

NOTES:

PROJECT INFORMATION:

Additions alterations
MOY RESIDENCE
66 EDGARDS LN.
HASTINGS ON HUDSON, NY

REV. #/DATE

DRAWING TITLE:

DRAWING INFO.

COV
NOTED

24 July 2019
1820

MOY RESIDENCE

66 EDGARDS LN. • HASTINGS ON HUDSON, NY

DRAWING LIST:

ARCHITECTURAL:		STRUCTURAL:	
SP1.0	SITE	S1.0	SECOND FLOOR & FIRST
D1.0	DEMOLITION PLANS		FLOOR FRAMIN PLANS
A1.1	CONSTRUCTION PLANS	S2.0	STRUCTURAL NOTES,
A1.2	ROOF PLANS		SECTIONS & DETAILS
A2.0	EXTERIOR ELEVATIONS,	S3.0	SECTIONS & DETAILS
	SECTION & DETAILS		
A3.0	INTERIOR ELEVATIONS		
E1.0	LIGHTING/POWER PLANS		

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD TEMP REQ'D	WIND SPD	SEISMIC DSGN CATEGORY INDEX	SUBJECT DAMAGE FROM				WINTER DESIGN	ICE BARRIER UNDERLYMNT	FLOOD HAZARDS	AIR FREEZING	MEAN ANNUAL
			WITHRING TEMP.	FRST LINE DPTH	TERMITE	DECAY					
30 LBS./S.F.	110-120 MPH	C	SEVERE	42" DEEP	MODERATE TO HEAVY	SLIGHT TO MODERATE	7D	YES	F.I.R.M. zone x outside the .2% annual chance floodplain EFFECTIVE DATE: 9/28/2007	YES	
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT R-VALUE & DEPTH	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE		
4	ALLWBLE: .35 ACTUAL: 0.33	N/A (EXIST)	N/A (EXIST)	N/A (EXIST)	N/A (EXIST)	EXIST.	EXIST. - 108" MIN.	EXIST. - 4" MIN.	EXIST.		

4 ZONE - 5750 HEATING DEGREE DAYS

ALT LEVEL NO 2
SCOPE:
RENOVATE 1ST FLOOR KITCHEN AREA
RENOVATE 2ND FLOOR BEDROOM CLOSETS
CONSTRUCT SECOND FLOOR BATHROOM
ADDITION OVER EXIST ONE STORY
CONSTRUCTION TYPE 5B UNPROTECTED
OCCUPANCY= R3 1 FAMILY RESIDENTIAL
FAR= SEE ZONING ANALYSIS

ENERGY CODE COMPLIANCE

FROM TABLE 402.1.1(1) FROM ENERGY CONSERVATION CONSTRUCTION
CODE OF NEW YORK STATE PUBLISHED JANUARY 2015 - BASED ON 2010
BASED ON 5,750 HEATING DEGREE DAYS IN CLIMATE ZONE 4 (NOT MARINE)

SUB-SYSTEM	MAXIMUM U-FACTOR	MINIMUM R-VALUE
FENESTRATION	Ug = .35	R - 4
SKYLITE	Ug = .55	
GLAZED FENESTRATION	Ug = .40	
CEILING	Ug = .026	R - 49
FRAME WALL	Ug = .060	20 OR 13+5
MASS WALL	Ug = .098	8/13
FLOOR	Uf = .047	R - 19
BASEMENT WALL	Uf = .059	R - 10/13
SLAB PERIMETER		R10 FOR 2'
CRAWL SPACE WALL	Uf = .065	R - 10/13

- A. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. R-19 BATTS COMPRESSED INTO A NOMINAL 2X6 FRAMING CAVITY SUCH THAT THE R-VALUE IS REDUCED BY R-1 OR MORE SHALL BE MARKED WITH THE COMPRESSED BATT R-VALUE IN ADDITION TO THE FULL THICKNESS R-VALUE.
- B. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.
- C. "15/19" MEANS R-15 CONTINUOUS INSULATED SHEATHING ON HE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "10/13" MEANS R-10 CONTINUOUS INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- D. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN ZONES 1 THROUGH 3 FOR HEATED SLABS.
- E. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.
- F. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS.
- G. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY. R-19 IS MINIMUM.
- H. "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING. IF STRUCTURAL SHEATHING COVERS 25 PERCENT OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE STRUCTURAL SHEATHING IS USED. IF STRUCTURAL SHEATHING COVERS MORE THAN 25 PERCENT OF EXTERIOR, STRUCTURAL SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF ATLEAST R-2.

- I. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE WALL.
- J. FOR IMPACT RATED FENESTRATION COMPLYING WITH SECTIONR301.2.1.2 OF THE INTERNATIONAL RESIDENTIAL CODE OR SECTION 1608.1.2 OF THE INTERNATIONAL BUILDING CODE, THE MAXIMUM U-FACTOR SHALL BE 0.75 IN ZONE 2 AND 0.65 IN ZONE

GENERAL NOTE:
THESE HAVE BEEN PREPARED WITH NO KNOWLEDGE OF PRESENCE OF LEAD OR ASBESTOS. CONTRACTOR AND OWNER MUST TAKE APPROPRIATE STEPS TO IDENTIFY AND ABATE AS PER ALL APPLICABLE CODES.

ENERGY NOTES:

- I, DOUGLAS MCCLURE, CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE LATEST EDITION OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, CURRENTLY THE 2016 ENERGY CONSERVATION CODE OF NYS.
- ALL INSULATION SHALL BE AT MINIMUM PAPER FACED FIBERGLASS BATTS, WITH THE PAPER FACING THE WARM SIDE OF THE ASSEMBLY.
- THE G.C. SHALL PROVIDE A PERMANENT CERTIFICATE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED PER SYSTEM THROUGH OUT THE RESIDENCE PER SECTION 401.3 OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- CEILING INSULATION MAY BE REDUCED TO R-30 IN THE FOLLOWING SITUATIONS:
 - PER SECTION 402.2.1 - CEILINGS WITH ATTIC SPACES: IF THE FULL HEIGHT OF THE UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES
 - PER SECTION 402.2.2-CEILINGS WITHOUT ATTIC SPACES:WHERE THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOESNT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THIS REDUCTION SHALL BE LIMITED TO 500 SF OF CEILING AREA.
- INSULATION VALUES SHOWN IN CHART ABOVE MAY BE REDUCED TO R-30 FOR CEILING AND R-13 FOR WALL IF THE MECHANICAL SYSTEM COMPLIES WITH TABLE 403.7 OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. (I.E., GAS FURNACE: 90% AFUE OR GAS BOILER 82% AFUE.
- FOR BLOWN IN INSULATION, THE SETTLED R-VALUE SHALL BE USED.
- INSULATION VALUES SHOWN IN THE CHART ABOVE ARE MINIMUM VALUES REQUIRED BY CODE AND MAY NOT REFLECT THE INSULATION VALUES CALLED OUT IN THE CONSTRUCTION DOCUMENTS. WHEN TWO DIFFERENT INSULATION VALUES ARE CALLED OUT, CONTRACTORS ARE HEREBY DIRECTED TO INSTALL THE INSULATION WITH GREATER R-VALUE PER ASSEMBLY.
- R-19 BATT INSULATION SHALL BE INSTALLED IN ALL 2X6 EXTERIOR WALLS.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE N.Y. STATE BUILDING CODE, THE CITY OF HASTINGS-ON-HUDSON ZONING CODE AND ALL OTHER AGENCIES HAVING JURISDICTION 2015 IRC, 2015 IPC, 2015IMC, 2015IEBC AS AMENDED BY 2017 NYS UNIFORM CODE SUPPLEMENT, 2014NEC, 2016IECC AND CNR MUNICIPAL CODE.
- THE G.C. IS TO SECURE A BUILDING PERMIT FROM THE CITY OF NEW ROCHELLE BUILDING DEPARTMENT.
- G.C. SHALL GIVE THE OWNER A WRITTEN GUARANTEE COVERING ALL EQUIPMENT, MATERIALS AND WORKMANSHIP FOR A PERIOD OF (1) ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER (CONFIRMED IN WRITING), AND HE SHALL, UPON NOTICE, PROMPTLY MAKE GOOD AT HIS OWN EXPENSE ALL DEFECTS IN MATERIAL AND WORKMANSHIP DURING THIS PERIOD AT NO COST TO THE OWNER.
- THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. DIMENSIONS SHALL BE FIGURED RATHER THAN DETERMINED BY RULE OR SCALE.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FINISHED DIMENSIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST DIRT AND DAMAGE.
- THE G.C SHALL PROVIDE, ERECT & MAINTAIN TEMP. DUST BARRIERS/PARTITIONS & OTHER ITEMS REQ'D. FOR PROPER PROTECTION OF AREAS ADJACENT TO THE WORK & PROVIDE SAFE ACCESS TO THE PORTIONS THAT ARE NOT AFFECTED BY THE WORK.
- ALL PERTINENT PRECAUTIONS FOR ACCIDENT PREVENTION RECOMMENDED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC., OSHA, OR BY STATE AND LOCAL LAWS AND REGULATIONS, SHALL BE CONSIDERED TO FORM A PART OF THE CONTRACT WORK.
- CONTRACTOR SHALL KEEP A FULL SET OF COMPLETE UP-TO-DATE PLANS AVAILABLE AT THE JOB.
- INSURANCE REQUIREMENTS:
 - THE CONTRACTOR SHALL PURCHASE & MAINTAIN INSURANCE OF A FORM & WITH COMPANIES SATISFACTORY TO THE OWNER, & THE VILLAGE OF HASTINGS-ON-HUDSON
- DEMOLITION - CUTTING - PROTECTION:
 - PROBE TO LOCATE UTILITIES OR STRUCTURE PRIOR TO REMOVING MATERIALS. DO ALL WORK SO AS NOT TO ENDANGER BUILDING STRUCTURE AND UTILITIES. PROVIDE TEMPORARY BRACES AND OTHER SUPPORTS AS MAY BE REQUIRED TO ASSURE THE SAFETY OF THE EXISTING CONSTRUCTION, WORKMEN, OCCUPANTS AND FINISHES.
- DO SUCH REQUD WORK WITH CARE INCLUDING SHORING, BRACING, DUST PROTECTION, ETC. BE RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION & NEW WORK AS REQ'D.
- DO NOT REMOVE ANY STRUCTURAL FRAMING WITHOUT APPROVAL BY ARCHITECT OR ENGINEER OF RECORD. EISTING STUD FRAMING TO REMAIN UNLESS OTHERWISE INDICATED.
- DO NOT LOAD OR PERMIT ANY PART OF ANY STRUCTURE TO BE LOADED TO SUCH AN EXTENT AS TO ENDANGER ITS SAFETY.
- PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REGULATIONS.
- NO STRUCTURAL PARTS OF THE EXISTING BUILDING SHALL BE DAMAGED OR REMOVED.
- ELECTRICAL NOTES:
 - ENTIRE ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH NEW YORK BOARD OF FIRE UNDERWRITERS, THE 2014 N.E.C., THE CITY OF NEW ROCHELLE BUILDING DEPARTMENT, & ALL OTHER CONTROLLING AGENCIES. CONTRACTOR TO OBTAIN ALL NECESSARY APPROVALS FROM ALL AGENCIES HAVING JURISDICTION.
 - FURNISH & INSTALL ALL LIGHTING FIXTURES & OTHER ELECTRICAL FIXTURES AS DIRECTED BY THE OWNER.

