

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number: Date of application: 1/24/2019

Property owner: Ralf Torke
 Property address: 6 Branford Road, Hastings-on-Hudson, NY 10706
 Name all streets on which the property is located: Branford Road, Kent Avenue
 Sheet: 4.120 Block: 132 Lot/Parcel: 10 Zoning District: R-10

Applicant: Ralf Torke
 Standing of applicant if not owner:
 Address: 6 Branford Road, Hastings-on-Hudson, NY 10706
 Daytime phone number: 212 480-7233 Fax number: 212 480-6268
 E-mail address: ralf.torke@mindspring.com

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-55 A	Prohib'n against extent'n of non-conformity	.7 ft. front yd. encroachment	2nd floor to be extended above exist'g gr. fl.
295-68 F(1)(a)	Front yard min. 30 ft. deep	29.3 ft. setback at gr.fl.	29.3 ft setback at gr. & 2nd fl.
.....
.....
.....
.....

*See example below:

295-68F 1a.	Front Yard Min. 30 ft. deep.	26.5 ft.	19.5 ft.
295-68A	Permitted Principal Use.	Single Family Home	Conversion to Dental Office

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Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30 ft.	29.3 ft.	29.3 ft.
REAR	21.30- 22.88 ft. (30% lot depth)	8 ft.	8 ft.
SIDE ONE (Corner lot)	30 ft.	32.1 ft.	32.1 ft.
SIDE TWO	12 ft.	12.1 ft.	12.1 ft.
TOTAL OF TWO SIDES	30 ft.	44.2 ft.	44.2 ft.

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2 stories	2 stories	2 stories
FEET	35 ft.	25 ft.	25 ft.

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 sq. ft.	6,543 sq. ft.	6,543 sq. ft.
BLDG. COVERAGE/ % OF LOT AREA	25%	21.3%	21.3%
DEVELOPMENT COVERAGE/ % OF LOT AREA	35%	28.2%	28.2%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single family	Single family	Single family

** Single Family, Two Family, Commercial, Mixed Use etc.

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Zoning Board of Appeals

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- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
1999	Building add'n rear yard setback encroachment	Area variance	1999

- List pending violations on this property if any:

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Applicant

Sworn to before me this 23 day
of Jan, 2019

Notary Public

STERLING YAU
Notary Public, State of New York
Reg. No. 01YA6373507
Qualified in Bronx County
Commission Expires April 09, 2022

Area Variance Application for 6 Branford Road

An area variance is requested for the portion of a proposed 2nd floor/roof addition which would encroach .7 feet into the required front yard (approximately 5 sq. ft. total area). The addition is to be located above the existing, lawfully non-conforming ground floor of this cape-style single-family house originally built in the 1940's, which has been our family residence since 1980.

The proposed roof addition would replace two small dormers on the Branford Road side of the house with a more substantial double-gable built out to the front building line, thereby extending the usable area of the second floor; the number of bedrooms will be unchanged, but one existing bedroom will be enlarged while a new walk-in-closet will be created for the master bedroom.

The footprint of the house will remain as is, and there will be no increase in impervious surfaces, so both the building and development coverage percentages remain unchanged, and well within the maximums permitted by code.

The change from a single-story cape with dormers to a near-full second floor will be visually significant, but the structure will not be out of character with other nearby houses; both immediate neighboring houses have dutch-gable roofs, which provide near-full second floor usable space. The majority of other nearby houses are either two-story colonials or tudors, with at least one other original single-story house having recently added a full second floor.



















As an architect, one of my primary concerns was for the addition to fit in with the neighborhood, and this led to the double-gable design, which both provides additional usable second-floor space while keeping a lower roof eave line for much of the building perimeter. The only means to achieve this design, however, is via the requested area variance, since the wood frame construction of the house would not permit a second floor wall offset from the existing front wall below.

