8" *	24'-8" *
REAR YARD SETBACK	30 FT	51'-10"	51'-10"
SIDE ONE	12 FT	87'-8"	87'-8"
SIDES TOTAL	30 FT	193'-8"	193'-8"
MAXIMUM BUILDING HEIGHT	2-1/2 STORY / 35 FT	32'-2" FT	32'-2" FT
OWNER: EDMOND & NADIA SA'D MULAIRE ZONING DISTRICT: R-10 PRESENTLY CONFORMING: NO			
SECTION: 004.080 BLOCK: 104 LOT: 1, 2, & 7			
SURVEYED BY: LINK LAND SURVEYORS SURVEY DATE: NOVEMBER 14, 2014 MUNICIPALITY: VILLAGE HASTINGS			
* EXISTING NON-CONFORMING			

DRAINAGE CALCULATIONS	
IMPERVIOUS SURFACES WITH RUNOFF INTO NEW DRAINAGE SYSTEM:	
TOTAL NEW IMPERVIOUS SURFACE	49 SF *
STORMWATER RUN-OFF CRITERIA	
100 YEAR STORM = 7.5" / 24 HRS = 0.65 FT / 24 HRS	
STORMWATER RUN-OFF VOLUME	
49 SF X 0.65 FT / 24 HRS = 32 CF / 24 HRS	
HEIGHT OF STONE: 1.0 FT + 2.5 FT [HEIGHT OF CHAMBER] + 0.5FT	
EXCAVATED AREA: 6.25 X 9.0 FT	
STONE GROSS VOLUME: 4.0 FT X 56.25 FT	
CHAMBER VOLUME:	
STONE NET VOLUME: 225.0 CF - 45.9 CF	
STORAGE CAPACITY OF VOIDS: 0.33 X 179.1 CF	
CHAMBER + VOIDS VOLUME: 45.9 CF + 59.1 CF	
EXCAVATED DIMENSION: 6.25 FT X 9FT	
ASSUMED PERCOLATION RATE: 1.5" / HR. X 24 HRS = 36" in 24 HRS	
CALCULATED PERCOLATION VOLUME: 56.25 SF X 3.00 FT / 24 HRS	
NET VOLUME CAPACITY PER INFILTRATOR:	
CHAMBER + VOIDS VOLUME	
PERCOLATION VOLUME	
TOTAL NET VOLUME	
NUMBER of INFILTRATORS REQUIRED:	
DESIGN: 0 *	
*TOTAL NEW IMPERVIOUS SQUARE FOOTAGE TOO MINIMAL TO REQUIRE INFILTRATION UNIT	
(ORIGINAL FOOTING DRAINS & LEADERS CONNECTED TO EXISTING STORM WATER DRAINAGE SYSTEM. FOOTING DRAINS, LEADERS & TRENCH DRAIN IN CONSTRUCTION TO CONNECT TO (4) NEW STORM WATER INFILTRATION CHAMBERS.)	



SITE PLAN  
SCALE: 1/16" = 1'-0"

N

NEW ENTRY PORCH AT THE  
MULAIRE RESIDENCE  
9 JEFFERSON AVENUE, HASTINGS-ON-HUDSON, NY 10706

Drawing Title SITE PLAN	EXISTING CONDITIONS	11-23-15
	DESIGN PLANS	12-4-15
	CONSTRUCTION BID DOCUMENTS	3-4-16
	BUILDING PERMIT SUBMISSION	3-31-16
	ZONING SUBMISSION	6-23-16
Scale:	AS SHOWN	
CHRISTINA GRIFFIN ARCHITECT PC 10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 tel 914.478.0806 fax www.christinagriffinarchitect.com		

