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January 03, 2016

Village of Hastings on Hudson
Planning Board
7 Maple Place
Hastings on Hudson, New York
Attn: Mr. M. Collins, Zoning Board Chairman

Re: Zoning Board application resubmittal
Addition and alteration to
Existing 1 family dwelling
6 Fulton Street
Hastings on Hudson, New York
DAB Job # 160901

Dear Chairman Collins and Zoning Board members:

Attached please find 8 copies of revised drawings addressing comments of the last Zoning Board meeting. The attached package contains the original application package and revised drawing indicating the two (2) major concerns the Board, and adjacent neighbors voiced.

1. The proposed Garage addition at the right hand side, which was previously depicted as encroaching into the minimum front yard setback has been modified so that that part of the new structure will be completely beyond the minimum front yard setback.
2. The low wall that was proposed along a part of the westerly side of the driveway (approximately 3.5' high), has been modified. The Garage floor elevation has been lowered and the need for a wall has been reduced, as well as the height of the wall (2.0' at a small portion of the west side).

If you should have any questions or comments, or require additional information, please feel free to contact my office at 914.909.5143, or my cell at 914.760.1120.

Thank You;



David A. Barbuti Architect

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November 07, 2016

Proposed addition and alteration to
existing 1 family dwelling
6 Fulton Street
Hastings-on-Hudson, New York
66H-2-30

ZONING

A variance to the Village of Hastings-on-Hudson Zoning Code

1. Insufficient front yard setback; 30.0' required, proposed 8.71' (front porch).
2. Extension to an existing non-conforming structure.

PRINCIPAL POINTS

The above property contains a 1 family, 1 ½ story dwelling with a one (1) car garage in the Basement, and one (1) exterior parking spaces in the driveway. The existing structure had become in a state of disrepair and become vacant. Under this proposal, we propose to construct a 1st floor addition that will house a (two) 2 car garage, and Mud Room, and a Family Room and Kitchen addition. On the 2nd floor addition a 5 Bedroom, 3 Bath addition is proposed.

The requested Variances for construction is based on the existing structure locations and site conditions that cannot have been avoided. The existing structure (front roofed porch) is set off the front property line 7.61', and the main house is set 13.71' from the front property line; where 30.0' is required. The proposed front porch is set 8.71' from the front property line, and the proposed second floor addition is set at 13.71'; the same as the existing first floor footprint.

The requested Variance for the front yard setback and extension of a non-conforming structure cannot be obviated because of the location of the existing dwelling force the location of said improvements. The site is a sloping site which contains steep slopes toward the rear; reconfiguring the proposed layout would force construction into the steep slope area. By configuring the addition as proposed, it mitigates construction into the steep slope areas.

There are five (5) criteria the applicant is required to show that the benefit the applicant stands to receive from the variance will outweigh any burden to health, safety and welfare that may be suffered by the community. The following factors into considered in making the determination:

(1) Whether an undesirable change will be produced in the character of the neighborhood, or a detriment to nearby properties will be created by the granting of the area variance;

The proposed structure will be in character with the neighborhood which consists of residential homes, many of which are set closer to the front property line than the required 30.0' setback. The proposed construction will increase the value of the homes in the neighborhood, and it will also remove the vacant eyesore that presently exists.

(2) Whether the benefit sought by the applicant can be achieved by some method which will be feasible for the applicant to pursue but would not require a variance;

The proposed construction cannot be achieved by some other means, because of the location of the existing structure, and its already encroaching into the front yard setback. Part of the existing structure would need to be demolished to become compliant with the front yard setback, and a larger addition proposed to the rear and side impacting steep slopes.

(3) Whether the requested area variance is substantial;

The proposed variance is substantial, but only because the location of the existing structure into the front yard setback.

(4) Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district;

There will be no adverse environmental or physical impact on the area because the dwelling will remain a 1-family dwelling in an R-10 zone. As previously stated, there are several homes in the neighborhood with similar situations regarding front yard setback encroachments.

(5) Whether an alleged difficulty is self-created.

The hardship may be self-created but only based on the location of existing structure, the only possible way to rectify this, would be to construct an addition to the rear, which would force construction into the steep slope areas.

The applicant and owner shall comply with any reasonable conditions set by this Zoning Board of Appeals necessary..

If you should have any questions or comments, please feel free to contact my office at 914-909-5143.

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Barbuti', is written over a horizontal line.

David A. Barbuti, R.A.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number:

Date of application:

Property owner:

Ms. E. Kera

Property address:

6 Fulton Street

Name all streets on which the property is located:

Fulton Street

Sheet:

4.140

Block:

146

Lot/Parcel:

22

Zoning District:

R10

Applicant

David A. Barbanti, Architect

Standing of applicant if not owner:

Architect

Address:

150 White Plains Road Ste 103 Tarrytown NY 10591

Daytime phone number:

(914) 760-1120

Fax number:

(914) 909-5144

E-mail address:

dave@barbantiarchitects.com

ZBA action requested for (See §295-146B & C):

☐ Use Variance/s

☒ Area Variance/s;

☐ Interpretation

☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68F	Front Yard Min 30'	7.61	8.71
	Extension of a non-conforming structure		

*See example below:

295-68F 1a	Front Yard Min 30 ft. deep	26.5 ft	19.5 ft
295-68A	Permitted Principal Use	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30	7.61 +/-	8.71
REAR	30	48.17	31.23
SIDE ONE	12	22.27	16.15
SIDE TWO		52.13	31.38
TOTAL OF TWO SIDES	30	74.40	47.53

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	N/A	N/A	N/A
REAR	N/A	N/A	N/A
SIDE	N/A	N/A	N/A

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	1 1/2	2
FEET	35	18	30

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000	10,800	10,800
BLDG. COVERAGE/ % OF LOT AREA	25%	9.3%	16.3%
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	32.6%	33.9%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single family	single family	single family

** Single Family, Two Family, Commercial, Mixed Use etc

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action

- List pending violations on this property if any:

none

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Applicant

Sworn to before me this _____ day
of _____, 20____

Notary Public

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK COUNTY OF
WESTCHESTER VILLAGE OF
HASTINGS ON HUDSON

Name: Ellen Kera-Geiger being duly sworn, deposes and says that
he/she resides at 6 Fulton Ave in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 4.140 Block 146 and Lot 27 of the tax map, and that
he/she hereby authorized DAVID BARBUTI to make the annexed
application in his/her behalf and that the statement of fact contained in said application are true.

[Signature]
Owner

SWORN TO BEFORE ME THIS ninth DAY
OF November 2016

MARY THERESA MARTZ
Notary Public, State of New York
No. 013307111
Qualified in Westchester County
Commission Expires June 15, 2019

Mary Theresa Martz
Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: KERA RESIDENCE							
Project Location (describe, and attach a location map): 6 FULTON STREET HASTINGS ON HUDSON							
Brief Description of Proposed Action: CONSTRUCT A 2 STORY ADDITION AND INTERIOR ALTERATIONS TO THE EXISTING 1 FAMILY DWELLING							
Name of Applicant or Sponsor: David A Barbuti, RA		Telephone: 914.909.5143 E-Mail: dave@barbutiarchitects.com					
Address: 150 White Plains Road							
City/PO: Tarrytown		State: NY	Zip Code: 10591				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 5px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 5px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Building Department			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 5px;"><input type="checkbox"/></td> <td style="text-align: center; padding: 5px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? 0.248 acres b. Total acreage to be physically disturbed? 0.0495 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0 acres							
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____		NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?		NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES A SWMPP IS SUBMITTED WITH THE APPLICATION		NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>David A Barbuti RA</u> Date: <u>11-12-16</u> Signature: _____		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<div> <div>Name of Lead Agency</div> <div>Date</div> </div>	
<div> <div>Print or Type Name of Responsible Officer in Lead Agency</div> <div>Title of Responsible Officer</div> </div>	
<div> <div>Signature of Responsible Officer in Lead Agency</div> <div>Signature of Preparer (if different from Responsible Officer)</div> </div>	

PRINT

Municipal Tax Parcel Viewer

Tax Maps

(Data: 2012)

1.

Search

Primary SBL

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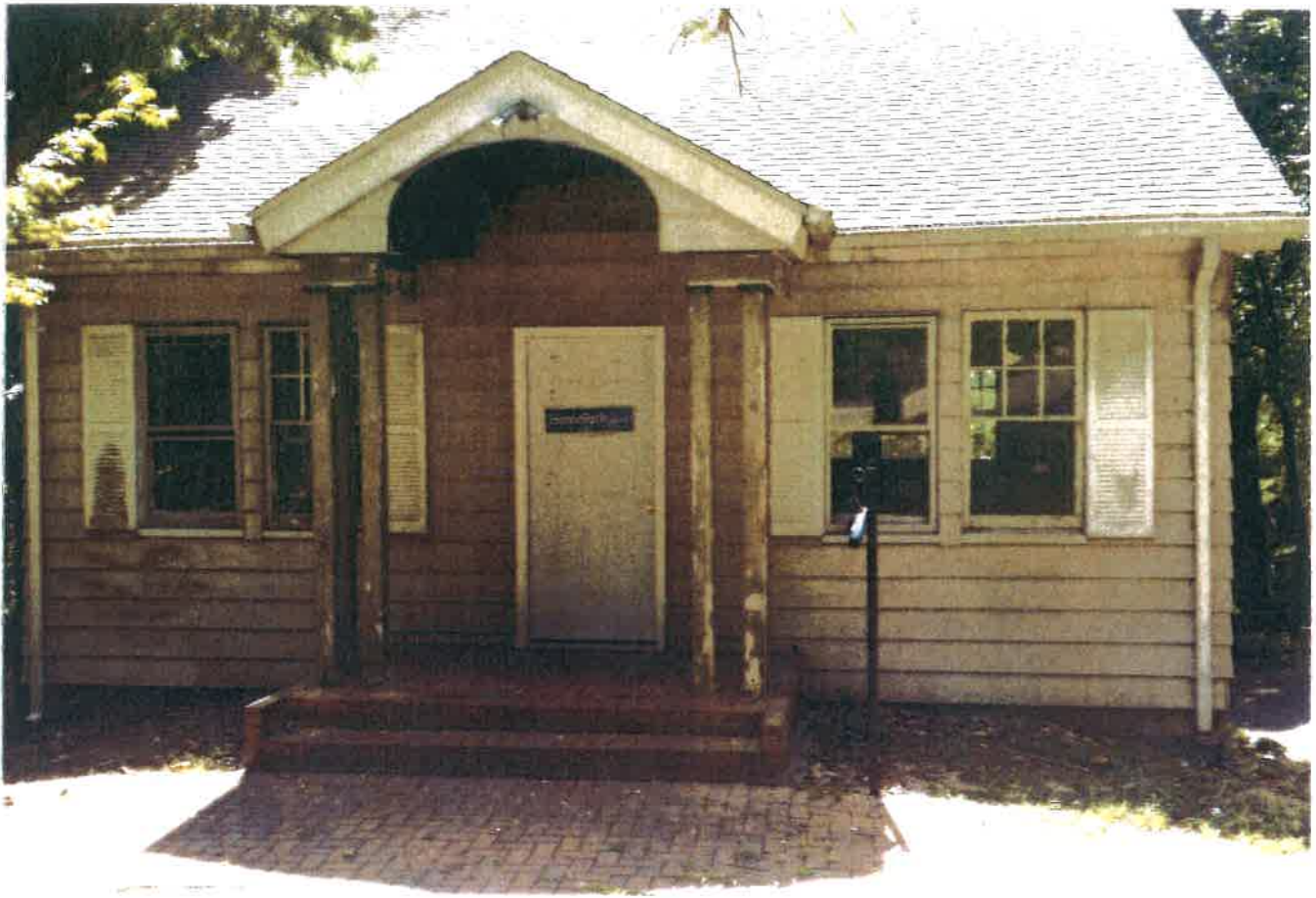
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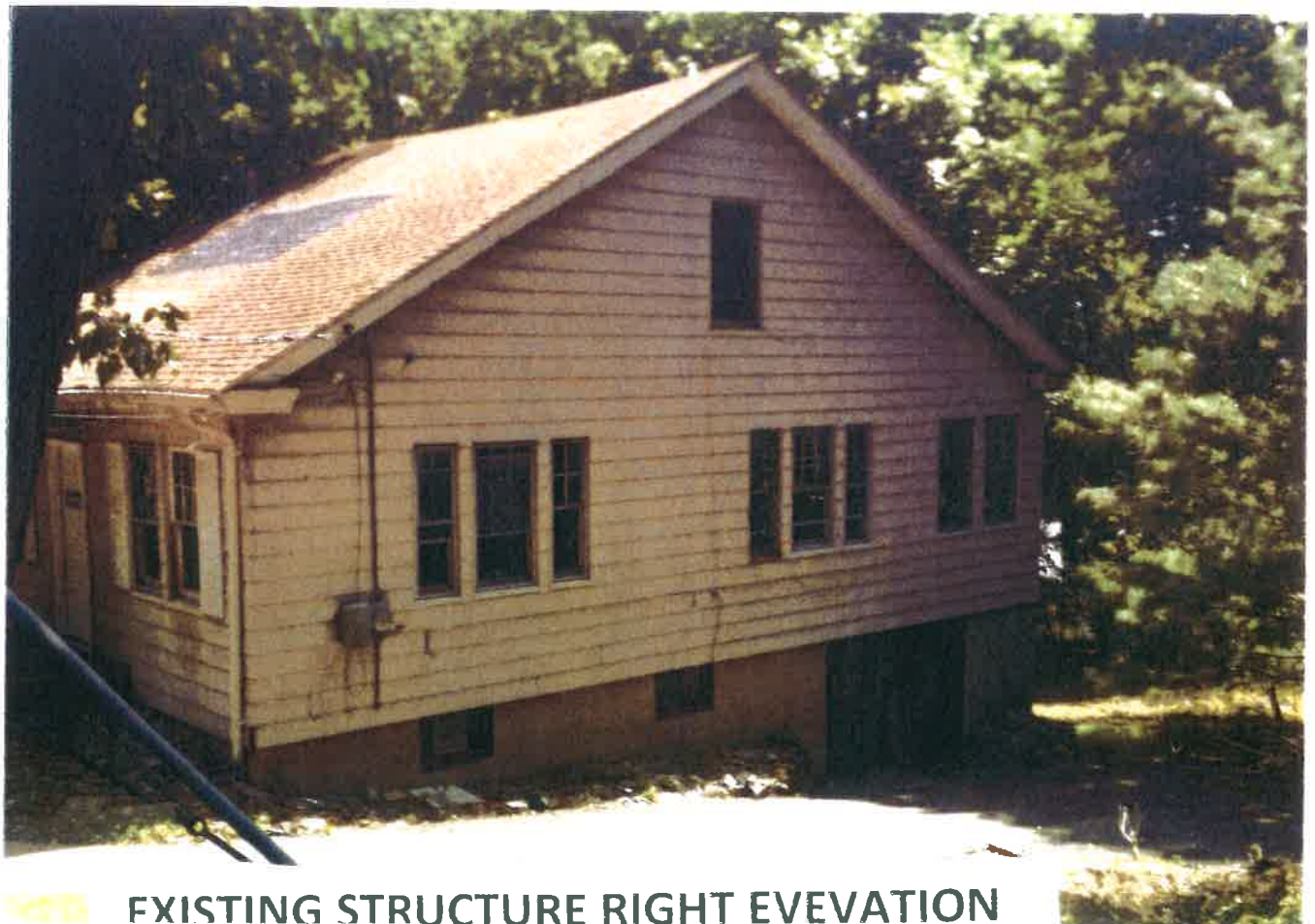
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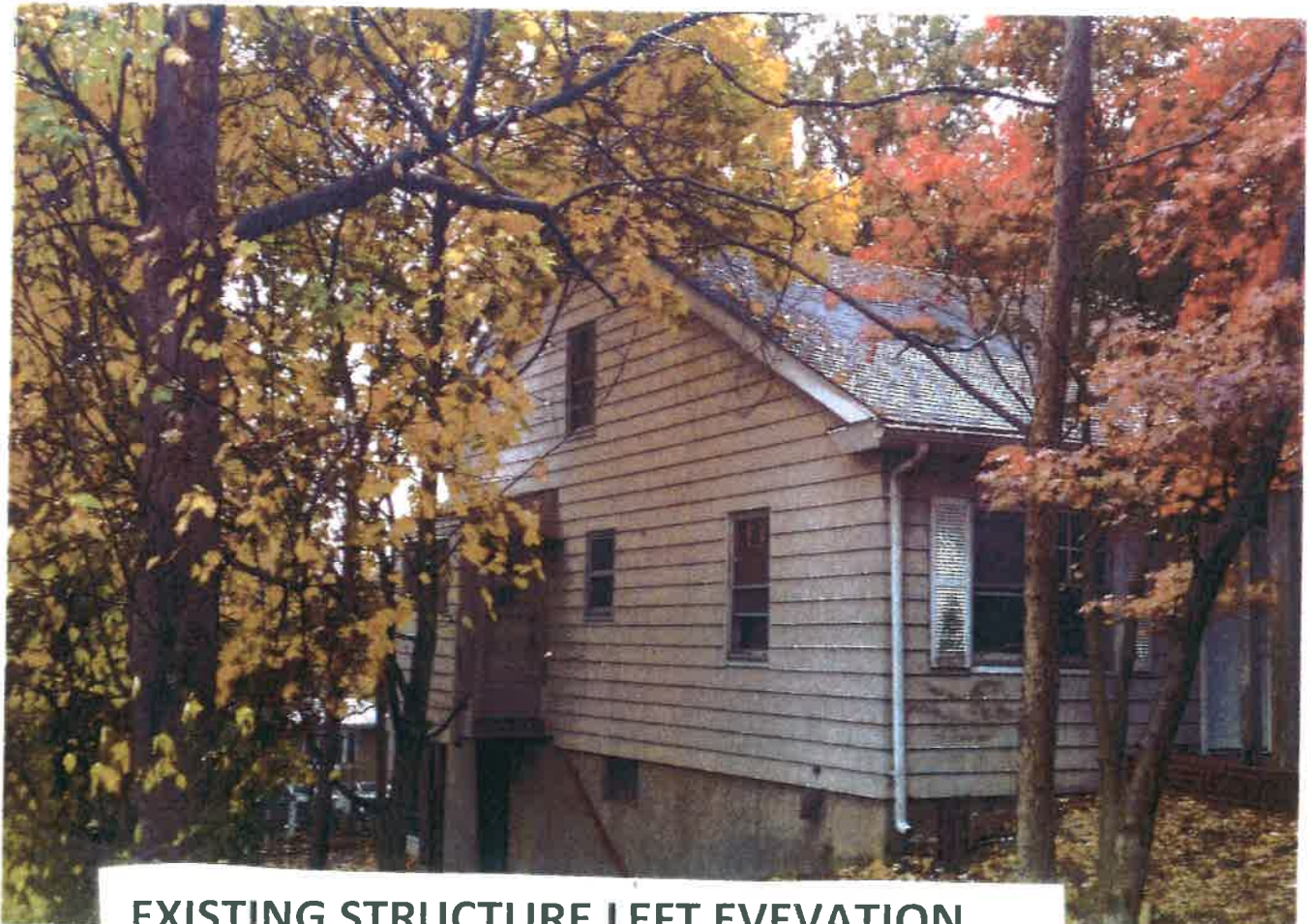
EXISTING STRUCTURE FRONT EVEVATION