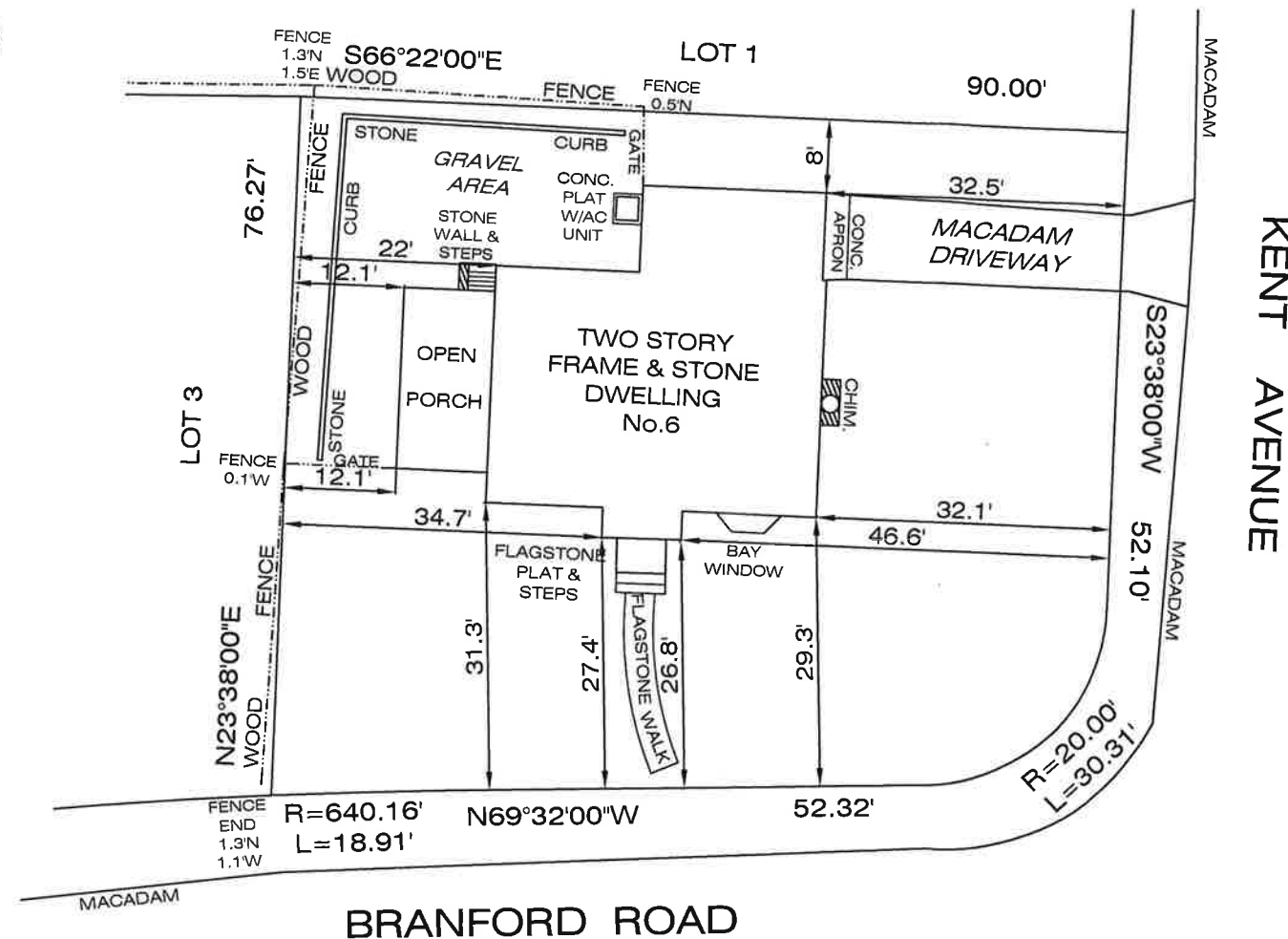


Ralf Torke

6 Branford Road

LEGEND

-  CATCH BASIN
-  DRAIN INLET
-  UTILITY POLE
-  SIGN POST
-  HYDRANT
-  WATER VALVE
-  GAS VALVE
-  LIGHT POLE
-  TRAFFIC POLE
-  TELE. MANHOLE
-  ELECTRIC BOX
-  SEWER MANHOLE
-  WATER MANHOLE
-  ELECTRIC MANHOLE
-  DRAIN MANHOLE
-  MANHOLE
- +242.5 EXIST. ELEV.
- +(242.5) PROP'D ELEV.
-  EVERGREEN
-  14 TREE
- SIZE



Possession NOT indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on October 4, 2018, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

Copies of the survey map not bearing the land surveyor's original blue signature and embossed seal shall not be considered to be a true and valid copy. Copyright Gabriel E. Senor, P.C., 2018. ALL RIGHTS RESERVED.

A Title report lists easements and restrictions if the report was not provided these easements and or restrictions may not be shown. A copy of the title report was not provided. A copy of the deed was provided. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not guaranteed. Fences or possession lines generally do not follow a straight line. The survey shows straight lines between located points. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

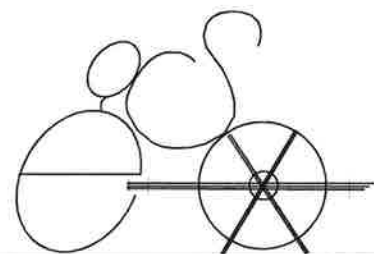
Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

NOT FOR TITLE TRANSFER

**SURVEY OF
LOT No.2, BLOCK "E"**
AS SHOWN ON MAP OF
RAVENSDALE
SITUATED AT
HASTINGS ON HUDSON
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK.

SCALE: 1" = 20'

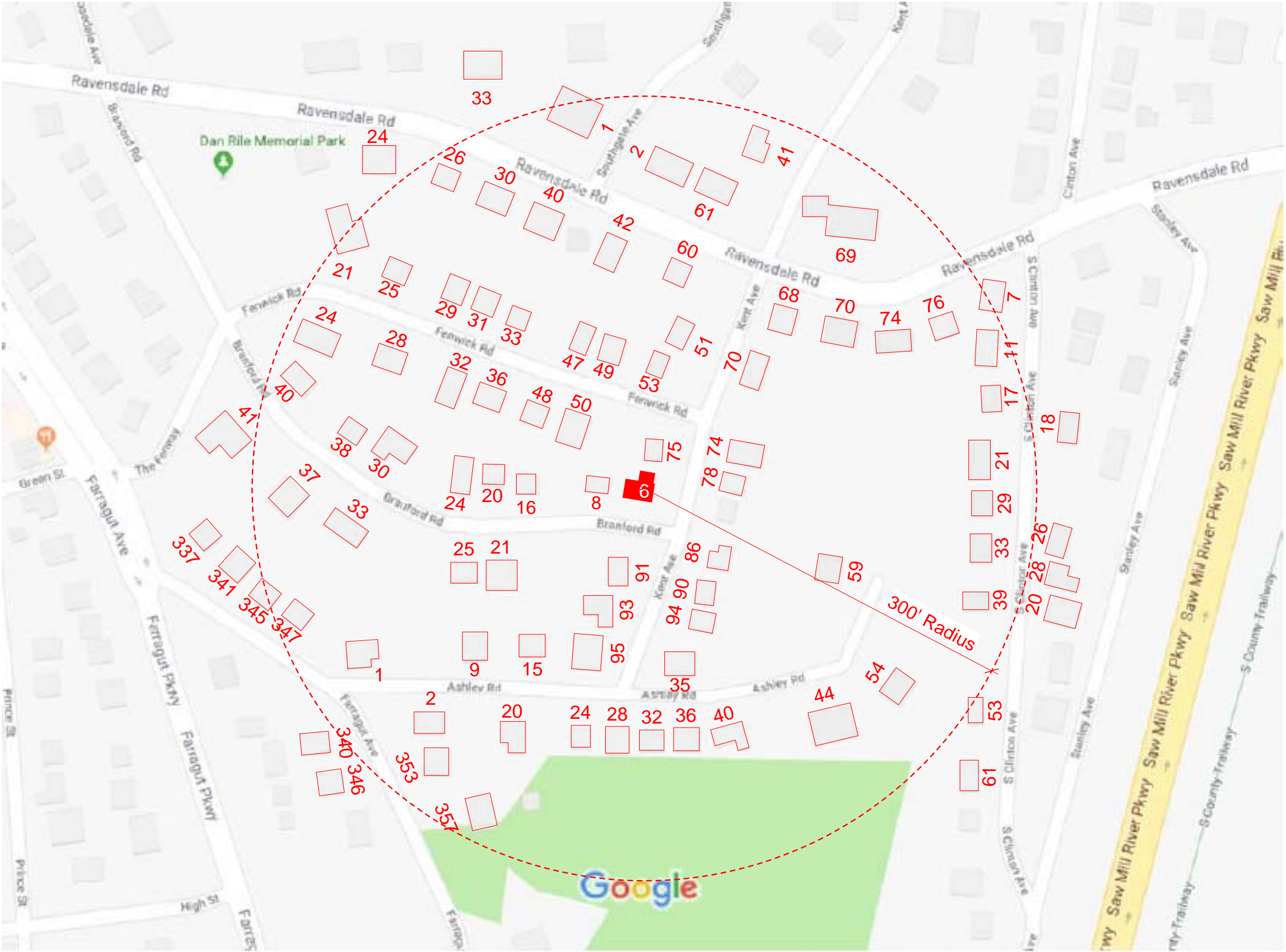
DATE: OCTOBER 4, 2018



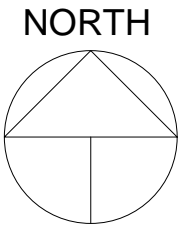
GABRIEL E. SENOR, P.C.

