



VILLAGE OF HASTINGS-ON-HUDSON

Municipal Building
7 Maple Avenue
Hastings-on-Hudson, New York 10706
(914) 478-3400
Fax: (914) 478-4624
hastings@hastingsgov.org <http://hastingsgov.org>

LEGAL NOTICE

NOTICE OF HEARING BEFORE THE ZONING BOARD OF APPEALS OF THE VILLAGE OF HASTINGS-ON-HUDSON, NEW YORK

Pursuant to the provisions of Section 295-143 of the Village of Hastings-on-Hudson Zoning Code,
Notice is hereby given that:

A Public Hearing will be held by the Zoning Board of Appeals on Thursday, October 26, 2017, at 8:00 P.M., in the Meeting Room, Municipal Building, 7 Maple Avenue, Hastings-on-Hudson, New York.

The Hearing will be held on the application of Pascale Vincent & Stella Rotiroti for relief from the strict application of the Village Code Section 295-69F.1.c and 295-55A for a rear addition at their home at 70 Rosedale Avenue. Said property is in R-7.5 Zoning District and is also known as SBL: 4.80-73-13 on the Village Tax Maps.

Variances are sought for Side Yard Setback and the extension of an Existing Non-conformity for a rear addition.

Extension of non-conformity for rear addition: Existing – 6.89 ft.; Proposed – 6.89 ft.; Required Min. – Two sides totaling 20 ft., each side minimum 8 ft. {295-69. F.1.c & 295-55. A}; Variance required – 1.11 ft.

The Zoning Board of Appeals will, at this time and place, hear all persons in support of such matter and any objections thereto.

Plans are available for review at the office of the Building Department or on the Village web site: www.hastingsgov.org.

Matthew Collins, Chair, ZBA

CASE NO: 20-17
PUBLISH: THE RIVERTOWNS ENTERPRISE
October 13, 2017

September 28, 2017

Members of the Hastings Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue, Hastings-on-Hudson, NY 10706

Re:

Extensions to the Rotiroti Residence
70 Rosedale Avenue, Hastings-on-Hudson, NY

To the Members of the Zoning Board of Appeals:

As the Architect for proposed Extensions to the Rotiroti Residence, I am requesting that the Zoning Board of Appeals grant the following variances from the Hastings Zoning Code:

1. Variance from Section 295-69F. 1c – Side Yard Setback

We are requesting a variance for a 6.89 FT side yard setback, which is the existing side yard setback of an existing second floor structure on which we propose to add a first floor. The allowable side yard setback is 8 FT.

Longtime Hastings-on-Hudson residents, Vincent & Stella Rotiroti are relocating from their existing house on James Street to a two family house on Rosedale Avenue. They are making this move because the exterior stairs at the James Street house are too steep and numerous for them. Before moving into the house on Rosedale Avenue, they plan to extend the first floor, and rebuild the stair to the second floor. The existing stair to the second floor is steep and precarious for the retired couple. We would like to rebuild the stair, with 10" treads and 7.2" risers, to make them safer, and to conform to the current building code. In order to fit the safer stair, without losing the second floor bedroom, the first floor needs to be extended.

I appreciate your understanding of our request for this variance, and look forward to presenting the drawings at the next Zoning Board of Appeals meeting. Thank you for your time and effort for review of our proposal.

Sincerely,



Christina Griffin AIA LEED AP CPHC

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number: _____ Date of application: 9/28/17

Property owner: Vincent + Stella Rotiroti
 Property address: 70 Rosedale Avenue
 Name all streets on which the property is located: _____
 Sheet: 4.80 Block: 73 Lot/Parcel: 13 Zoning District: R7-5

Applicant: Christina Griffin Architect
 Standing of applicant if not owner: Architect
 Address: 10 Spring Street, Hastings-on-Hudson
 Daytime phone number: 914-478-0799 Fax number: _____
 E-mail address: jm@cgastudio.com

ZBA action requested for (See §295-148B & C):
☐ Use Variance/s;
☒ Area Variance/s;
☐ Interpretation;
☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295.68 flc</u>	<u>Sidyard setback 8 FT</u>	<u>6.89 FT</u>	<u>Continue non-conforming side yard 6.89 FT at first floor</u>

*See example below:

<u>295-88 1a</u>	<u>Front Yard Min. 30 ft. deep</u>	<u>5 ft.</u>	<u>19.5 ft.</u>
<u>295-66A</u>	<u>Permitted Principal Use</u>	<u>Single Family Home</u>	<u>Conversion to Dental Office</u>

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	25 FT	20.67 FT	20.67 FT
REAR	25 FT	59.1 FT	59.1 FT
SIDE ONE	8 FT	6.89 FT *	6.89 FT *
SIDE TWO	12 FT	4-16.6 FT	4-16.6 FT
TOTAL OF TWO SIDES	20 FT	4-23.49 FT	4-23.49 FT

YARD SETBACKS (Accessory Structure)

SHED	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.		4-18.5 FT	4-18.5 FT
REAR		4-20.6 FT	4-20.6 FT
SIDE		2.0 FT	2.0 FT

remaining same

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2.5	2.5	2.5
FEET	35 FT	4-33 FT	4-33 FT

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 SF	6,418 SF *	6,418 SF
BLDG. COVERAGE / % OF LOT AREA	30%	22% *	22% * remains same
DEVELOPMENT COVERAGE / % OF LOT AREA	30%	41% *	41% * remains same

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	2 FAMILY	2 FAMILY	2 FAMILY

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution If any	Date of Action
	<i>n/a</i>		

- List pending violations on this property if any:

n/a

- Is there an approved site plan for this property?: ☒ (Yes) ☐ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an Interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Applicant

Sworn to before me this 28th day
of Sept., 2017

Notary Public

THIS SURVEY IS MADE FOR THE
 ESTATE OF THE DECEASED
 OF FARRAGUT ROAD, RAVENSDALE
 EASTERN FROM THE OLD LINES OF
 FARRAGUT RD. IN THE TOWNSHIP OF
 ARISTOTLE - ON ADESSON IN THE TOWN
 OF GALENSBURG WESTCHESTER
 COUNTY NEW YORK.

ARISTOTLE BOURNAZOS, P.C.

LAND SURVEYOR - PLANNERS

100 STEVENS AVENUE
 MT. VERNON, N.Y. 10550
 914-938-8888, 9319



LICENSED IN
 NEW YORK
 NEW JERSEY
 CONNECTICUT

Filed in the Westchester County Clerk's Office Division of Land Records

I have located all existing buildings and lines of possession and have shown their positions hereon.

