

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number:..... Date of application: 8/3/16

Property owner: Karin Budack
 Property address:.....
 Name all streets on which the property is located: Curry Road, Hastings-on-Hudson NY 10706
 Sheet:..... Block:..... Lot/Parcel:..... Zoning District: 7.5

Applicant:.....
 Standing of applicant if not owner:.....
 Address:.....
 Daytime phone number:..... Fax number: 914-693-0614
 E-mail address: KMW3867@GOI.COM

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☐ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-69-(F)(c)	TWO SIDE YARDS TOTALING 20 FT E-F-T LARK	10.64 (1) 8.51 SIDE YARD (1) 2.03 SIDE YARD 7.89	UNCHANGED UNCHANGED
295-69-E	LOT SIZE 7500 SF FRONTAGE 75 FT	5000 SF 50 FT	NO CHANGE NO CHANGE

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.....Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	75	50	50
REAR	25	36.9	36.9
SIDE ONE	8	8 10.64	8 10.64
SIDE TWO	20	20 7.89	20 7.89
TOTAL OF TWO SIDES	20	15.54 18.53	15.54 18.53

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2	2
FEET	35	22 (RIDGE)	22 (RIDGE)

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	7500	5000	5000
BLDG. COVERAGE/ % OF LOT AREA	30%	20%	22%
DEVELOPMENT COVERAGE / % OF LOT AREA	40%	34%	36%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	SINGLE FAMILY	SINGLE FAMILY	SAME

** Single Family, Two Family, Commercial, Mixed Use etc.

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- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

.....

.....

- Is there an approved site plan for this property?: ☐...(Yes) ☐...(No)
- Is there an Accessory Apartment at this property?: ☐...(Yes) ☐...(No)
- Does this property have Boarder's Permit?: ☐...(Yes) ☐...(No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:


Applicant

Sworn to before me this 3rd day
of August, 2016


Notary Public



VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : Karin Budosh, being duly sworn, deposes and says that
he/she resides at 8 Cherry Lane in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet _____ Block 160 and Lot 3 of the tax map, and that
he/she hereby authorized _____ to make the annexed
application in his/her behalf and that the statement of fact contained in said application are true.

Karin M. Budosh
Owner

SWORN TO BEFORE ME THIS 3rd DAY
OF August 2016

Jonathan Flores
Notary Public

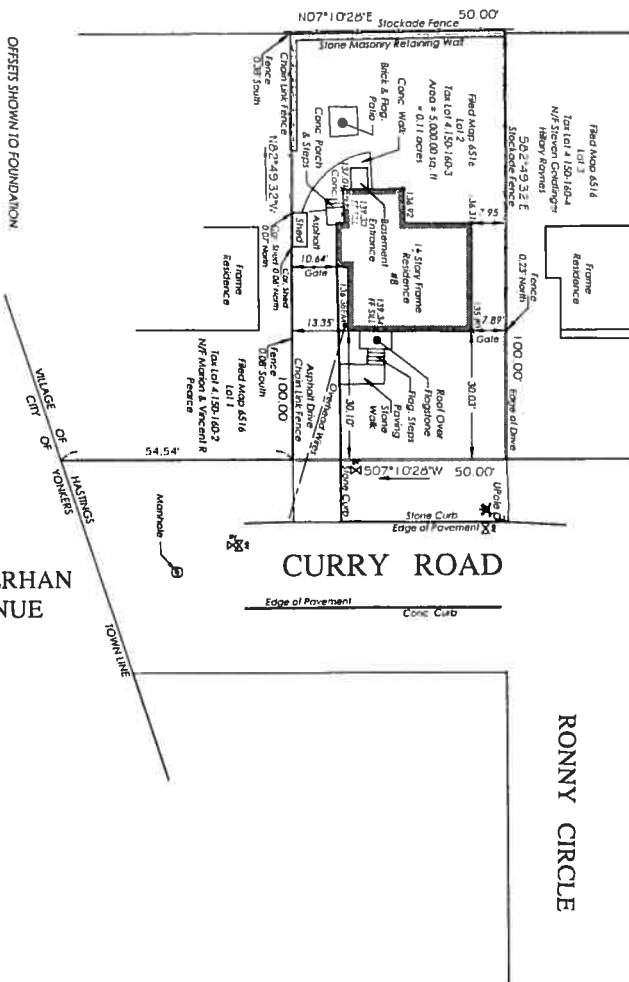
JONATHAN FLORES
Notary Public, State of New York
No. 01FL6194711
Qualified in Westchester County
Commission Expires October 6, 2016

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in
accordance with the foregoing and as required by law.



Fred Map 13376
 Tor Lot 4, 140-151-90
 N/F Andrew G Will
 Tammvorne Will
 Annmarie Will



RONNY CIRCLE

Only copies from the original of this survey marked with an original of the Land Surveyor embossed seal shall be considered to be true, valid copies.

Said certifications shall run only to the person for whom this survey is prepared and on his/her behalf to the title company, governmental agency and lending institutions listed herein. Certifications are not transferable to additional institutions or subsequent owners.

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified.
Access to adjacent rights of way, easements and public or private lands
not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating.
Additional underground utilities are not shown or certified

Encroachments and structures below grade, if any, not shown on certified plat.

Premises hereon being Lot 2 as shown on a certain map entitled, "Amended Map of Subdivision 'A', Farmgut Park, City of Yonkers Village of Hastings, N.Y."

Said map filed in the Westerchester County Clerk's Office, Division of Land Records on January 29, 1948 as map number 6516.

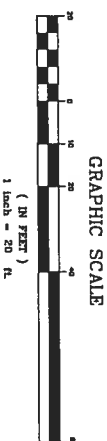
Surveyed in accordance with Deced Control Number 411590473

Premises shown herein designated in the Village of Hastings Tax Maps as: Section 4.150, Block 160, Lin 3.

Property Address:
8 Curry Road
Hastings on Hudson, NY 10706

**SURVEY OF PROPERTY
PREPARED FOR
KARIN M. BUDROCK**
SITuate IN THE
VILLAGE OF HASTINGS
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 20'



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft

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THOMAS C. MERRITTS LAND SURVEYORS, P.C.