CONSULTING ENGINEER • LAND SURVEYORS
90 NORTH CENTRAL AVE., HARTSDALE, NEW YORK, 10530
(914) 422-0070 FAX 422-3009

Said "Map" is filed in the Westchester County Clerk's office, Division of Land Records, on June 16, 1928 as R.O. Map number 3307.

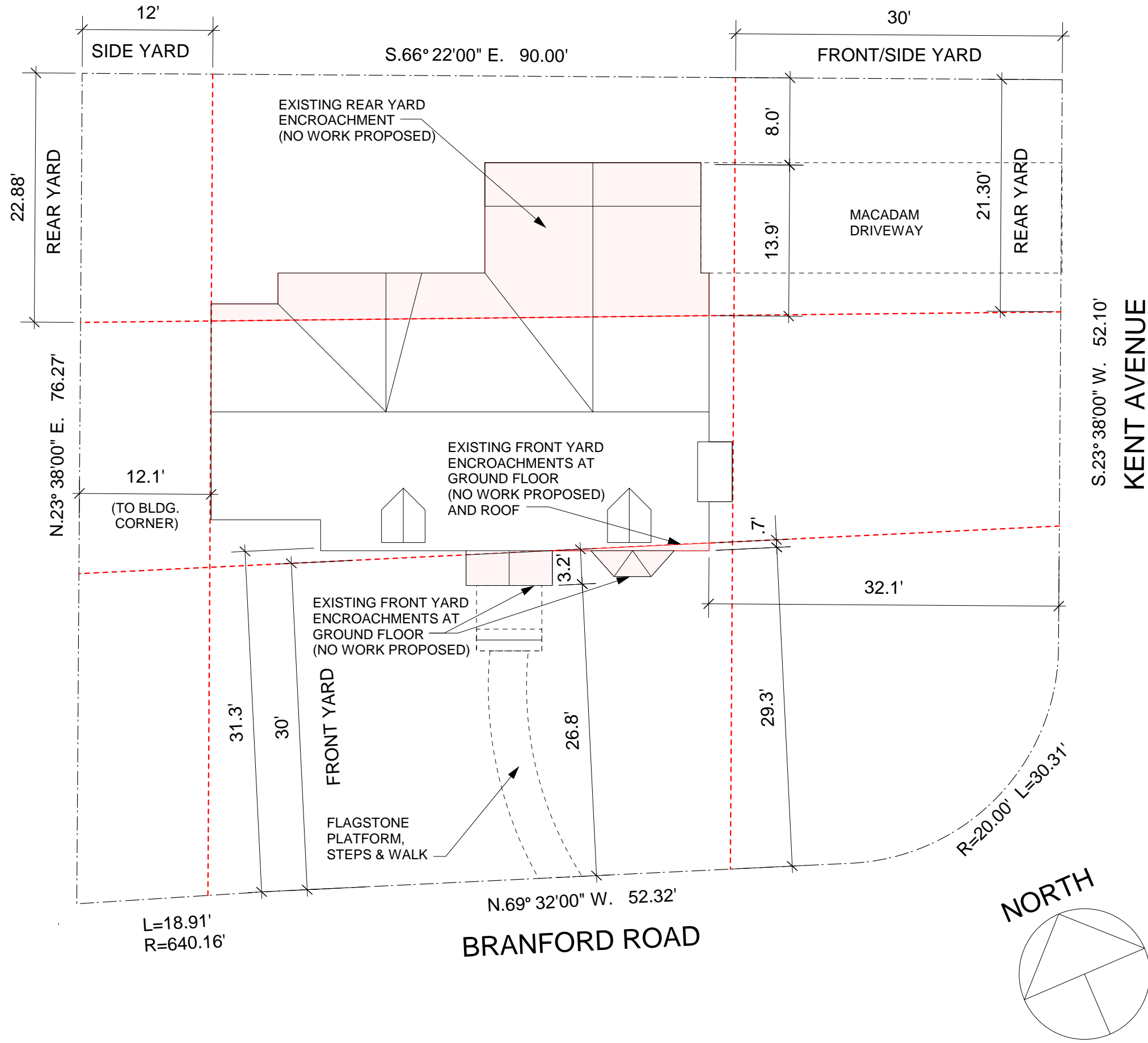


Map data ©2019 Google 100 ft



LOCATION PLAN SHOWING SITE AND NEIGHBORS WITHIN 300' RADIUS

Drawing No.		1 of 9		Date: Jan. 24, 2019	
ADDITION & INTERIOR RENOVATIONS 6 BRANFORD ROAD Hastings-on-Hudson, NY 10706		Neighborhood Plan No Scale		Ralf Torke, Architect 917 319-1605	



ADDITION & INTERIOR RENOVATIONS
6 BRANFORD ROAD
Hastings-on-Hudson, NY 10706

Site Plan (Existing)
Scale 1"= 10'