S-1

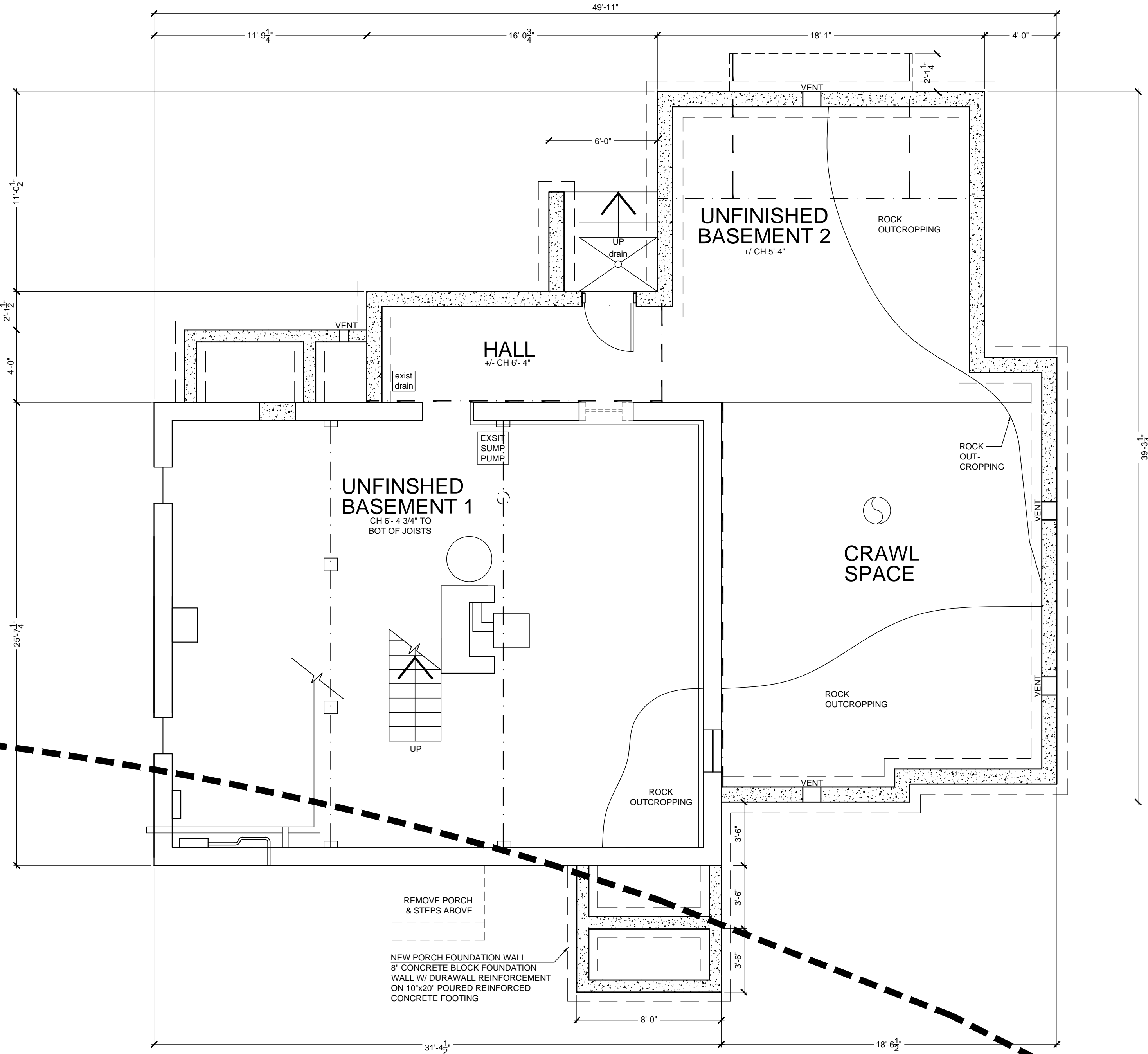


REQUIRED SETBACK

REQUIRED SETBACK

BASEMENT PLAN

SCALE: 1/4" = 1'-0"



PROPERTY LINE

REQUIRED SETBACK

NEW ENTRY PORCH AT THE  
MULAIRE RESIDENCE  
9 JEFFERSON AVENUE, HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC  
10 Spring Street  
Hastings-on-Hudson, New York, 10706  
914.478.0799 tel 914.478.0806 fax  
www.christnagriffinarchitect.com

Date  
EXISTING CONDITIONS 11-22-15  
DESIGN PLANS 12-21-15  
CONSTRUCTION BID DOCUMENTS 2-28-16  
BUILDING PERMIT SUBMISSION 3-31-16  
BUILDING PERMIT SUBMISSION 3-31-16  
ZONING BOARD SUBMISSION 12-21-16