EXISTING STRUCTURE RIGHT EVEVATION



EXISTING STRUCTURE REAR ELEVATION



EXISTING STRUCTURE LEFT ELEVATION

Municipal Tax Parcel Viewer

(Data: 2012)

Search

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Tax Maps

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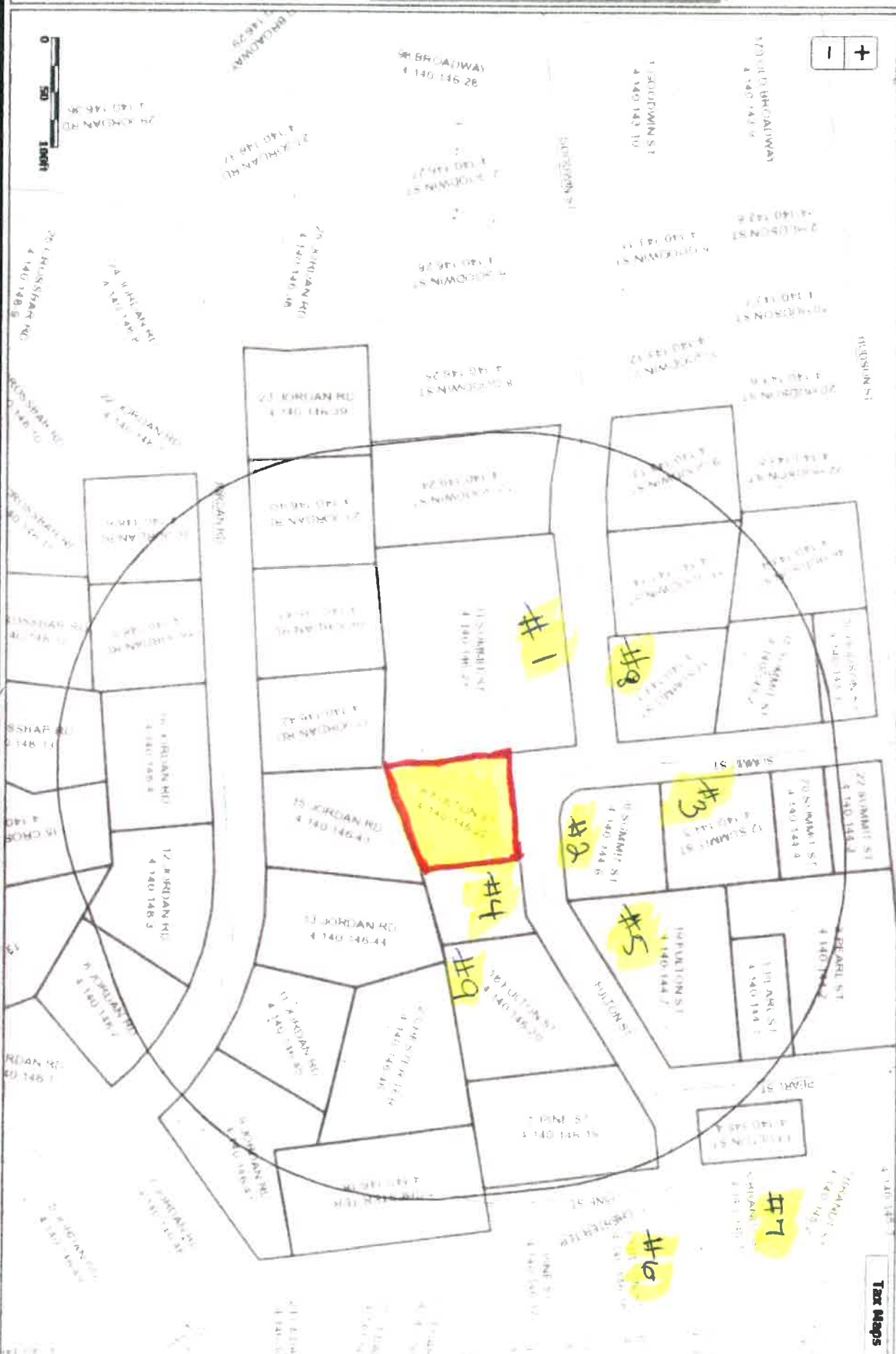




Photo #1



Photo #3



Photo #2



Photo #4



Photo #5



Photo #6



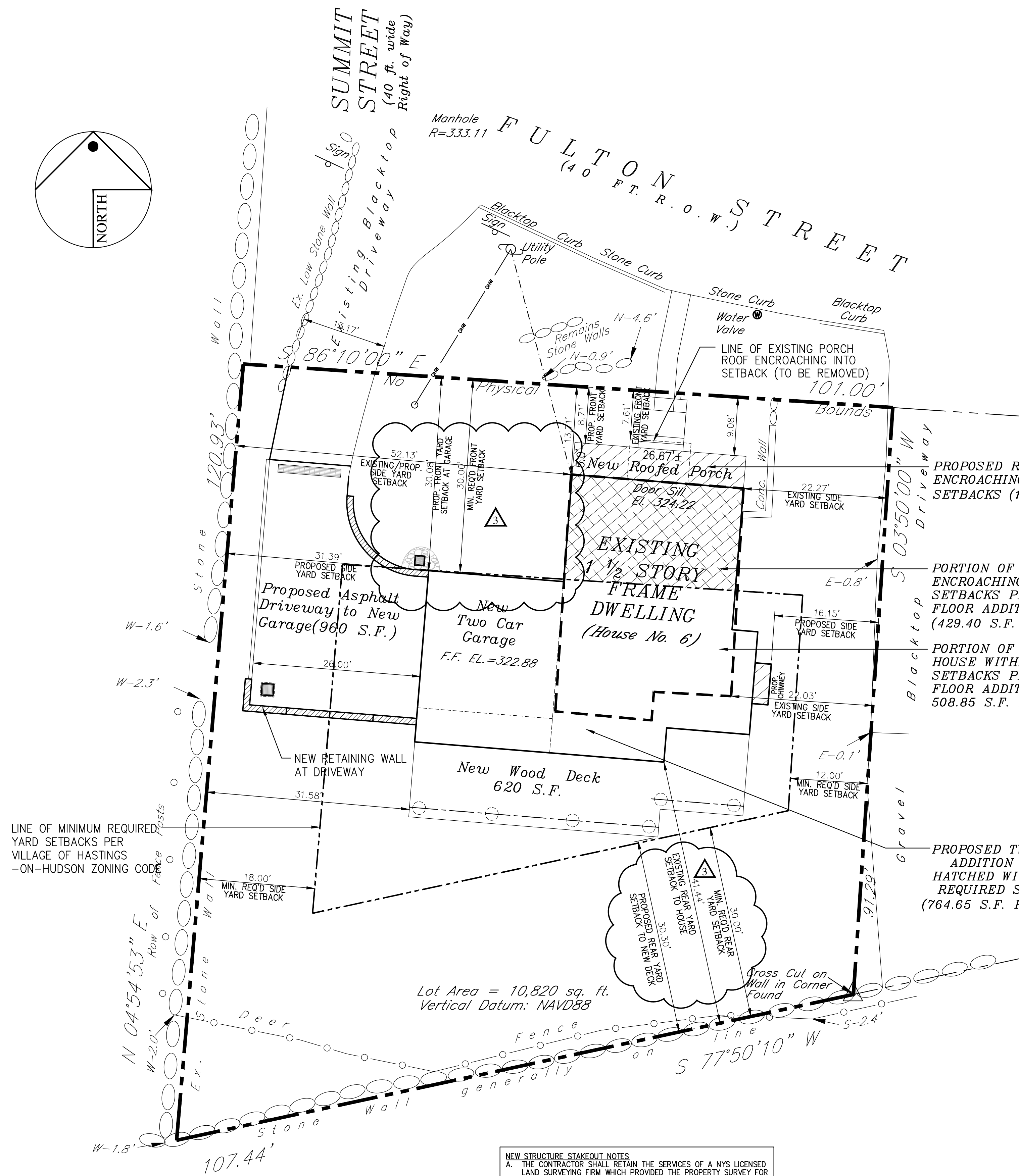
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Photo #9



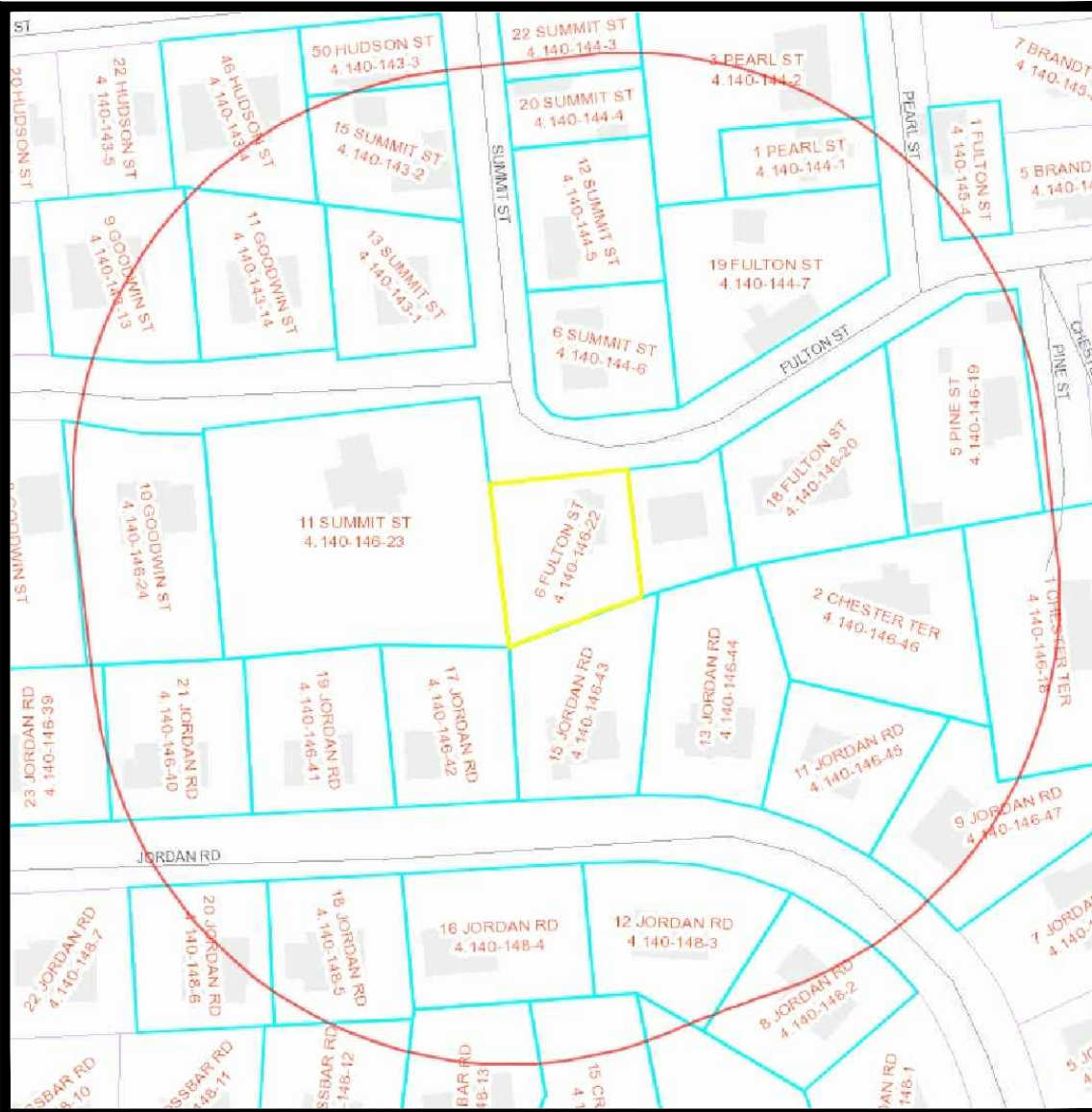
Photo #8



SCALE: 1" = 10'-0" SCALE: 1" = 10'-0'

- A. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A LICENSED LAND AND SURVEYING FIRM TO PROVIDE THE PRIORITY SURVEY FOR WHICH THIS SURVEY IS BASED TO PROVIDED THE FOLLOWING SERVICES:
- B. INITIATING TAKEOUT WITH OFFSETS AND ESTABLISH A ELEVATION DATUM.
- C. A FOUNDATION SURVEY ONCE THE FOUNDATION IS COMPLETED, FOUNDATION SURVEY SHALL INCLUDE OFFSET DIMENSIONS FROM FOUR CORNERS OF FOUNDATION TO THE CENTER OF GRAVITY OF PLATEAU WALL ELEVATION, CORNER STOP GRADES OF EXISTING GRADES FOUNDATION SURVEY SHALL BE SUBMITTED TO BUILDING DEPT. FOR APPROVAL PRIOR TO PROCEEDING TO THE NEXT STEP.
- D. FINAL AS-BUILT SURVEY SHOWING ALL SITE IMPROVEMENTS ONCE CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL SUBMIT FINAL AS-BUILT SURVEY TO BUILDING DEPARTMENT FOR APPROVAL AND OBTAIN CERTIFICATE OF OCCUPANCY.
- E. COPIES OF THE FOUNDATION AND FINAL SURVEY SHALL BE PROVIDED TO THE CITY ENGINEER AND THE CITY RECORDS.
- F. SURVEY FEES SHALL BE PAID DFR DIRECTLY BY THE CONTRACTOR.