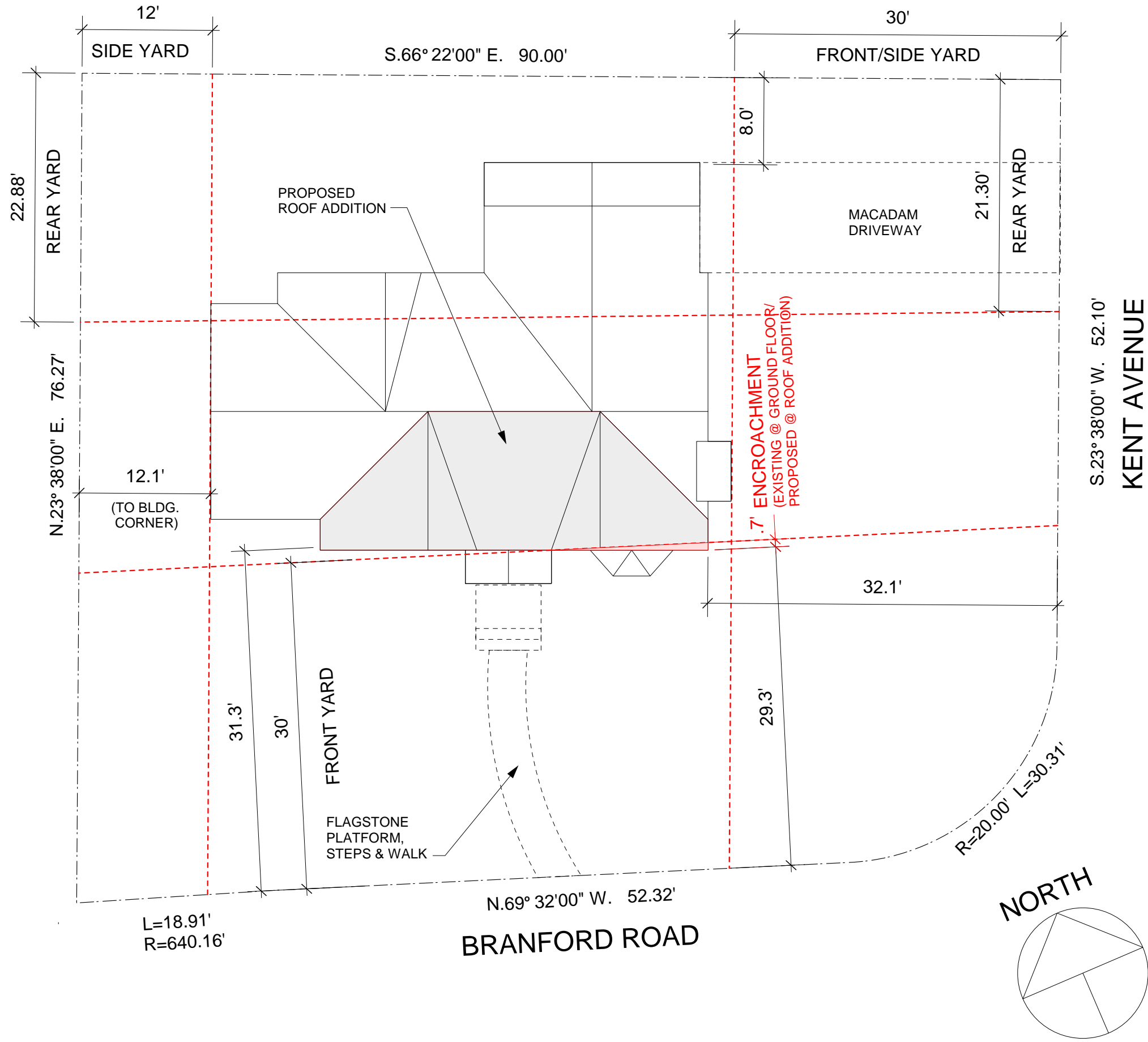
Ralf Torke, Architect
917 319-1605

Drawing No.