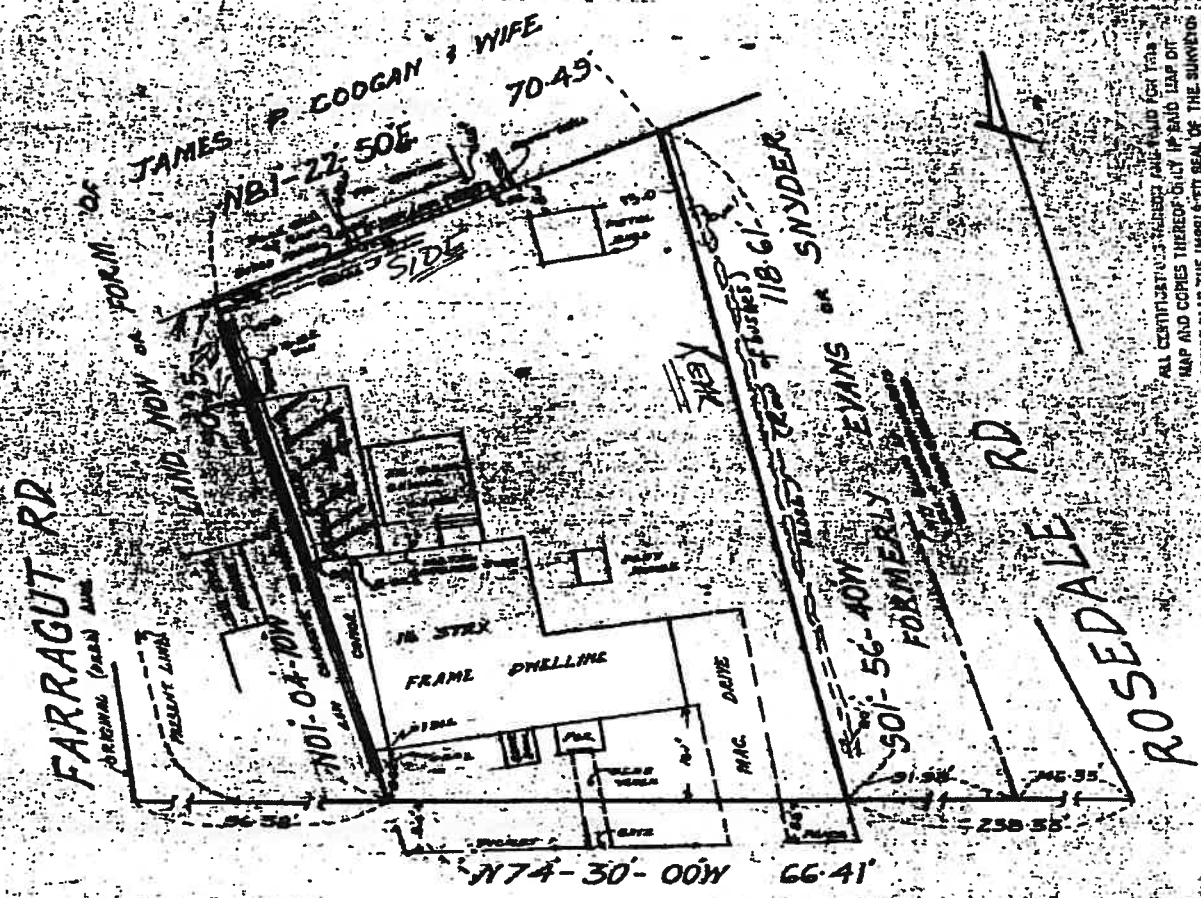
Survey completed: Nov 26, 1994

Map drafted: Nov 29, 1994

on scale of one inch to 20 feet.

I hereby certify this survey to
 TOWN TITLE GUARANTY CO.
 RICHARD & ANN MASPESON
 PEOPLE'S FUNDING CORP.

Aristotle Bournazos
 L.S.
 N.Y.S. 100-2000



ALL CERTIFICATES MUST BE FILED FOR THIS
 MAP AND COPIES THEREOF ONLY IF SAID MAP OR
 COPIES BEAR THE IMPRINTED SEAL OF THE SURVEYOR
 WHOSE SIGNATURE APPEARS HEREON.

RAVENSDALE ROAD

THE SURVEY WHICH IS BEING SUBMITTED IS
 "AS THE PROPERTY CURRENTLY EXISTS."

Sworn to before me this
 12th day of September, 2001

Susan J. Winn

SUSAN J. WINN
 Notary Public, State of New York
 No. 4901244
 Qualified in Westchester County
 commission expires Aug. 3, 2005

ARISTOTLE BOURNAZOS, P.C.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name: Maria, Vincent + Stella Rotirofi, being duly sworn, deposes and says that he/she resides at 70 Rosedale Ave in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.80 Block 73 and Lot 13 of the tax map, and that he/she hereby authorized Josefa Mulair to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Maria Rotirofi
Owner

SWORN TO BEFORE ME THIS 28 DAY
OF SEPT 2007

Marianne Money
Notary Public

MARIANNE MONEY
Notary Public, State of New York
No. 01MO5046158
Qualified in Westchester County
Commission Expires 10/26/2012

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

RENOVATION TO THE

ROTIROTI RESIDENCE

70 ROSEDALE AVE, HASTINGS-ON-HUDSON, N Y 10706


CHRISTINA GRIFFIN ARCHITECT

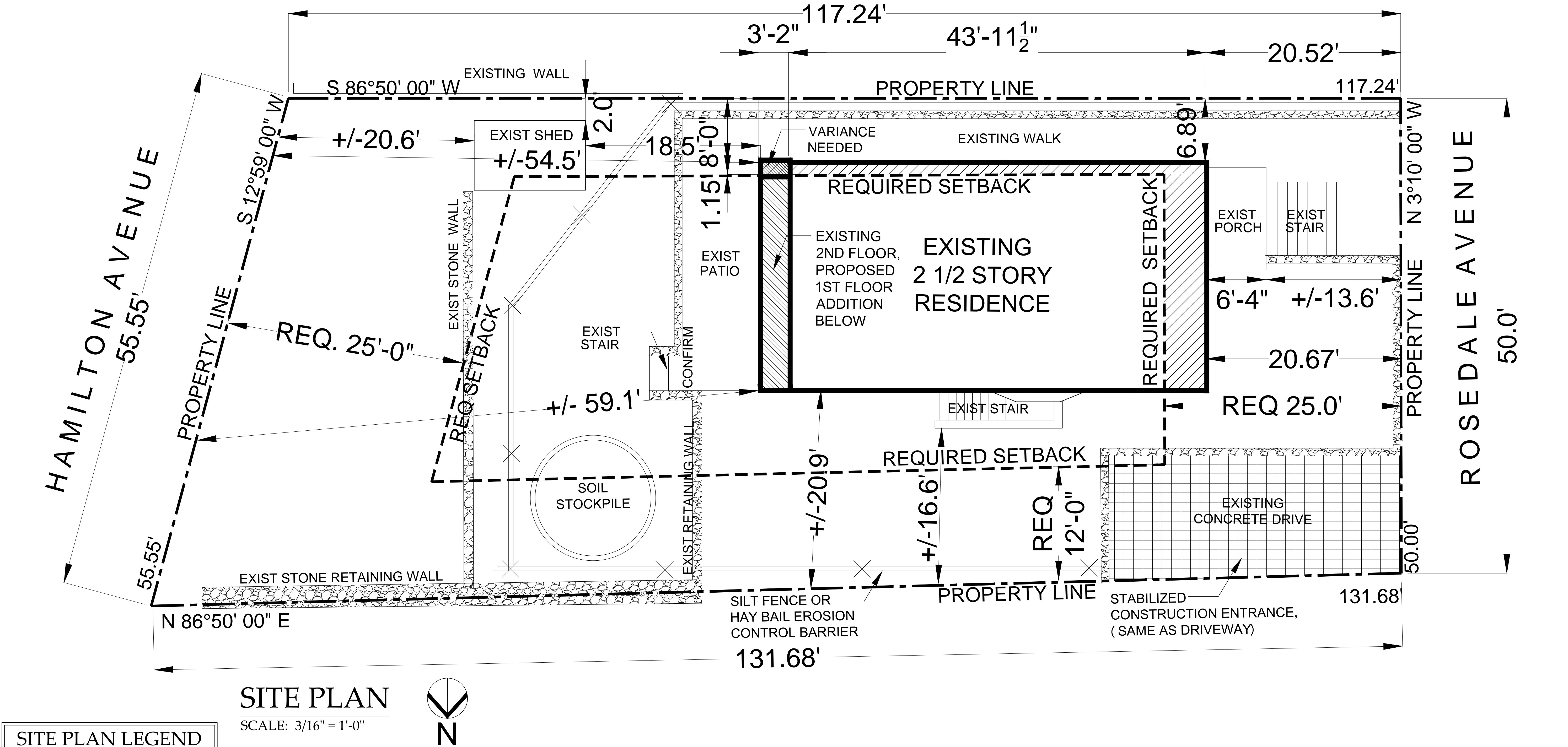
10 Spring Street, Hastings-on-Hudson, NY 10706



HASTINGS GREEN BUILDING CODE COMPLIANCE NOTES
1. NEW EXTERIOR LIGHTS TO COMPLY WITH HGBC 160-8.H.1
2. NEW APPLIANCES TO COMPLY WITH WITH HGBC 160.9.A.4
3. TOILET, SHOWERS & FAUCETS TO COMPLY WITH HGBC 160.10A, B & C
4. PAINTS, STAINS AND OTHER FINISHING MATERIALS TO COMPLY WITH HGBC 160.11.A.1,2,3,4,& 5
5. CONSTRUCTION WASTE MANAGEMENT TO COMPLY WTH HGBC 160-11.C