394 BEDFORD ROAD • PLEASANTVILLE • N.Y. 10570

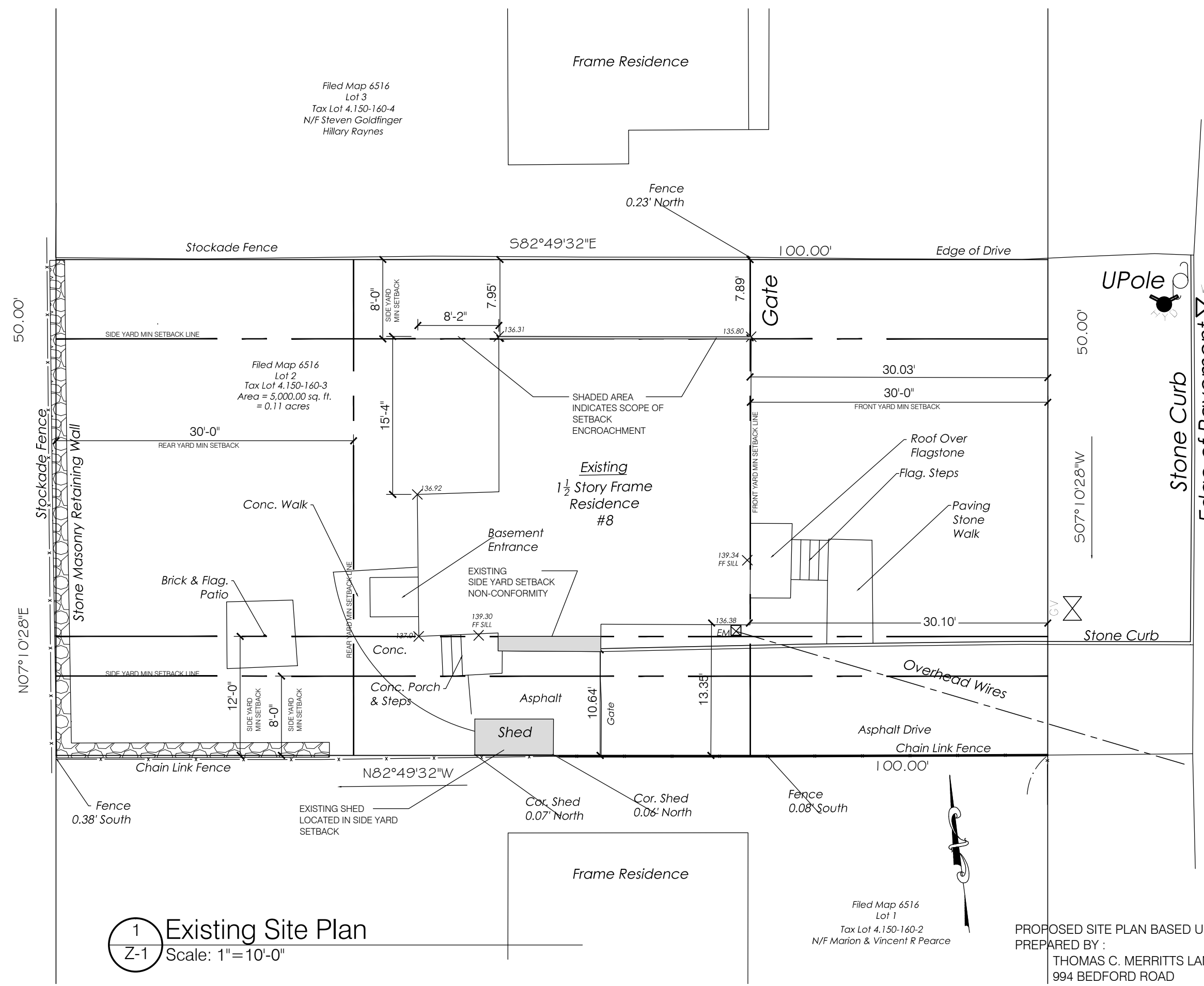
(914) 769-8003 • (203) 622-8899

Surveyed: August 2, 2016
Map Prepared: August 3,

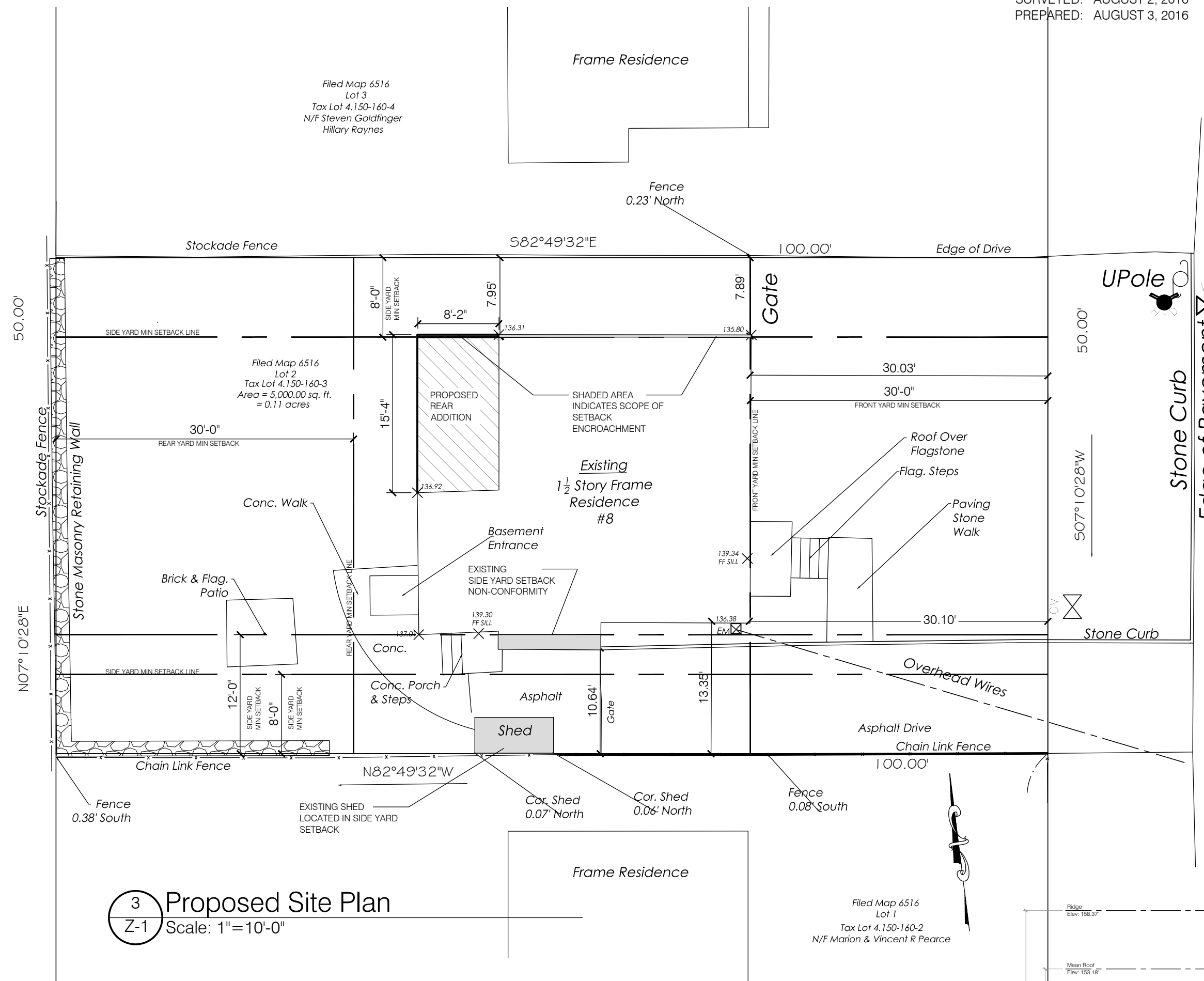
Map Prepared: August 3, 2016

B₁ 11-15-1961 N-Acetyl

Project: 16-257	Field Survey By ANIFT
Drawn By: CNP	Checked By: DTM



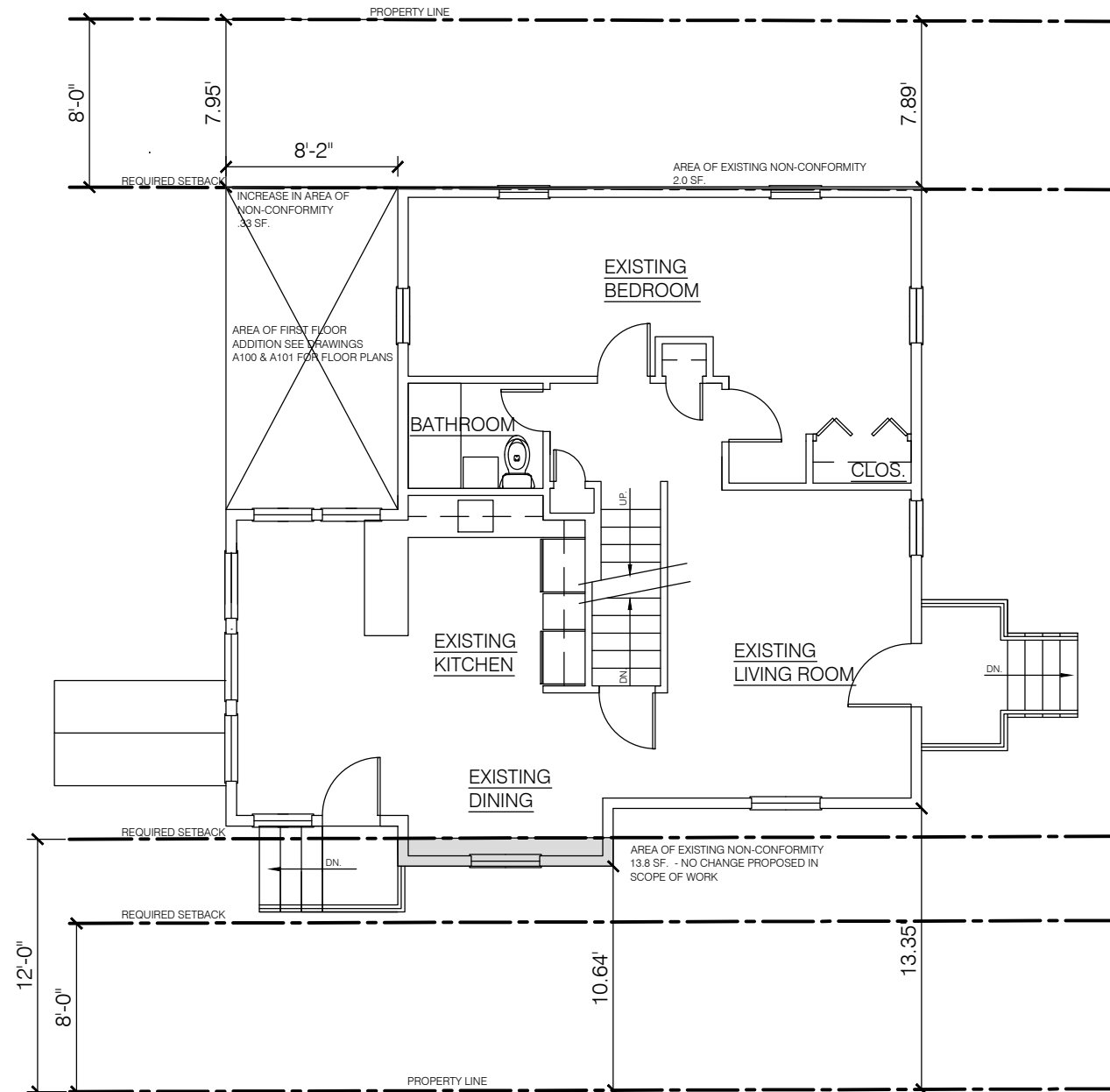
1 Existing Site Plan
Z-1 Scale: 1"=10'-0"