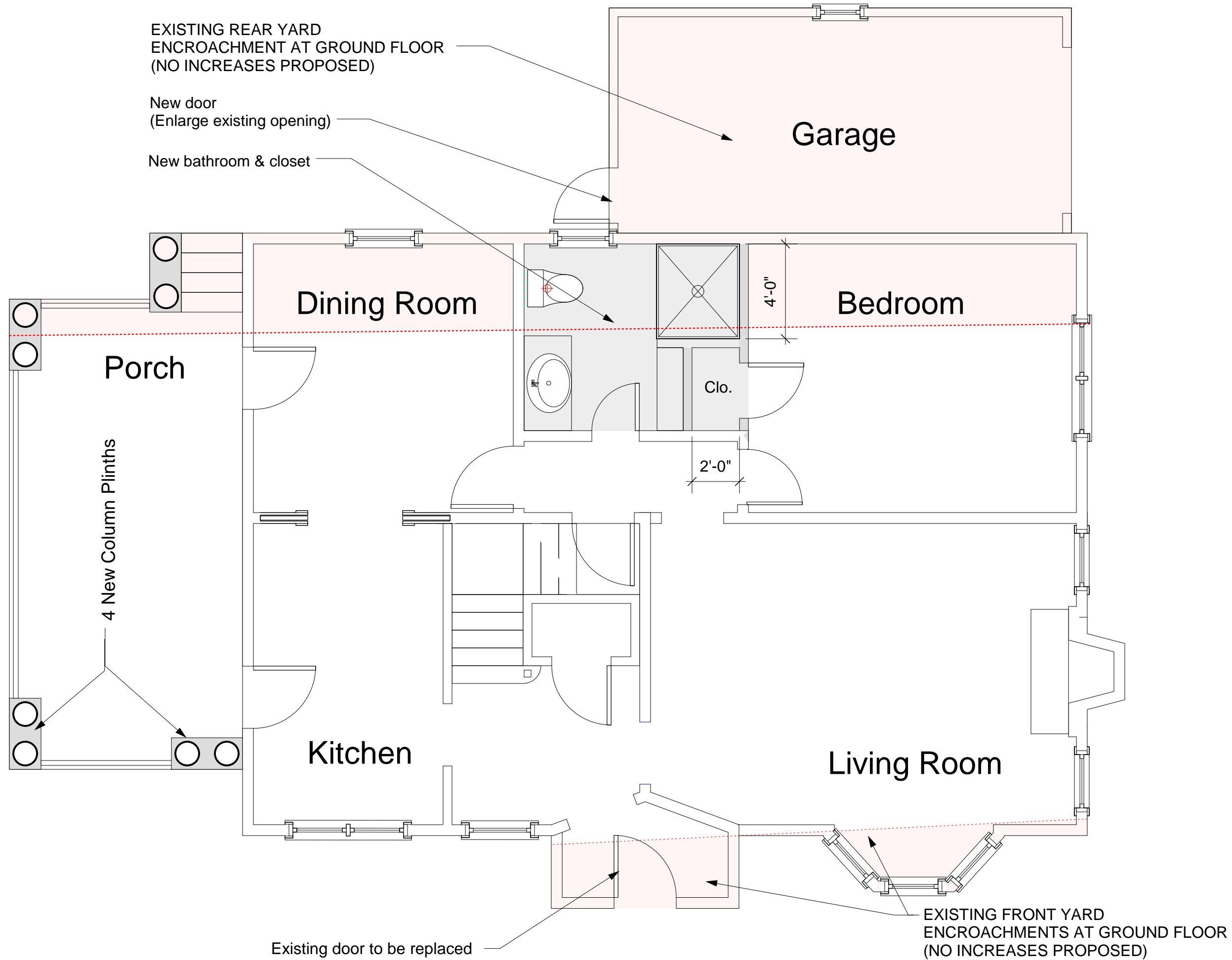
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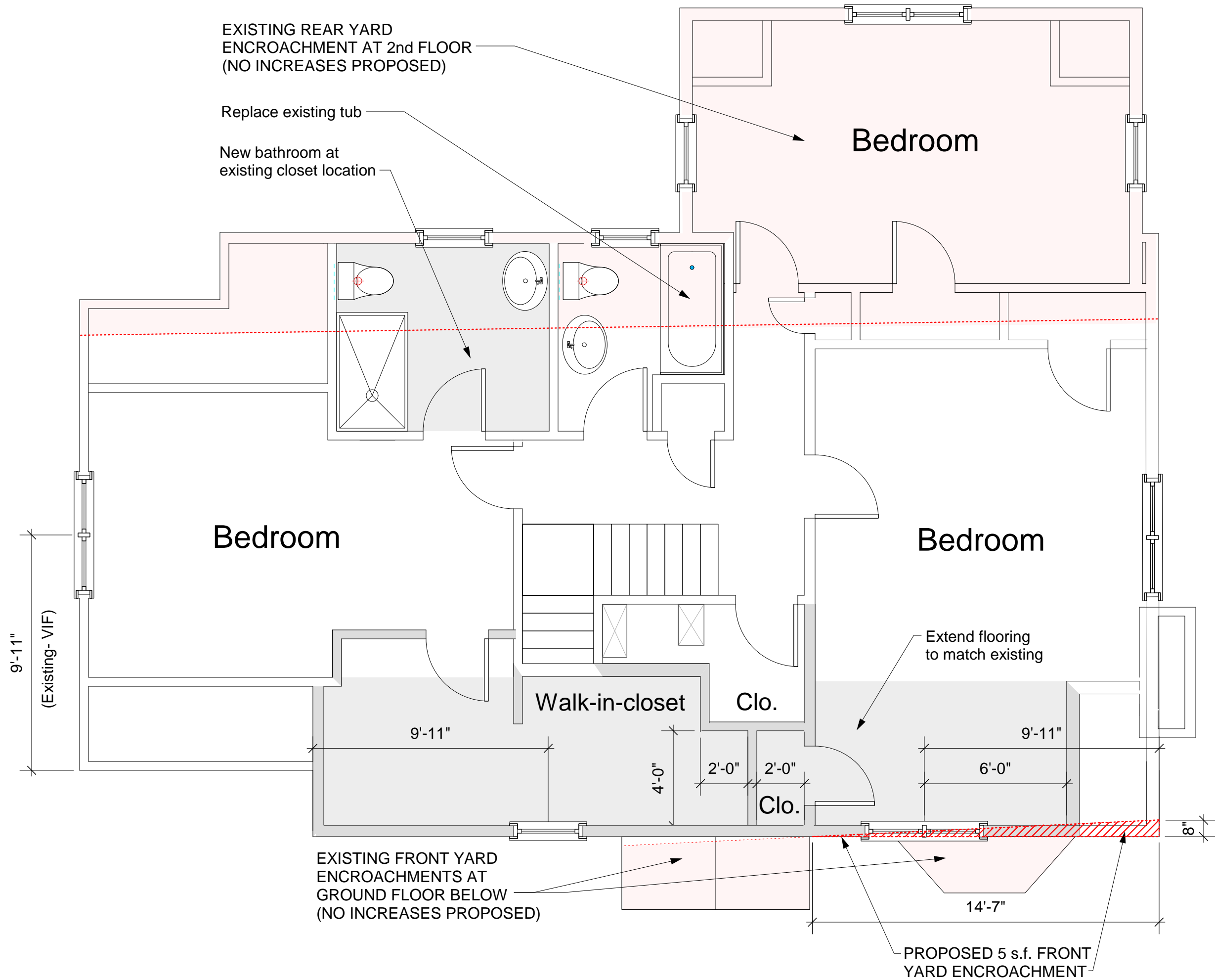
Date: Jan. 24, 2019



Drawing No.		3 of 9		Date: Jan. 24, 2019	
ADDITION & INTERIOR RENOVATIONS		Ralf Torke, Architect		917 319-1605	
6 BRANFORD ROAD		Site Plan (Proposed)		Scale 1"= 10'	
Hastings-on-Hudson, NY 10706					



Drawing No.		4 of 9		Date: Jan. 24, 2019	
ADDITION & INTERIOR RENOVATIONS		Ground Floor Plan (Proposed)		Ralf Torke, Architect	
6 BRANFORD ROAD		Scale 1/4"= 1'-0"		917 319-1605	
Hastings-on-Hudson, NY 10706					



ADDITION & INTERIOR RENOVATIONS
6 BRANFORD ROAD
Hastings-on-Hudson, NY 10706

Drawing No.