ZONING BOARD SUBMISSION 9-6-17

GENERAL NOTES										INSULATION & FENESTRATION REQUIREMENT BY COMPONENT IN ACCORDANCE WITH IECC 2015										DATES																																																																																										
<p>1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.</p> <p>2. All construction shall comply fully with the 2015 International Residential Code and 2016 NYS Supplement, 2015 International Energy Conservation Code, local building code, fire department regulations, and all other agencies having jurisdiction over project.</p> <p>3. Approved stamped set of building plans must be present on site for all inspections.</p> <p>4. A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.</p> <p>5. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.</p> <p>6. Licensed electrician to file electrical permit.</p> <p>7. Licensed plumber to file plumbing permit.</p> <p>8. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.</p> <p>9. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.</p> <p>10. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.</p> <p>11. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents,</p>										<p>tested and ready for owner's use.</p> <p>12. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.</p> <p>13. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.</p> <p>14. All construction sites shall conform to the 2010 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.</p> <p>15. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.</p> <p>16. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.</p> <p>17. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.</p> <p>18. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions</p>										<p>are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.</p> <p>19. All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.</p> <p>20. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.</p> <p>21. The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.</p> <p>22. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.</p> <p>23. The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.</p> <p>24. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.</p> <p>25. The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of</p>										<p>all portions of the work.</p> <p>26. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.</p> <p>27. Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.</p> <p>28. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.</p> <p>29. New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.</p> <p>30. All insulation to comply with the Energy Efficiency Certificate required by 401.3 2010 Energy Conservation Construction Code of New York, prepared by the Architect.</p> <p>31. If blown or sprayed insulation used, Installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N1101.5 of the 2010 Residential Code of New York State and submit an original signed copy for the Building Departments records.</p> <p>32. All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting</p>										<p>from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.</p> <p>33. Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.</p> <p>34. All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.</p> <p>35. Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.</p> <p>a) Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.</p> <p>b) Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.</p>										<p>c) Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.</p> <p>d) Final cleaning of all chrome and aluminum metal work.</p> <p>e) Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.</p> <p>36. Finish materials and paint colors shall be reviewed and approved by the homeowner.</p> <p>37. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.</p> <p><u>Energy Notes R-Values & U-Factors</u> 2015 International Energy Conservation Code Climate Zone 4A</p> <table><tr><td></td><td>Required</td><td>Proposed</td></tr><tr><td>Ceiling</td><td>R-49</td><td>R-38 & R-15</td></tr><tr><td>Wall</td><td>R-20</td><td>R-21</td></tr><tr><td>Glazing</td><td>0.40</td><td>0.32</td></tr><tr><td>Floor</td><td>R-19</td><td>R-30</td></tr></table> <p>Design Criteria: 5750 Degree Days 15% Maximum Glazing</p> <p><u>R402.2.1 CEILINGS WITH ATTIC SPACES</u> - Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.</p> <p><u>Certification</u> I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2015 International Residential Code, and the 2015 International Energy Conservation Code.</p> 											Required	Proposed	Ceiling	R-49	R-38 & R-15	Wall	R-20	R-21	Glazing	0.40	0.32	Floor	R-19	R-30	<table><tr><th>CLIMATE ZONE</th><th>FENESTRATION U-FACTOR^b</th><th>SKYLIGHT^b U-FACTOR</th><th>GLAZED FENESTRATION SHGC^{b,a}</th><th>CEILING R-VALUE</th><th>WOOD FRAME WALL R-VALUE</th></tr><tr><td>4A</td><td>0.35</td><td>0.55</td><td>0.40</td><td>49"</td><td>20 OR 13+5^b</td></tr><tr><td></td><td>MASS WALL R-VALUE^f</td><td>FLOOR R-VALUE</td><td>BASEMENT^c WALL R-VALUE</td><td>SLAB^f R-VALUE & DEPTH</td><td>CRAWL SPACE^e WALL R-VALUE</td></tr><tr><td></td><td>8/13</td><td>19</td><td>10/13</td><td>10, 2FT</td><td>10/13</td></tr></table> <p>a. R-VALUE ARE MINIMUMS. U-FACTORS & SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE. THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.</p> <p>b. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.</p> <p>c. R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FT, WHICHEVER IS LESS.</p> <p>d. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.</p> <p>e. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION</p> <p>f. THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.</p> <p>* R402.2.1 CEILINGS WITH ATTIC SPACES - INSTALLING R-38 OVER 100% OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES.</p> <p>R402.2.2 CEILINGS WITHOUT ATTIC SPACES - WHERE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLY SHALL BE R-30. THIS REDUCTION OF INSULATION FROM THE REQUIREMENT SHALL BE LIMITED TO 500 SQUIRE FEET OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.</p>										CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,a}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	4A	0.35	0.55	0.40	49"	20 OR 13+5 ^b		MASS WALL R-VALUE ^f	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^f R-VALUE & DEPTH	CRAWL SPACE ^e WALL R-VALUE		8/13	19	10/13	10, 2FT	10/13	<p>CONSTRUCTION DRAWINGS</p> <p>9-6-17</p> <p>CONSTRUCTION BID DOCUMENTS</p> <p>9-14-17</p> <p>BUILDING PERMIT SUBMISSION</p> <p>9-19-17</p> <p>ZONING BOARD SUBMISSION</p> <p>9-26-17</p>	
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TITLE SHEET		GENERAL NOTES, ZONING DATA, CLIMATIC & GEOGRAPHIC CRITERIA, GREEN CODE COMPLIANCE																																																																																																												
S-1		LIST OF DRAWINGS, DATES SITE PLAN, TABLE OF ZONING DATA, COVERAGE CALCULATIONS, DRAINAGE CALCULATIONS, LOCATION MAP																																																																																																												
A-1		FIRST & SECOND FLOOR PLANS																																																																																																												
A-2		EXTERIOR ELEVATIONS																																																																																																												
A-4		PHOTOGRAPHS OF SITE and NEIGHBORING PROPERTIES																																																																																																												
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GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS																																																																																																							
20 psf	100-110	C	severe	42" min	medium to heavy	YES	NO																																																																																																							



SITE PLAN LEGEND

- EXISTING NON-CONFORMING BUILDING
- PROPOSED CONFORMING CONSTRUCTION
- PROPOSED CONTINUATION OF NON-CONFORMITY

NOTE: AN AS-BUILT SURVEY OF THE NEW FOUNDATION MUST BE SUBMITTED FOR REVIEW TO THE BUILDING DEPARTMENT PRIOR TO COMMENCEMENT OF FRAMING.

IMPERVIOUS SURFACE IS UNCHANGED

EXISTING LEADERS & UNDERGROUND DRAINAGE SYSTEM TO REMAIN

TABLE OF ZONING DATA

70 ROSEDALE AVENUE
SECTION: 4.8 BLOCK: 73 LOT: 13
ZONING DISTRICT: R7-5

SITE PLAN IS BASED ON SURVEY BY:
HAROLD BECKER CIVIL ENGINEER & SURVEYOR
SURVEY DATE: MAY 9, 1955
MUNICIPALITY: VILLAGE OF HASTINGS-ON-HUDSON