NO SCALE



CHAPTER I GENERAL REQUIREMENTS	<p>SECTION III - TITLE, SCOPE AND PURPOSE</p> <p>III.1 - TITLE: THESE PROVISIONS SHALL BE KNOWN AS THE NEW YORK STATE FIREPROOFING AND BUILDING CODES AND SHALL BE REFERRED TO HEREIN AS THE "FIREPROOFING CODE" AND THE "BUILDING CODE" RESPECTIVELY.</p> <p>III.2 - SCOPE: THE FIREPROOFING CODE INCLUDES THE FOLLOWING CODE DOCUMENTS AS PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF FIRE AND BUILDING OFFICIALS (IAFBO):</p> <ul style="list-style-type: none"> 1. THE 2015 INTERNATIONAL FIREPROOFING CODE (IFPC) AS AMENDED BY THE 2015 SUPPLEMENTAL CODE. 2. THE 2015 INTERNATIONAL BUILDING CODE (IBC) AS AMENDED BY THE 2015 SUPPLEMENTAL CODE. <p>III.3 - PURPOSE: THE PURPOSE OF THESE PROVISIONS IS TO ESTABLISH THE MINIMUM REQUIREMENTS FOR THE PUBLICATION ENTITLED "NEW YORK STATE CODE SUPPLEMENT" AS PUBLISHED BY THE NEW YORK STATE DEPARTMENT OF STATE.</p> <p>III.4 - SCOPE:</p> <p>III.4.1 - GENERAL: THE PROVISIONS OF THE 2015 CODE SHALL APPLY TO THE CONSTRUCTION OF ALL OCCUPANCY GROUPS EXCEPT REPLACEMENT, REPAIR, RENOVATION, USE AND OCCUPANCY OF EXISTING STRUCTURES, AND THE REPAIR AND RENOVATION OF EXISTING WORK ON STRUCTURE OR AN APPURTENANCE CONNECTED TO ATTACHED BUILDING OR STRUCTURE.</p> <p>III.4.2 - EXEMPTIONS:</p> <ul style="list-style-type: none"> 1. NEWLY SITED UNITS LOCATED IN TOWNHOUSES. 2. HOPE OCCUPANCIES IN DWELLING UNITS COMPLYING WITH THE REQUIREMENTS OF PREVIOUS USE AND OCCUPANCY OF EXISTING STRUCTURES. 3. OWNER-OWNED OCCUPANCY GROUPS WITH FIVE OR FEWER RESIDENTS SHALL BE EXEMPTED TO THE EXTENT OF THE 2015 CODE SUPPLEMENT. 4. EXISTING STRUCTURES EQUIPPED WITH A FIRE SUPPRESSION SYSTEM IN ACCORDANCE WITH SECTION 909 OF THE 2015 FBC. <p>III.4.3 - PERMIT CODE: THESE PROVISIONS SHALL BE KNOWN AS THE NEW YORK STATE FIREPROOFING AND BUILDING CODES AND SHALL BE REFERRED TO HEREIN AS THE "FIREPROOFING CODE" AND THE "BUILDING CODE" RESPECTIVELY.</p>
--------------------------------------	---

SECTION R302
FIRE RESISTANT
CONSTRUCTION

R302.6 DUELLING-GARAGE FIRE SEPARATION: THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION 302.5.

FROM THE RESIDENCE AND ITS ATTICS: NOT LESS THAN 1/2" GYPSUM BOARD
FROM HABITABLE ROOMS ABOVE GARAGE: NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD
ON GARAGE SIDE

AND HEATING	AREA MIN. MAINTAINED ROOM TEMPERATURE - 68° F. AT 3 FT. ABOVE FLOOR
SECTION R304 MINIMUM ROOM AREAS	R304J MINIMUM AREA: HABITABLE ROOMS THAT SHALL HAVE A FLOOR AREA NOT LESS THAN 10 SF. (EXCEPT KITCHENS) R304J2 MINIMUM DIMENSIONS: HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FEET IN A HORIZONTAL DIMENSION.
	DOOR MINIMUM HEIGHT: HABITABLE ROOMS, HALLWAYS AND BOOTHS OF 6 FEET 8 INCHES

EXCEPTIONS:
1. FOR ROOMS WITH SLOPED CEILINGS, THE REQUIRED FLOOR AREA OF THE ROOM SHALL HAVE A CEILING HEIGHT NOT LESS THAN 5'-0" AND NOT LESS THAN 50% OF THE REQUIRED FLOOR AREA SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7'-0".

3. BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS IN BASEMENTS CONTAINING HABITABLE SPACE SHALL BE PERMITTED TO PROJECT TO WITHIN 6 FEET 4 INCHES OF THE FINISHED FLOOR.

SECTION R309 GARAGES AND CARPORTS	GARAGE FLOORS SHALL BE OF APPROVED NON COMBUSTIBLE MATERIAL. THE AREA OF FLOOR USED FOR PARKING OF VEHICLES SHALL BE SLOPED TO DRAIN OR MAIN VEHICLE ENTRY DOORWAY.
SECTION R310 BATHS	WERE REQUIRED : BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SUCUOL OPENING SHALL OPEN TO THE OUTSIDE.

MINIMUM OPENING AREA : NET CLEAR OPENING OF 5.7 SF. EXCEPT GRADE FLOOR
OPENINGS MAY BE 5 SF.
MINIMUM OPENING HEIGHT : 24 INCHES
MINIMUM OPENING WIDTH : 20 INCHES
MAXIMUM SILL HEIGHT : 44 INCHES
WINDOW SILLS REQUIRED FOR BELOW GRADE SILL : HAVE MIN. OF 9.5" NET CLEAR AREA

MEANS OF EGRESS AND DOORS SHALL COMPLY WITH THIS SECTION. R312 EGRESS DOOR NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DUELLING UNIT. THE EGRESS DOOR SHALL BE SIDE HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHEN MEASURED BETWEEN FACE OF THE DOOR AND THE STOP. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS.

2015 INTERNATIONAL RESIDENTIAL CODE WITH
2016 NYS UNIFORM CODE SUPPLEMENT

		SUBJECT TO DAMAGE FROM
--	--	------------------------

GROUND SNOW LOAD	WIND	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			FLOOD HAZARDS	
	SPEED (MPH)		WEATHERING	FROST LINE DEPTH	TERMITE ICE BARRIER UNDERLAYMENT REQUIRED		
10 PSF	10 MPH	C	SEVERE	3'-6"	MODERATE TO HEAVY	YES	N/A

TABLE R301.5 - MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in psf)

AGE	100 YEARS AGO	50 YEARS AGO	TODAY
ATTICS WITHOUT STORAGE	10 PSF	10 PSF	10 PSF
ATTICS WITH STORAGE	20 PSF	20 PSF	20 PSF
DECKS	40 PSF	40 PSF	40 PSF
EXTERIOR BALCONIES	60 PSF	60 PSF	60 PSF
FIRE ESCAPES	40 PSF	40 PSF	40 PSF
GUARDRAILS AND HANDRAILS	200 PSF	200 PSF	200 PSF
GUARDRAILS INFL. COMPONENTS	50 PSF	50 PSF	50 PSF
PASSENGER VEHICLE GARAGES	50 PSF	50 PSF	50 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF	40 PSF	40 PSF
SLEEPING ROOMS	30 PSF	30 PSF	30 PSF
STAIRS	40 PSF	40 PSF	40 PSF

MINIMUM ROOF LIVE LOADS (In psf per ASCE 7)

GROUND SNOW LOAD	MIN. ROOF LIVE LOAD REQUIRED PER ASCE 1	PROVIDED
20 PSF	(FLAT ROOFS WITH 1/4" PER FT TO 3 ON 12 ROOF SLOPE) - 34.05 PSF	35 PSF
	(3 ON 12 TO 6 ON 12 ROOF SLOPE) - 28.5 PSF	30 PSF
	(7 ON 12 OR GREATER ROOF SLOPE) - 22.5 PSF	30 PSF

SECTION 1015 COMPLIANCE. RESIDENTIAL BUILDINGS SHALL MEET THE PROVISIONS OF CHAPTER 4.

SECTION 1015.1 COMPLIANCE MATERIALS. THE CODE OFFICIAL SHALL BE PERMITTED TO APPROVE SPECIFIC COMPUTER SOFTWARE, WORK SHEETS, COMPLIANCE MANUALS AND OTHER SIMILAR MATERIALS THAT MEET THE INTENT OF THE CODE.

COMPLIANCE CAN BE DETERMINED THROUGH THE USE OF COMPUTER SOFTWARE DEVELOPED BY THE UNITED STATES DEPT. OF ENERGY (DOE), INCLUDING RESEARCH... RESEARCH PROGRAM USED - CALCULATIONS TO BE SUBMITTED WITH PERMIT APPLICATION

BUILDING TYPE:	SINGLE FAMILY RESIDENTIAL
TABLE 301.1 - CLIMATE ZONES BY COUNTY	WESTCHESTER COUNTY - CLIMATE ZONE 4
SECTION 302.1 INTERIOR DESIGN CONDITIONS	MAXIMUM OF 72° F. FOR HEATING LOAD CALCULATION MINIMUM OF 72° F. FOR COOLING LOAD CALCULATION
TABLE 402.11 - INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT &	

CLIMATE ZONE	PENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED PENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MAS6 WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRAWL SPACE WALL R-VAL
4	0.35	0.60	NR	38	13	5/10	19	10/13	10, 2FT.	10

SEE IECC FOR TABLE FOOTNOTES

DRAWING NAME

SP1	SITE PLAN/SCHEDULES
SP2	SOIL EROSION CONTROL PLAN WITH SITE DEMOLITION
SP3	SITE GRADING PLAN WITH STEEP SLOPE HATCH
SP4	SITE UTILITY PLAN
SP5	SITE DETAILS
SP6	SITE DETAILS
SWMP1	STORM WATER MANAGEMENT PLAN
SWMP2	STORM WATER DETAILS
GN1	GENERAL NOTES SHEET No. 1
GN2	GENERAL NOTES SHEET No. 2
EX1	EXISTING FLOOR PLANS
EX2	EXISTING ELEVATIONS
D1	DEMOLITION FLOOR PLANS
D2	DEMOLITION ELEVATIONS
F1	FOUNDATION PLAN & FOUNDATION DETAILS
A1	BASEMENT PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	ROOF PLAN
A5	FRONT AND RIGHT SIDE ELEVATION
A6	REAR AND LEFT SIDE ELEVATION

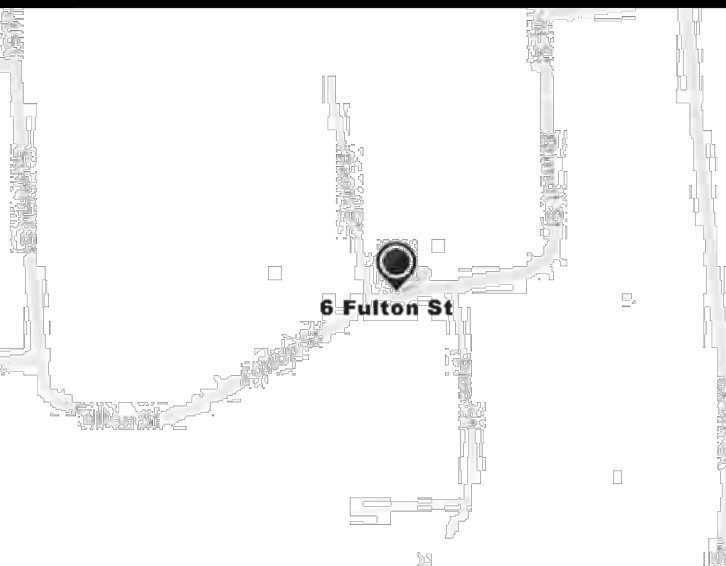
ALL EXISTING INFORMATION ON THIS SITE PLAN

ALL EXISTING INFORMATION ON THIS SITE PLAN
WAS TAKEN FROM A SURVEY PREPARED BY :
WARD CARPENTER ENGINEERS, INC.
76 MAMARONECK AVENUE
WHITE PLAINS, NY 10601
TEL. : 914-949-6000
TITLED : SURVEY OF PROPERTY PREPARED FOR
ELLEN KERA-GEIGER IN THE VILLAGE OF
HASTINGS-ON-HUDSON, TOWN OF
GREENBURGH WESTCHESTER COUNTY, N.Y.

DATED : SEPT. 7, 2016
LOT AREA : 10,820 SQ. FT.
TAX SECTION-BLOCK-LOT : 4.140-146-22
ARCHITECT IS NOT RESPONSIBLE FOR
ACCURACY OF EXISTING CONDITIONS

ARCHITECT IS NOT RESPONSIBLE FOR
ACCURACY OF EXISTING CONDITIONS

NO SCALE



ZONING DISTRICT : R10

VILLAGE OF HASTINGS-ON-HUDSON
USE GROUP : 1-FAMILY DETACHED DWELLING

ITEM	REQUIRED/ ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT.)	10,000 S.F.	10,820 S.F.	10,820 S.F.
MINIMUM LOT WIDTH (FT.)	175 FT.	101 FT.	101 FT.
MINIMUM FRONT YARD SETBACK (FEET)	30 FT.	±7.61 FT.	8.71 FT.
MINIMUM SIDE YARD SETBACK (FEET)	12 FT.	22.27 FT.	16.15 FT.
MINIMUM TOTAL SIDE YARD SETBACK (FEET)	30 FT.	74.40 FT.	47.54 FT.
MINIMUM REAR YARD SETBACK (FEET)	30 FT.	48.17 FT.	41.44 FT. TO 101'00" TO 30 FT. TO DECK
MAX. BUILDING COVERAGE (PERCENT)	25%	9.3%	16.3%
MAX. DEVELOPMENT COVERAGE (PERCENT)	35%	32.6%	33.9%
MAXIMUM HEIGHT (STORIES)(FEET)	2 1/2 STORIES/ 35 FT.	4 1/2 STORIES/ 18 FT.	2 STORIES/ 30 FT.