A. SMOKE DETECTOR NOTES:

- THE INSTALLATION OF WIRING & EQUIPMENT SHALL BE IN ACCORDANCE WITH THE N.Y. STATE ELECTRICAL CODE.
- SMOKE DETECTORS SHALL BE INSTALLED THROUGHOUT THE ENTIRE DWELLING AREA, INCLUDING BUT NOT LIMITED TO OUTSIDE OF EACH SEPARATE AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND IN BASEMENT & RECREATION AREAS.
- EACH SMOKE DETECTOR SHALL HAVE AN INTEGRAL TEST MEANS TO PERMIT THE OCCUPANT TO CHECK THAT IT IS OPERATIONAL. A CONTINUOUS POWER DISPLAY INDICATOR LIGHT IS RECOMMENDED, & ALL DETECTORS ARE TO BE HARDWIRED & INTERCONNECTED.
- SMOKE DETECTORS SHALL BE LOCATED ON OR NEAR THE CEILING & WITHIN FIFTEEN FEET OF ALL ROOMS USED FOR SLEEPING PURPOSES. IN ALL DWELLING UNITS W/MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ONE MEANS OF EGRESS, THE DWELLING UNIT SHALL BE PROVIDED WITH SMOKE DETECTORS AT ALL LEVELS.
- IF CLG. MOUNTED, CLOSEST EDGE OF THE DETECTOR SHALL BE A MIN. OF 4" FROM WALL
- IF WALL MOUNTED THE CLOSEST EDGE OF THE DETECTOR SHALL BE FOUR INCHES & A MAXIMUM OF TWELVE INCHES FROM THE CEILING.
- SMOKE DETECTOR UNIT(S) SHALL BE APPROVED BY BSA ACCEPTED PURSUANT TO RULES & REGULATION PROMULGATED BY THE COMMISSIONER OR LISTED BY AN ACCEPTABLE TESTING AGENCY SUCH AS UNDERWRITERS LABORATORY OR APPROVED ESUAL.
- UNITS TO BE EITHER, IONIZATION CHAMBER OR PHOTO ELECTRIC AND TO COMPLY WITH RS 17-11.
- COMPLIANCE WITH 2015 IRC,R314 AND R315 HARDWIRED WITH BATTERY BACKUP

CARBON MONOXIDE DETECTOR NOTES:

- CARBON MONOXIDE DETECTORS TO BE INSTALLED THROUGHTOUT THE DWELLING IN ACCORDANCE WITH NEW YORK STATE BUILDING CODE.

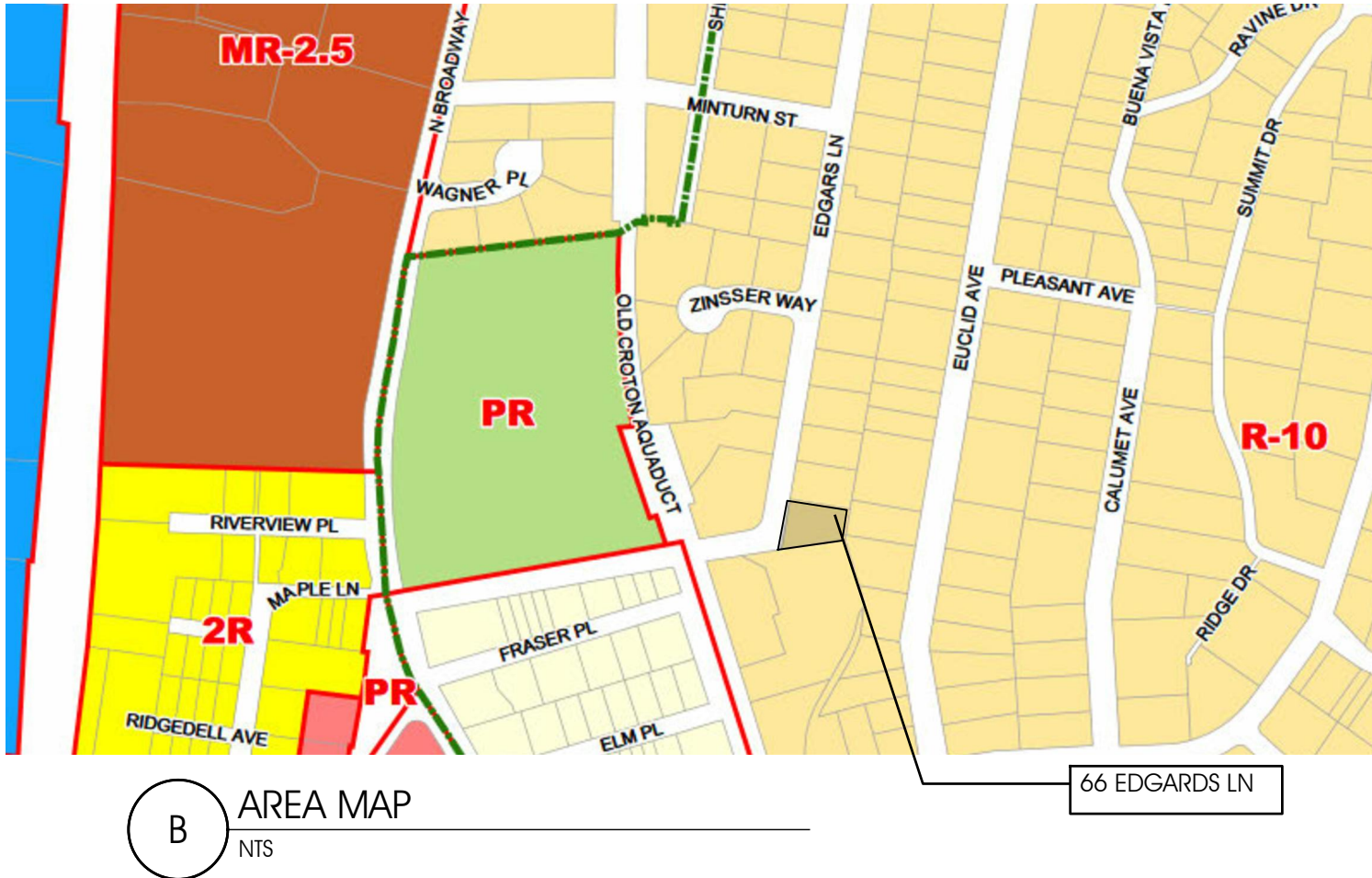
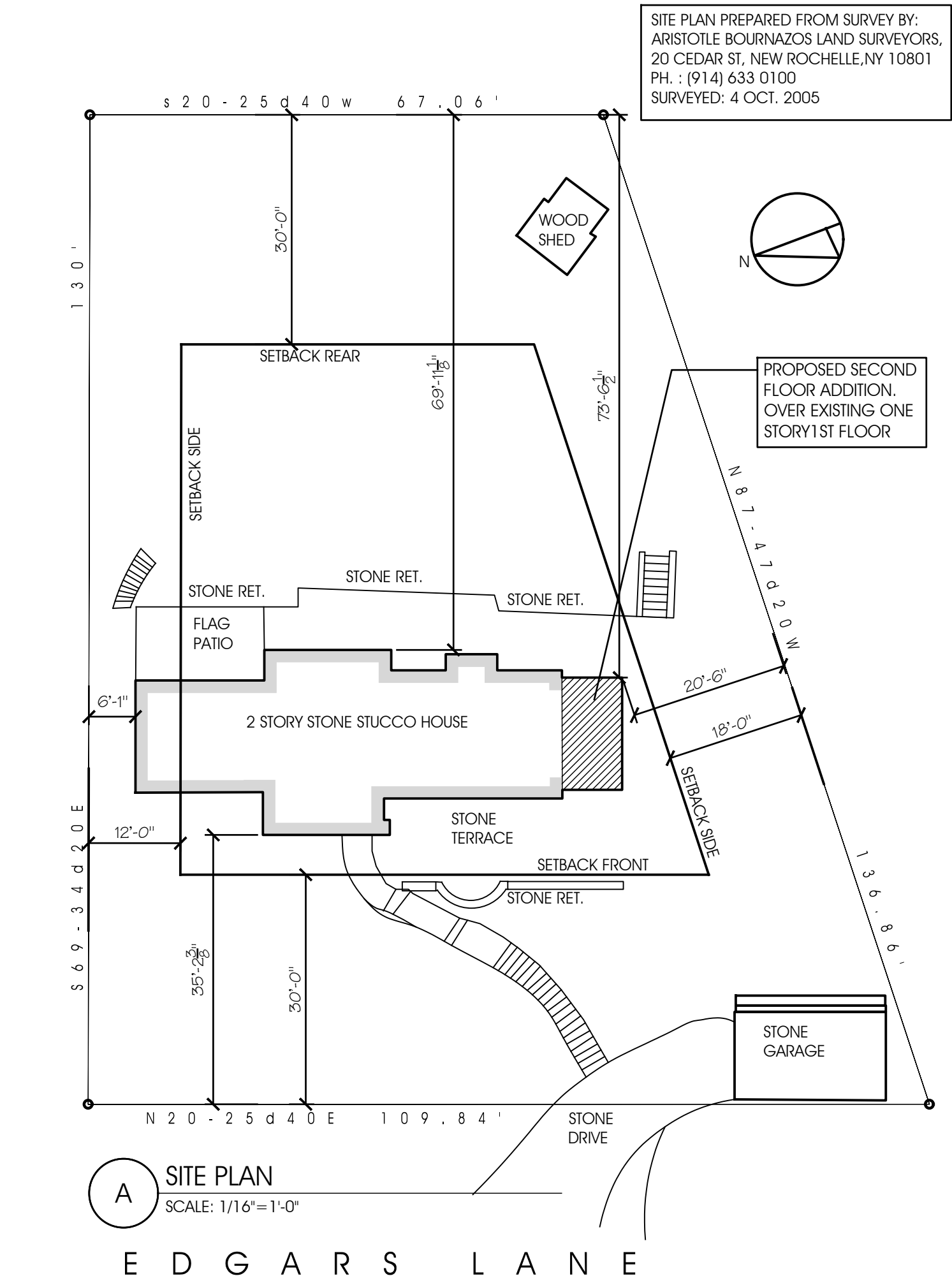
STRUCTURAL NOTES:

THE INTEGRITY OF EXISTING FRAMING AND FOUNDATION MEMBERS ARE NOT KNOWN PRIOR TO DEMOLITION. AN ENGINEER MUST CERTIFY THAT LOADS ARE AS ANTICIPATED AS WELL AS CONNECTIONS TO SUPPORTING MEMBERS AT DEMOLITION.

PLUMBING NOTES:

ALL NEW INSTALLED WATER LINES SHALL BE INSULATED

ZONING ANALYSIS			
HASTINGS ON HUDSON			
ZONE	R-10	BLOCK	4.40
SECT	27	LOT	21
ITEM	ALLOWABLE	EXISTING	PROPOSED
LOT DATA			
LOT SIZE	10000	11446	NO CHANGE
WIDTH	100	109	NO CHANGE
DEPTH		130	NO CHANGE
SETBACKS			
FRONT YARD	30'	35'-2"	NO CHANGE
SIDE YARD 1	12' (MINIMUM)	6'-1"	NO CHANGE
SIDE YARD 2	12' (MINIMUM)	20'-6"	NO CHANGE
COMBINED SIDE YARDS	30'	26'-7"	NO CHANGE
REAR	30'	69'-11"	NO CHANGE
MAX. HEIGHT-STORIES	2.5	2.5	NO CHANGE
MAX. HEIGHT- FEET	35	EXIST	NO CHANGE
COVERAGE			
MAX. BUILDING COVERAGE 25%	2861	1416	NO CHANGE
MAX. DEVELOPMENT COVERAGE 35%	4006	2396	NO CHANGE



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Additions alterations
MOY RESIDENCE
66 EDGAR'S LN
HASTINGS ON HUDSON, NY

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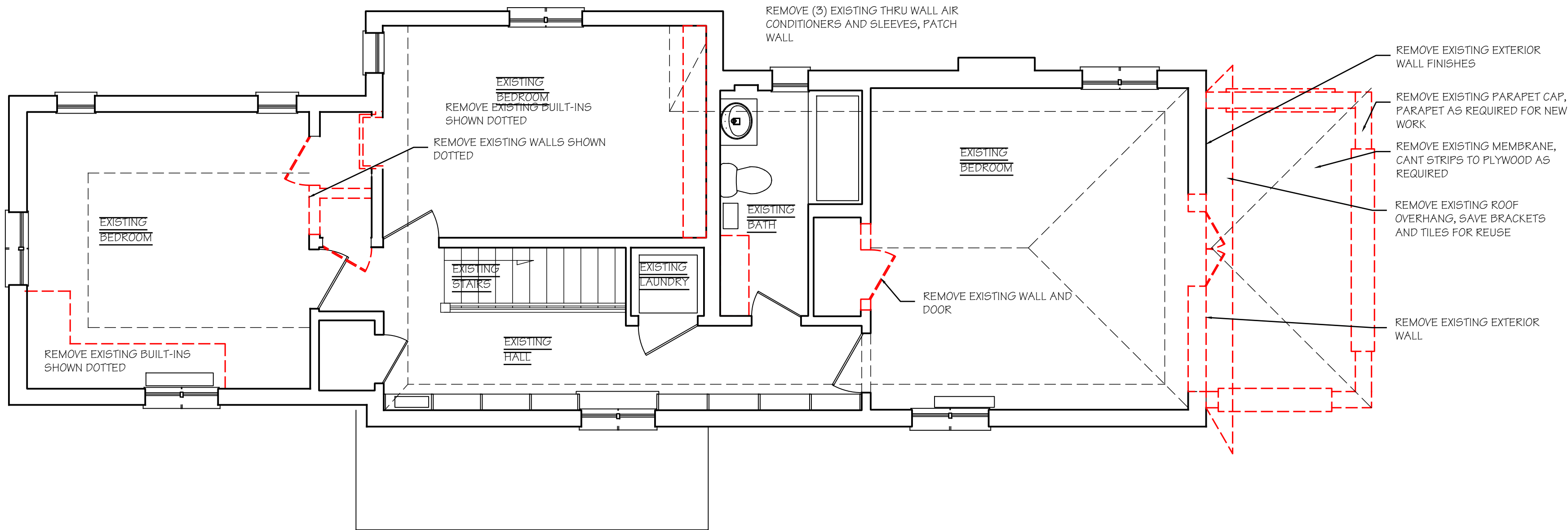
SITE PLAN, ZONING
CODE COMPLIANCE

DRAWING INFO.