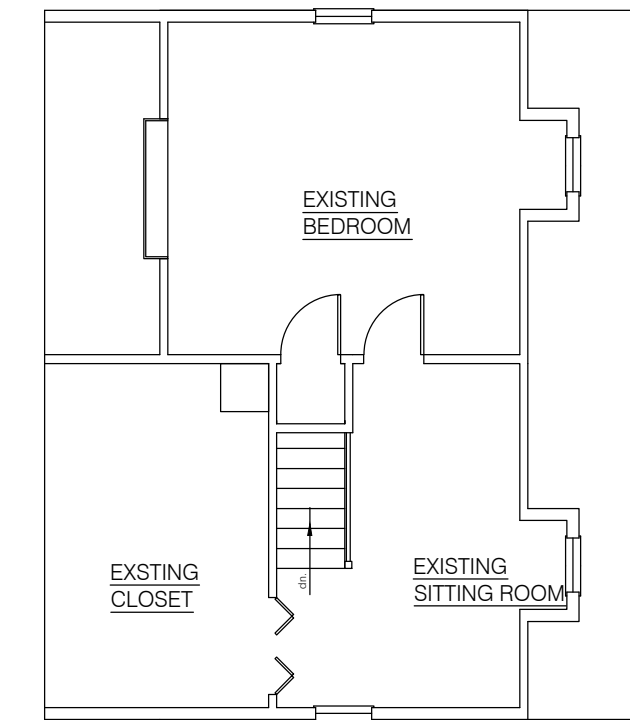
3 Proposed Site Plan
Z-1 Scale: 1"=10'-0"



2 300 ft Radius Vicinity Map
Z-1 Scale: None



4 Existing First Floor Plan
Z-1 Scale: 1/8"=1'-0"



5 Existing Second Floor Plan
Z-1 Scale: 1/8"=1'-0"



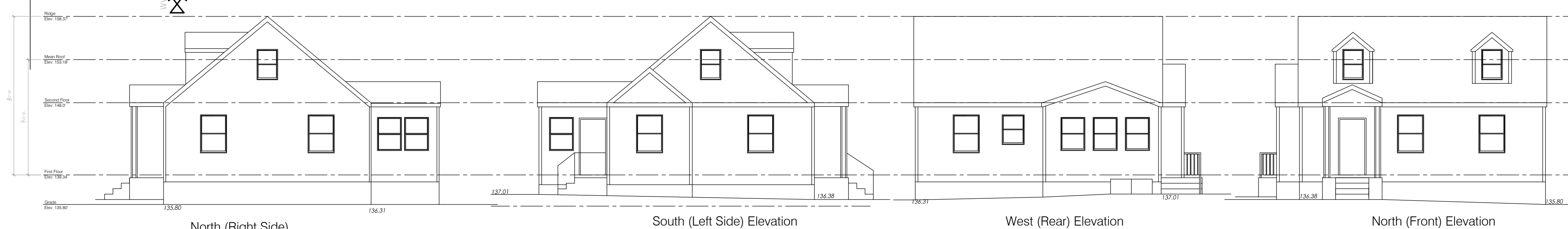
6 Proposed East (Front) Elevation
Z-1 Scale: 3/16"=1'-0"

ZONING TABULATIONS			
DESCRIPTION	REQUIRED	PROVIDED	COMMENTS
SECTION, BLOCK AND LOT	R-7.5	R-7.5	
ZONING DISTRICT	25.0'	30.0'	
FRONT YARD	20.0' Total - Each Side Min 8'	36.92'	Variances Required See Note 1
SIDE YARD	25.0'	75 Min.	
REAR YARD	75 Min.	20.0'	
LOT AREA	30% Max	20.75'	
LOT WIDTH	30% Max	20.75'	
LOT COVERAGE	30% Max	20.75'	
MAX. HT.	30'0" Max	20.75'	

- Notes:
- Zoning Code requires a minimum of 20 ft total side yard setbacks with each side having a minimum dimension of 8'-0". The existing house has:
 - One side yard dimension of 7.89 ft. This is an encroachment of .11 ft [1'-3/8"]. The existing area of encroachment is 2.0 sf
 - One side yard dimension of 10.64 ft. This is an encroachment of 1.36 ft. The length of the existing encroachment is 10.14 ft, making the area of non-conformity 13.8sf.
 - The new addition will extend the 8'-0" non-conformity 8'-2" almost parallel with the side property line. The area increase in the non-conformity will be .33 sf
 - There will be no change in the setback non-conformity at the required 12'-0" setback. No work is being done on this side of the house.

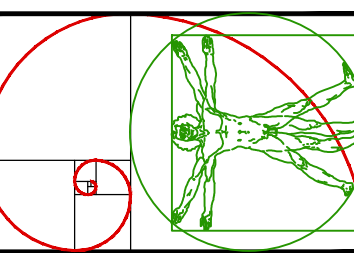


6 Proposed Elevations
Z-1 Scale: None



7 Existing Elevations
Z-1 Scale: None

Paul Raymond Walter
Architect, P.L.L.C.
295 El Camino Grande
Sedona Arizona 86336
Ph: 845-564-1396 Email: mal@prwarchitects.com



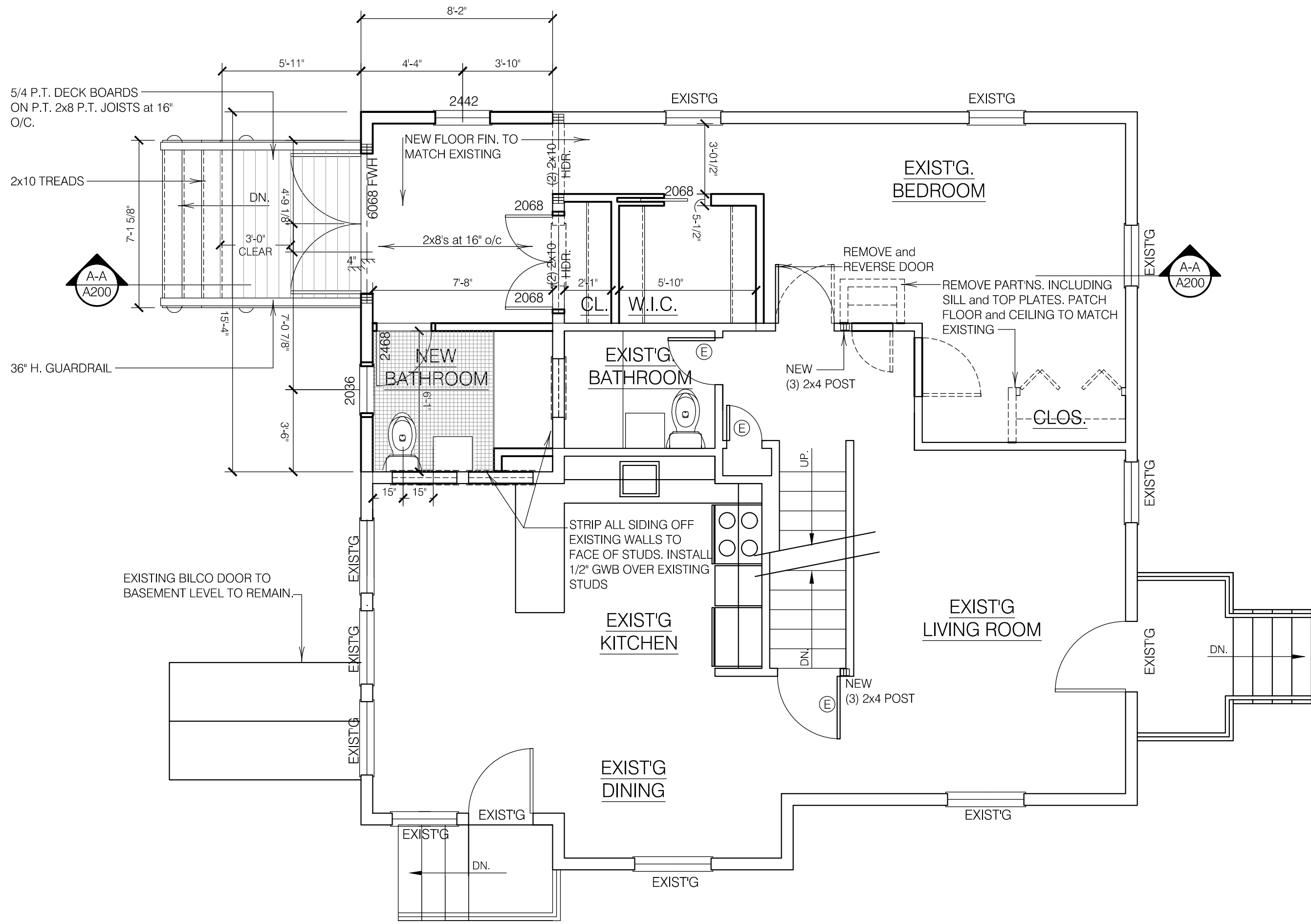
Scale:

Rev.	Description	By:	Date:
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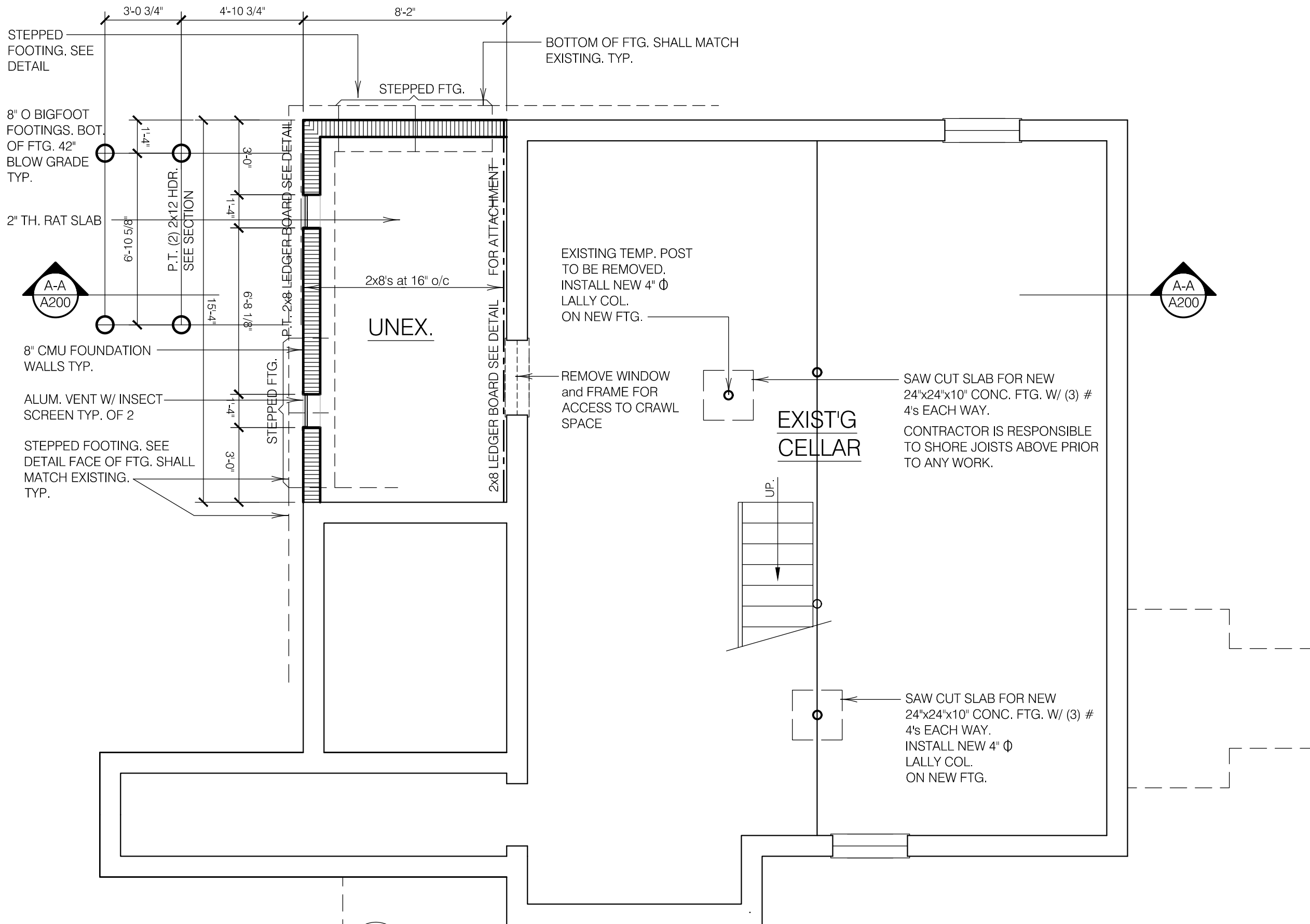
Project:
Addition and Alterations to
8 Curry Road, Village of Hastings

Drawing Description:
Zoning Analysis

Job No: 16030	Drawing No: Z-1
Date: 10.04.16	
Scale: As Noted	
Drawn By: PRW	
Checked: PRW	1 of 5