VARIANCES REQUIRED:
FRONT YARD SETBACK : 30 FT. REQ'D, 8.71 FT. PROPOSED
EXTENSION OF EXISTING NON-CONFORMING STRUCTURE

[illegible]

			RELEASED PLANS FOR SUBMISSION TO JANUARY 2017 ZBA MEETING
[3]	01-11-17		
			RELEASED PLANS FOR SUBMISSION TO PLANNING BOARD
[2]	11-14-16		
			RELEASED PLANS FOR SUBMISSION TO ZBA
[1]	11-09-16		
No.	DATE:	DESCRIPTION:	
DWGS ISSUED			

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PROJECT NAME: ELLEN KERA-GEIGER
 PROPOSED ALTERATIONS AND ADDITION TO EXISTING HOUSE FOR:
 15 FULTON STREET
 HASTINGS-ON-HUDSON, NEW YORK
 DWG. TITLE: SITE PLAN AND SCHEDULES

David A. Barbuti
Architect, PC

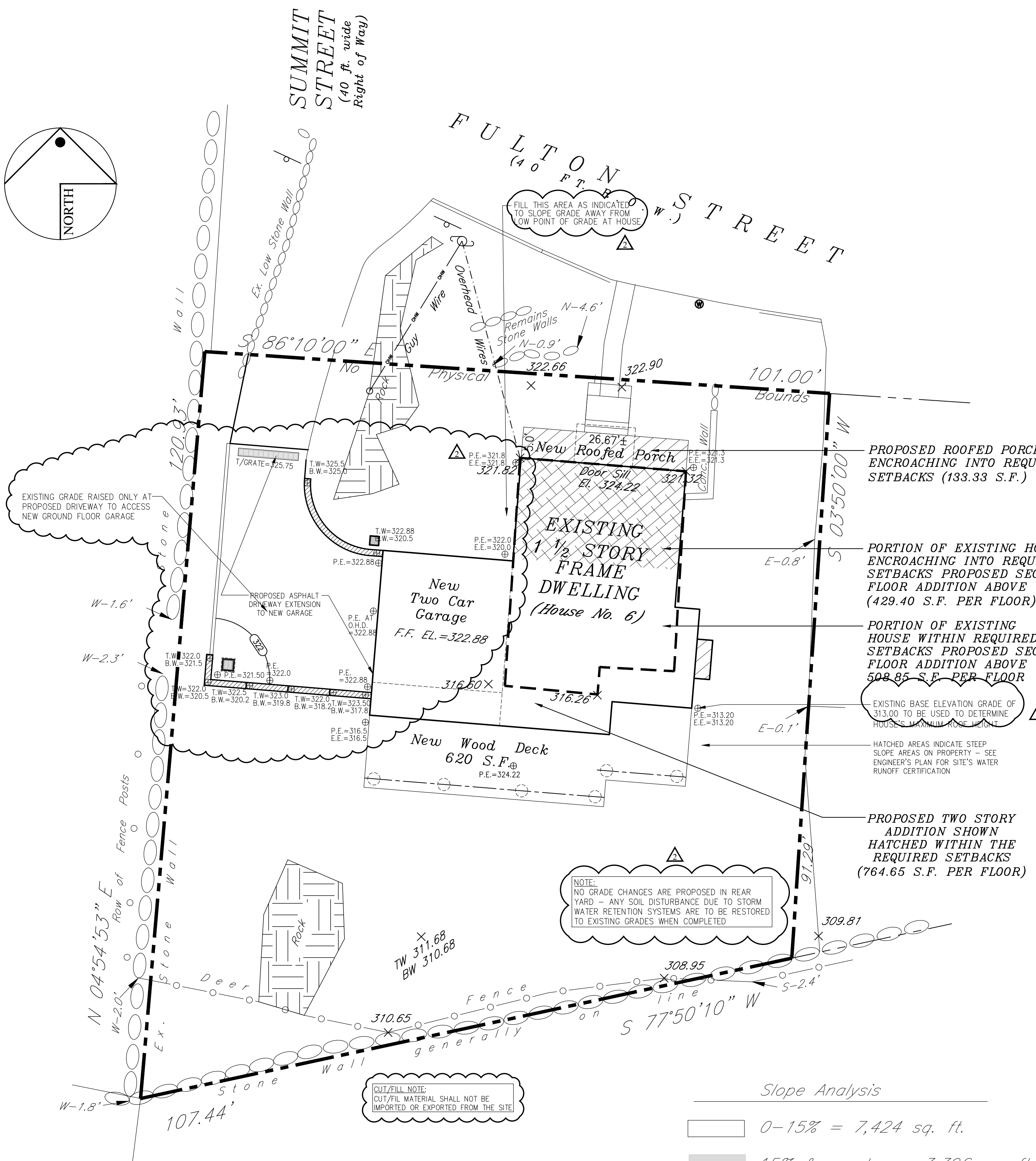
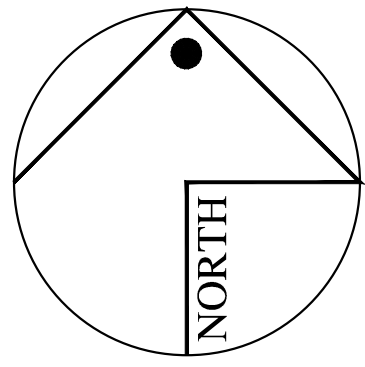
150 White Plains Road
Suite 103
Tarrytown, NY 10591
Tel : 914-909-5143
Fax : 914-909-5144

Architect's Seal	DRAWN BY :	C.R.P.
	CHECKED BY :	
	SCALE :	
	AS NOTED	
	PROJECT NO :	160901
	START DATE :	10-04-16

PROPOSED ADDITION AND ALTERATIONS TO EXISTING HOUSE FOR:

ELLEN KERA-GEIGER

6 FULTON STREET, HASTINGS-ON-HUDSON, NEW YORK



SITE GRADING PLAN

SCALE: 1" = 10'-0"

Slope Analysis

0-15% = 7,424 sq. ft.

15% & greater = 3,396 sq. ft.

SLOPE ANALYSIS PREPARED BY
WARD CARPENTER ENGINEERS, INC.

FRONT YARD SETBACK ENCROACHMENT LEGEND	
SYMBOL	DESCRIPTION
	OUTLINE OF EXISTING STRUCTURE'S FOOTPRINT
	AREA OF EXISTING STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK
	AREA OF PROPOSED STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK

M.J.McGarvey
P.E., P.C.
CONSULTING ENGINEER

20 Puritan Avenue
Yonkers, NY 10710
914-907-5365 Tel.
914-779-5527 Fax

Licensed in New York and Connecticut

PROJECT NAME:
PROPOSED ALTERATIONS AND
ADDITION TO EXISTING HOUSE FOR:

ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

DWG. TITLE:

SITE GRADING PLAN

David A. Barbuti
Architect, PC

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Fax : 914-909-5144

Architect's Seal

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BY: C.R.P.
CHECKED
BY:
SCALE:
AS NOTED
PROJECT NO.:
160901
START DATE:
10-04-16

SHEET No.

SP3

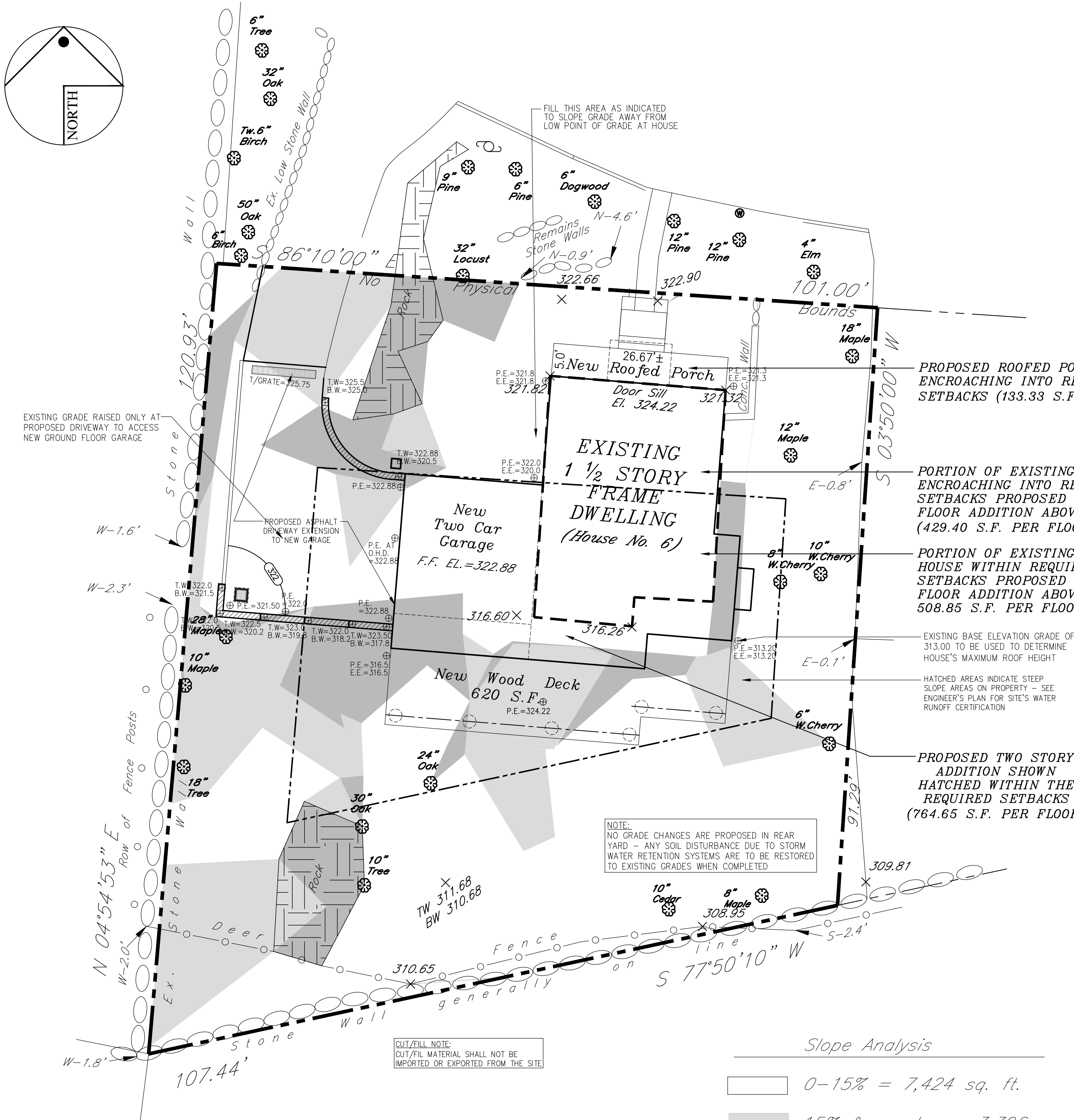
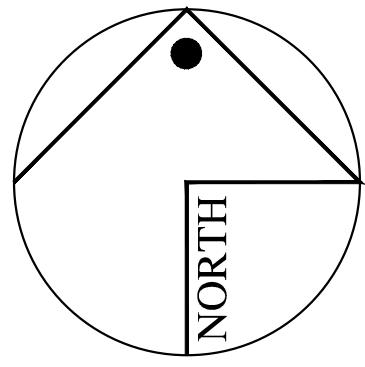
REV	BY	DATE	DESCRIPTION
1	C.P.	12-20-16	REVISED STORM WATER PLAN AND DETAILS PER COMMENTS FROM TOWN ENGINEER, PC DATED 12-15-16
2	C.P.	12-14-16	REVISED HOUSE TO MOVE PROPOSED GARAGE WINGS TO BEHIND THE FRONT YARD SETBACK. WALL HEIGHT TO SIDE NEIGHBOR
3	C.P.	12-1-16	REVISED STORM WATER DRAINAGE SYSTEM AND COMMENTS
4	C.P.	11-21-16	REVISED STORM WATER DRAINAGE SYSTEM AND COMMENTS

REVISIONS

DWGS ISSUED

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STEEP SLOPE PLAN

SCALE: 1" = 10'-0"

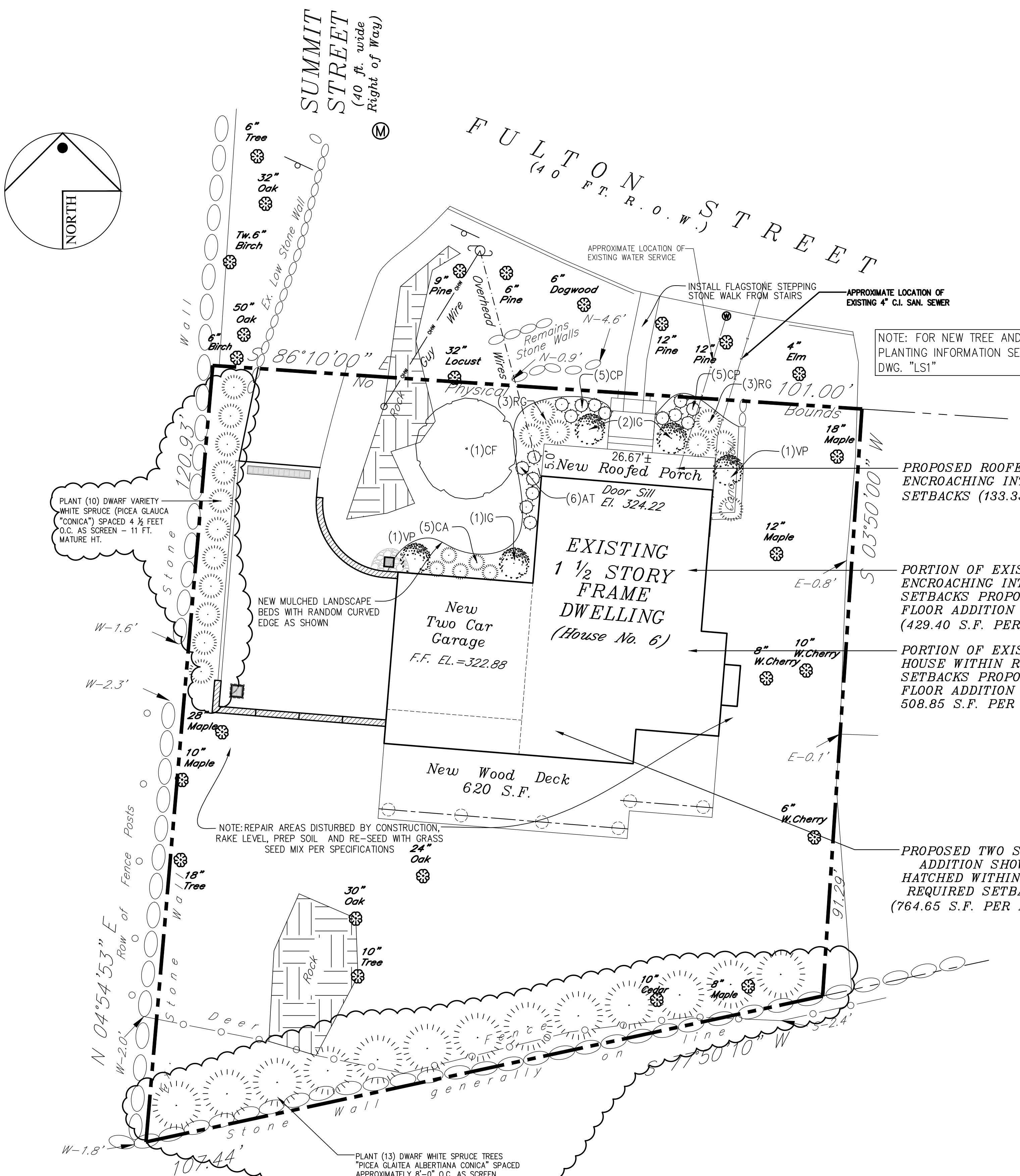
Slope Analysis

0-15% = 7,424 sq. ft.

15% & greater = 3,396 sq. ft.

SLOPE ANALYSIS PREPARED BY
WARD CARPENTER ENGINEERS, INC.