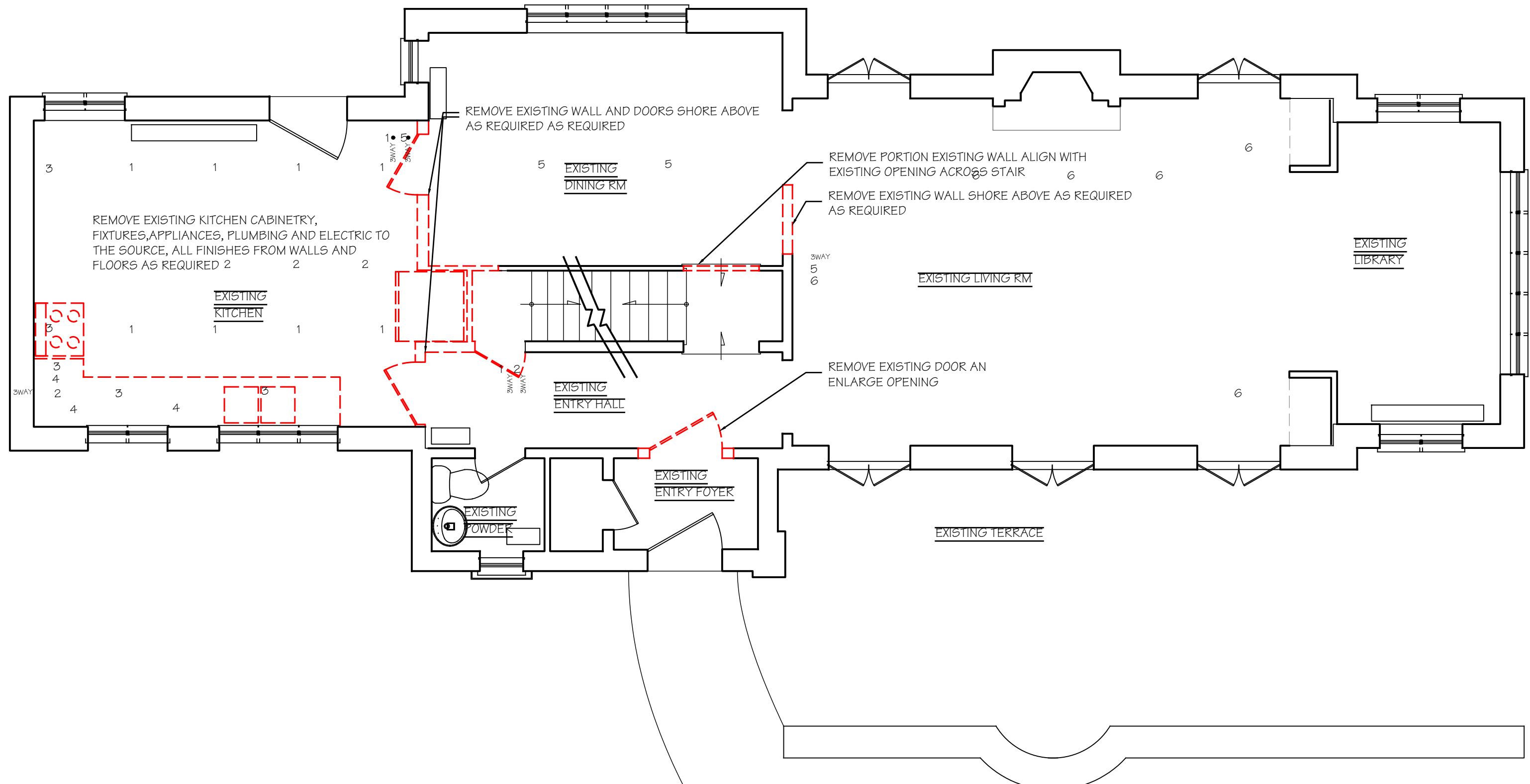
SP1.0
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NOTES:



1 SECOND FL DEMOLITION
SCALE: 1/4"= 1'-0"



2 FIRST FL DEMOLITION
SCALE: 1/4"= 1'-0"

- XI. DEMOLITION - CUTTING - PROTECTION:
- A. PROBE TO LOCATE UTILITIES OR STRUCTURE PRIOR TO REMOVING MATERIALS. DO ALL WORK SO AS NOT TO ENDANGER BUILDING STRUCTURE AND UTILITIES. PROVIDE TEMPORARY BRACES AND OTHER SUPPORTS AS MAY BE REQUIRED TO ASSURE THE SAFETY OF THE EXISTING CONSTRUCTION, WORKMEN, OCCUPANTS AND FINISHES.
- B. DO SUCH REQ'D WORK WITH CARE INCLUDING SHORING, BRACING, DUST PROTECTION, ETC. BE RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION & NEW WORK AS REQ'D.
- C. DO NOT REMOVE ANY STRUCTURAL FRAMING WITHOUT APPROVAL BY ARCHITECT OR ENGINEER OF RECORD. EXISTING STUD FRAMING TO REMAIN UNLESS OTHERWISE INDICATED.
- D. DO NOT LOAD OR PERMIT ANY PART OF ANY STRUCTURE TO BE LOADED TO SUCH AN EXTENT AS TO ENDANGER ITS SAFETY.
- E. PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REGULATIONS.
- F. NO STRUCTURAL PARTS OF THE EXISTING BUILDING SHALL BE DAMAGED OR REMOVED.
- PLANS.

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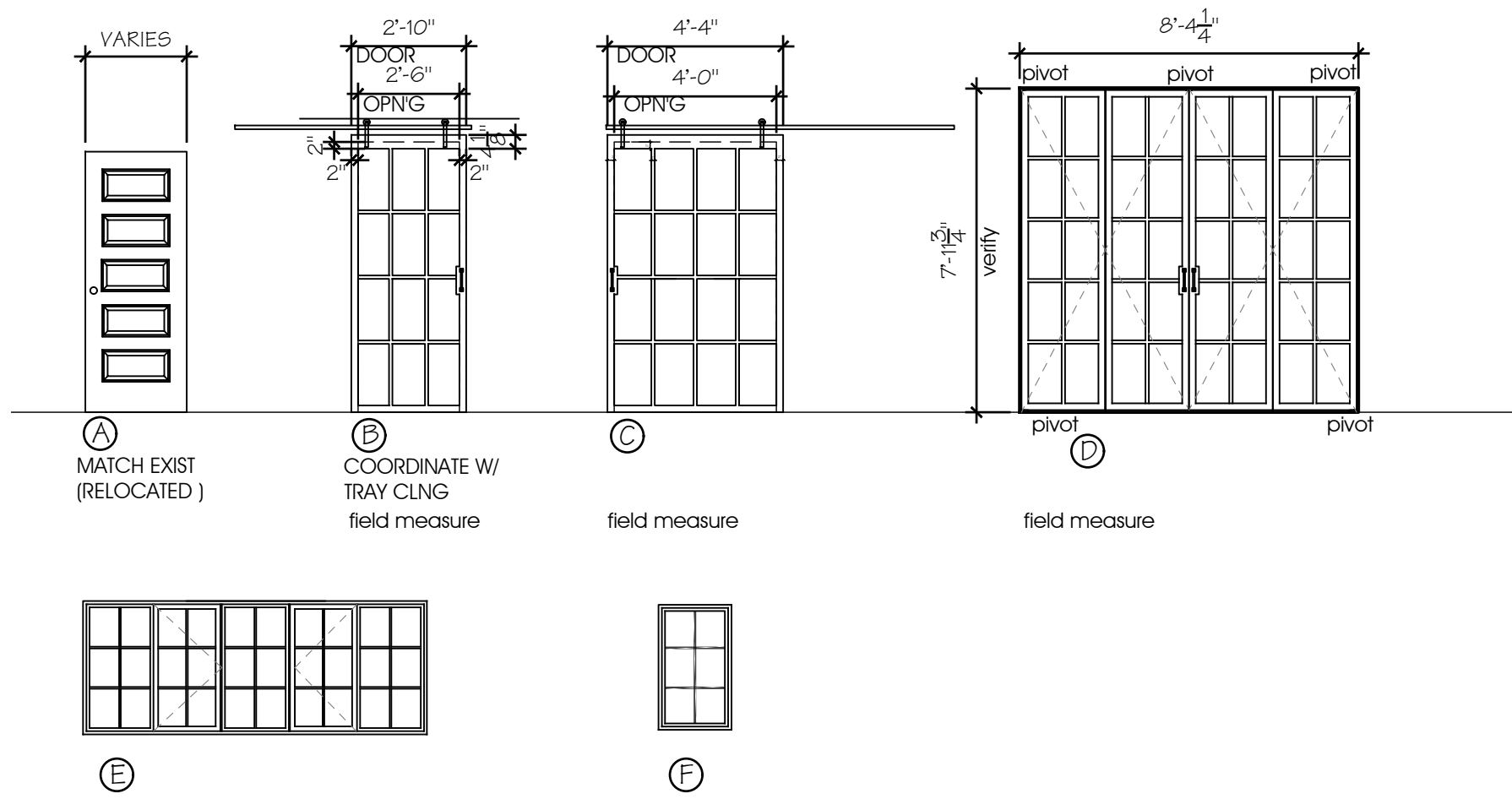
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DEMOLITION PLANS

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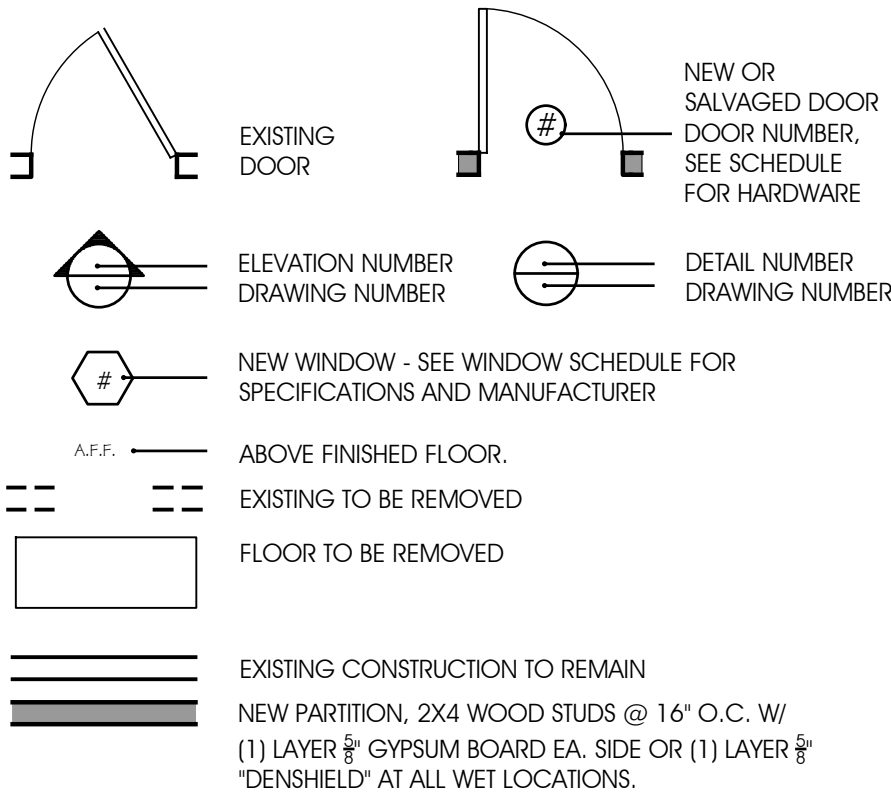
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WINDOWS AND DOORS ABOVE OF METAL AND GLASS AND MANUFACTURED BY OWNER'S VENDOR
INSTALLED BY G.C.