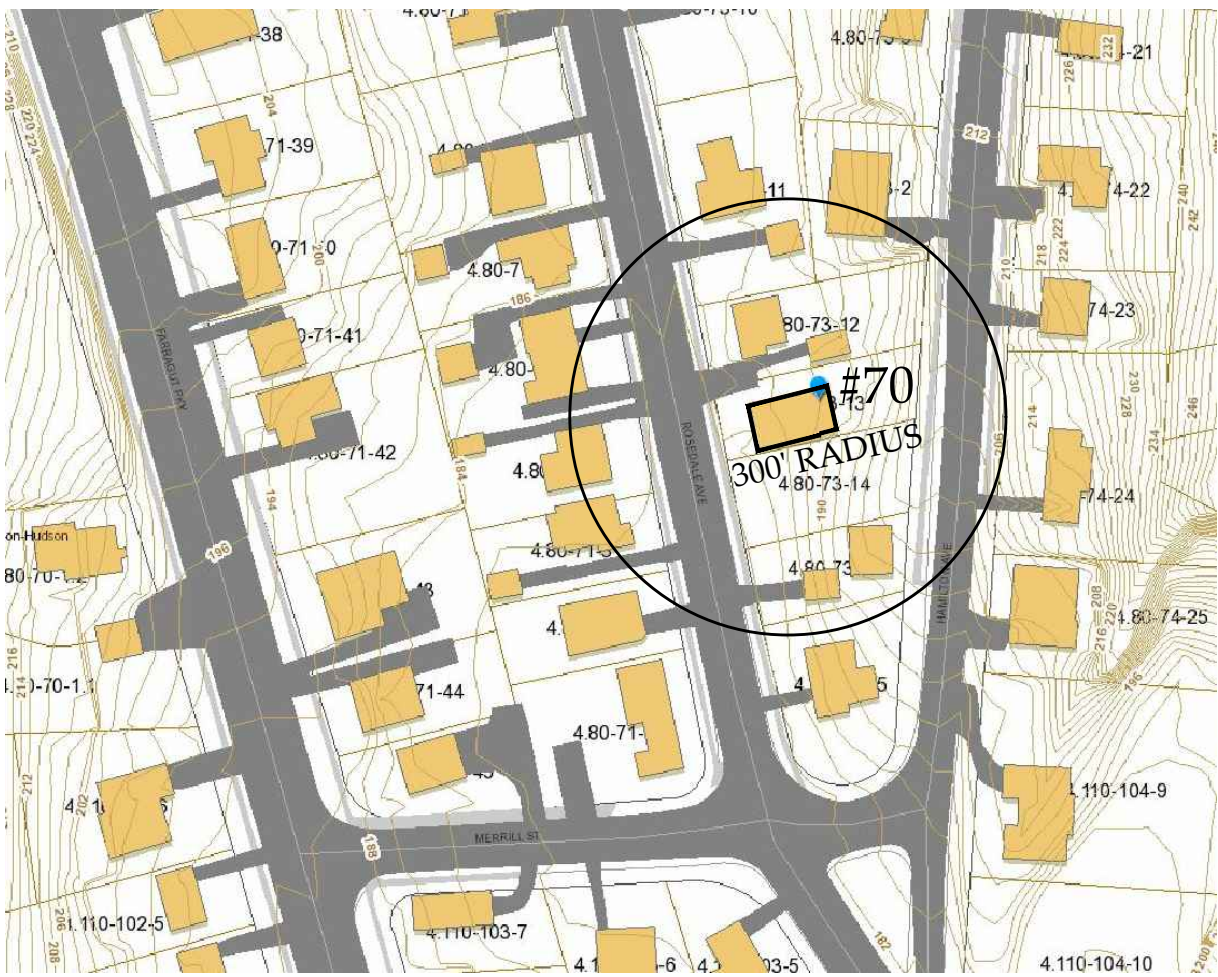
COVERAGE CALCULATIONS

LOCATION MAP

	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE	10,000 SF FOR 2-FAMILY	6,418 SF*	6,418 SF
WIDTH AT FRONT OF BLDG.	100 FT	50 FT*	50 FT
BUILDING COVERAGE	30% (1,925 SF)	1,393 SF / 22%	1,393 SF / 22% BUILDING COVERAGE REMAINS THE SAME
DEVELOPMENT COVERAGE (ALL STRUCTURES, DRIVEWAYS, IMPERVIOUS SURFACES)	30% (1,925 SF) FOR USES OTHER THAN 1-FAMILY	±2,633 SF / 41%*	±2,633 SF / 41% DEVELOPMENT COVERAGE REMAINS THE SAME
MIN. FRONT YARD	25 FT	20.67 FT*	20.67 FT
MIN. REAR YARD	25 FT	59.1 FT	59.1 FT
MIN. SIDE 1 YARD	8 FT	6.89 FT*	6.89 FT
MIN. SIDE 2 YARD	12 FT	±16.6 FT	±16.6 FT
MIN. 2 SIDE YARDS	20 FT	±23.49 FT	±23.49 FT
MAXIMUM HEIGHT	35 FT / 2.5 STORIES	33 FT / 2.5 STORIES	33 FT / 2.5 STORIES

* EXISTING NON-CONFORMING

LOT AREA	6,418 SF	
BUILDING, PORCH, SIDE STAIR, SHED	EXISTING 1,393 SF / 22%	PROPOSED 1,393 SF / 22%
PATIO	±270 SF	±270 SF
WALKS	±264 SF	±264 SF
WALLS	±300 SF	±300 SF
DRIVEWAY (TOTAL)	±406 SF	±406 SF
TOTAL DEVELOPMENT COVERAGE (ALL BLDG., STRUCTURES, DRIVEWAY, IMPERVIOUS SURFACES)	EXISTING ±2,633 SF / 41%	PROPOSED ±2,633 SF / 41%



RENOVATIONS TO THE

ROTIROTI RESIDENCE

70 ROSEDALE AVENUE, HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT P.C.

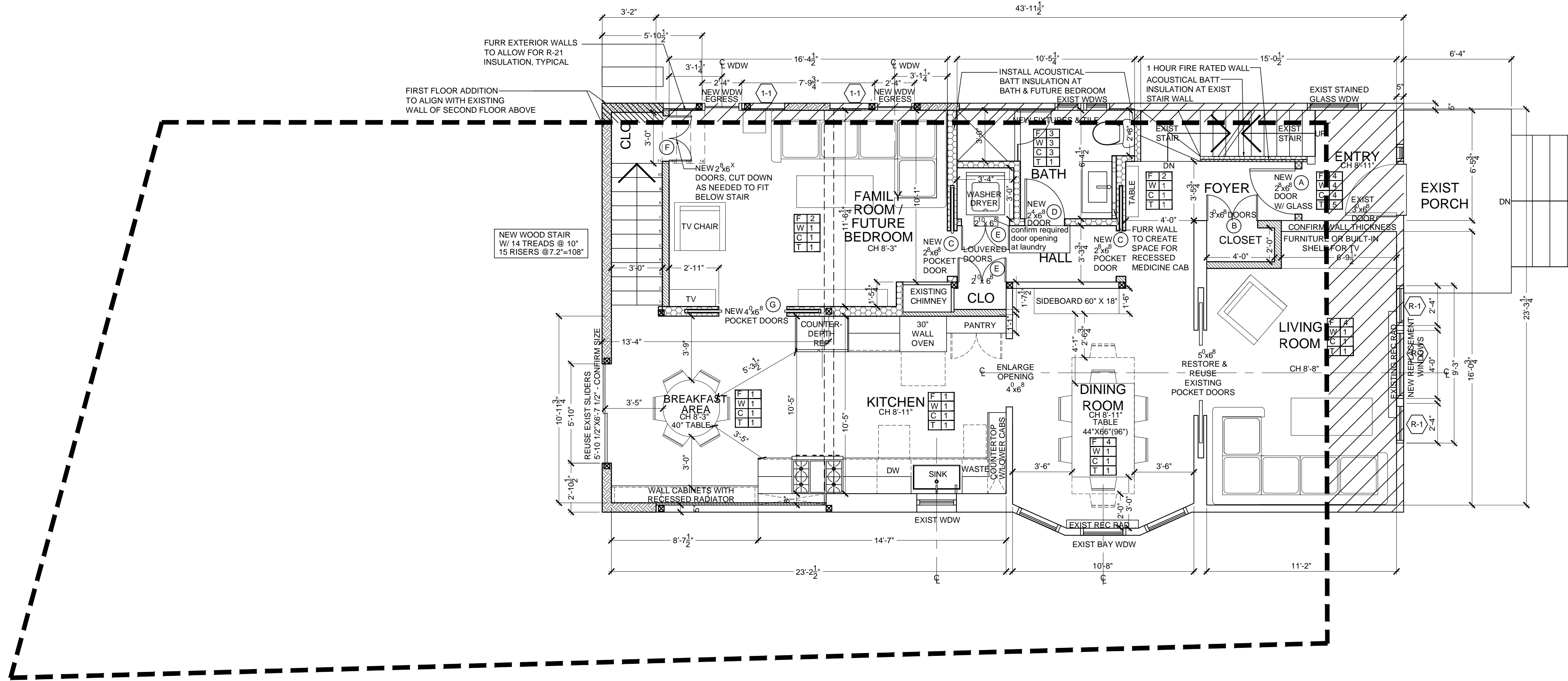
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CONSTRUCTION DRAWINGS 9-6-17
CONSTRUCTION BID DOCUMENTS 9-14-17
BUILDING PERMIT SUBMISSION 9-19-17
ZONING BOARD SUBMISSION 9-26-17