SHEET No.	
SS1	
REVISED STORM WATER PLAN AND DETAILS PER WARD CARPENTER ENGINEERS, P.C. DATED 12-15-16	C.P. 12-20-16
REVISED HOUSE TO MOVE PROPOSED GARAGE WINGS TO BEHIND THE FRONT YARD SETBACK. WALL HEIGHT TO SIDE NEIGHBOR	C.P. 12-14-16
REVISED STORM WATER DRAINAGE SYSTEM AND COMMENTS	C.P. 12-1-16
HEIGHT TO BE ADJUSTED TO MAX. BUILDING HEIGHT OF 35'-0" FROM LOWEST EXISTING GRADE PER HASTINGS ZONING CODE	C.P. 11-21-16
REV BY	DATE
REVISIONS	
DWGS ISSUED	
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PROJECT NAME: PROPOSED ALTERATIONS AND ADDITION TO EXISTING HOUSE FOR: ELLEN KERA-GEIGER 6 FULTON STREET HASTINGS-ON-HUDSON, NEW YORK	
DWG. TITLE: STEEP SLOPE GRADING PLAN	
David A. Barbuti Architect,PC 150 White Plains Road Suite 103 Tarrytown, NY 10591 Tel : 914-909-5143 Fax : 914-909-5144	
Architect's Seal	DRAWN BY: C.R.P. CHECKED BY: SCALE: AS NOTED PROJECT NO.: 160901 START DATE: 10-04-16



SCALE: 1"=1000'

EVERGREEN TREE- GROUND
LINE TO BE THE SAME AS
EXISTED AT THE NURSERY

GARDEN HOSE _____

3 GUYS OF 10 GAUGE _____
TWISTED WIRE 120 DEGREES
APART AROUND TREE

TURNBUCKLE _____

4' SOIL SAUCER _____

24" X 2"X2" STAKE DRIVEN—
FLUSH WITH FINISHED GRADE

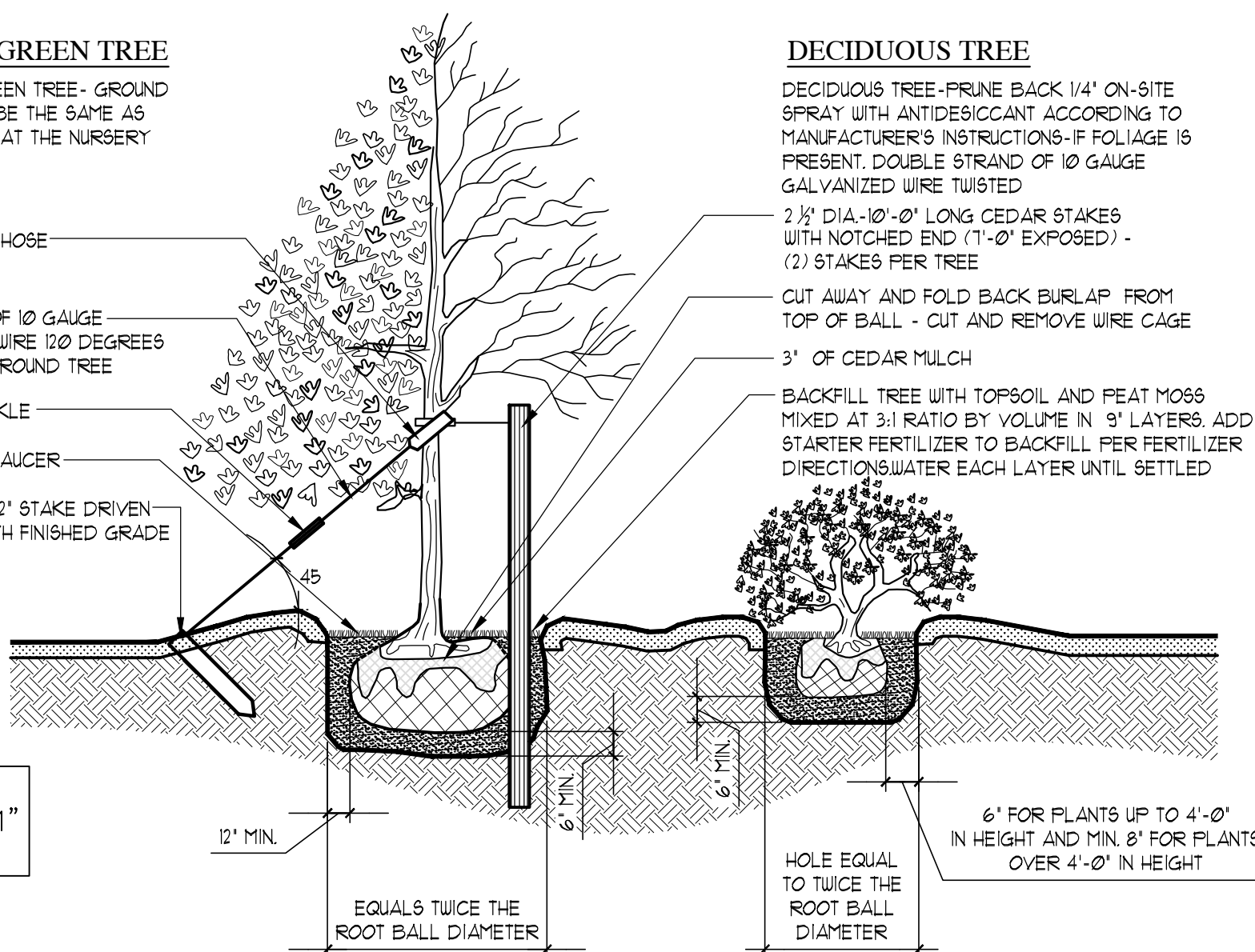
DECIDUOUS TREE-PRUNE BACK 1/4" ON-SITE
SPRAY WITH ANTIDECADANT ACCORDING TO
MANUFACTURER'S INSTRUCTIONS-IF FOLIAGE IS
PRESENT, DOUBLE STRAND OF 10 GAUGE
GALVANIZED WIRE TWISTED

2 1/2" DIA.-10'-0" LONG CEDAR STAKES
WITH NOTCHED END (7'-0" EXPOSED) -
(2) STAKES PER TREE

CUT AWAY AND FOLD BACK BURLAP
FROM TOP OF BALL - CUT AND REMOVE WIRE CAGE

3" OF CEDAR MULCH

BACKFILL TREE WITH TOPSOIL AND PEAT MOSS
MIXED AT 3:1 RATIO BY VOLUME IN 9" LAYERS. ADD
STARTER FERTILIZER TO BACKFILL PER FERTILIZER
DIRECTIONS- WATER EACH LAYER UNTIL PERLIT



TREE AND SHRUB PLANTING NOTES

1. WRAP ALL DECIDUOUS TREES OVER 1" CALIFER WITH BURLAP OR ASPHALTIC CRINKLE KRAFT TREE WRAP.
2. TREE ROOT FLARE TO EXPOSED BY LANDSCAPING CONTRACTOR PRIOR TO PLANTING.
3. PLANT TREE AND SHRUBS SO ROOT FLARE IS LEVEL WITH OR "SLIGHTLY" HIGHER THAN SURROUNDING EXISTING GRADE.
4. DO NOT MOUNT SOIL OR MULCH AT TREE BASE (NO "VOLCANO" MOUNDS).
5. WATER TREES AND SHRUBS ONCE A DAY FOR FIRST TWO WEEKS AFTER PLANTING AND ONCE EVERY OTHER DAY THEREAFTER DURING FIRST GROWING SEASON. WATER MORE FREQUENTLY DURING HOT AND DRY WEATHER CONDITION.
6. TREE STAKES SHALL BE REMOVED NO LATER THAN ONE YEAR FROM DATE TREES ARE PLANTED.

DETAIL (TREE-SHRUB PLANTING DETAIL)

SCALE: $3/4" = 1'-0"$

PROPOSED ROOFED PORCH
ENCROACHING INTO REQUIRED
SETBACKS (133.33 S.F.)

PORTION OF EXISTING HOUSE
ENCROACHING INTO REQUIRED
SETBACKS PROPOSED SECOND
FLOOR ADDITION ABOVE
(429.40 S.F. PER FLOOR)

PORTION OF EXISTING
HOUSE WITHIN REQUIRED
SETBACKS PROPOSED SECOND
FLOOR ADDITION ABOVE
508.85 S.F. PER FLOOR

—PROPOSED TWO STORY
ADDITION SHOWN
HATCHED WITHIN THE
REQUIRED SETBACKS
(764.65 S.F. PER FLOOR)

[illegible]

NOTE: DEPENDING ON PLANT AVAILABILITY, PLANT TYPES SPECIFIED MAY BE SUBSTITUTED AS LONG AS SUBSTITUTED PLANT IS OF SIMILAR TYPE, SIZE, COLOR AND HARDINESS AS PLANTS SPECIFIED SUBJECT TO LANDSCAPE ARCHITECTS AND MUNICIPALITY APPROVAL

LS1

[illegible][illegible]

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PROJECT NAME:
PROPOSED ALTERATIONS AND
ADDITION TO EXISTING HOUSE FOR:

ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

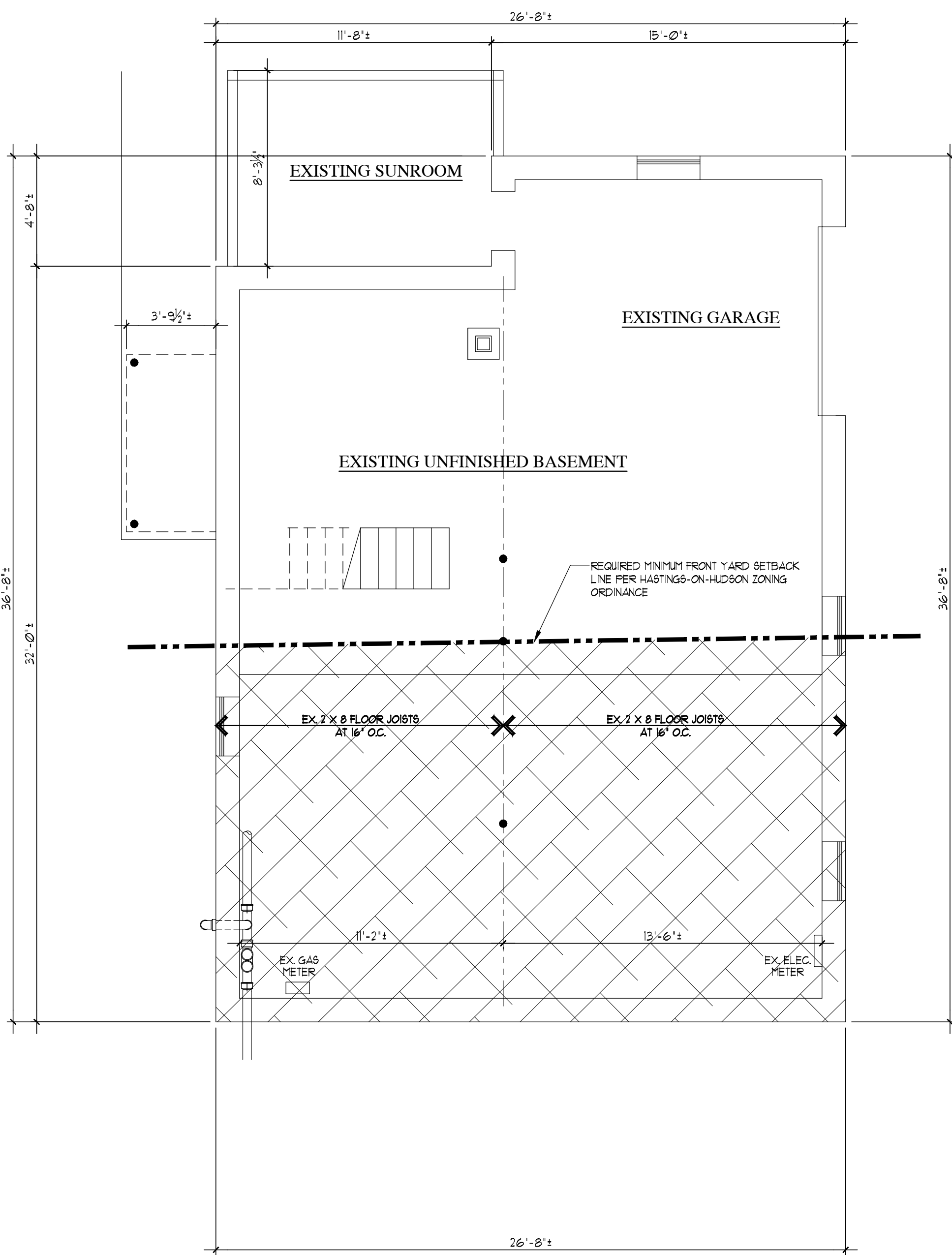
DWG. TITLE:

LANDSCAPING PLAN

150 White Plains Road
Suite 103
Tarrytown, NY 10591
Tel : 914-909-5143
Fax : 914-909-5144

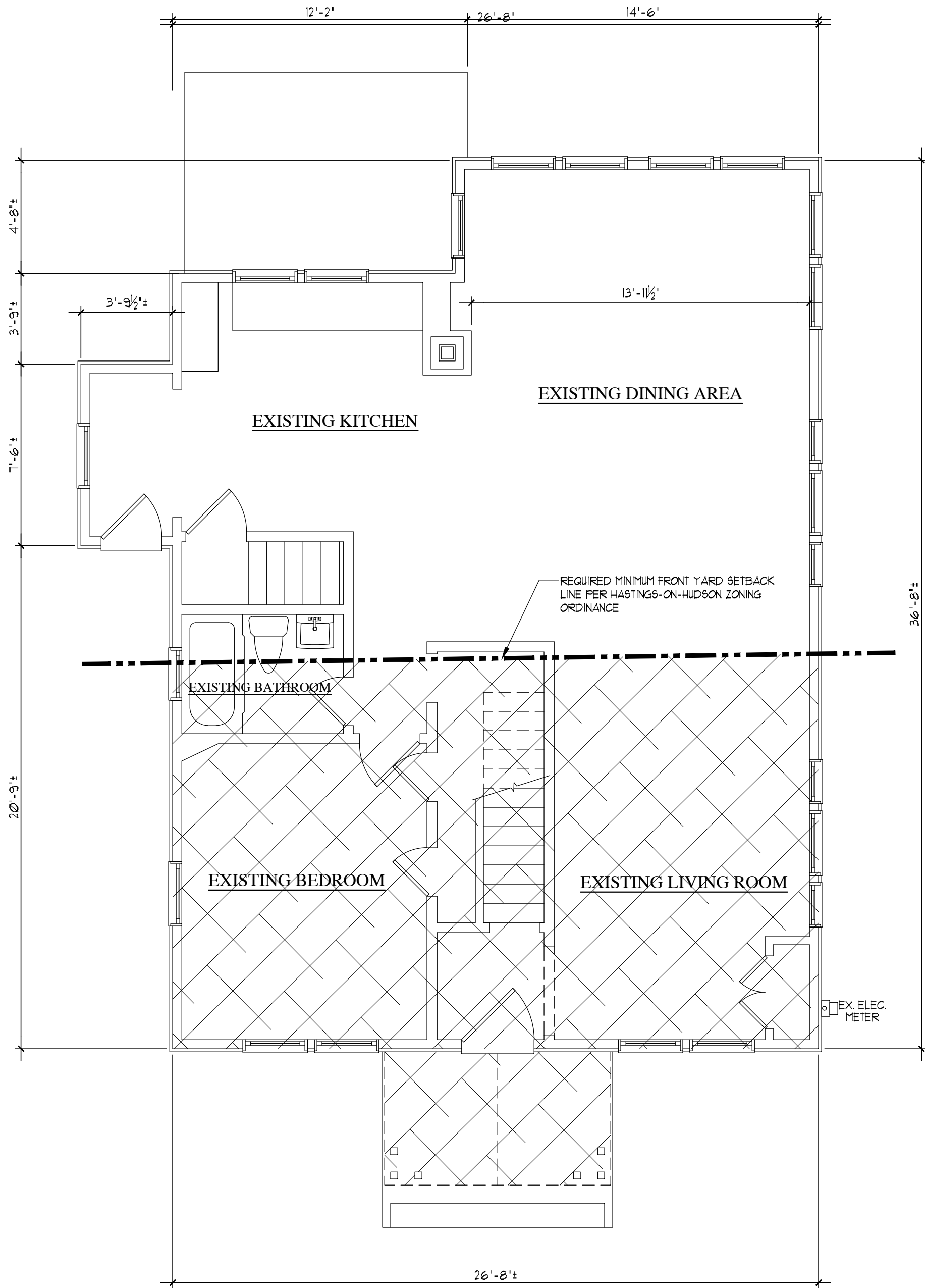
 Architect's Seal	DRAWN
	BY : C.R.P.
	CHECKED
	BY :
	SCALE :
	AS NOTED
	PROJECT NO : 160901
START DATE : 10-04-16	