7. DIVIDED LITES PER ELEVATION
1. 8. INTERIOR HARDWARE AS SELECTED
2. ALL DOORS SHALL HAVE SAFETY GLASS

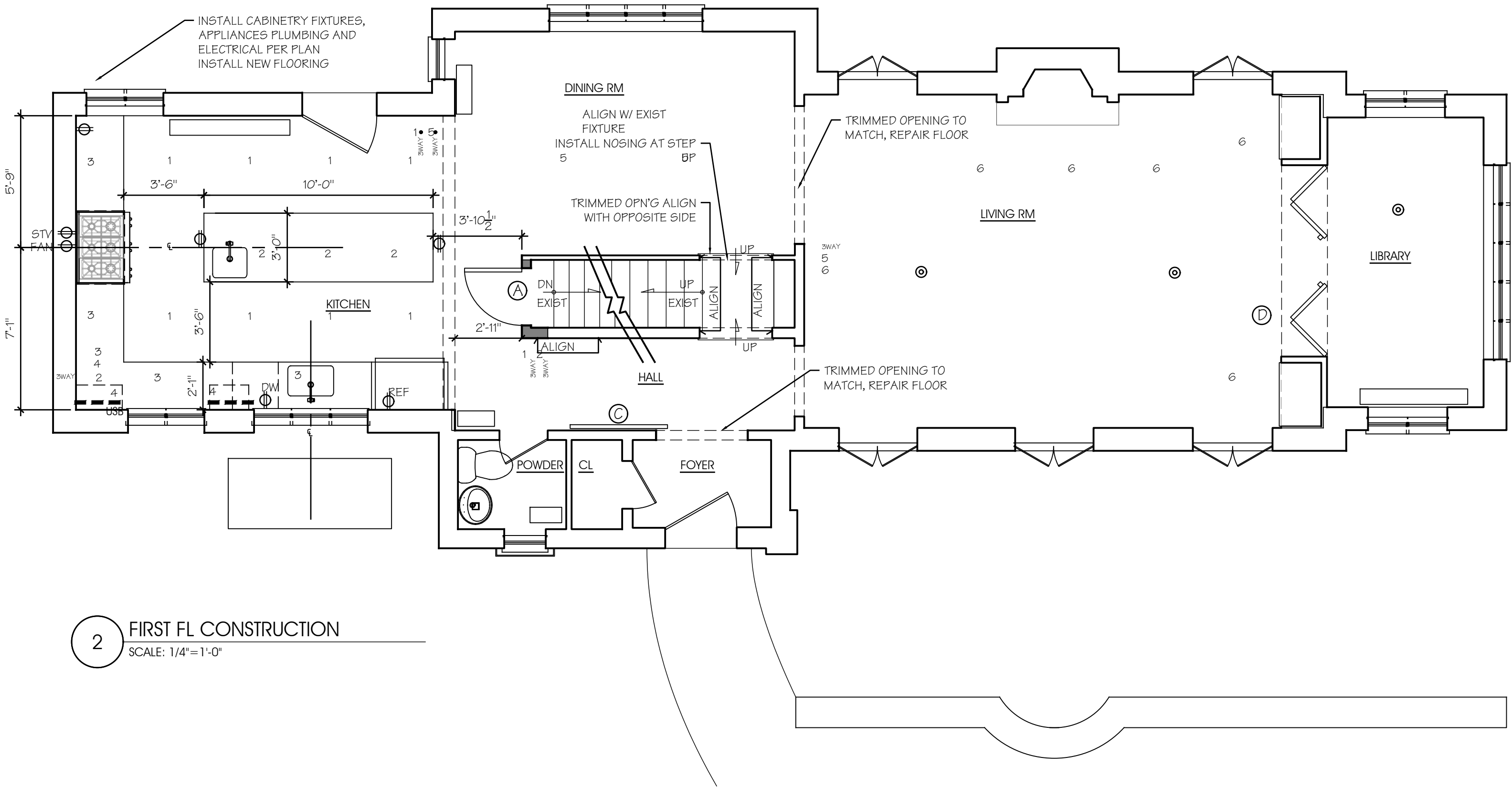
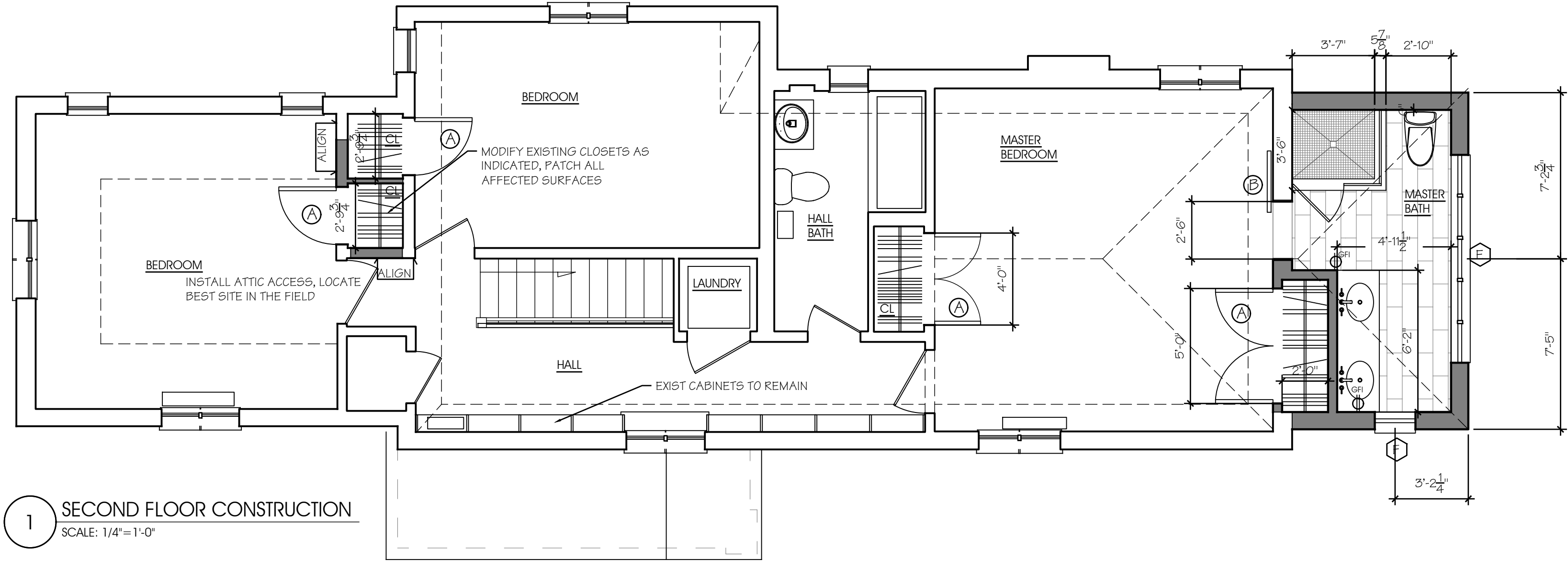
NOTE:
ALL SAFETY GLASS MUST BE LASER OR ACID ETCHED



HEADER SCHEDULE	
OPENING	HEADER
UP TO 4'-0"	(2) 2" X 8" WOOD
4'-0" TO 6'-0"	(2) 2" X 10" WOOD
6'-0" TO 10'-0"	(2) 2" X 12" WOOD
NOTE: SEE 'S' PLAN FOR ADDITIONAL FRAMING	

NOTE:
1. INSTALL TWO STUDS AT ENDS OF EA. HEADER

- WINDOW - SEE WINDOW SCHEDULE FOR SPECIFICATIONS AND MANUFACTURER
- 1 PARTITION, 2X4 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS.
- 2 PARTITION, 2X6 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS.
- 3 PARTITION, 2X4 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS. LOW WALL HEIGHT @ 7'-1 3/4". TO BE COORDINATED WITH ARCHITECT.



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CONSTRUCTION PLANS

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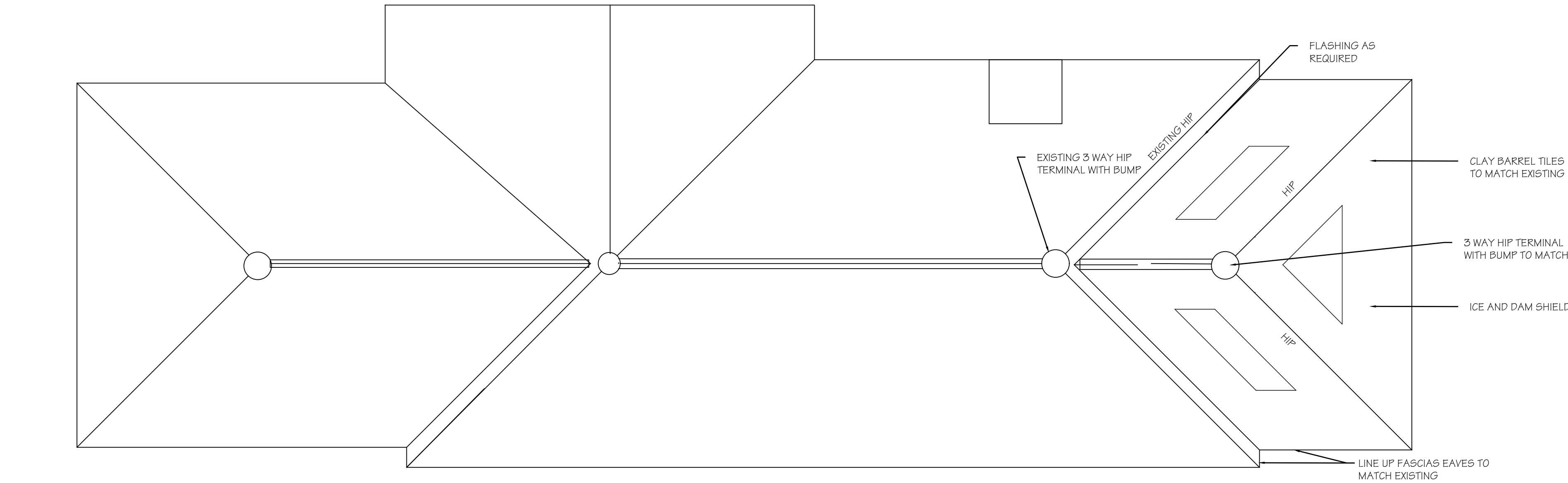
ROOF PLAN