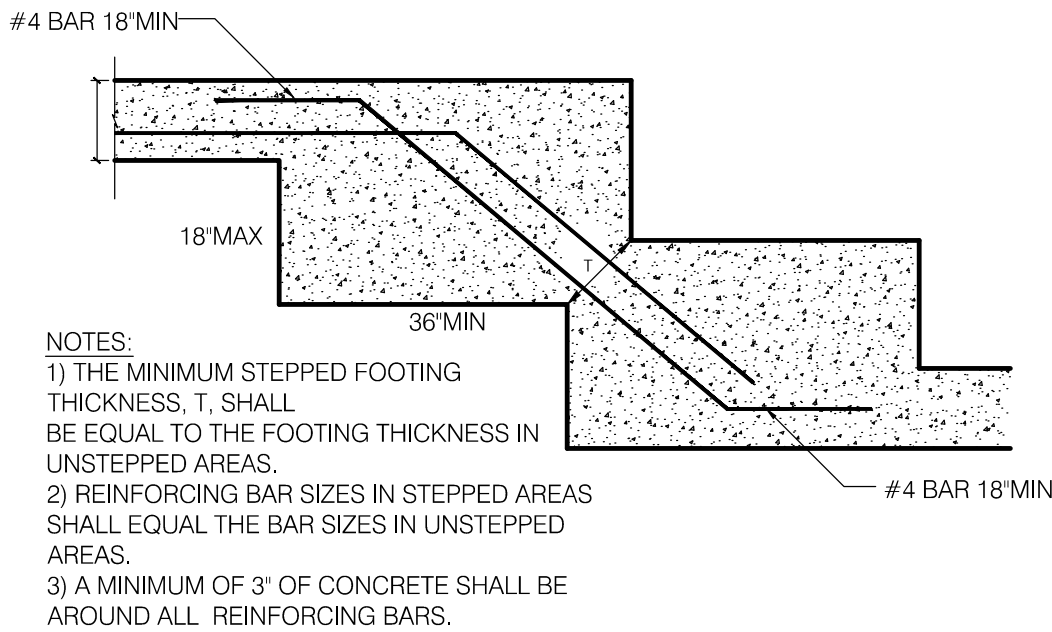


2 First Floor Plan
Scale: 1/4"=1'-0"

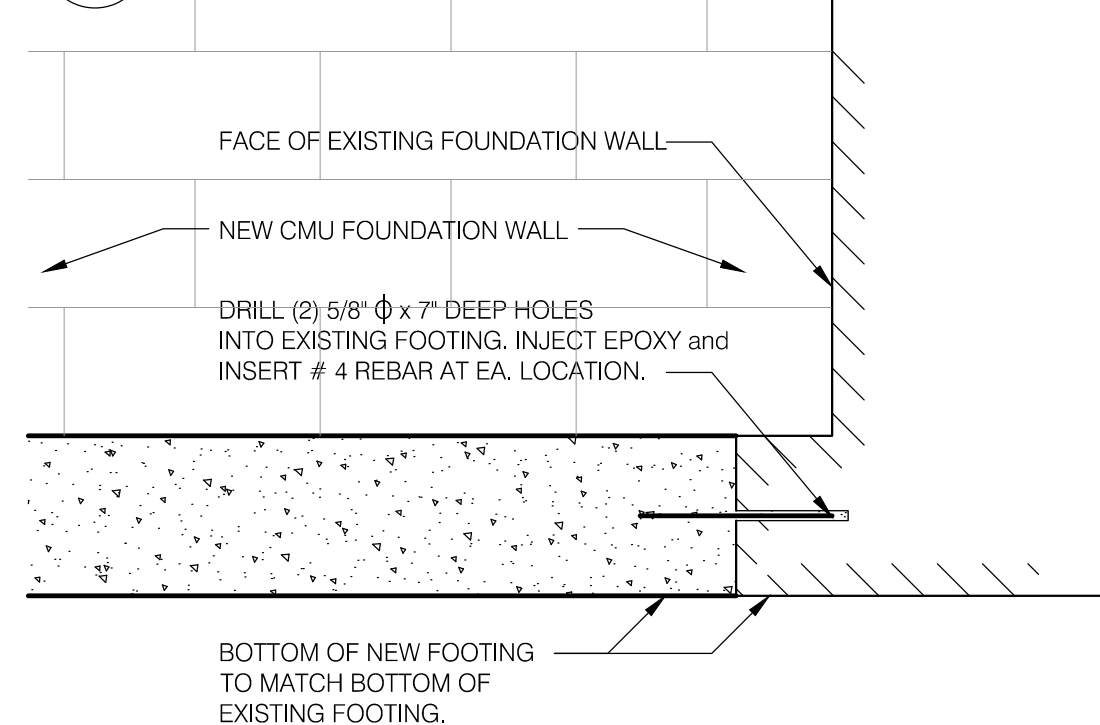


1 Foundation Plan
Scale: 1/4"=1'-0"

FASTENING SCHEDULE				
MEMBER/CONNECTION DESCRIPTION	NAILING TYPE	# OF NAILS	NAIL SIZE	SPACING
ROOF				
RAFTER/TRUSS TO TOP PLATE (8' & 9' WALL HGHTS)	TOE NAILED	3	8d	PER RAFTER/TRUSS
RAFTER/TRUSS TO TOP PLATE (10' WALL HGHT)	TOE NAILED	4	8d	PER RAFTER/TRUSS
CEILING JOIST TO TOP PLATE	TOE NAILED	3	8d	PER JOIST
COLLAR TIE TO RAFTER	FACE NAILED	6	10d	EACH END
BLOCKING TO RAFTER	TOE NAILED	2	8d	EACH END
PERIMETER BOARD TO RAFTER / TRUSS	END NAILED	2	16d	EACH END
SHEATHING - GABLE END TRUSS / RAKE TRUSS	FACE NAILED	1	8d	4" OC ALONG EDGES
SHEATHING - 4" ROOF PERIMETER ZONE WITH ROOF FRAMING LESS THAN OR EQUAL TO 16" OC	FACE NAILED	1	8d	6" OC ALONG EDGES 6" OC IN THE PANEL FIELD
SHEATHING - 4" ROOF PERIMETER ZONE WITH ROOF FRAMING GREATER THAN 16" OC	FACE NAILED	1	8d	4" OC ALONG EDGES 4" OC IN THE PANEL FIELD
SHEATHING - ROOF INTERIOR ZONE WITH ROOF FRAMING LESS THAN OR EQUAL TO 16" OC	FACE NAILED	1	8d	6" OC ALONG EDGES 12" OC IN THE PANEL FIELD
SHEATHING - ROOF INTERIOR ZONE WITH ROOF FRAMING GREATER THAN 16" OC	FACE NAILED	1	8d	6" OC ALONG EDGES 6" OC IN THE PANEL FIELD
WALL				
TOP PLATE TO TOP PLATE	FACE NAILED	1	16d	12" OC
TOP PLATE INTERSECTIONS (BEARING WALLS)	FACE NAILED	4	16d	EACH SIDE
STUD TO STUD	FACE NAILED	2	16d	24" OC
HEADER TO HEADER	FACE NAILED	1	16d	16" ALONG EDGE
TOP/BOTTOM PLATE TO 2x4 STUD	END NAILED	2	16d	EACH END
TOP/BOTTOM PLATE TO 2x6 STUD	END NAILED	3	16d	EACH END
TOP/BOTTOM PLATE TO 2x8 STUD	END NAILED	4	16d	EACH END
BOTTOM PLATE TO FLOOR FRAME	FACE NAILED	1	16d	12" OC
SHEATHING WITH STUDS @ 12" OR 16" OC (ALSO SEE SHEAR WALL SPECS)	FACE NAILED	1	8d	6" OC ALONG EDGES 12" OC IN THE PANEL FIELD
SHEATHING WITH STUDS @ 24" OC (ALSO SEE SHEAR WALL SPECS)	FACE NAILED	1	8d	6" OC ALONG EDGES 6" OC IN THE PANEL FIELD
FLOOR				
JOIST TO SILL / TOP PLATE	TOE NAILED	4	8d	PER JOIST
BLOCKING TO JOIST	TOE NAILED	2	8d	EACH END
BLOCKING TO SILL / TOP PLATE	TOE NAILED	3	16d	EACH BLOCK
LEDGER STRIP TO BEAM	FACE NAILED	3	16d	PER JOIST
JOIST (ON LEDGER) TO BEAM	TOE NAILED	3	8d	PER JOIST
PERIMETER BAND JOIST TO FLOOR JOIST	END NAILED	3	16d	PER JOIST
PERIMETER BAND JOIST TO SILL / TOP/CEILING PLATE	TOE NAILED	2 (NOTE 1)	16d	12" OC
SHEATHING	FACE NAILED	1	8d	6" OC ALONG EDGES 12" OC IN THE PANEL FIELD
NOTES:				
1. NAILING REQUIREMENTS FOR THESE CONNECTIONS SHALL BE DOUBLED FOR 3" OC SHEAR WALL FASTENING				
2. SHEATHING FASTENING ALTERNATIVE: 16 GA STAPLES WITH 1" PENETRATION ARE .65 THE STRENGTH OF 8d NAILS, THEREFORE AN EQUIVALENT STAPLE QTY OF 1.6X THE NAIL QTY MAY BE USED AS AN ALTERNATIVE TO THE 8d NAILS				



3 Stepped Footing Detail
Scale: 1/2"=1'-0"



4 FOOTING TIE-IN DETAIL
Scale: 1"=1'-0"

DESIGN NOTES

First Floor & Decks 40lb Live Load + 10lb Dead Load
Roof 40lb Live Load + 10lb Dead Load

Soil capacity shall be 3000 psf minimum bearing capacity.

Concrete shall be 3000 psi minimum compressive strength.

Framing lumber shall be SPF #2 construction grade, 875psi minimum fiber stress. Double 2x10 headers at all openings unless otherwise specified.

Footings shall be continuous poured concrete in wood forms set 4'-0" minimum below grade or on exposed ledge rock. Foundation bolts shall be anchored to the sill plate with 1/2" bolts embedded 7" in concrete and spaced max 6'-0" apart and max 12" from ends. Anchor straps may be used as an alternate when installed in accordance with manufacturer's specifications and NYS Residential Code. Foundation walls shall be poured concrete with reinforcing rods or block walls installed per code and plans.