Drawing Title
SITE PLAN
ZONING DATA

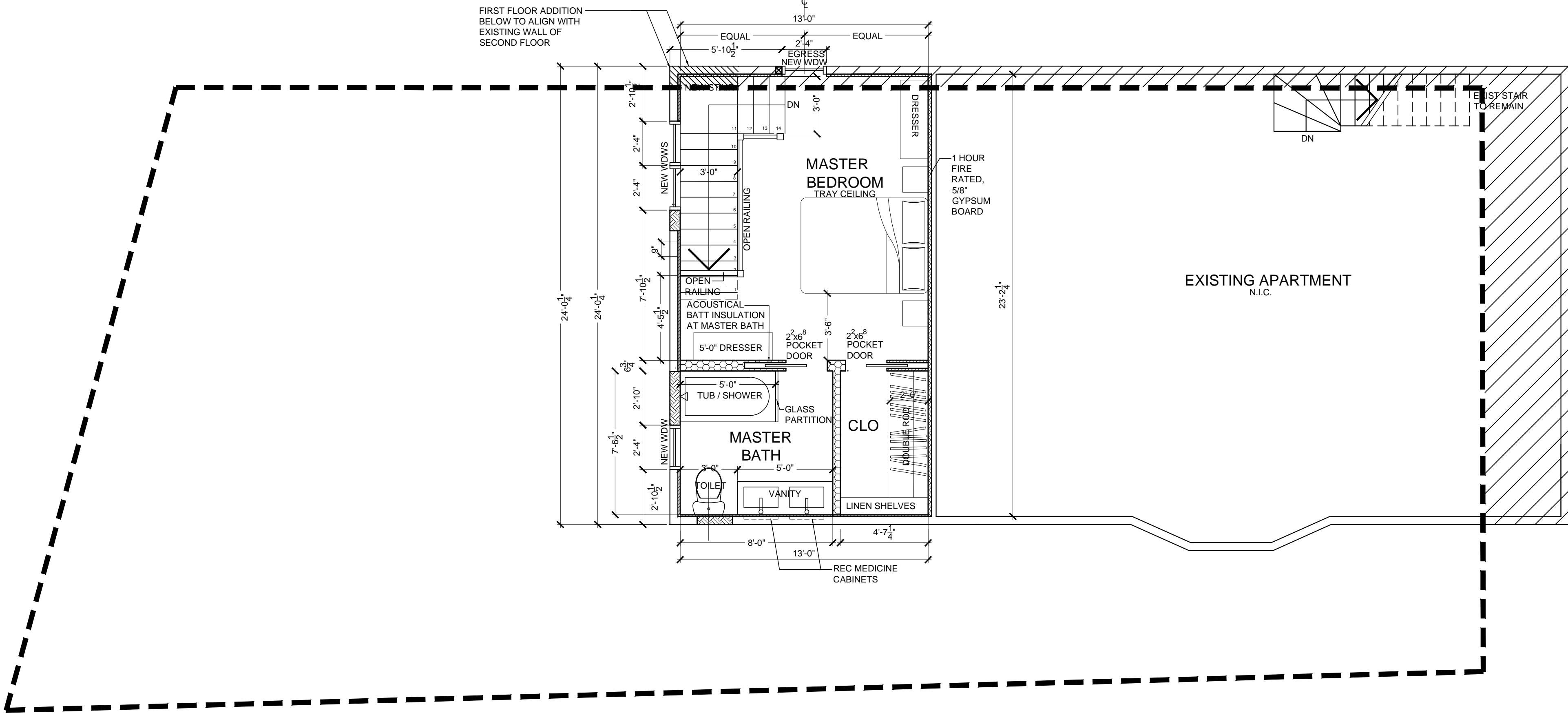
Scale:
AS SHOWN

S-1



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FINISH KEY

F - FLOOR, W - WALL, C - CEILING, T - TRIM
ALL MATERIALS INDICATED ARE NEW UNLESS OTHERWISE NOTED

FLOOR

- New select grade oak flooring with stain color and two coats polyurethane finish.
- Existing wood flooring to remain, patch as needed, stain color and two coats polyurethane finish.
- New tile on 1/2" reinforced mud base
- Existing to remain

WALL

- New 5/8" one hour fire-rated gypsum board
- New 5/8" moisture resistant, fire-rated, gypsum board
- Tile on 5/8" moisture resistant gypsum board 42" above floor and for tile on 1/2" denshield board to ceiling at shower
- Existing to remain, patch as needed

CEILING

- New 5/8" one hour fire-rated gypsum board
- New 1/2" gypsum board
- New 5/8" moisture resistant gypsum board
- New 1/2" moisture resistant gypsum board
- Existing to remain, patch as needed

TRIM

- New paint grade crown, window casing, and base - see details, C-A-2.
- Existing to remain, patch as needed. Match existing if new.

LEGEND

INTERIOR WALL:
5/8" gypsum board ea. side of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH ACOUSTICAL INSULATION:
5/8" gypsum board each side of 2 x 4s @ 16" o.c.
Blue Jeans acoustical insul.

1 HOUR FIRE RATED WALL:
5/8" fire code gypsum board on each side of 2x4s @ 16" o.c.

EXTERIOR WALL:
Siding to match existing, house wrap, 5/8" Advantech sheathing, 2x6 studs 16" o.c., R-21 batt insulation 5/8" gypsum board

FOUNDATION WALL:
10" reinforced concrete wall, stucco finish above grade, troweled on waterproofing below grade

ELEVATION NO.
XX
ELEVATION SHEET NO.

SECTION DETAIL
XX
ELEVATION NO.
XX
SHEET NO.

DOOR TYPE:
FOR DESCRIPTION, SEE SPECIFICATIONS - DOOR SCHEDULE

WINDOW TYPE:
FOR DESCRIPTION, SEE SPECIFICATIONS - WINDOW SCHEDULE

WINDOW & DOOR SCHEDULE

DOOR SCHEDULE

CONTRACTOR TO VERIFY FIT OF NEW WINDOWS IN EXISTING OPENINGS PRIOR TO ORDERING WINDOWS

No	Description	Manufacturer	Door Size	Model Number	Quantity
A	Entry door to first floor residence, wood with glass panel	Simpson	3'-0" x 6'-8"		1
B	Painted Masonite doors	TBD	3'-0" x 6'-8"		1 set of 2
C	Painted Masonite pocket door	TBD	2'-8" x 6'-8"		2
D	Painted Masonite door	TBD	2'-4" x 6'-8"		1
E	Painted louvered doors	Simpson	2'-10" x 6'-8" CONFIRM MINIMUM DIMENSION REQUIRED FOR WASHER & DRYER		2 sets of 2
F	Painted doors	TBD	2'-8" x 6'-X"	Cut as needed to fit below stair	1 set of 2
G	Painted Masonite pocket doors	TBD	4'-0" x 6'-8"		1 set of 2
H	Painted Masonite pocket door	TBD	2'-2" x 6'-8"		2

WINDOW & SCHEDULE

CONTRACTOR TO VERIFY FIT OF NEW WINDOWS IN EXISTING OPENINGS PRIOR TO ORDERING WINDOWS

No	Description	Manufacturer / Model No.	Rough Opening	Notes	Quantity
FIRST FLOOR					
R1-1	Double Hung	Andersen 200 Series 244DH2440	Sash 2'-3 1/2" x 3'-11 1/2" R.O. 2'-4 X 4'-0" CONFIRM SIZE ON SITE	Mull with R-2	2
R1-2	Picture	Andersen 200 Series 244FX4040	Sash 3'-11 1/2" x 3'-11 1/2" R.O. 4'-0" X 4'-0" CONFIRM SIZE ON SITE	Mull with R-1	1
1-1	Casement window to simulate double hung	Andersen 400 Series CW135	Sash 2'-4 3/8" x 3'-4 13/16" R.O. 2'-4 7/8" X 3'-5 3/8" CONFIRM SIZE ON SITE	EGRESS	2
SECOND FLOOR					
2-1	Casement window to simulate double hung	Andersen 400 Series CW135	Sash 2'-4 3/8" x 3'-4 13/16" R.O. 2'-4 7/8" X 3'-5 3/8" CONFIRM SIZE ON SITE	EGRESS	2
2-2	Casement window to simulate double hung	Andersen 400 Series CW135	Sash 2'-4 3/8" x 3'-4 13/16" R.O. 2'-4 7/8" X 3'-5 3/8" CONFIRM SIZE ON SITE	Mull together	2

WINDOW & GLASS DOOR NOTES:

- All new windows & glass doors will have the following features:
 - Exterior color: TBD
 - Interior: TBD
 - Glass: Double insulated low-e
 - Hardware: TBD.
 - Casement windows handle TBD.
 - Screens: TBD
 - U-value = 0.28
 - All safety glass to be laser etched