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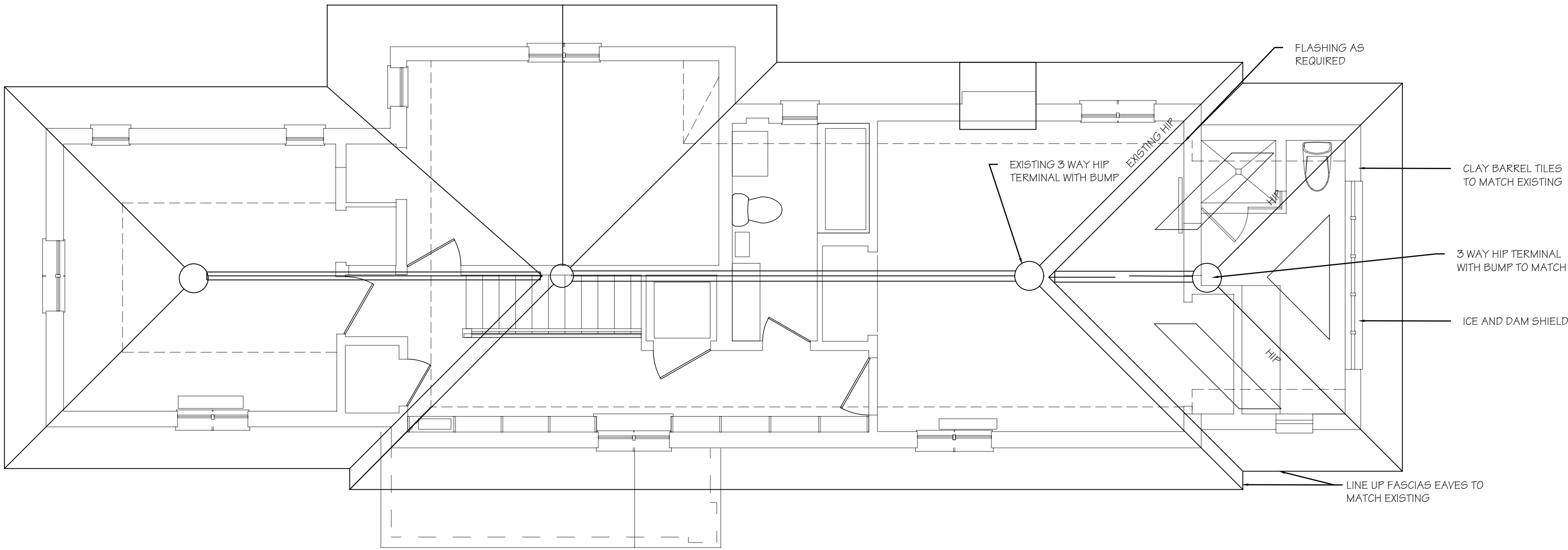
A1.2

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1 ROOF
SCALE: 1/4"=1'-0"



2 ROOF WITH 2ND BELOW
SCALE: 1/4"=1'-0"

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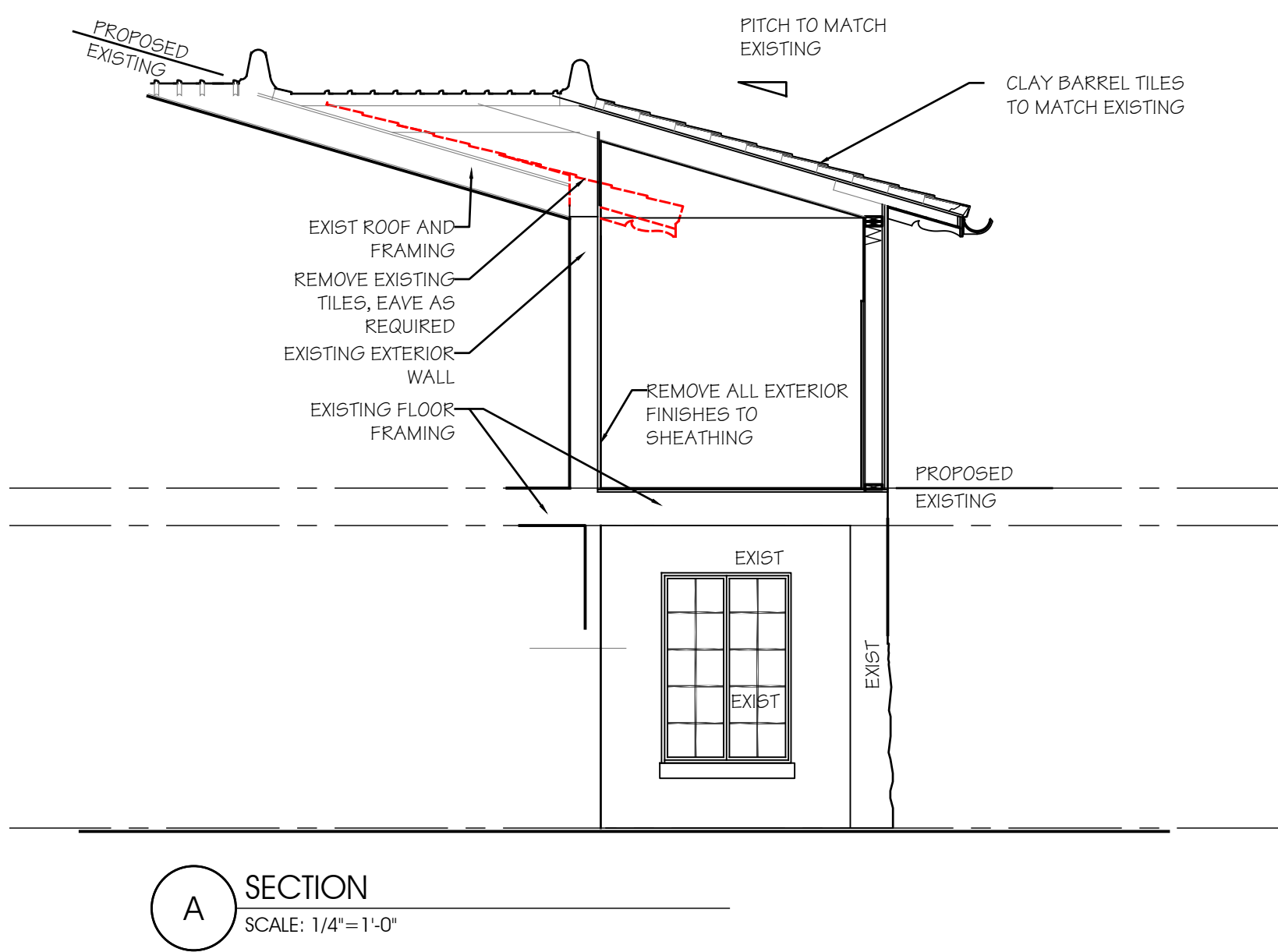
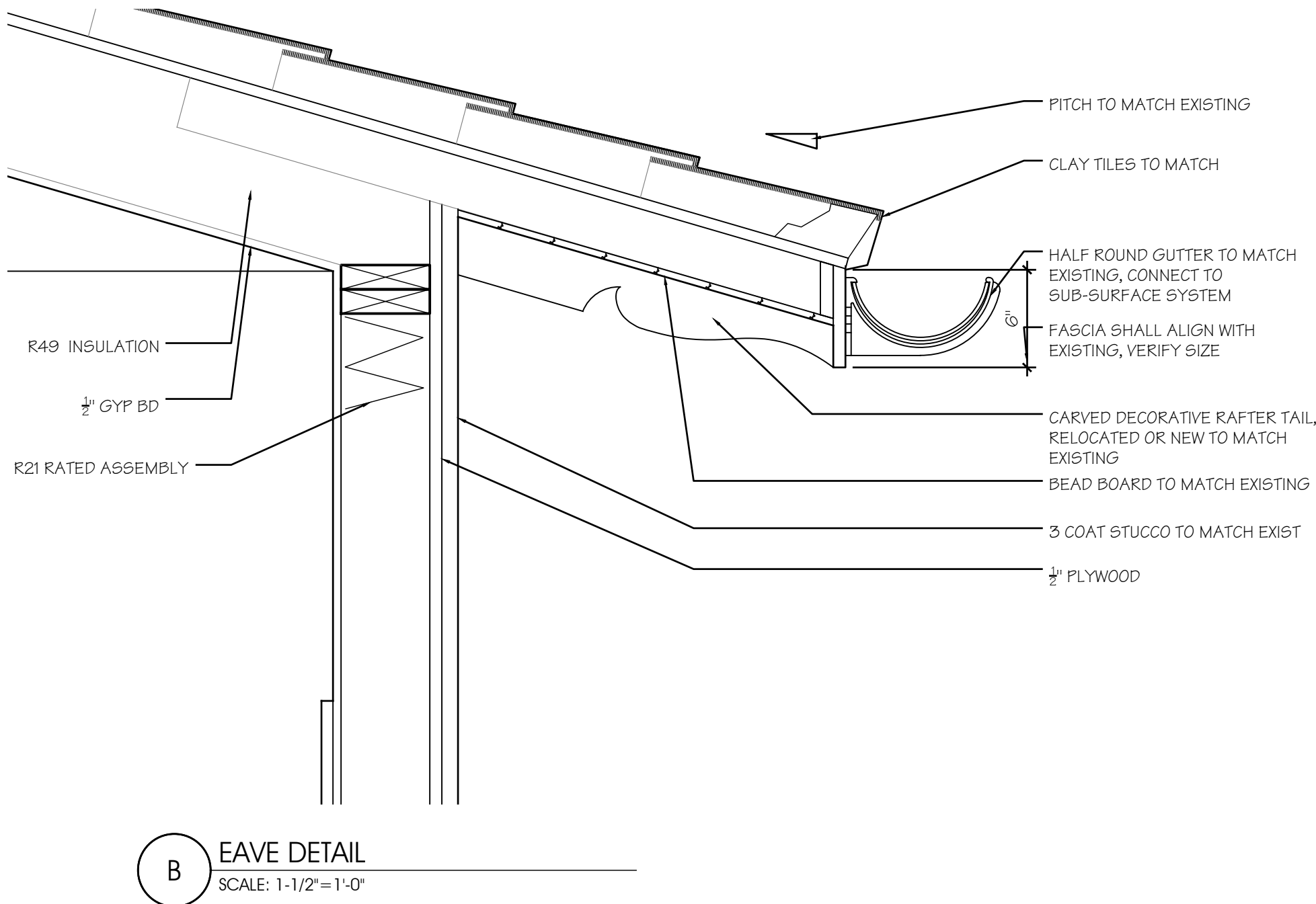
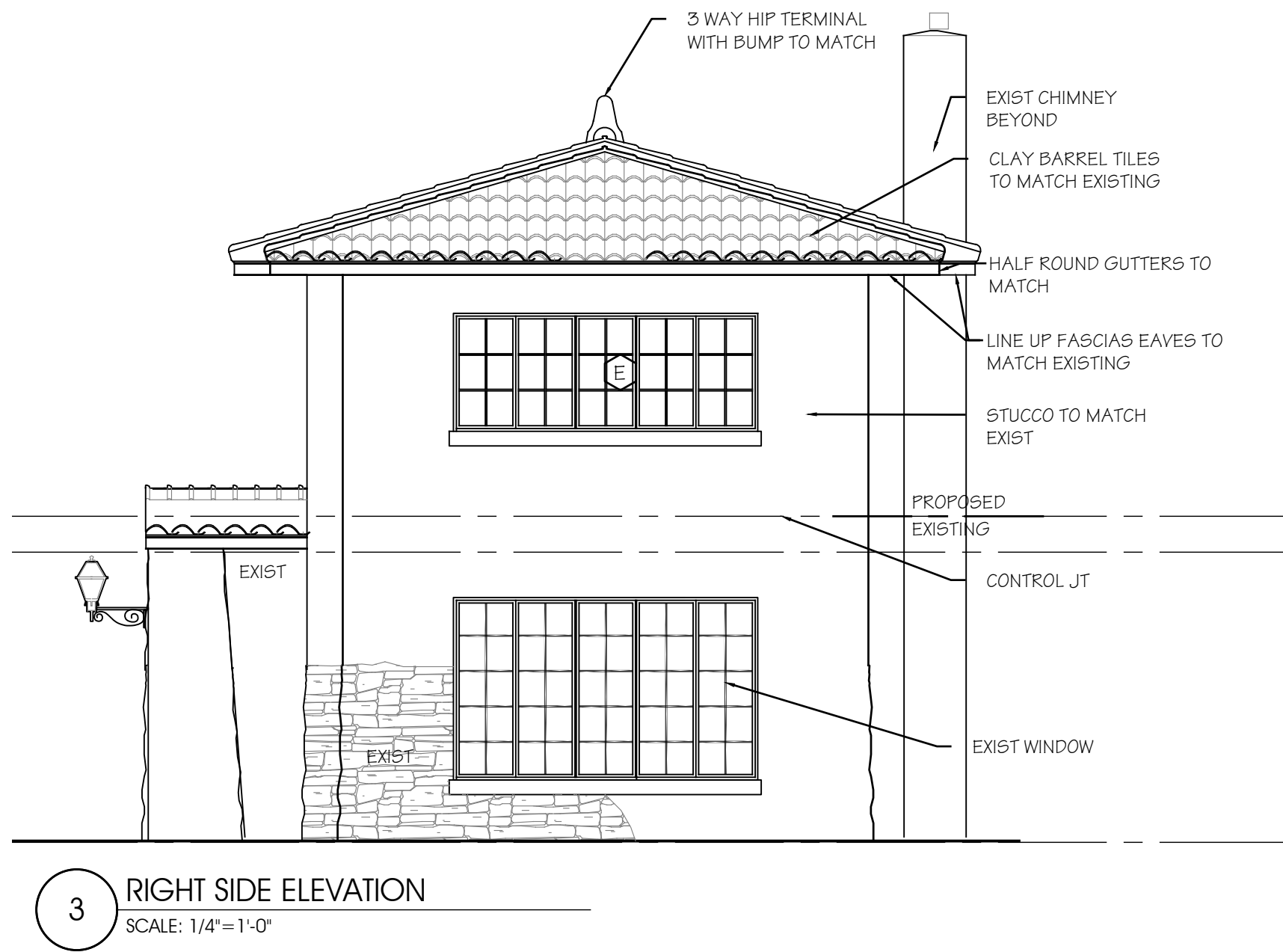
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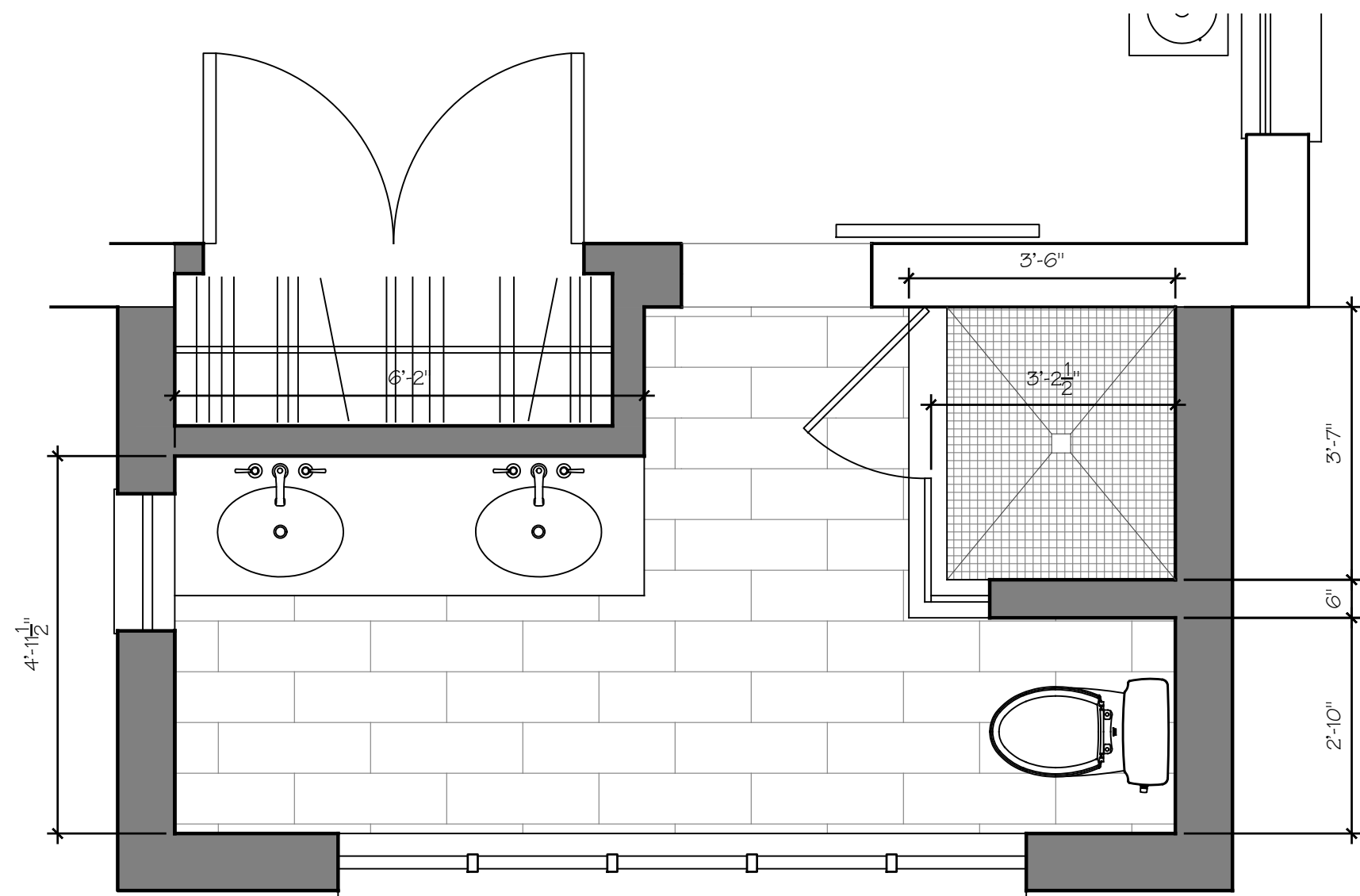
EXT. ELEVATIONS
SECTIONS &
DETAILS