Drawing Title  
BASEMENT PLAN  
STAIR DETAIL  
RISER DIAGRAM  
Scale:  
AS SHOWN

A-1



**REQUIRED SETBACK**

**REQUIRED SETBACK**

**DRIVEWAY**

**PROPERTY LINE**

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**EXISTING RETAINING WALL**

**KITCHEN**  
CH 9'-7"

**DINING AREA**  
CH 9'-7"

**LIVING AREA**  
CH 9'-7"

**DECK**

**HALL**  
CH 8'-7"

**PANTRY**

**CLOSET**

**MUD ROOM**  
CH 8'-7"

**FAMILY ROOM**  
CH 8'-7"

**FOYER**  
CH 8'-7"

**DEN**  
CH 8'-7"

**BATH**  
CH 8'-7"

**CLOSET**

**NEW ENTRY PORCH**

**REMOVE EXISTING ENTRY PORCH & STEPS**

**REMOVE WALK**

**NEW WDW**

**NEW DOOR**

**NEW STEPS**

**PORCH & STEPS**

**NEW BLUESTONE WALK**

**UP**

**DN**

**3'-9"**

**44'-10 1/2"**

**18'-1"**

**17'-0"**

**16'-10"**

**18'-6 1/2"**

**49'-11"**

**23'-4 1/2"**

**8'-0"**

**5'-0"**

**49'-11"**

**CHRISTINA GRIFFIN ARCHITECT PC**  
10 Spring Street  
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914.478.0799 tel. 914.478.0806 fax  
[www.christinagriffinarchitect.com](http://www.christinagriffinarchitect.com)

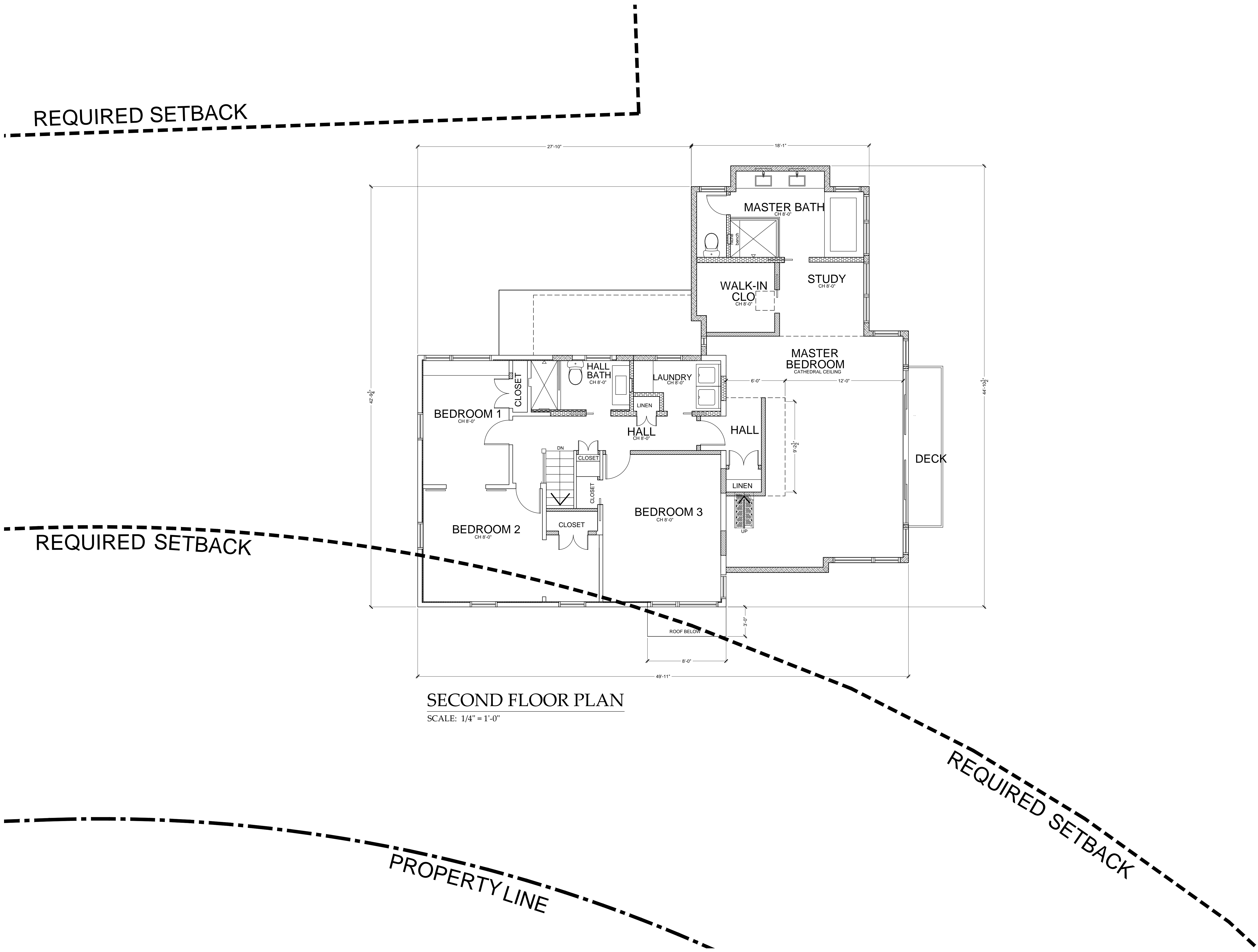
Drawing Title  
**FIRST FLOOR PLAN**

Scale:

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"





SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NEW ENTRY PORCH AT THE  
**MULAIRE RESIDENCE**  
9 JEFFERSON AVENUE, HASTINGS-ON-HUDSON, NY 10706

Christina Griffin Architect

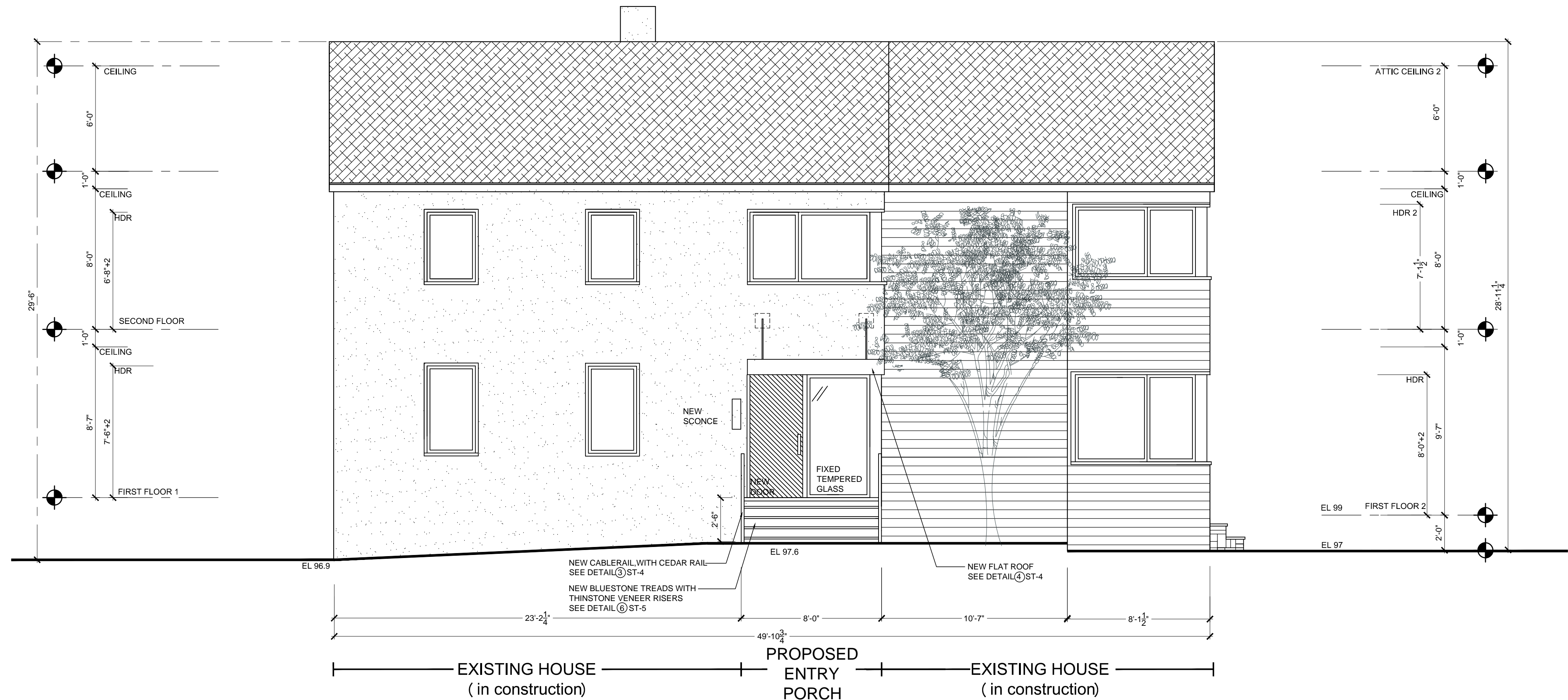
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EXISTING CONDITIONS 11-23-15  
DESIGN PLANS 12-4-15  
CONSTRUCTION BID DOCUMENTS 2-28-16  
BUILDING PERMIT SUBMISSION 3-31-16  
ZONING BOARD SUBMISSION 4-21-16