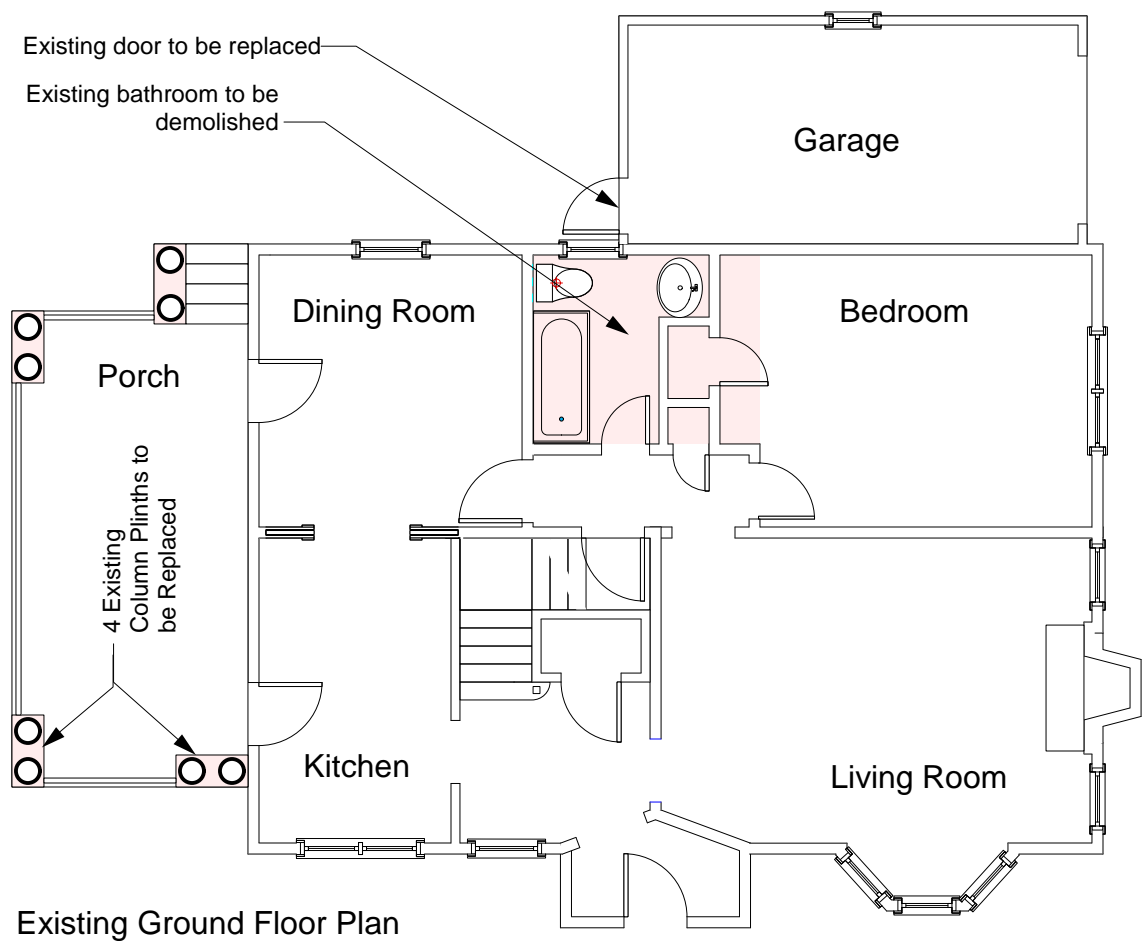
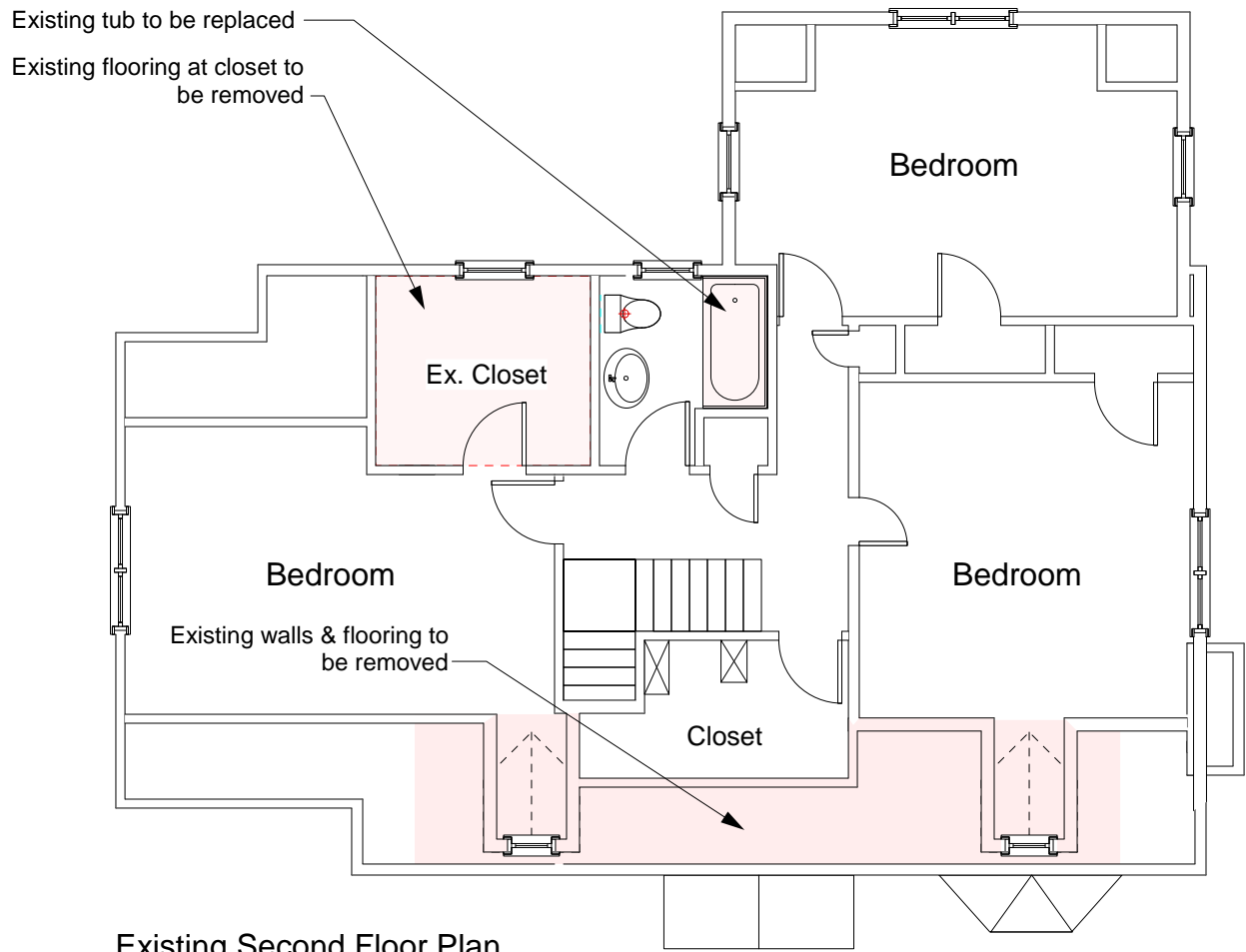