DRAWING INFO.

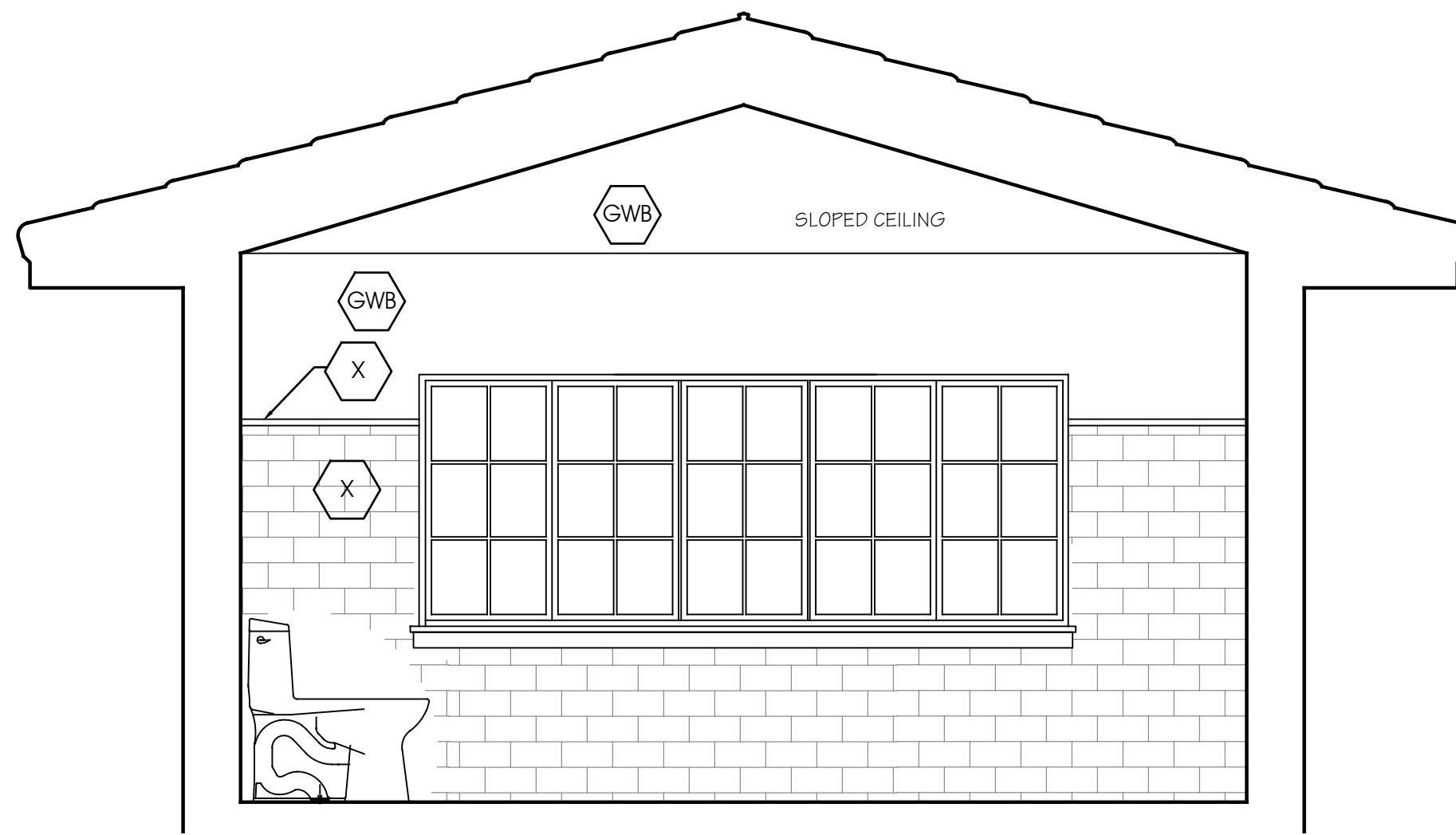
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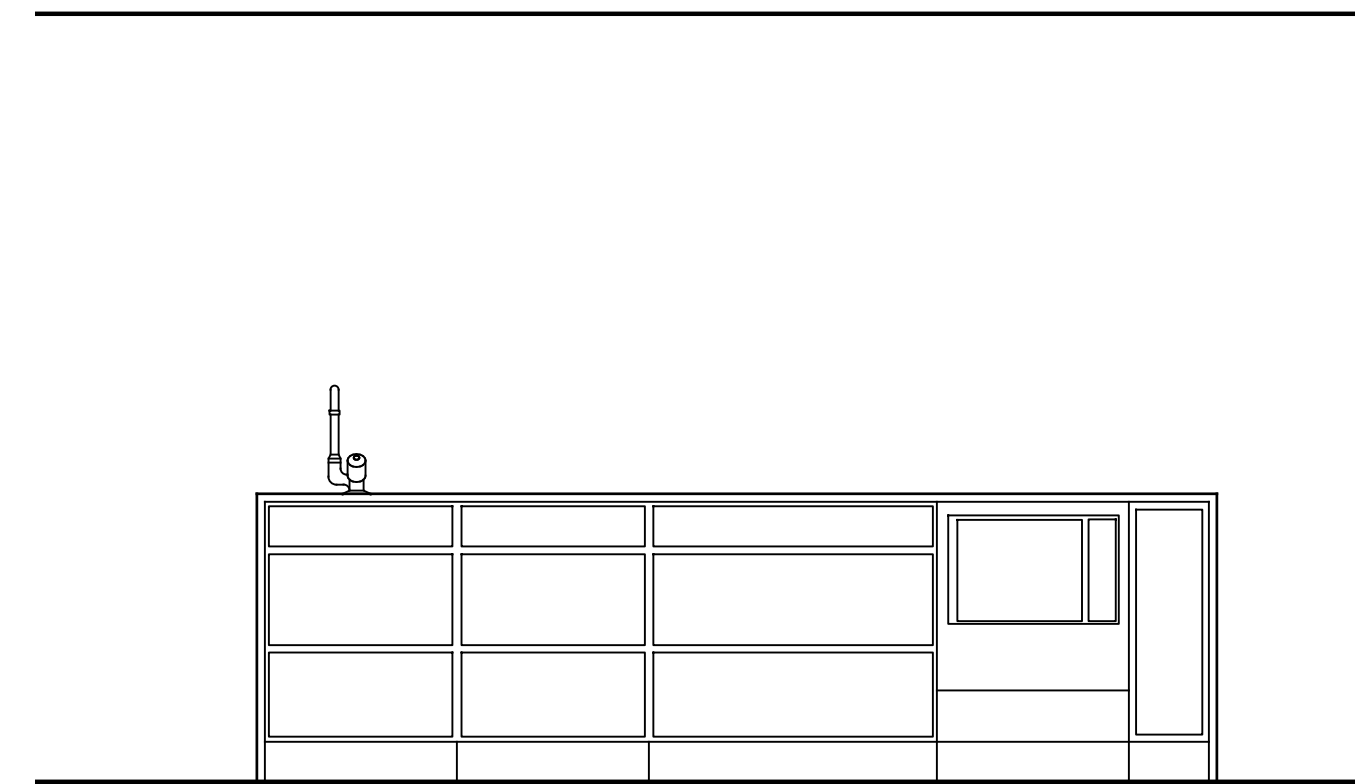