SECOND FLOOR PLAN  
ATTIC PLAN

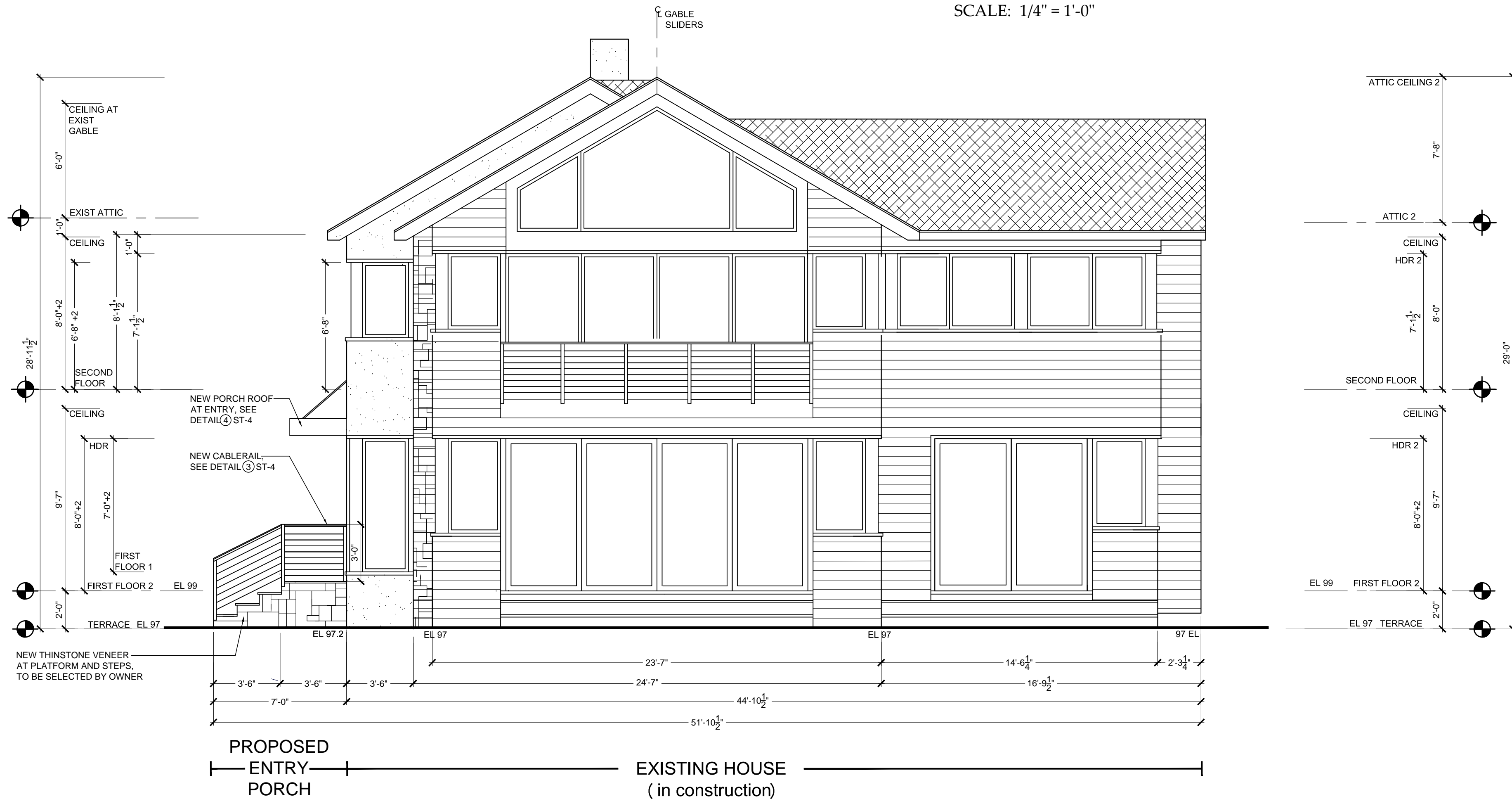
Scale:  
AS SHOWN





## NORTH ELEVATION

SCALE: 1/4" = 1'-0"



## WEST ELEVATION

SCALE: 1/4" = 1'-0"

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Drawn: EXISTING CONDITIONS: 11-23-15  
DESIGN PLANS: 12-4-15  
CONSTRUCTION BID DOCUMENTS 3-4-16  
REVISED BID DOCUMENTS 3-16-16  
CONTRACT DOCUMENT 4-14-16  
ZONING SUBMISSION 4-23-16

Drawing Title: ELEVATIONS

Scale: AS SHOWN

A-4