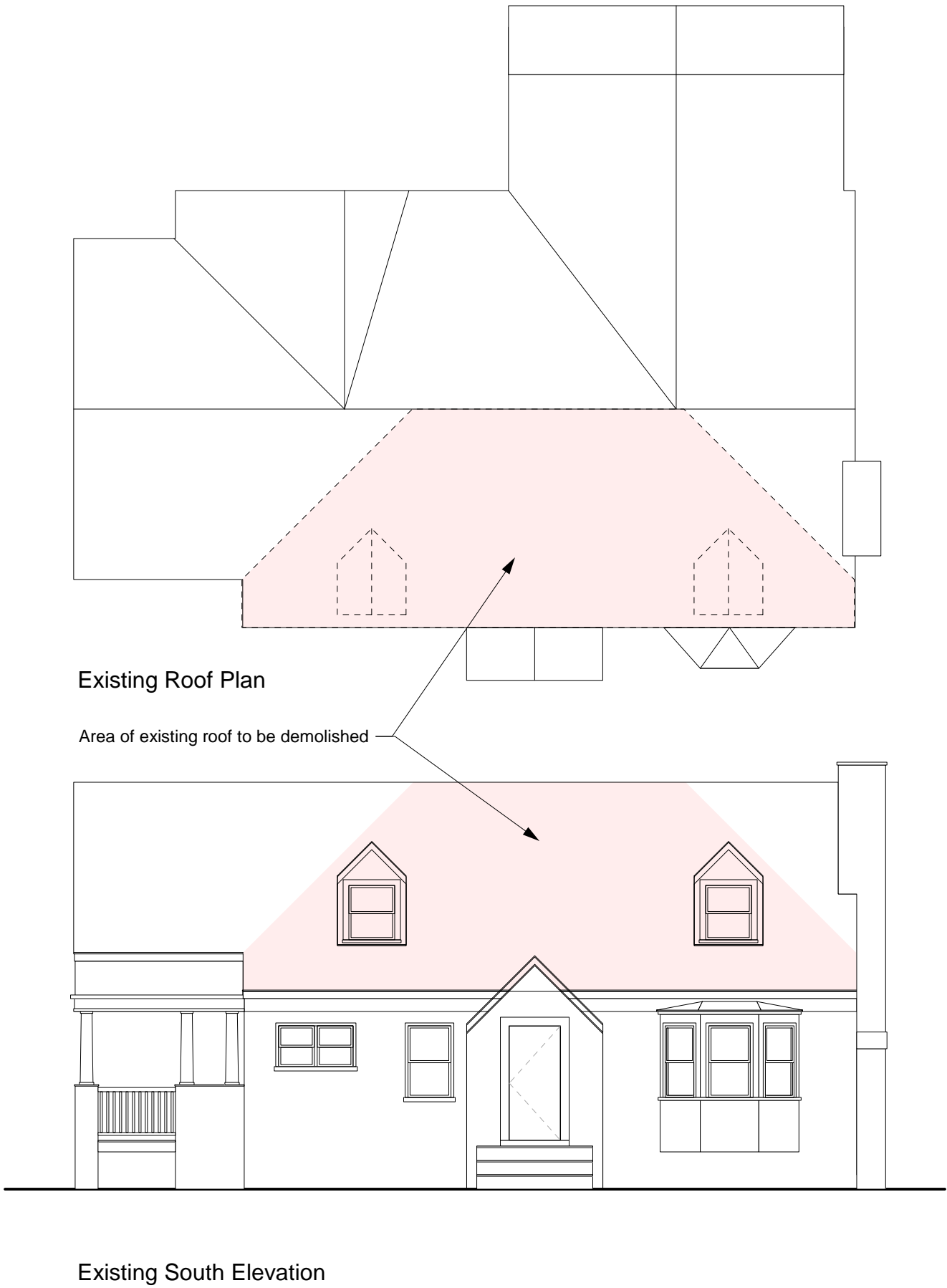
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Date: Jan. 24, 2019