2. OWNER & ARCHITECT TO REVIEW AND APPROVE WINDOW ORDER PREPARED BY WINDOW COMPANY BEFORE ORDER IS PLACED

RENOVATIONS TO THE
ROTIROTI RESIDENCE
70 ROSEDALE AVENUE, HASTINGS-ON-HUDSON, NY 10706

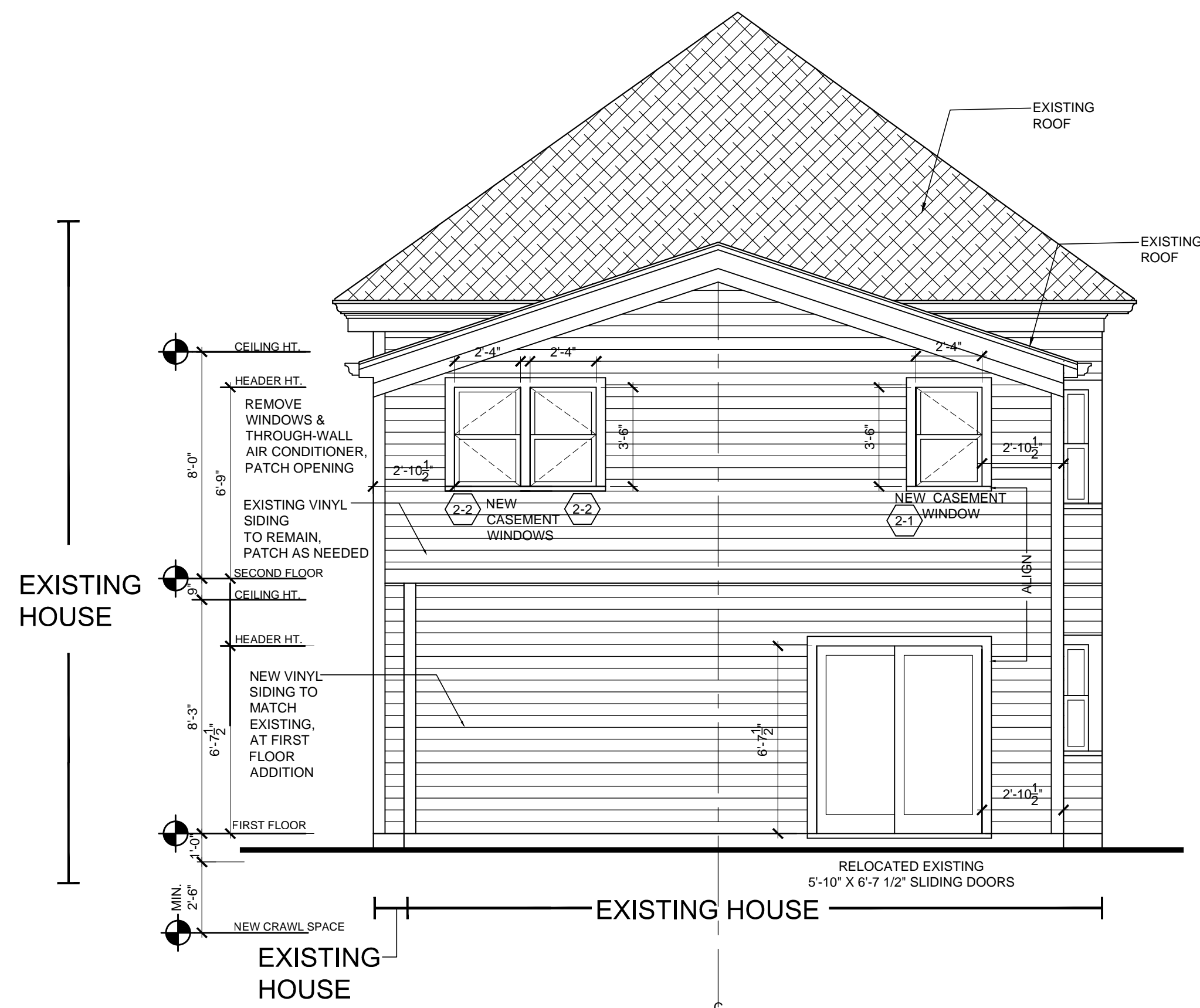
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Drawing Title
BASEMENT PLAN
CONSTRUCTION BID DOCUMENTS 9-14-17
BUILDING PERMIT SUBMISSION 9-19-17
ZONING BOARD SUBMISSION 9-26-17

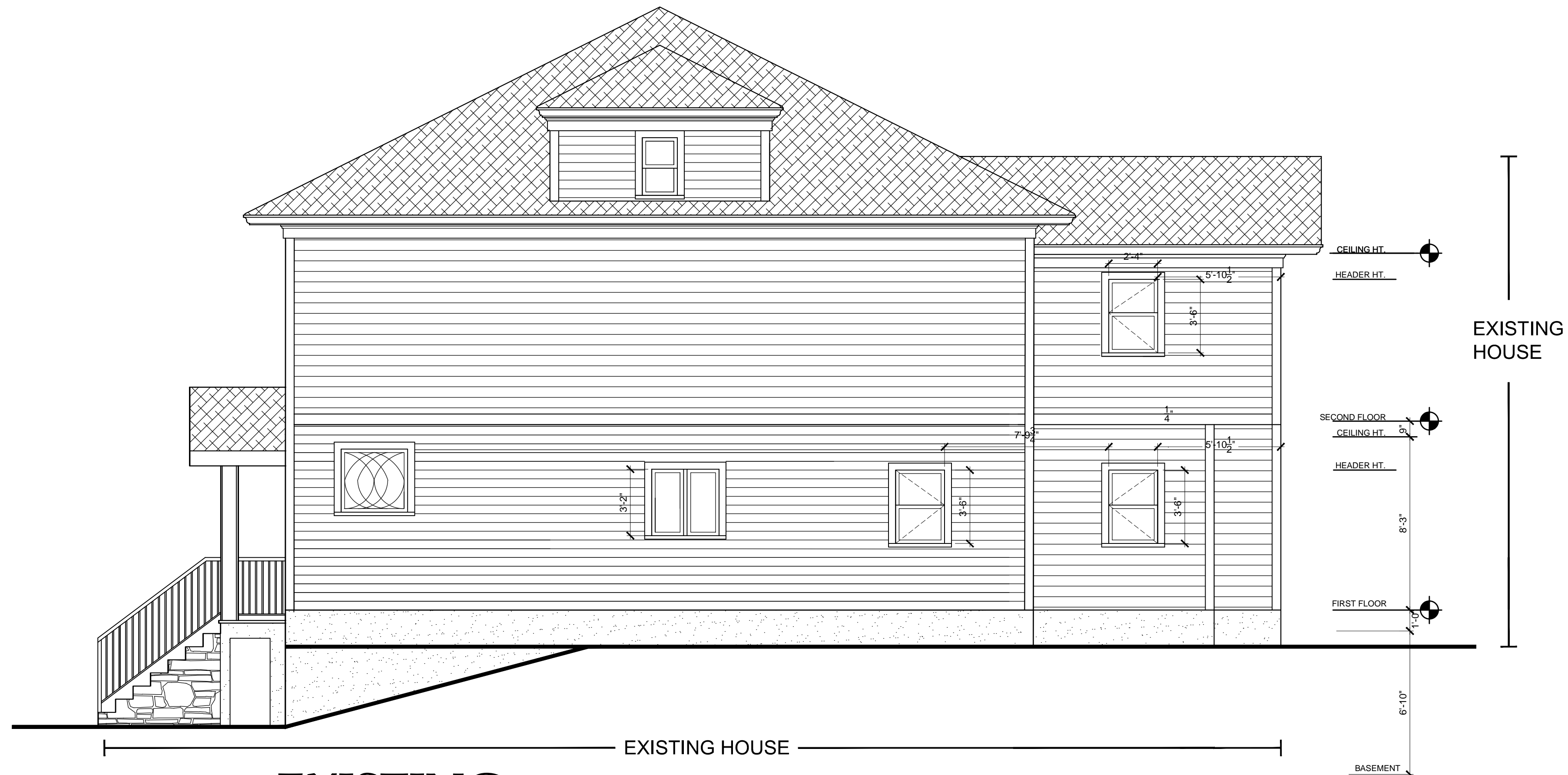
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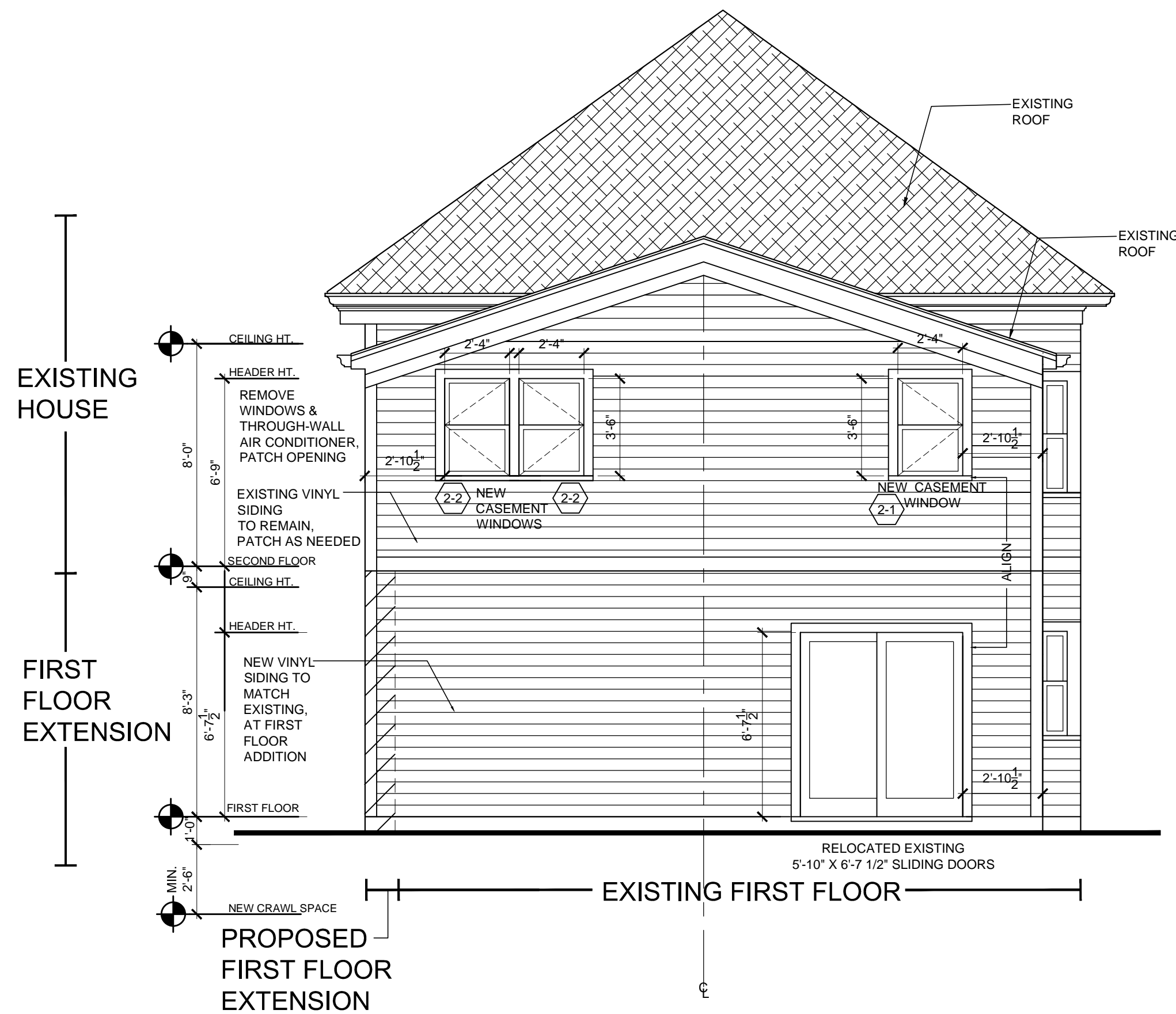
A-1