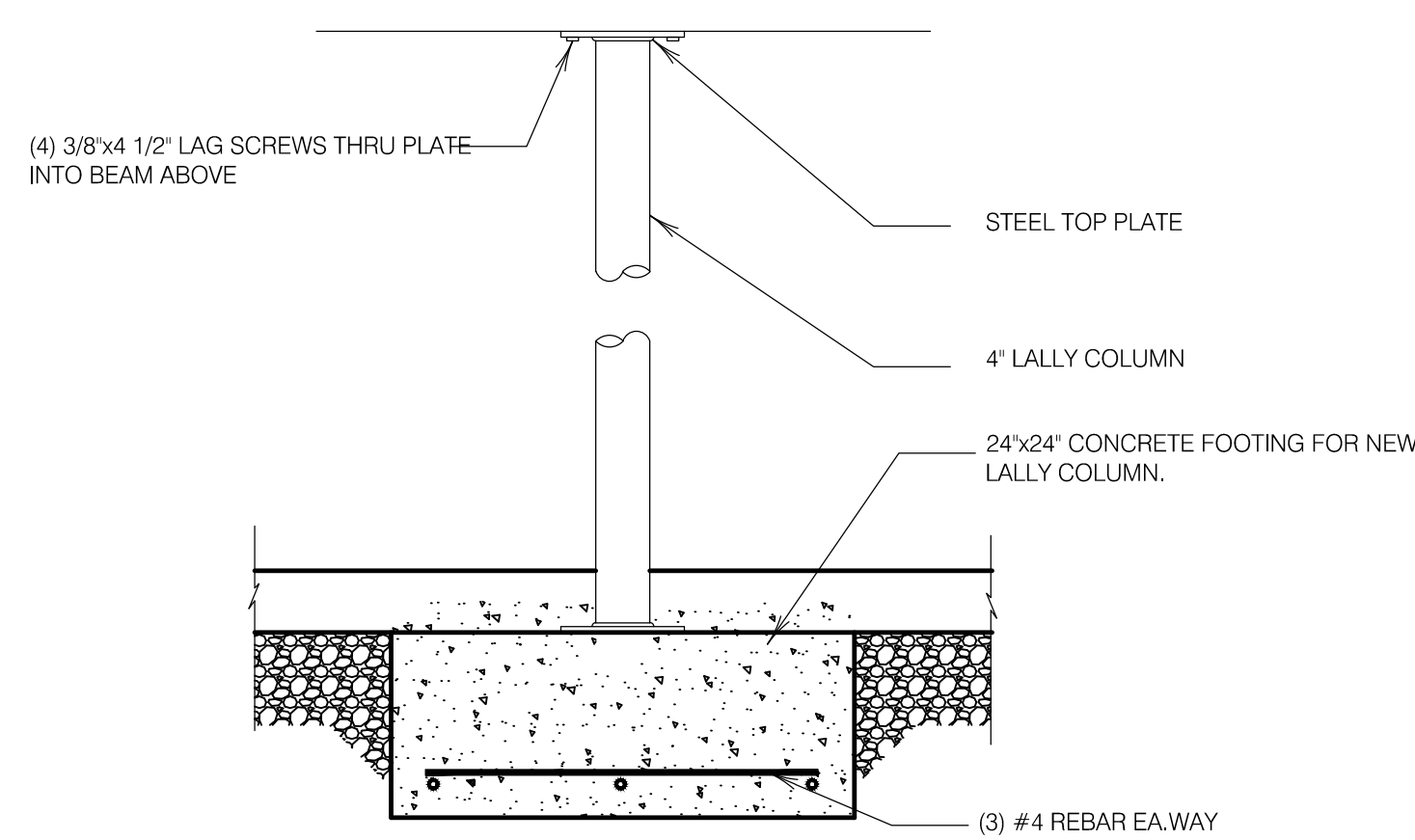
Basement slabs on grade shall have 6 mil polyethylene vapor barrier beneath where new slabs are poured. Provide proper expansion & control joints per building code requirements at any new slabs.

Structural steel shall comply with ASTM specifications A-36. Rebar to be sized as per plans with minimum concrete coverage of 1-1/2" exterior side of foundation walls, 3/4" minimum at interior side and 3" from bottom of footings. Steel lally columns are to be 3 1/2" O concrete filled steel tube. Footings sizes per plan.

All exterior walls are dimensioned to face of studs. Interior walls are dimensioned from stud to stud.

Fireplaces, Boilers, Furnaces & Flues are to be U.L. approved and installed per manufacturers specifications. Mechanical equipment have outside air and exhaust per Residential Code. Contractors shall submit specifications to local building department for approval. All materials, supplies and equipment are to be installed per manufacturer's specifications and per local codes and regulations.

All windows noted are Andersen 400 series



5 LALLY COL. FOOTING DETAIL
Scale: 1"=1'-0"

GENERAL NOTES:

All work will be performed in accordance with the Residential Code of the State of New York, as well as local regulations if required by the Village of Hastings, NY Building Department.

All permits, inspections, approvals and certificate of occupancy (or compliance) required by state & local building officials, shall be obtained by the contractor. The cost for the same shall be part of the contract price.

The contractor shall be solely responsible for construction safety, safety of the site, care of adjacent properties, and compliance with all government & OSHA regulations regarding safety.

Contractor shall verify all existing conditions & dimensions at the site to insure that the work as shown can be installed completely. If discrepancies or other condition is discovered while performing the work, or while laying out the work, the contractor shall notify the owner of the same before proceeding with the affected work.

Contractor will be licensed as required by Westchester County & will maintain insurance required by state & local law, including builders "all risk" insurance, for the duration of the project. The contractor will furnish the owner with the certificates of the insurance at the time of contract signing. All trade subcontractors shall also maintain these insurance, and furnish certificates if insurance.

The contractor shall maintain the site clear of debris and trash, and shall remove any remaining debris prior to substantial completion & final payment.

All work shall be guaranteed for at least one year from acceptance and use. All equipment, assemblies and/or material warranties shall be provided by the contractor at the time of substantial completion. All work shall be installed to manufacturer's specifications so as to qualify for all warranties.

Paul Raymond Walter

Architect, P.L.L.C.

295 El Camino Grande
Sedona Arizona 86336
Ph: 845-564-1396
Email: paul@prwarchitects.com

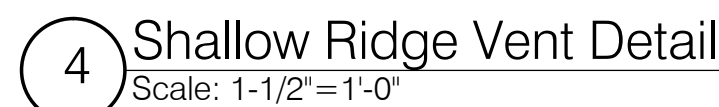
Scale:

Rev.	Description:	Date:	By:
1	Issued for Permit & Zoning Bd of Appeals	10.31.16	PRW

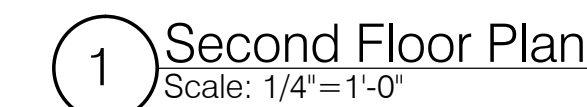
Project: Addition and Alterations to
8 Curry Road, Village of Hastings