Ralf Torke, Architect
917 319-1605

2nd Floor Plan
Scale 1/4" = 1'-0"



ADDITION & INTERIOR RENOVATIONS
6 BRANFORD ROAD
Hastings-on-Hudson, NY 10706

Existing Plans & Elevations
Scale 1/8" = 1'-0"

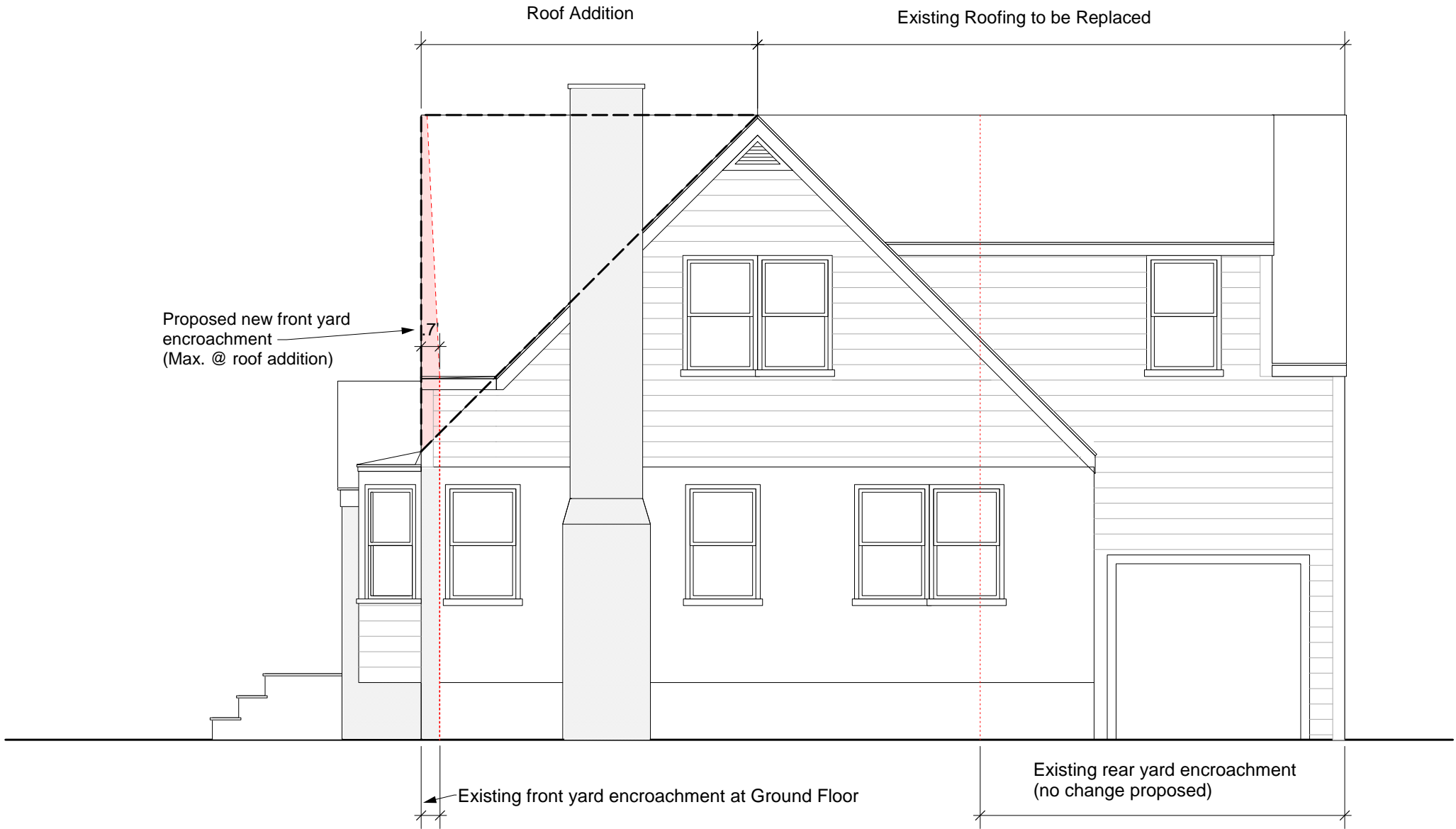
Ralf Torke, Architect
917 319-1605

Drawing No.

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Date: Jan. 24, 2019



ADDITION & INTERIOR RENOVATIONS
6 BRANFORD ROAD
Hastings-on-Hudson, NY 10706

East Elevation (Proposed)
Scale 1/4" = 1'-0"

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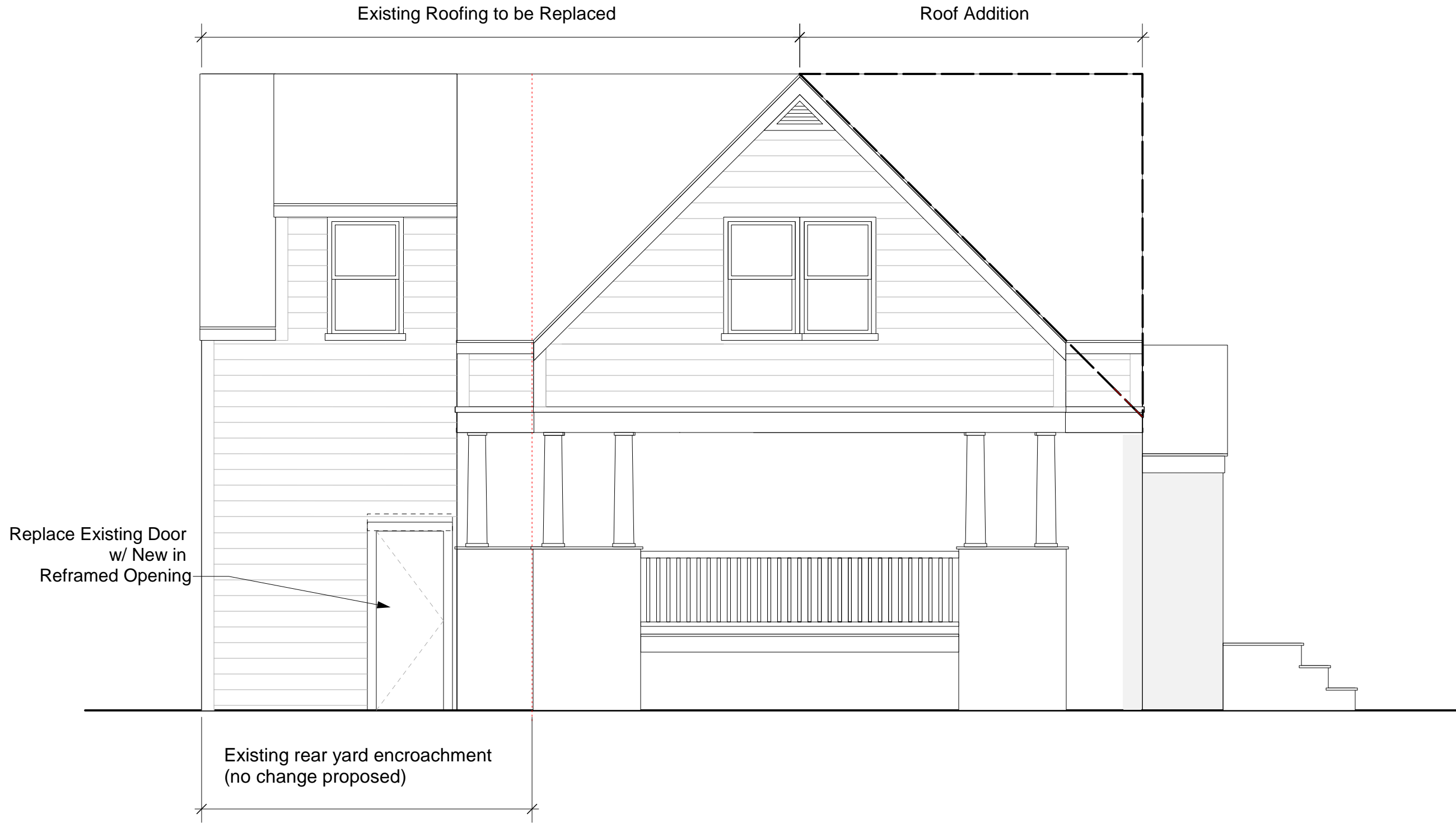
Drawing No.

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Date: Jan. 24, 2019



Drawing No.		8 of 9		Date: Jan. 24, 2019
ADDITION & INTERIOR RENOVATIONS 6 BRANFORD ROAD Hastings-on-Hudson, NY 10706		South Elevation (Proposed) Scale 1/4"= 1'-0"		
		Ralf Torke, Architect 917 319-1605		



ADDITION & INTERIOR RENOVATIONS

6 BRANFORD ROAD

Hastings-on-Hudson, NY 10706

West Elevation (Proposed)

Scale 1/4" = 1'-0"

Ralf Torke, Architect
917 319-1605

Drawing No.

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Date: Jan. 24, 2019