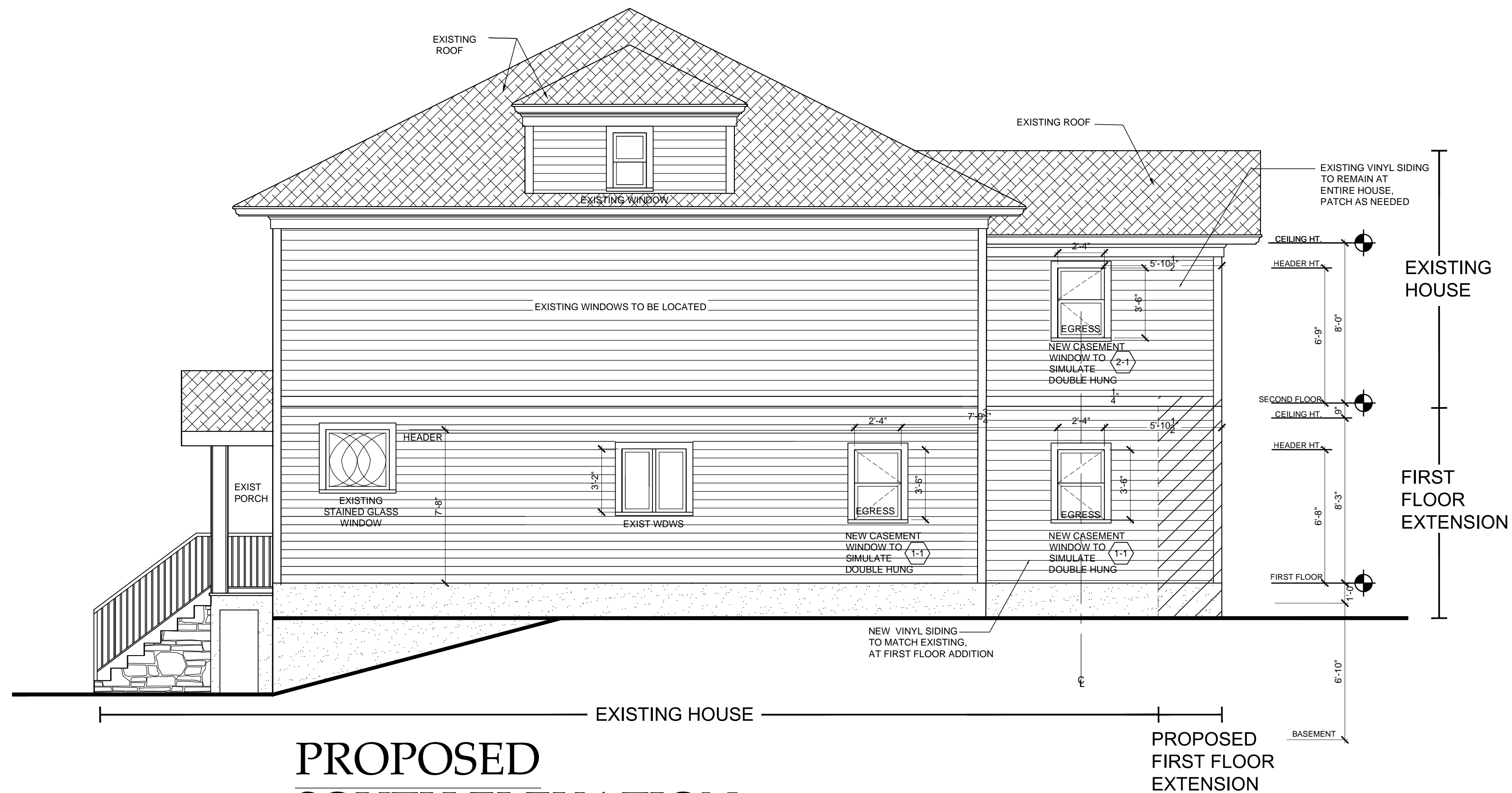
**EXISTING
EAST ELEVATION**
SCALE: 1/4" = 1'-0"



**EXISTING
SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"



**PROPOSED
EAST ELEVATION**
SCALE: 1/4" = 1'-0"



**PROPOSED
SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"

RENOVATIONS TO THE

ROTIROTI RESIDENCE

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CONSTRUCTION BID DOCUMENTS 9-14-17