DRAWN BY: C.R.P.
CHECKED BY:
SCALE:
AS NOTED
PROJECT NO: 160901
START DATE: 10-04-16



EXISTING BASEMENT PLAN

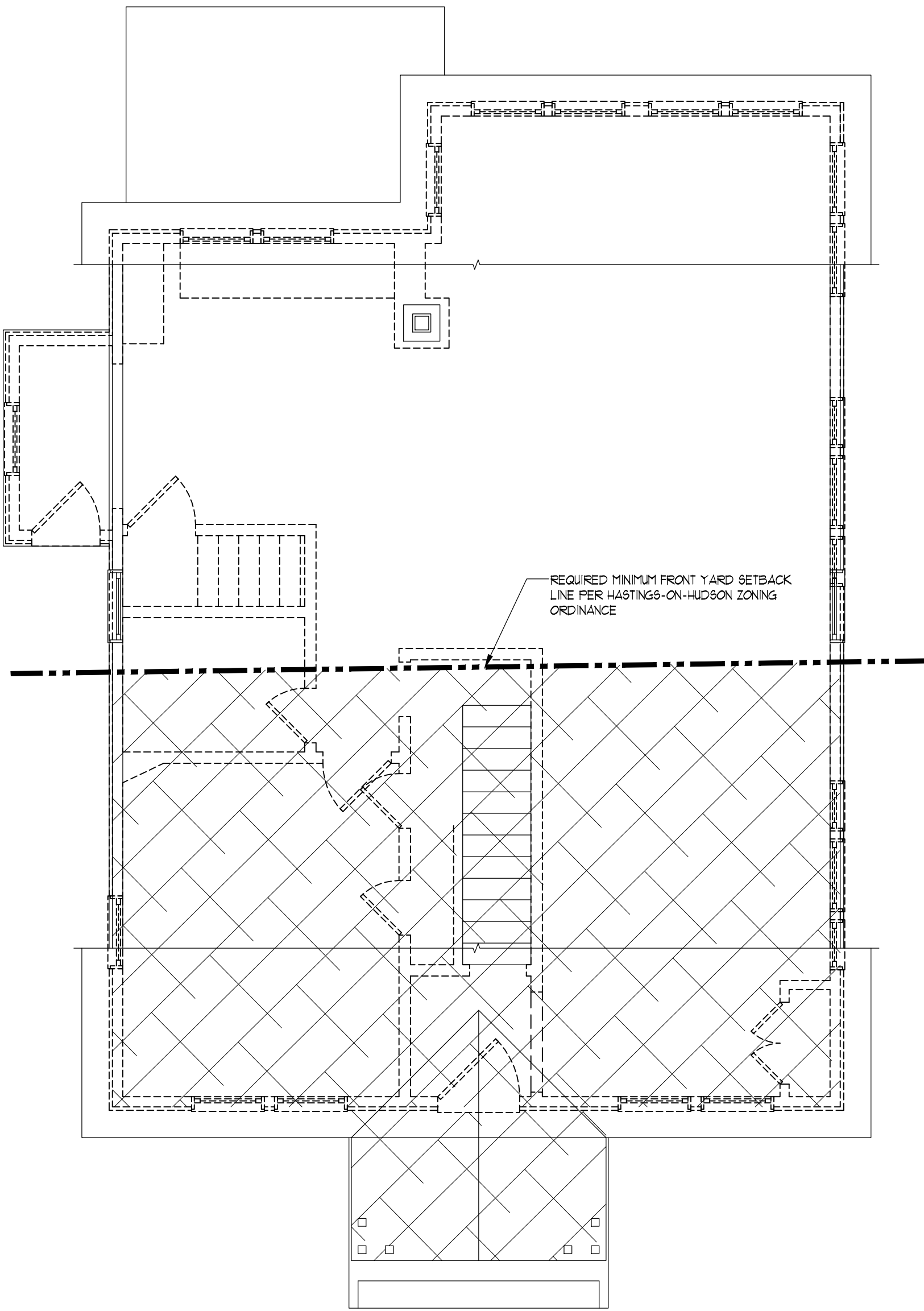
SCALE: 1/4"= 1'-0"



EXISTING FIRST FLOOR PLAN

SCALE: 1/4"= 1'-0"

FRONT YARD SETBACK ENCROACHMENT LEGEND	
SYMBOL	DESCRIPTION
	AREA OF EXISTING STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK



EXISTING SECOND FLOOR PLAN

SCALE: 1/4"= 1'-0"

SHEET No.
EX1

REVISIONS

REV	BY	DATE	DESCRIPTION
Δ	C.P.	12-20-16	REVISED STORM WATER PLAN AND DETAILS PER COMMENTS FROM TOWN ENGINEERING, PC DATED 12-23-16
Δ	C.P.	12-14-16	REVISED HOUSE TO MOVE PROPOSED GARAGE WING TO BEHIND THE FRONT YARD SETBACK LINE TO COMPLY WITH MAX. BUILDING HEIGHT OF 35'-0" FROM LOWEST EXISTING GRADE PER HASTINGS ZONING CODE
Δ	C.P.	12-1-16	REVISED STORM WATER DRAINAGE SYSTEM AND DETAILS PER COMMENTS FROM TOWN ENGINEERING, PC DATED 12-23-16
Δ	C.P.	11-21-16	REVISED STORM WATER DRAINAGE SYSTEM AND DETAILS PER COMMENTS FROM TOWN ENGINEERING, PC DATED 12-23-16

PROJECT NAME:
PROPOSED ALTERATIONS AND ADDITION TO EXISTING HOUSE FOR:
ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

DWG. TITLE:
EXISTING FLOOR PLANS

David A. Barbuti
Architect, PC

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Tel : 914-909-5143
Fax : 914-909-5144

Architect's Seal

DRAWN BY: C.R.P.

CHECKED BY:

SCALE: AS NOTED

PROJECT NO: 160901

START DATE: 10-04-16

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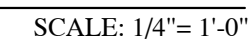
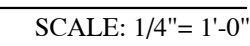
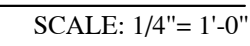
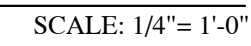
RELEASED PLANS FOR SUBMISSION TO JANUARY 2017 ZBA MEETING

RELEASED PLANS FOR SUBMISSION TO ZBA BOARD

RELEASED PLANS FOR SUBMISSION TO ZBA BOARD

DATE: DESCRIPTION

DWGS ISSUED



Architect's Seal	DRAWN BY : C.R.P.
	CHECKED BY :
	SCALE :
	AS NOTED
	PROJECT NO : 160901
	START DATE : 10-04-16

PROJECT NAME:
PROPOSED ALTERATIONS AND
ADDITION TO EXISTING HOUSE FOR:

ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

DWG. TITLE:

David A. Barbuti
Architect, PC

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Architect's Seal

DRAWN BY: C.R.P.
CHECKED BY:
SCALE: AS NOTED
PROJECT NO: 160901
START DATE: 10-04-16

GENERAL NOTES:
1. CONTRACTOR SHALL FIELD VERIFY EXISTING FLOOR AND ROOF FRAMING SIZES AND SPACINGS SUBFLOOR AND SHEATHING THICKNESS PRIOR TO START OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
2. CONTRACTOR SHALL ALIGN NEW FIRST AND SECOND SUB FLOORS WITH EXISTING SUB FLOORS.
3. ALL NEW FINISHES TO BE SELECTED BY OWNERS.
4. INSTALL 1/2" A-C PLYWOOD UNDERLAYMENT OVER NEW SUB FLOORS IF OWNERS SELECT CARPETING IN NEW ADDITION.

SPECIFICATIONS NOTE:
SEE GENERAL NOTES SHEETS 'GN1' AND 'GN2' FOR ADDITIONAL CONSTRUCTION INFORMATION. THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER TRADES.

DIMENSION NOTE:
ALL DIMENSIONS INDICATED AT NEW ADDITIONS ARE ROUGH FRAMING DIMENSIONS - DIMENSION INDICATED WITHIN EXISTING DWELLING ARE EITHER FINISH TO FINISH DIMENSIONS OR FINISH TO ROUGH FRAMING DIMENSIONS - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE FIELD FOR PURPOSES OF FINISHED CABINETRY WORK, APPLIANCE CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.

ENTRY AND/OR EXTERIOR DOOR SPECIFICATIONS:
NEW FRONT ENTRY AND/OR OTHER EXTERIOR DOOR WHERE SHOWN ON THESE PLANS ARE FOR BASE GUIDE ONLY. FRONT ENTRY DOOR SHALL BE MINIMUM OF 3'-0" WIDE OF A STYLE AND MANUFACTURER AS SELECTED BY OWNER. SIDELIGHTS AND/OR TRANSOMS MAY BE PART OF ENTRY DOOR SYSTEM. DOOR SHALL BE INSULATED AND FULLY WEATHERSTRIPPED. LOCKSET HARDWARE TO BE SELECTED BY THE OWNER - THE CONTRACTOR SHALL COORDINATE WITH OWNER ACTUAL DOOR SELECTION FOR REQUIRED ROUGH OPENING DIMENSIONS.

INTERIOR DOOR SPECIFICATIONS:
BASE SPECIFICATION FOR NEW INTERIOR DOORS SHALL BE 1 3/8" THICK X 6'-8" HIGH 6 PANEL MASONITE DOORS PRE-HUNG IN PAINT GRADE JAMBES IN SIZES NOTED ON PLANS OR OWNER'S OPTION. NEW INTERIOR DOORS MAY MATCH EXISTING DOORS OR BE UPGRADED AS SELECTED BY OWNER. REVIEW DOOR SELECTION WITH OWNER PRIOR TO ORDERING DOORS. DOORS AT GARAGES AND MECHANICAL ROOMS SHALL BE 1 3/4" THICK 3/4 HOUR FIRE RATED LABELED DOORS WITH SELF CLOSING SPRING HINGES.

WINDOW & GLAZED DOOR SPECIFICATION:

- ALL NEW WINDOWS ARE TO BE 'ANDERSEN' SERIES 400 WINDOWS WITH CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON PLANS.
- ALL NEW GLAZED DOORS ARE TO BE 'ANDERSEN' SERIES 400 FRENCHWOOD GLIDING DOORS AND/OR FRENCHWOOD HINGED PATIO DOORS WITH CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON PLANS.
- WINDOW MANUFACTURER SUBSTITUTIONS: IF CONTRACTOR WANTS TO SUBSTITUTE A DIFFERENT WINDOW AND GLASS DOOR MANUFACTURER THAN ONE SPECIFIED, CONTRACTOR SHALL SUBMIT TO ARCHITECT WINDOW SPECIFICATIONS AND SIZES SHOWING COMPLIANCE TO BUILDING CODES AND EGRESS WINDOW REQUIREMENTS FOR APPROVAL.
- ALL GLAZING TO BE DOUBLE PANE HIGH PERFORMANCE LOW E GLASS WITH ARGON.
- GLAZING IN GLIDING AND PATIO DOORS, SIDELIGHTS AND ALL WINDOWS WHERE GLAZING IS WITHIN 18" OF FINISHED FLOORS ARE TO HAVE TEMPERED SAFETY GLASS.
- MINIMUM DP RATING FOR WINDOWS AND GLAZED DOORS AREA AS FOLLOWS:
 - CASEMENTS: DP-40
 - AWNINGS: DP-30
 - TILT WASH DOUBLE HUNGS: DP-30
 - GLIDING WINDOWS: DP-30
 - FRENCHWOOD GLIDING DOORS: DP25-40
 - FRENCHWOOD HINGED PATIO DOORS: DP40-60
- MINIMUM EMERGENCY EGRESS WINDOW SIZES ARE AS FOLLOWS:
 - DOUBLE HUNG: TUB3046 - 5'10" SF OPENING, 33 1/8" WIDTH, 24 1/4" HEIGHT IN FULL OPEN POSITION
 - CASEMENT: CU35 - 5'10" SF OPENING, 22 3/4" WIDTH, 36 3/4" HEIGHT IN FULL OPEN POSITION WITH STRAIGHT ARM
 - GLIDING WINDOW: G44 - 6'0" SF OPENING, 20 3/4" WIDTH, 42 1/2" HEIGHT IN FULL OPEN POSITION
 - SEE PLANS FOR ACTUAL EGRESS WINDOW SIZES SPECIFIED
- THE CONTRACTOR SHALL COORDINATE WITH OWNER ALL FINISHES AND COLOR OPTIONS OF WINDOWS, HARDWARE AND SCREENS PRIOR TO PLACING WINDOW ORDER.
- THE CONTRACTOR SHALL VERIFY ALL REQUIRED ROUGH OPENING SIZES FOR SINGLE UNITS AND MULLED UNITS INDICATED.

STRUCTURAL NOTE:
NEW STRUCTURAL INFORMATION MAY BE SHOWN ON ARCHITECTURAL PLANS OR SEPARATE STRUCTURAL PLANS. CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL PLANS AND SEPARATE STRUCTURAL PLANS (IF PROVIDED) AS REQUIRED.

SOUND ATTENUATION BLANKET NOTE:
CONTRACTOR IS TO INSTALL 3" SOUND ATTENUATION BATT INSULATION IN WALLS AND CEILING OF NEW LAUNDRY ROOM, ALL NEW BATHROOMS, ALL NEW BEDROOMS AND AS NOTED ON THE DRAWINGS.

CLOSET NOTES:
CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD SHELF MTD. + 64" AFF. IN ALL NEW CLOSETS EXCEPT LINEN CLOSETS AND MASTER BEDROOM CLOSETS.
PROVIDE AND INSTALL (4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS IN NEW LINEN CLOSETS.
NEW MASTER BEDROOM CLOSETS TO HAVE CUSTOM SHELVEING/STORAGE SYSTEMS INSTALLED (TO BE SELECTED BY OWNER).

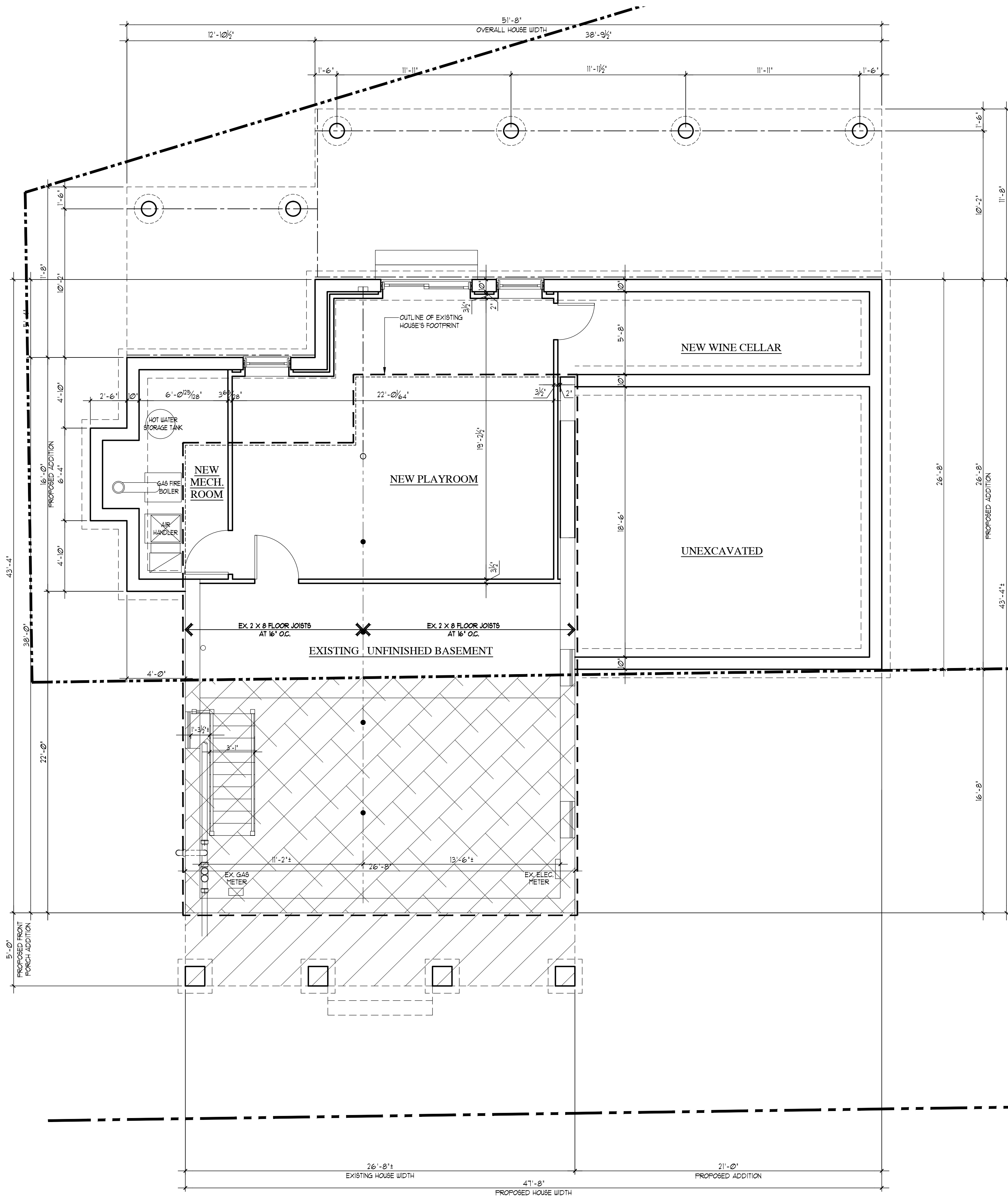
RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS
	NEW 2 X 4 OR 2 X 6 STUD ONE HOUR FIRE RATED PARTITION
	NEW 2 X 4 OR 2 X 6 STUD BEARING WALL
	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR - CONTROLLED BY WALL SWITCH - SEE PLAN FOR GRV REQUIREMENTS
	SMOKE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	HEAT DETECTOR/ALARM - INTERCONNECTED AND HARDWIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW

FROM SECTION R303.1 - EXCEPTION: INTERCONNECTION IS NOT REQUIRED WHERE SMOKE DETECTOR/ALARMS AND CARBON MONOXIDE DETECTOR/ALARMS ARE PERMITTED TO BE BATTERY OPERATED PER SECTION R303.2 WHEN INSTALLATION IN BUILDINGS WITHOUT PERMANENT POWER OR IN BUILDINGS THAT UNDERGO REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION IN ACCORDANCE WITH APPENDIX J.