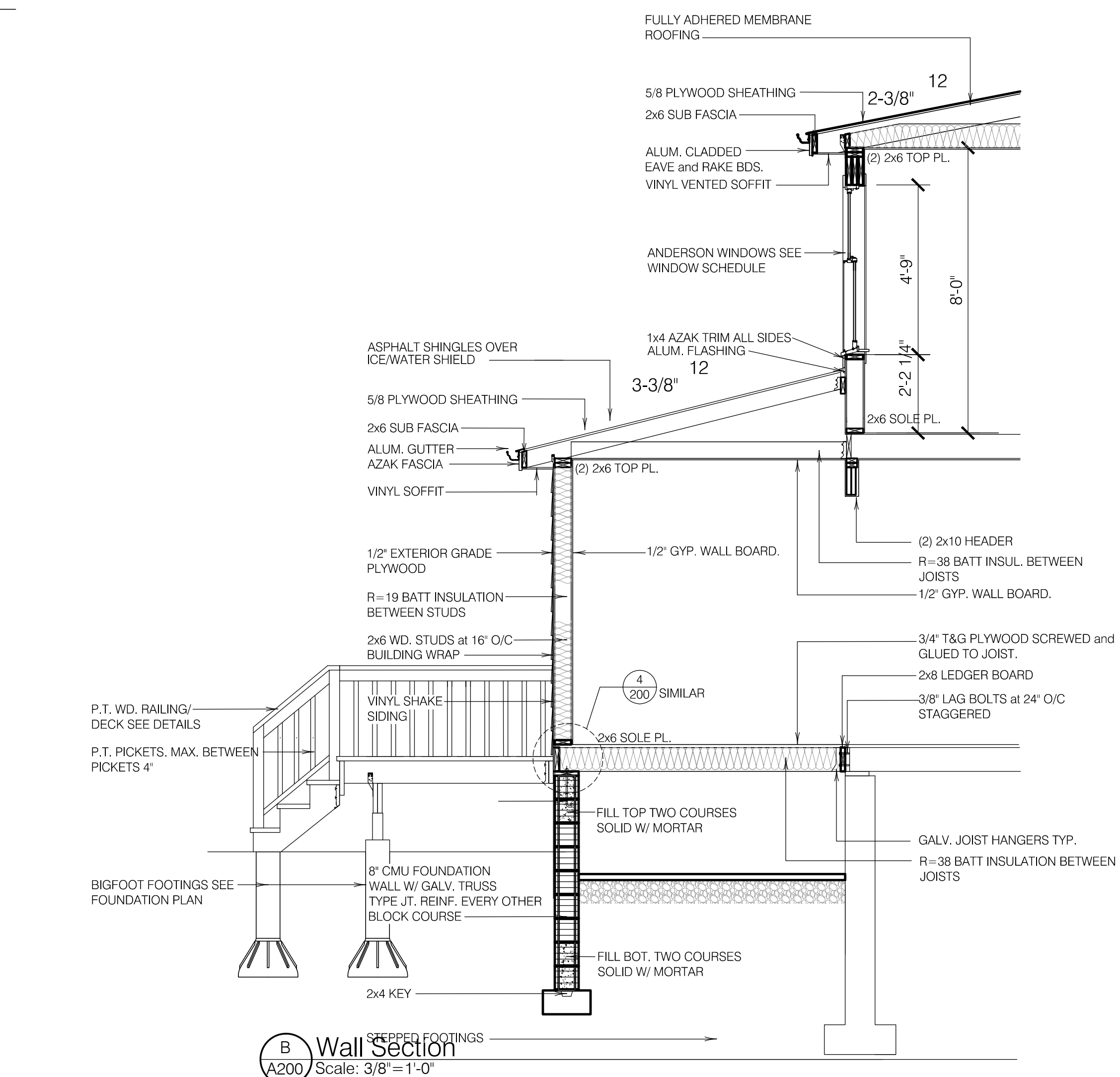
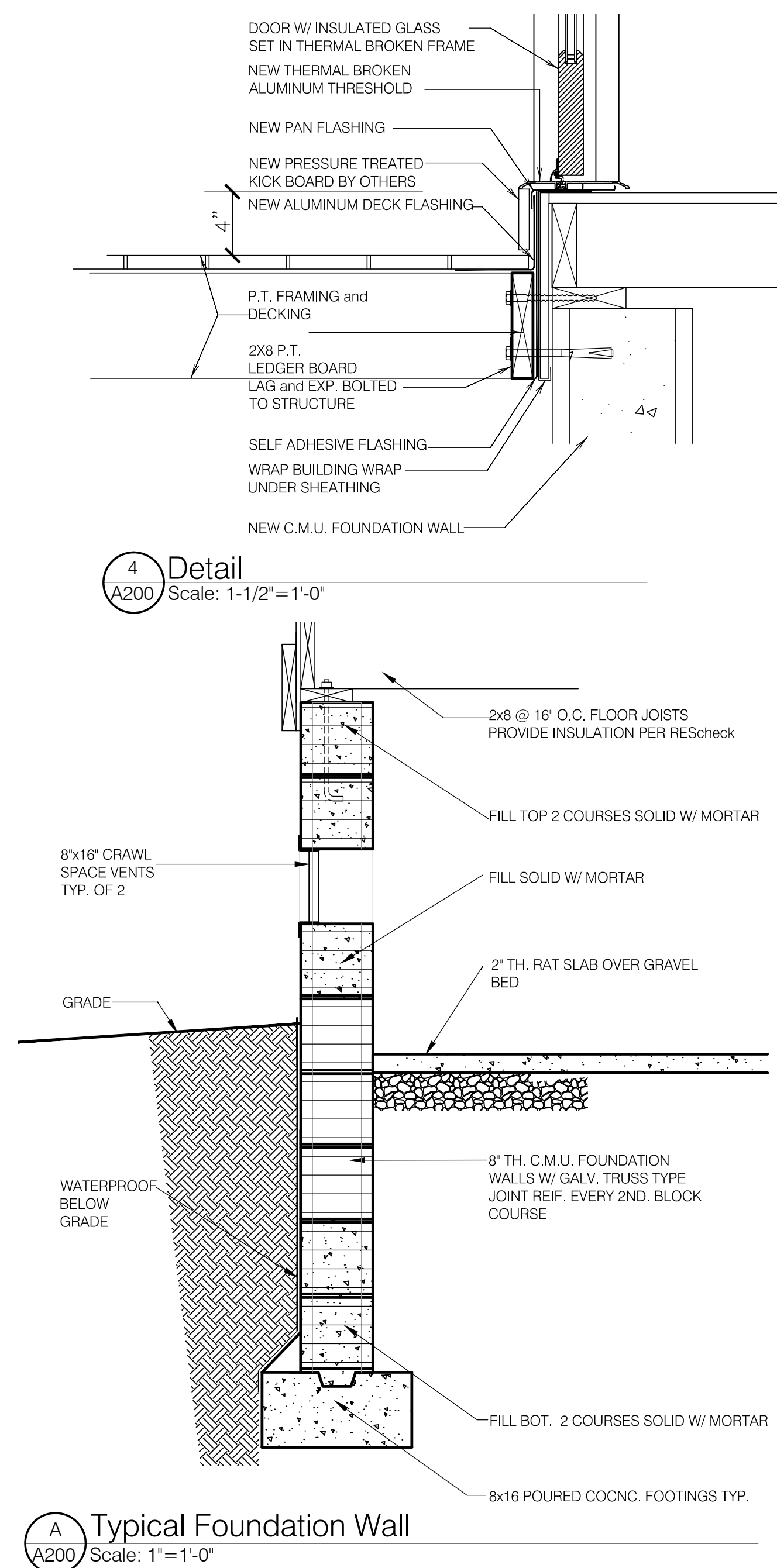
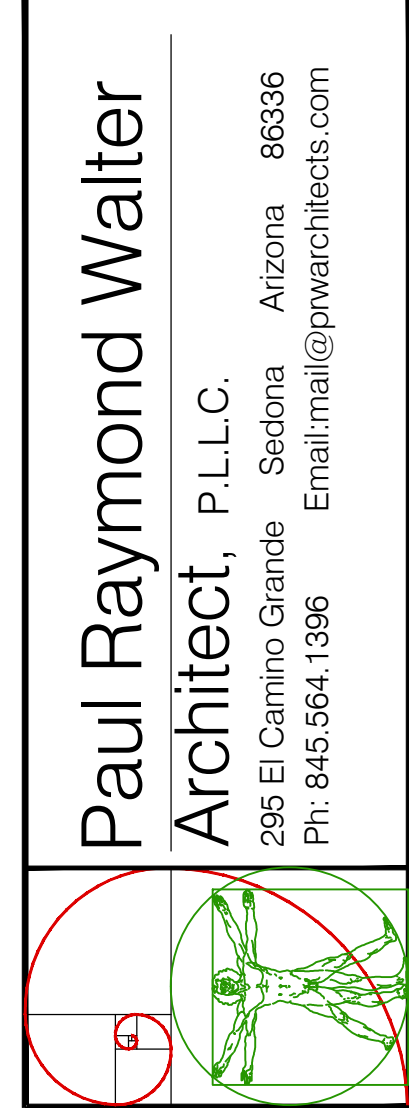
Drawing Description: Foundation & First Floor Plans,
Fastening Schedule and Details