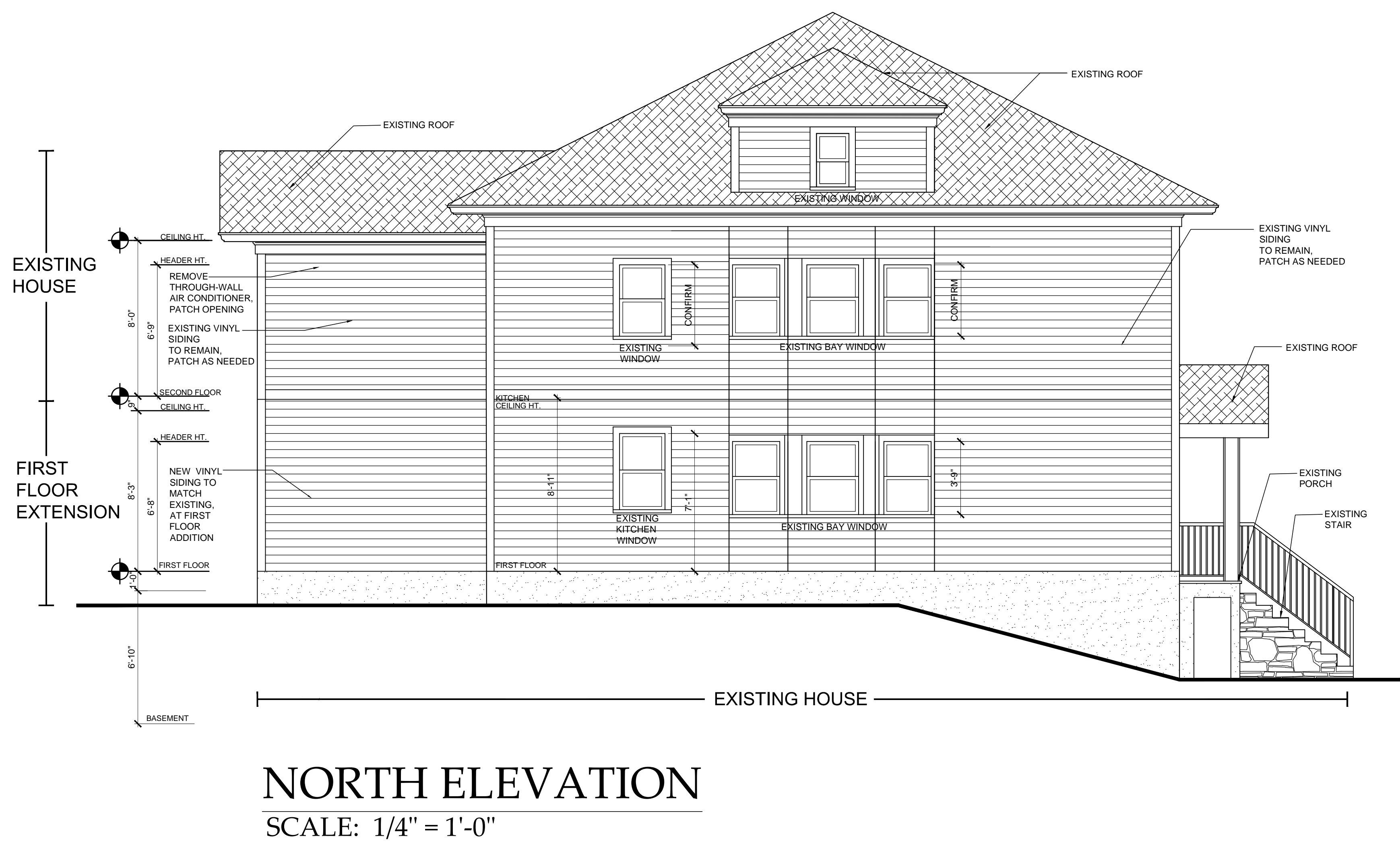
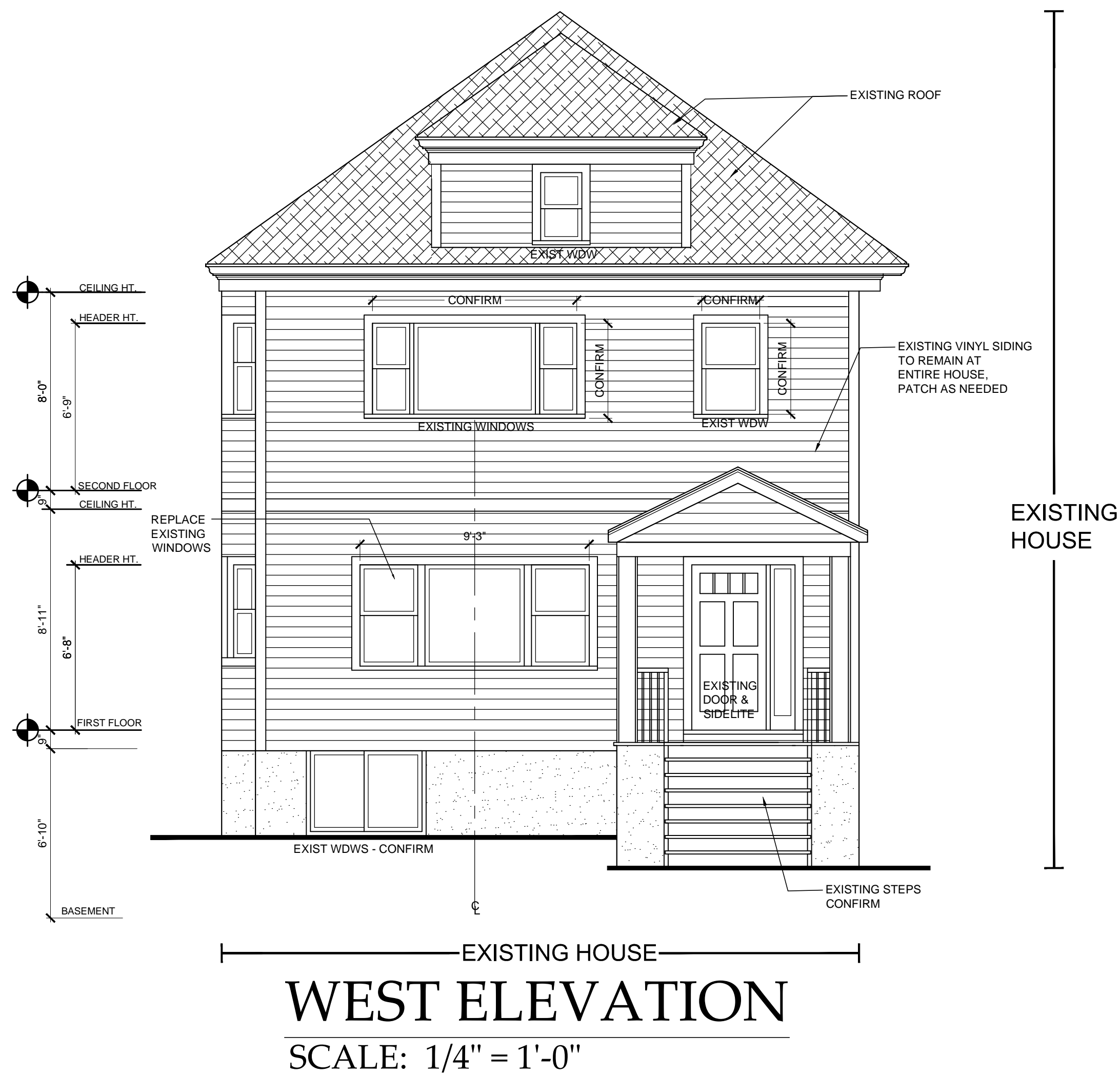
BUILDING PERMIT SUBMISSION 9-18-17

ZONING BOARD SUBMISSION 9-26-17

EXISTING & PROPOSED
ELEVATIONS

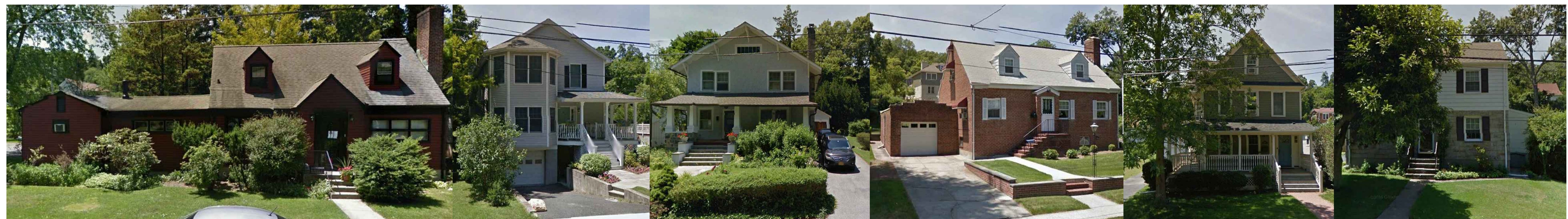
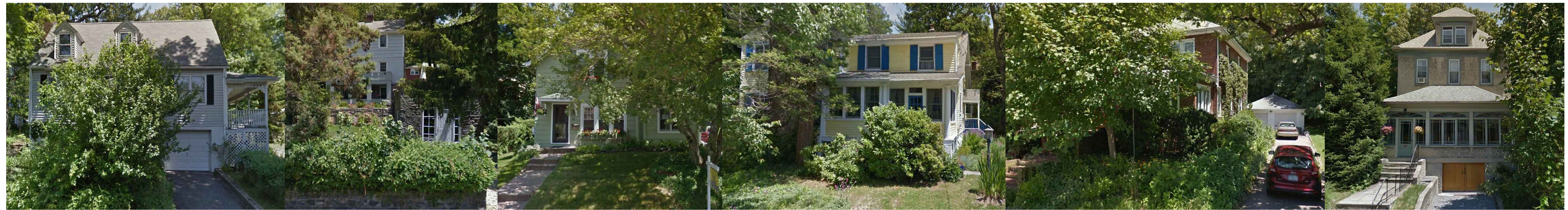
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EXISTING HOUSE AT 70 ROSEDALE AVENUE



NEIGHBORING PROPERTIES

RENOVATIONS TO THE

ROTIROTI RESIDENCE

70 ROSEDALE AVENUE, HASTINGS-ON-HUDSON, NY 10706

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CONSTRUCTION BID DOCUMENTS 9-14-17

ZONING BOARD SUBMISSION 9-26-17

Drawing Title

PHOTOS

AS SHOWN

A-3