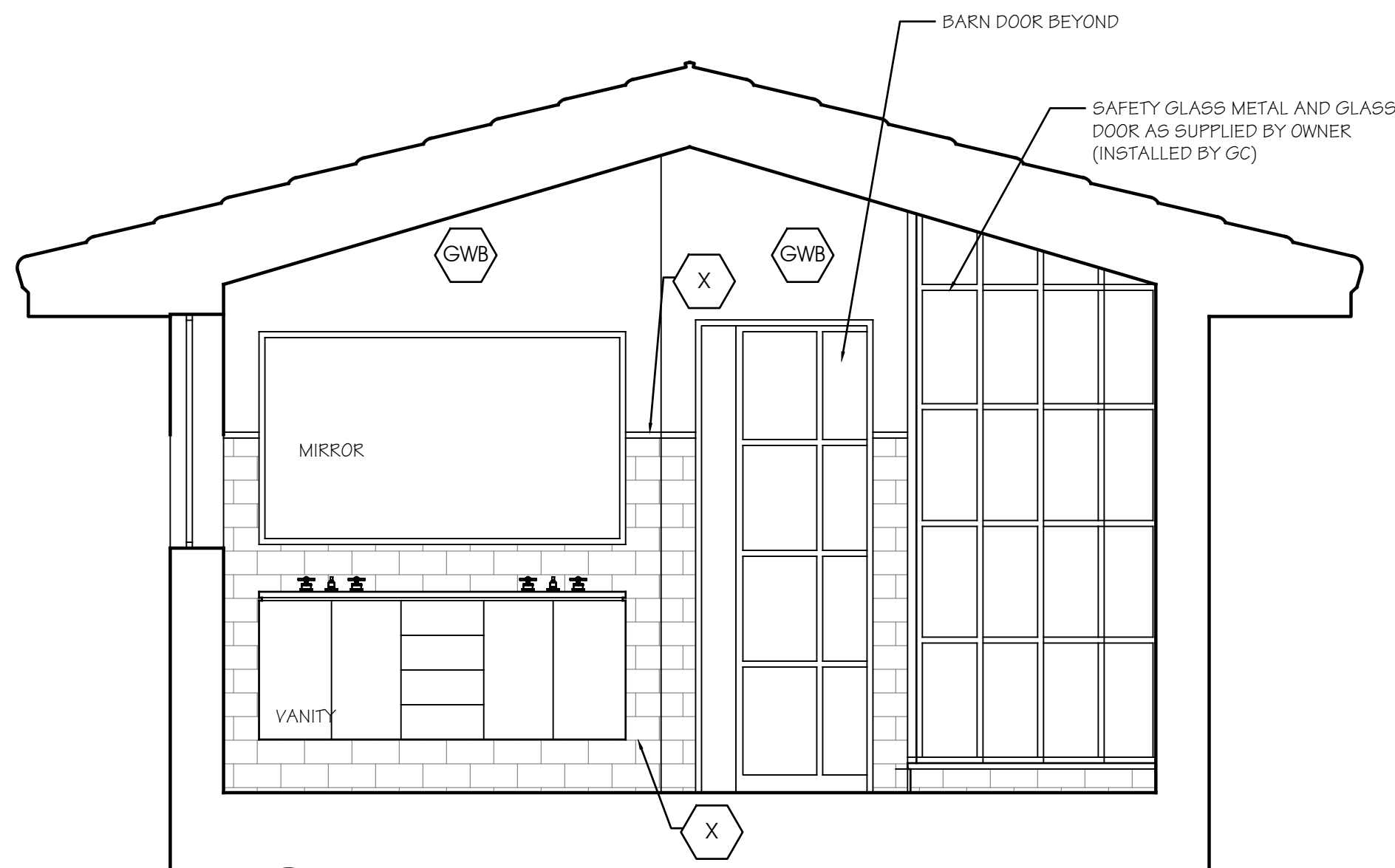
1 MASTER BATH PLAN
SCALE: 1/2" = 1'-0"



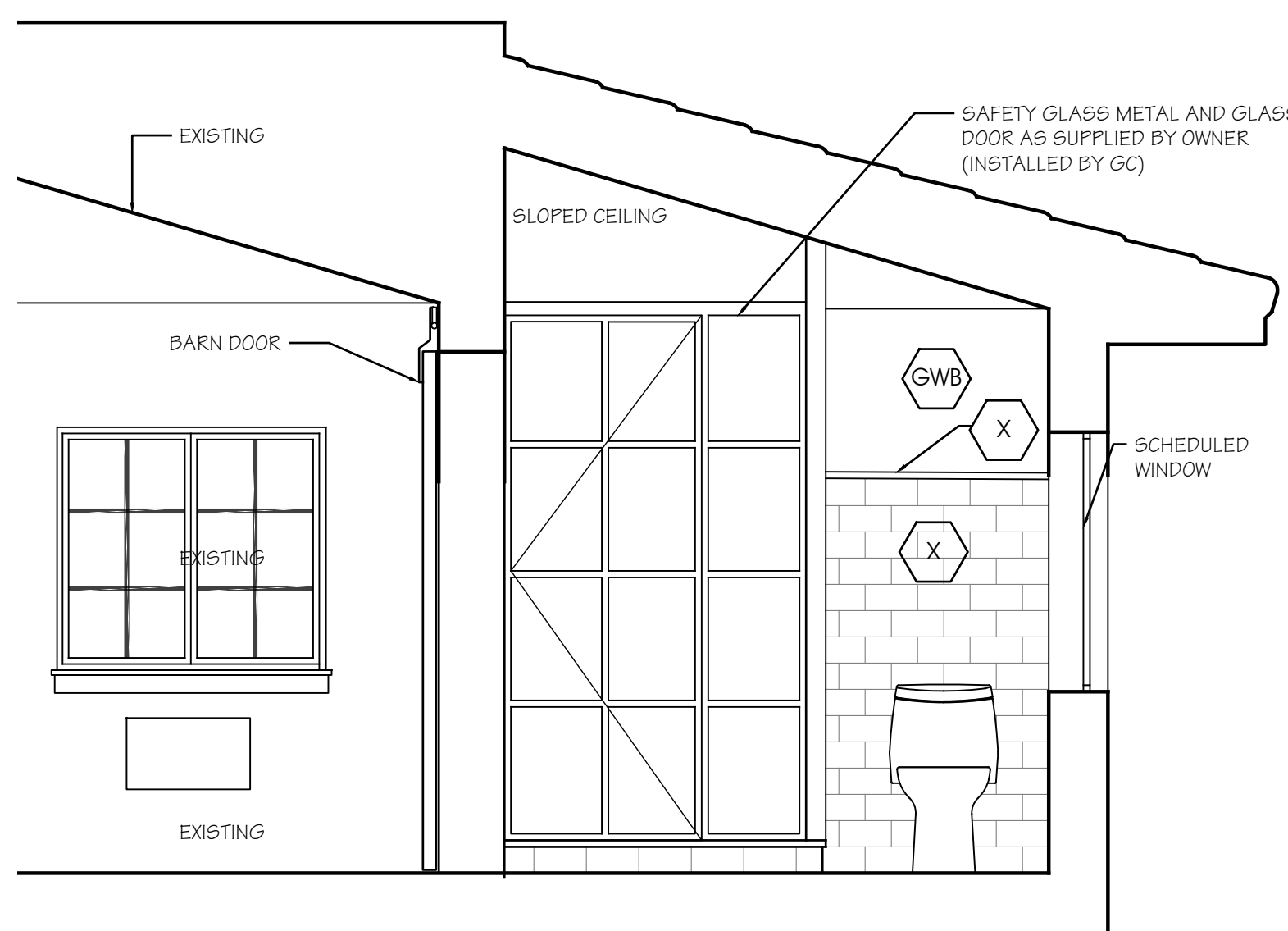
2 MASTER BATH ELEVATION
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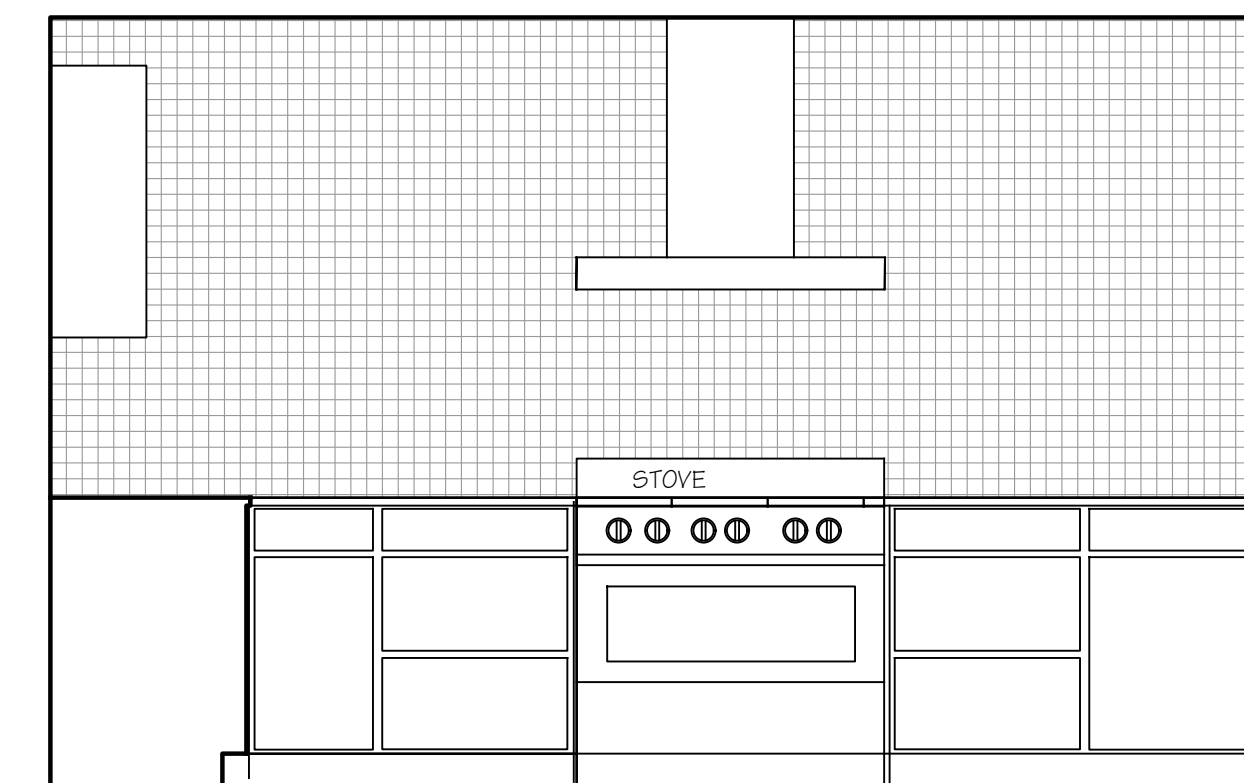
3 KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