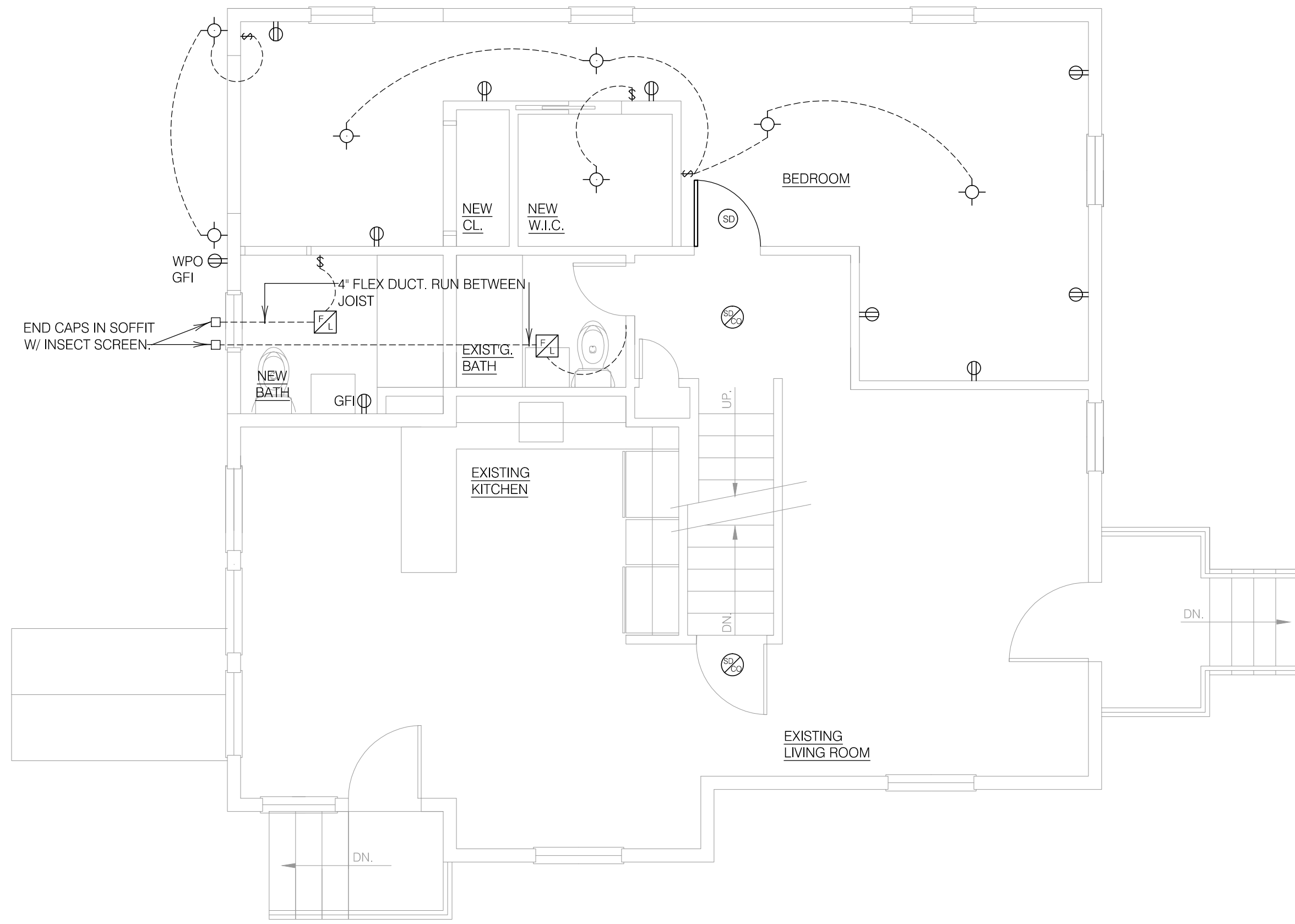
Job No:	16030:	Drawing No:
Date:	06-30-16	
Scale:	As Noted	A100
Drawn By:	LBM	
Checked:	PRW	2 of 5



ALL WINDOWS ANDERSON TILT-WASH DOUBLE HUNG OR EQUAL

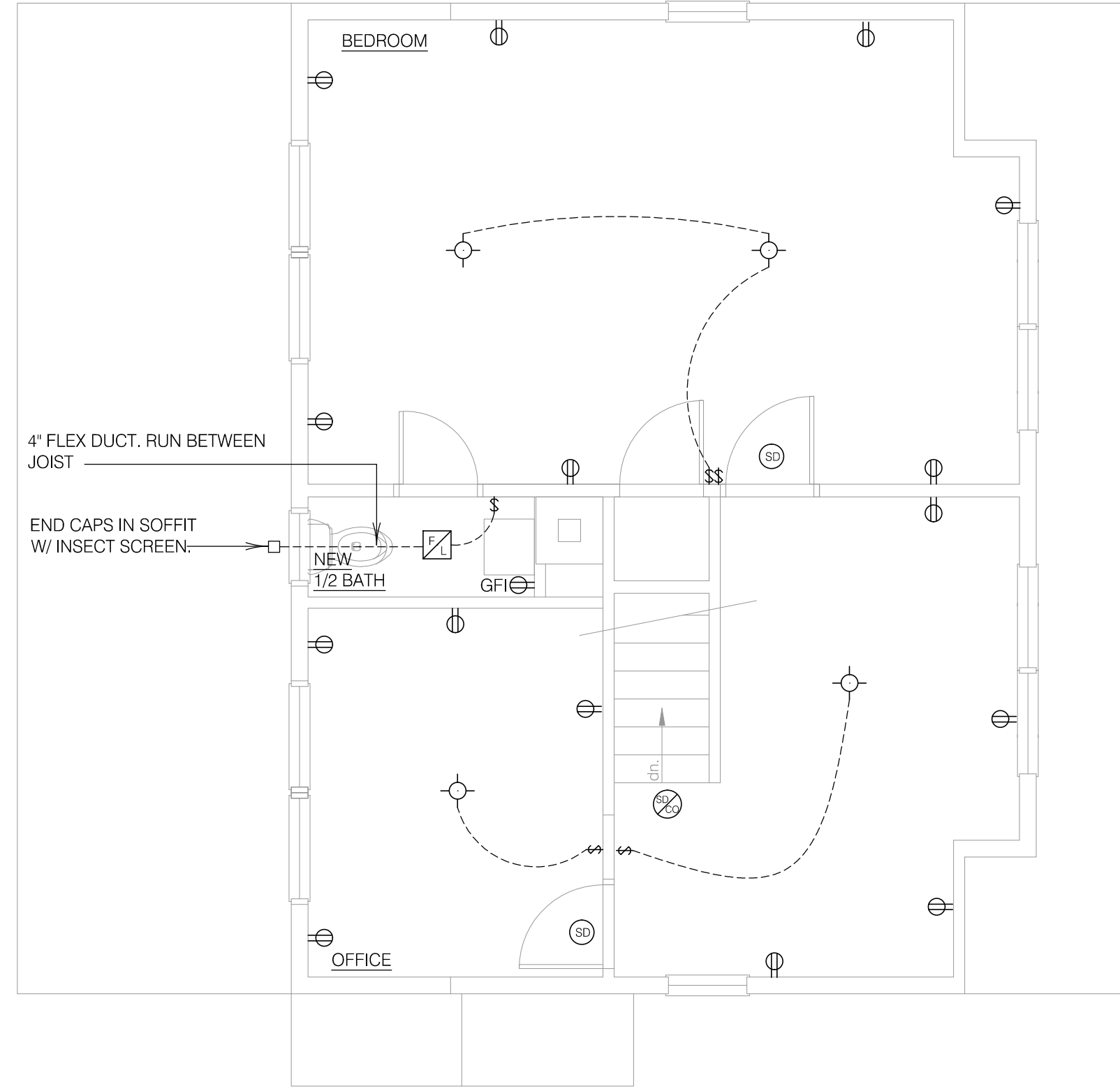






1 First Floor Electric Plan
Scale: 1/4"=1'-0"

ELECTRIC LEGEND	
	DUPLEX RECEPTACLE OUTLET
	GROUND FAULT PROTECTED
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	WEATHER PROOF
	WALL LIGHT FIXTURE
	SURFACE MOUNTED LIGHT
	RECESSED LIGHT FIXTURE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	FAN / LIGHT



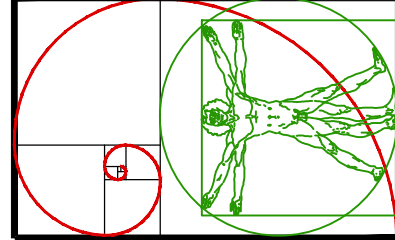
2 Second Floor Electric Plan
Scale: 1/4"=1'-0"

Rev.	Description:	Date:	By:
1	Issued for Permit & Zoning Bd of Appeals	10.31.16	PRW

Project:	Addition and Alterations to 8 Curry Road, Village of Hastings
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Drawing Description:	First & Second Floor Electric Plans and Legend
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Job No:	16030	Drawing No:	E100
Date:	06-30-16		
Scale:	As Noted		
Drawn By:	LBM		
Checked:	PRW	5 of 5	



Seal:

8 Curry Road, Village of Hastings, New York



Front Elevation & Right Side



8 Curry Road – Left Side



8 Curry Road – Rear



House on the Left



House on the Right – Second Story Addition



House across the street
Corner of Curry & Ronny Circle— Similar rear dormer additon



House on Ronny Circle – Similar rear dormer addition



House on Ronny Circle – Similar rear dormer addition