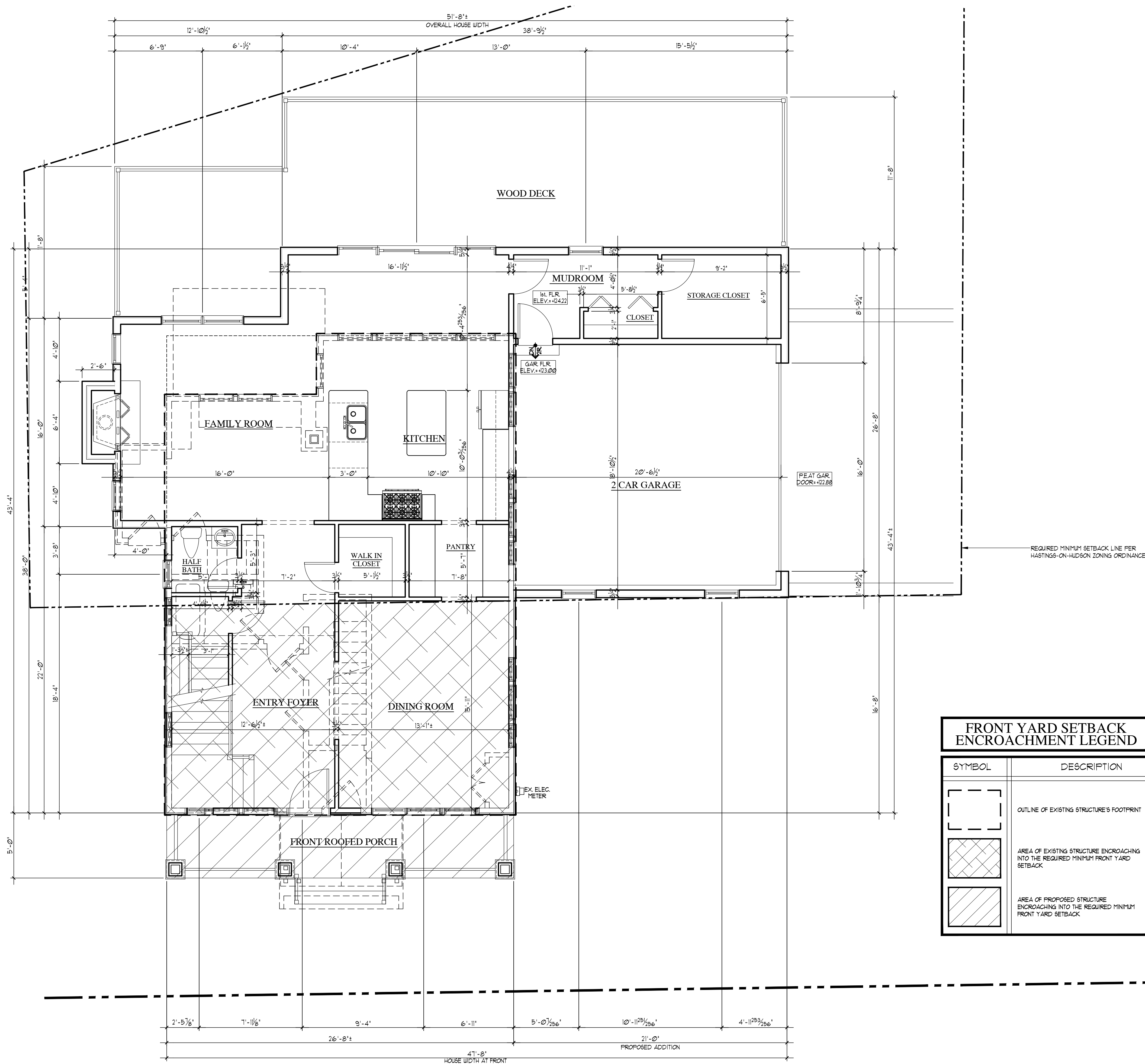
FRONT YARD SETBACK ENCROACHMENT LEGEND

SYMBOL	DESCRIPTION
	OUTLINE OF EXISTING STRUCTURE'S FOOTPRINT
	AREA OF EXISTING STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK
	AREA OF PROPOSED STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK



BASEMENT PLAN

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

1,743.50 SQ. FT. GROSS FLOOR AREA

SCALE: 1/4" = 1'-0"

FRONT YARD SETBACK ENCROACHMENT LEGEND

SYMBOL	DESCRIPTION
	OUTLINE OF EXISTING STRUCTURE'S FOOTPRINT
	AREA OF EXISTING STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK
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GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY EXISTING FLOOR AND ROOF FRAMING SIZES AND SPACINGS SUBFLOOR AND SHEATHING THICKNESS PRIOR TO START OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
2. CONTRACTOR SHALL ALIGN NEW FIRST AND SECOND SUB FLOORS WITH EXISTING SUB FLOORS.
3. ALL NEW FINISHES TO BE SELECTED BY OWNERS.
4. INSTALL 1/2" A-C PLYWOOD UNDERLAYMENT OVER NEW SUB FLOORS IF OWNERS SELECT CARPETING IN NEW ADDITION.

SPECIFICATIONS NOTE:

SEE GENERAL NOTES SHEETS 'GN' AND 'GN' FOR ADDITIONAL CONSTRUCTION INFORMATION - THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER TRADES.

DIMENSION NOTE:

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INTERIOR DOOR SPECIFICATIONS:

BASE SPECIFICATION FOR NEW INTERIOR DOORS SHALL BE 1 3/8" THICK X 6'-8" HIGH 6 PANEL MASONITE DOORS PRE-HUNG IN PAINT GRADE JAMBES IN SIZES NOTED ON PLANS AND/OR SCHEDULE. AT OWNERS OPTION NEW DOORS MAY MATCH EXISTING DOORS OR BE UPGRADED AS SELECTED BY OWNER. REVIEW DOOR SELECTION WITH OWNER PRIOR TO ORDERING DOORS. DOORS AT GARAGE AND MECHANICAL ROOMS SHALL BE 1 3/4" THICK 3/4 HOUR FIRE RATED LABELED DOORS WITH SELF CLOSING SPRING HINGES.

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1. ALL NEW WINDOWS ARE TO BE 'ANDERSEN' SERIES 400 WINDOWS WITH CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON PLANS.
2. ALL NEW GLAZED DOORS ARE TO BE 'ANDERSEN' SERIES 400 FRENCHWOOD GLIDING DOORS AND/OR FRENCHWOOD HINGED PATIO DOORS WITH CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON PLANS.
3. WINDOW MANUFACTURER SUBSTITUTIONS - IF CONTRACTOR WANTS TO SUBSTITUTE A DIFFERENT WINDOW AND GLASS DOOR MANUFACTURER THAN ONE SPECIFIED, CONTRACTOR SHALL SUBMIT TO ARCHITECT WINDOW SPECIFICATIONS AND SIZES SHOWING COMPLIANCE TO BUILDING CODES AND EGRESS WINDOW REQUIREMENTS FOR APPROVAL.
4. ALL GLAZING TO BE DOUBLE PANE HIGH PERFORMANCE LOW E GLASS WITH ARGON.
5. GLAZING IN GLIDING AND PATIO DOORS, SIDELIGHTS AND ALL WINDOWS WHERE GLAZING IS WITHIN 18" OF FINISHED FLOORS ARE TO HAVE TEMPERED SAFETY GLASS.
6. MINIMUM DP RATING FOR WINDOWS AND GLAZED DOORS AREA AS FOLLOWS:
 - CASEMENTS : DP-40
 - AWNINGS : DP-30
 - TILT WASH DOUBLE HUNG : DP-30
 - GLIDING WINDOWS : DP-30
 - FRENCHWOOD GLIDING DOORS : DP25-40
 - FRENCHWOOD HINGED PATIO DOORS : DP40-60
6. MINIMUM EMERGENCY EGRESS WINDOW SIZES ARE AS FOLLOWS:
 - DOUBLE HUNG : T103046 - 5'10" SF OPENING, 33 1/8" WIDTH, 24 1/4" HEIGHT IN FULL OPEN POSITION
 - CASEMENT : C1035 - 5'10" SF OPENING, 22 3/4" WIDTH, 36 3/4" HEIGHT IN FULL OPEN POSITION WITH STRAIGHT ARM
 - GLIDING WINDOW : G44 - 6'0" SF OPENING, 20 3/4" WIDTH, 42 3/4" HEIGHT IN FULL OPEN POSITION
 - SEE PLANS FOR ACTUAL EGRESS WINDOW SIZES SPECIFIED
7. THE CONTRACTOR SHALL COORDINATE WITH OWNER ALL FINISHES AND COLOR OPTIONS OF WINDOWS, HARDWARE AND SCREENS PRIOR TO PLACING WINDOW ORDER.
8. THE CONTRACTOR SHALL VERIFY ALL REQUIRED ROUGH OPENING SIZES FOR SINGLE UNITS AND MULLED UNITS INDICATED.

STRUCTURAL NOTE:

NEW STRUCTURAL INFORMATION MAY BE SHOWN ON ARCHITECTURAL PLANS OR SEPARATE STRUCTURAL PLANS - CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL PLANS AND SEPARATE STRUCTURAL PLANS (IF PROVIDED) AS REQUIRED.

SOUND ATTENUATION BLANKET NOTE:

CONTRACTOR IS TO INSTALL 3" SOUND ATTENUATION BATT INSULATION IN WALLS AND CEILING OF NEW LAUNDRY ROOM, ALL NEW BATHROOMS, ALL NEW BEDROOMS AND AS NOTED ON THE DRAWINGS.

CLOSET NOTES:

CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD SHELF MTD. - 64" AFF. IN ALL NEW CLOSETS EXCEPT LINEN CLOSETS AND MASTER BEDROOM CLOSETS. PROVIDE AND INSTALL (4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS IN NEW LINEN CLOSETS. NEW MASTER BEDROOM CLOSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS INSTALLED (TO BE SELECTED BY OWNER).

RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION SEE PLANS FOR THICKNESS
	NEW 2 X 4 OR 2 X 6 STUD ONE HOUR FIRE RATED PARTITION
	NEW 2 X 4 OR 2 X 6 STUD BEARING WALL
	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR - CONTROLLED BY WALL SWITCH - SEE PLAN FOR GRV REQUIREMENTS
	SMOKE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	HEAT DETECTOR/ALARM - INTERCONNECTED AND HARDWIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW

FROM SECTION R301.1 - EXCEPTION : INTERCONNECTION IS NOT REQUIRED WHERE SMOKE DETECTOR/ALARMS AND CARBON MONOXIDE DETECTOR/ALARMS ARE PERMITTED TO BE BATTERY OPERATED PER SECTION R301.2 WHEN INSTALLING IN BUILDINGS WITHOUT PERMANENT POWER OR IN BUILDINGS THAT UNDERGO REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION IN ACCORDANCE WITH APPENDIX J.

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PROJECT NAME:
PROPOSED ALTERATIONS AND ADDITION TO EXISTING HOUSE FOR:

ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

DWG. TITLE:

FIRST FLOOR PLAN

David A. Barbuti
Architect, PC

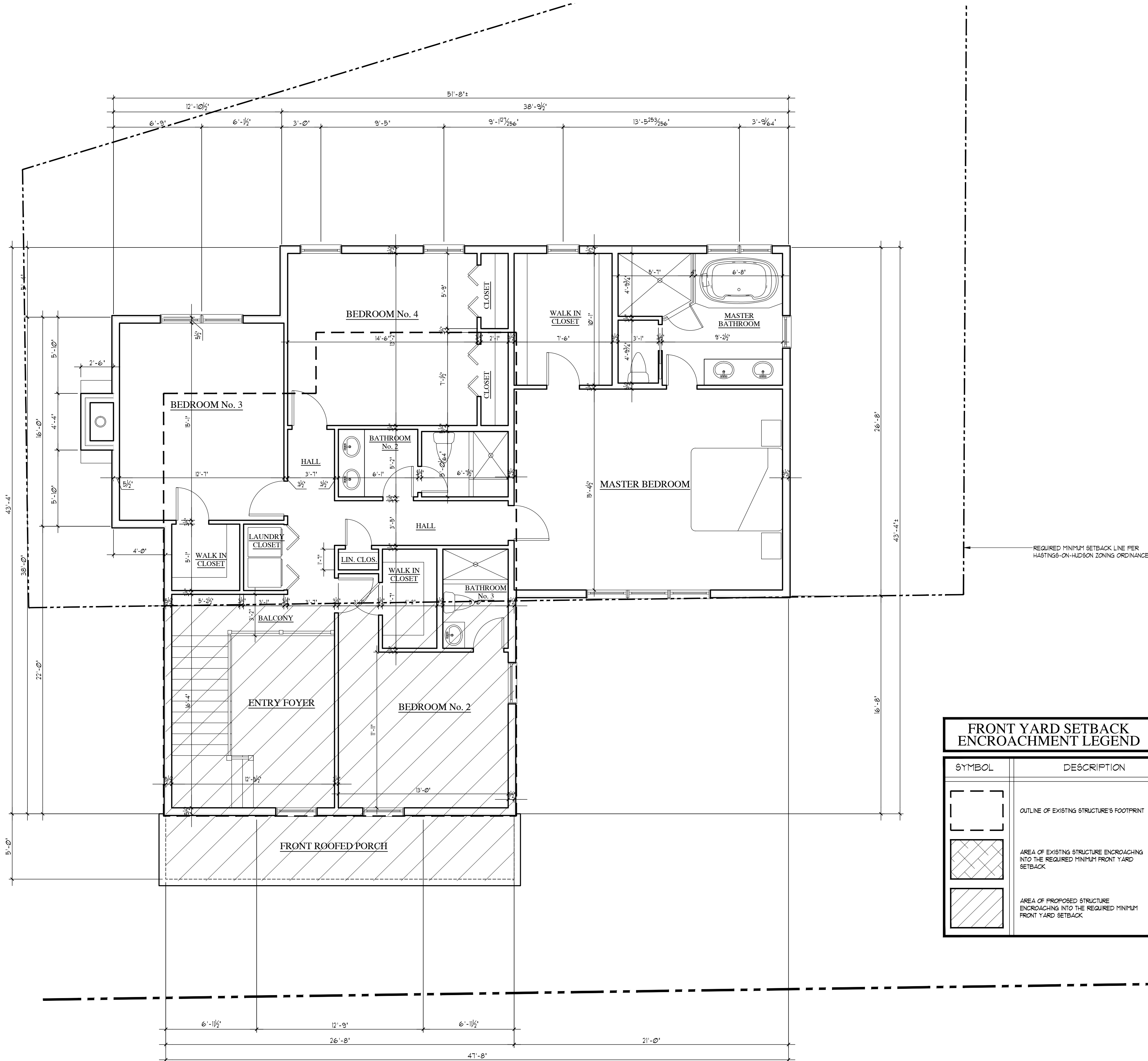
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Architect's Seal

DRAWN BY: C.R.P.
CHECKED BY:
SCALE: AS NOTED
PROJECT NO: 160901
START DATE: 10-04-16

REVISIONS

DWGS ISSUED

**SECOND FLOOR PLAN**

1,681.35 SQ. FT. GROSS FLOOR AREA

SCALE: 1/4" = 1'-0"

FRONT YARD SETBACK ENCROACHMENT LEGEND

SYMBOL	DESCRIPTION
	OUTLINE OF EXISTING STRUCTURE'S FOOTPRINT
	AREA OF EXISTING STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK
	AREA OF PROPOSED STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK

GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY EXISTING FLOOR AND ROOF FRAMING SIZES AND SPACINGS. SUBFLOOR AND SHEATHING THICKNESS PRIOR TO START OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
- CONTRACTOR SHALL ALIGN NEW FIRST AND SECOND SUB FLOORS WITH EXISTING SUB FLOORS.
- ALL NEW FINISHES TO BE SELECTED BY OWNERS.
- INSTALL 1/2" A-C PLYWOOD UNDERLAYMENT OVER NEW SUB FLOORS IF OWNERS SELECT CARPETING IN NEW ADDITION.

SPECIFICATIONS NOTE:

SEE GENERAL NOTES SHEETS '10N' AND '10K' FOR ADDITIONAL CONSTRUCTION INFORMATION. THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER TRADES.

DIMENSION NOTE:

ALL DIMENSIONS INDICATED AT NEW ADDITIONS ARE ROUGH FRAMING DIMENSIONS. DIMENSION INDICATED WITHIN EXISTING DWELLING ARE EITHER FINISH TO FINISH DIMENSIONS OR FINISH TO ROUGH FRAMING DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE FIELD FOR PURPOSES OF FINISHED CABINETS, APPLIANCE CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.

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 - CASEMENT: C1035 - 5'10" SF OPENING, 22 3/4" WIDTH, 36 3/4" HEIGHT IN FULL OPEN POSITION WITH STRAIGHT ARM
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- THE CONTRACTOR SHALL VERIFY ALL REQUIRED ROUGH OPENING SIZES FOR SINGLE UNITS AND MULLED UNITS INDICATED.

STRUCTURAL NOTE:

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SOUND ATTENUATION BLANKET NOTE:

CONTRACTOR IS TO INSTALL 3" SOUND ATTENUATION BATT INSULATION IN WALLS AND CEILING OF NEW LAUNDRY ROOM, ALL NEW BATHROOMS, ALL NEW BEDROOMS AND AS NOTED ON THE DRAWINGS.

CLOSET NOTES:

CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 12" DEEP WOOD SHELF MTD. - 64" AFF. IN ALL NEW CLOSETS EXCEPT LINEN CLOSETS AND MASTER BEDROOM CLOSETS. PROVIDE AND INSTALL (4) 12" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS IN NEW LINEN CLOSETS. NEW MASTER BEDROOM CLOSETS TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS INSTALLED (TO BE SELECTED BY OWNER).

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SYMBOL	DESCRIPTION
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WHOLE OR IN PART, WITHOUT THE

WRITTEN AUTHORIZATION OF

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BARBUTI, ARCHITECT, PC.

PROJECT NAME:
PROPOSED ALTERATIONS AND
ADDITION TO EXISTING HOUSE FOR:
ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

DWG. TITLE:

SECOND FLOOR PLAN

David A. Barbuti
Architect, PC

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Architect's Seal

DRAWN BY: C.R.P.
CHECKED BY:
SCALE: AS NOTED
PROJECT NO: 160901
START DATE: 10-04-16

REVISIONS**DWGS ISSUED**

REV	DATE	DESCRIPTION
1	12-20-16	REVISED STORM WATER PLAN AND DETAILS PER ENGINEERING, P.C. DATED 12/23/16
2	12-14-16	REVISED HOUSE TO MOVE PROPOSED GARAGE WING TO BEHIND THE FRONT YARD SETBACK WALL HEIGHT TO SIDE NEIGHBOR
3	12-1-16	REVISED STORM WATER DRAINAGE SYSTEM AND GRADE AT PROPOSED HOUSE PER NEIGHBORS COMMENTS
4	11-21-16	REVISED ATTACHMENTS TO MAIN BUILDING HEIGHT COMPLY WITH MAX. BUILDING HEIGHT OF 35'-0" FROM LOWEST EXISTING GRADE PER HASTINGS ZONING CODE

No.	DATE	DESCRIPTION
1	01-11-17	RELEASED PLANS FOR SUBMISSION TO JANUARY 2017 ZBA MEETING
2	11-14-16	RELEASED PLANS FOR SUBMISSION TO JANUARY BOARD
3	11-09-16	RELEASED PLANS FOR SUBMISSION TO ZBA



FRONT ELEVATION



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION

SHEET No.
A4

REVISED STORM WATER PLAN AND DETAILS PER HASTINGS ZONING CODE	C.P. 12-20-16	Δ
REVISED HOUSE TO MOVE PROPOSED GARAGE WING TO BEHIND THE FRONT YARD SETBACK WALL HEIGHT TO SIDE NEIGHBOR	C.P. 12-14-16	Δ
REVISED STORM WATER DRAINAGE SYSTEM AND GRADE AT PROPOSED HOUSE PER NEIGHBORS COMMENTS	C.P. 12-1-16	Δ
REVISED STORM WATER DRAINAGE SYSTEM AND GRADE AT PROPOSED HOUSE PER NEIGHBORS COMMENTS	C.P. 11-21-16	Δ
HEIGHT COMPY WITH MAX. BUILDING HEIGHT OF 35'-0" FROM LOWEST EXISTING GRADE PER HASTINGS ZONING CODE	REV BY DATE	
DESCRIPTION	REV BY DATE	
R E V I S I O N S		

DWG. ISSUED

01-11-17	RELEASED PLANS FOR 2017 ZBA MEETING	E
11-14-16	RELEASED PLANS FOR SUBMISSION TO JANUARY BOARD	E
11-09-16	RELEASED PLANS FOR SUBMISSION TO ZBA	E
No.	DATE	DESCRIPTION
DWG. ISSUED		

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PROJECT NAME:
PROPOSED ALTERATIONS AND ADDITION TO EXISTING HOUSE FOR:
ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

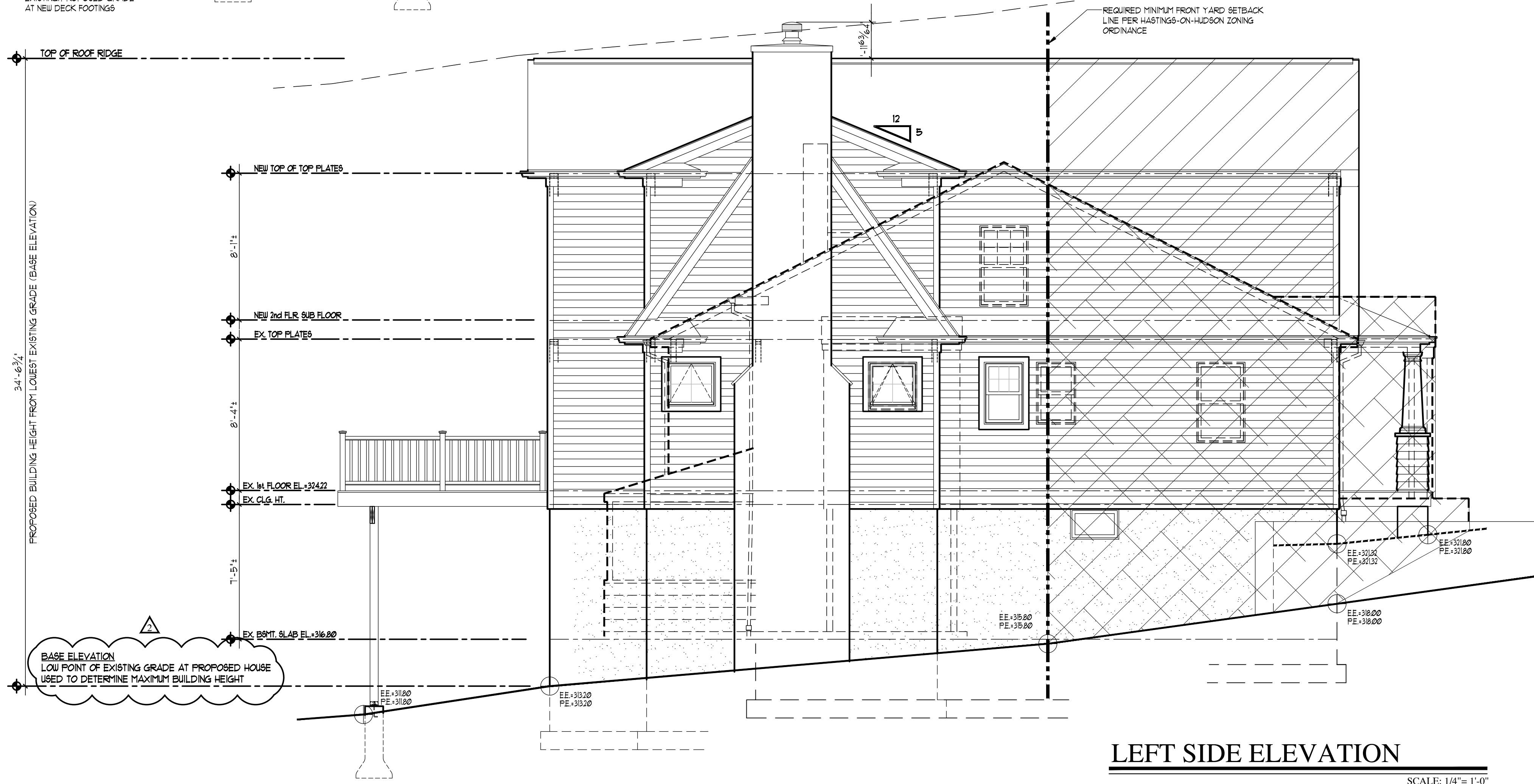
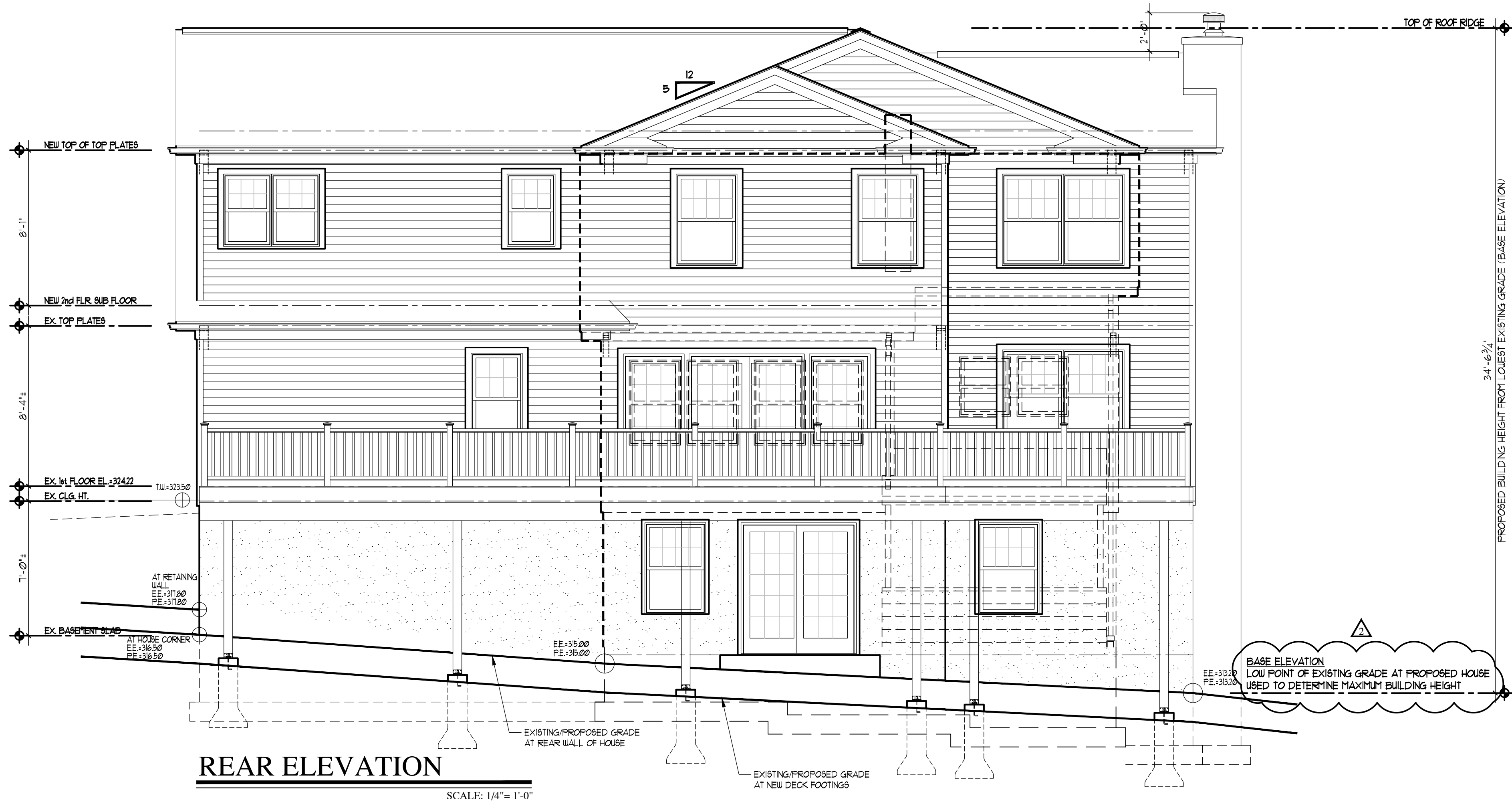
DWG. TITLE:
EXISTING HOUSE PHOTOGRAPHS

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Architect's Seal

DRAWN BY: C.R.P.
CHECKED BY:
SCALE: AS NOTED
PROJECT NO: 160901
START DATE: 10-04-16



FRONT YARD SETBACK ENCROACHMENT LEGEND	
SYMBOL	DESCRIPTION
	AREA OF EXISTING STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK
	AREA OF PROPOSED STRUCTURE ENCROACHING INTO THE REQUIRED MINIMUM FRONT YARD SETBACK

REV	BY	DATE	DESCRIPTION
1			REVISED STORM WATER PLAN AND DETAILS PER HASTINGS-ON-HUDSON ZONING ORDINANCE. ENGINEERING, P.C. DATED 12-15-16
2			REVISED HOUSE TO MOVE PROPOSED GARAGE WING TO BEHIND THE FRONT YARD SETBACK. WALL HEIGHT TO SIDE NEIGHBOR.
3			REVISED STORM WATER DRAINAGE SYSTEM AND GRADE AT PROPOSED HOUSE PER NEIGHBORS COMMENTS.
4			HEIGHT COMPATIBLE WITH MAX. BUILDING HEIGHT OF 35'-0" FROM LOWEST EXISTING GRADE PER HASTINGS ZONING CODE.

NO.	DATE	DESCRIPTION
1	01-11-17	RELEASED PLANS FOR SUBMISSION TO JANUARY 2017 ZBA MEETING
2	11-14-16	RELEASED PLANS FOR SUBMISSION TO JANUARY BOARD
3	11-09-16	RELEASED PLANS FOR SUBMISSION TO ZBA

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PROJECT NAME:
PROPOSED ALTERATIONS AND ADDITION TO EXISTING HOUSE FOR:
ELLEN KERA-GEIGER
6 FULTON STREET
HASTINGS-ON-HUDSON, NEW YORK

DWG. TITLE:
REAR AND LEFT SIDE ELEVATIONS

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DRAWN BY: C.R.P.
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SCALE: AS NOTED
PROJECT NO: 160901
START DATE: 10-04-16

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