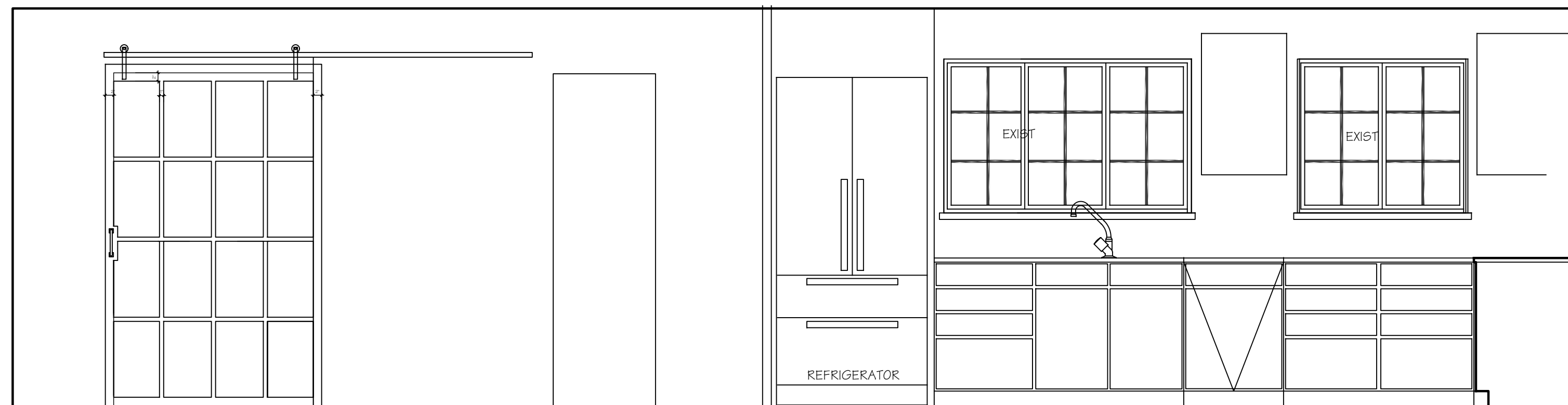
4 MASTER BATH ELEVATION
SCALE: 1/2" = 1'-0"



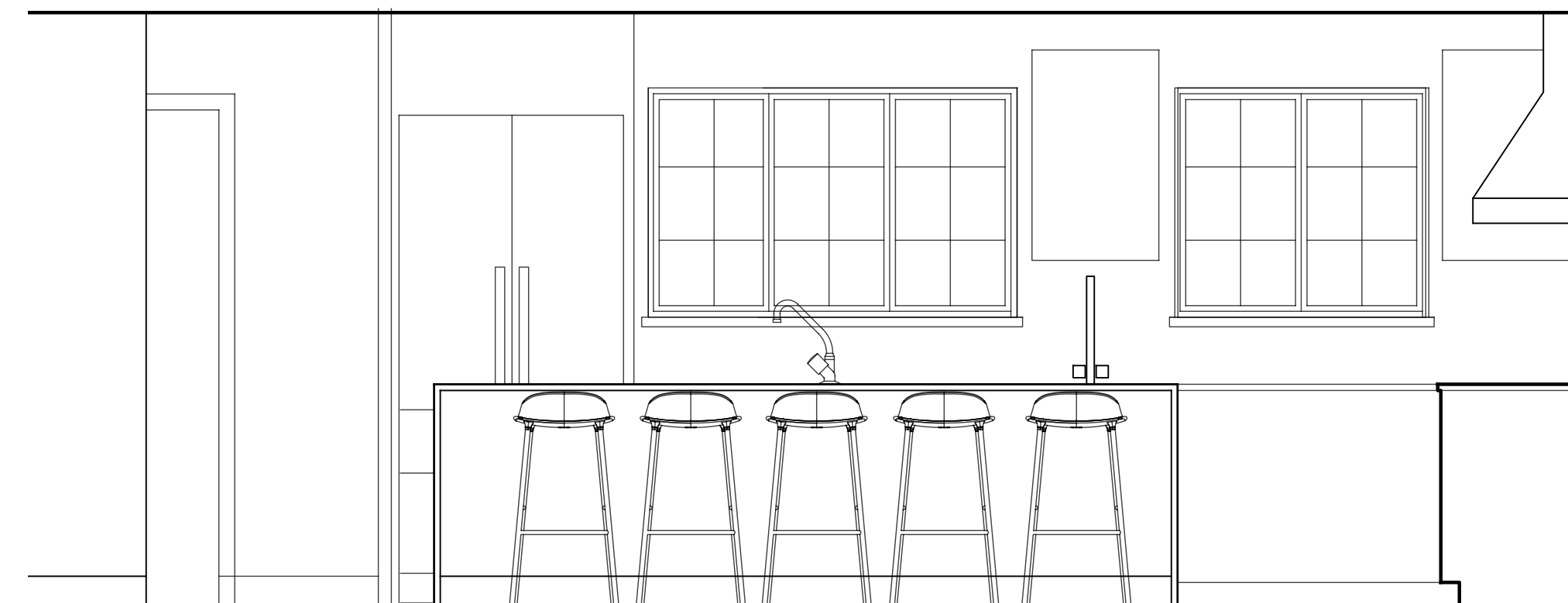
5 MASTER BATH ELEVATION
SCALE: 1/2" = 1'-0"



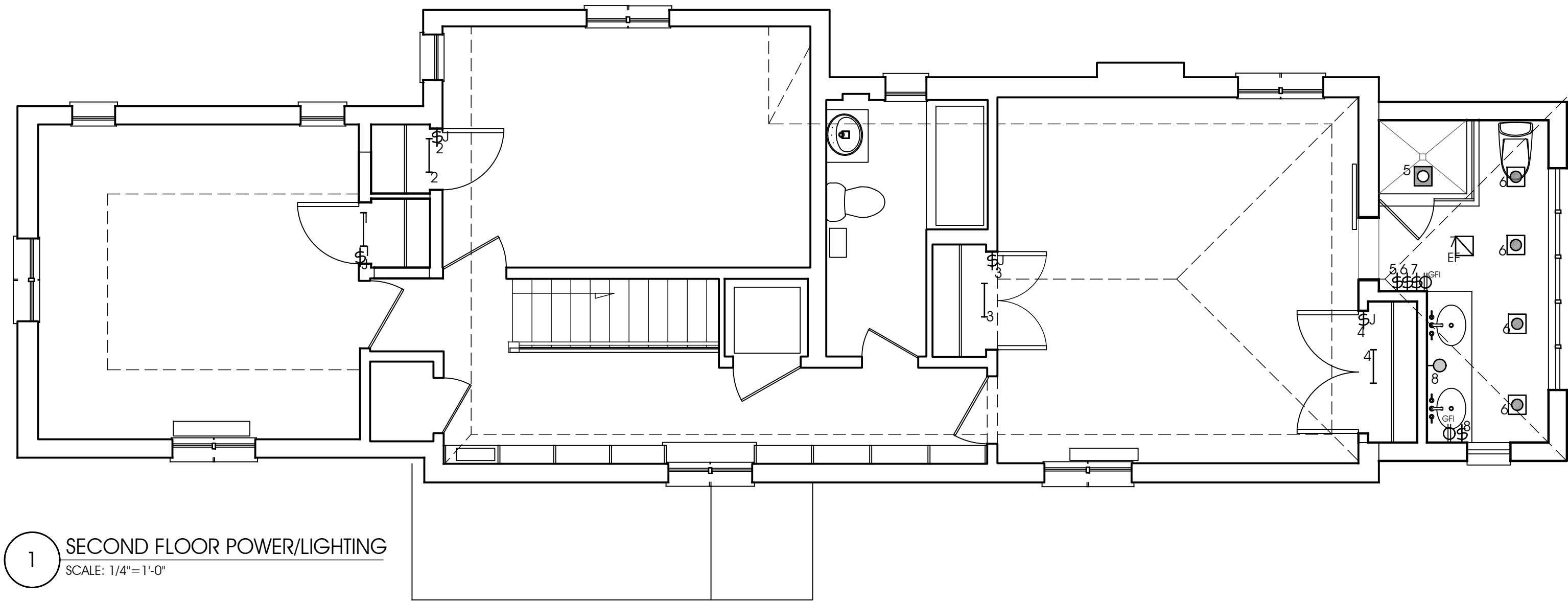
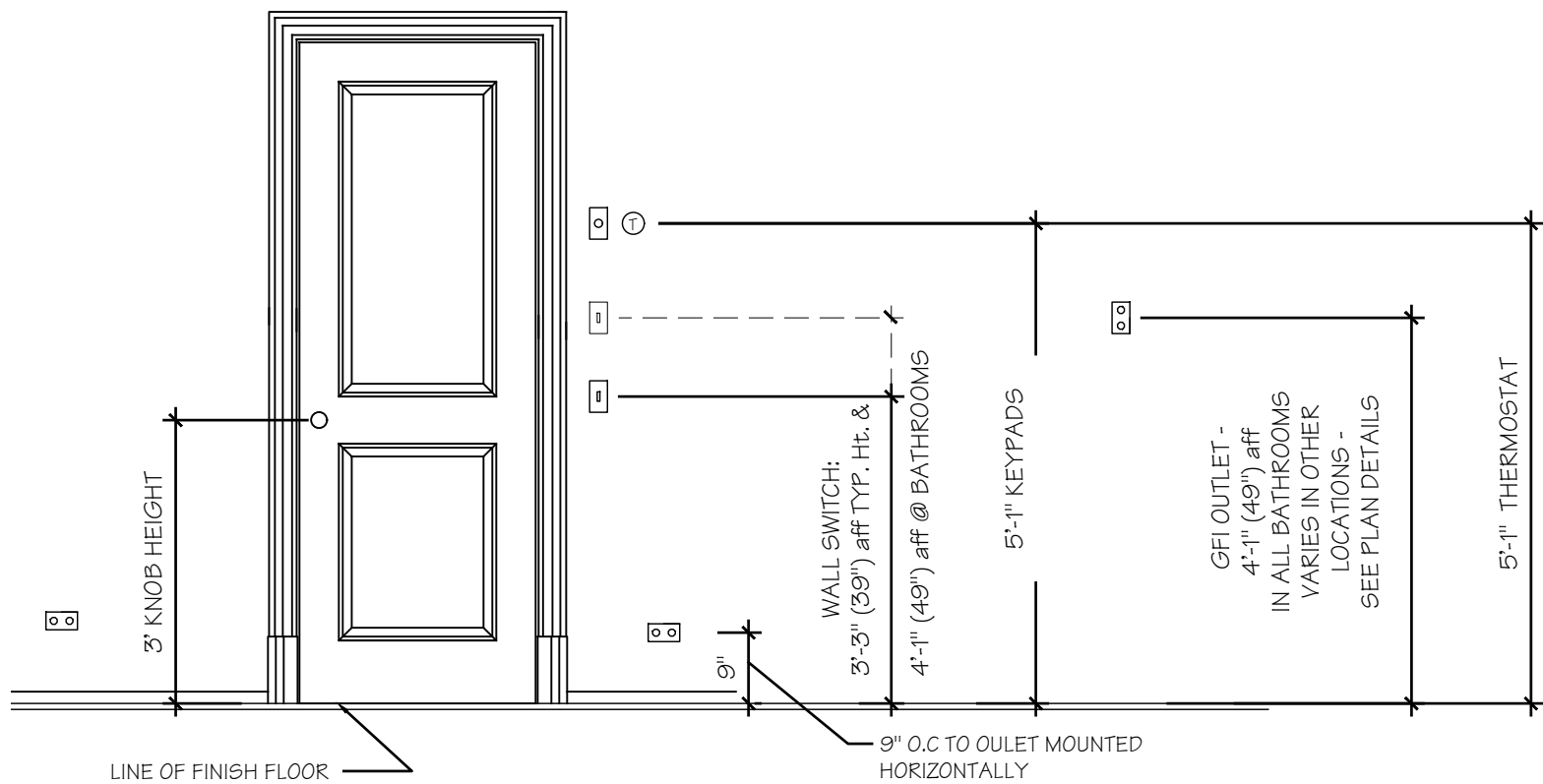
6 KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



7 KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



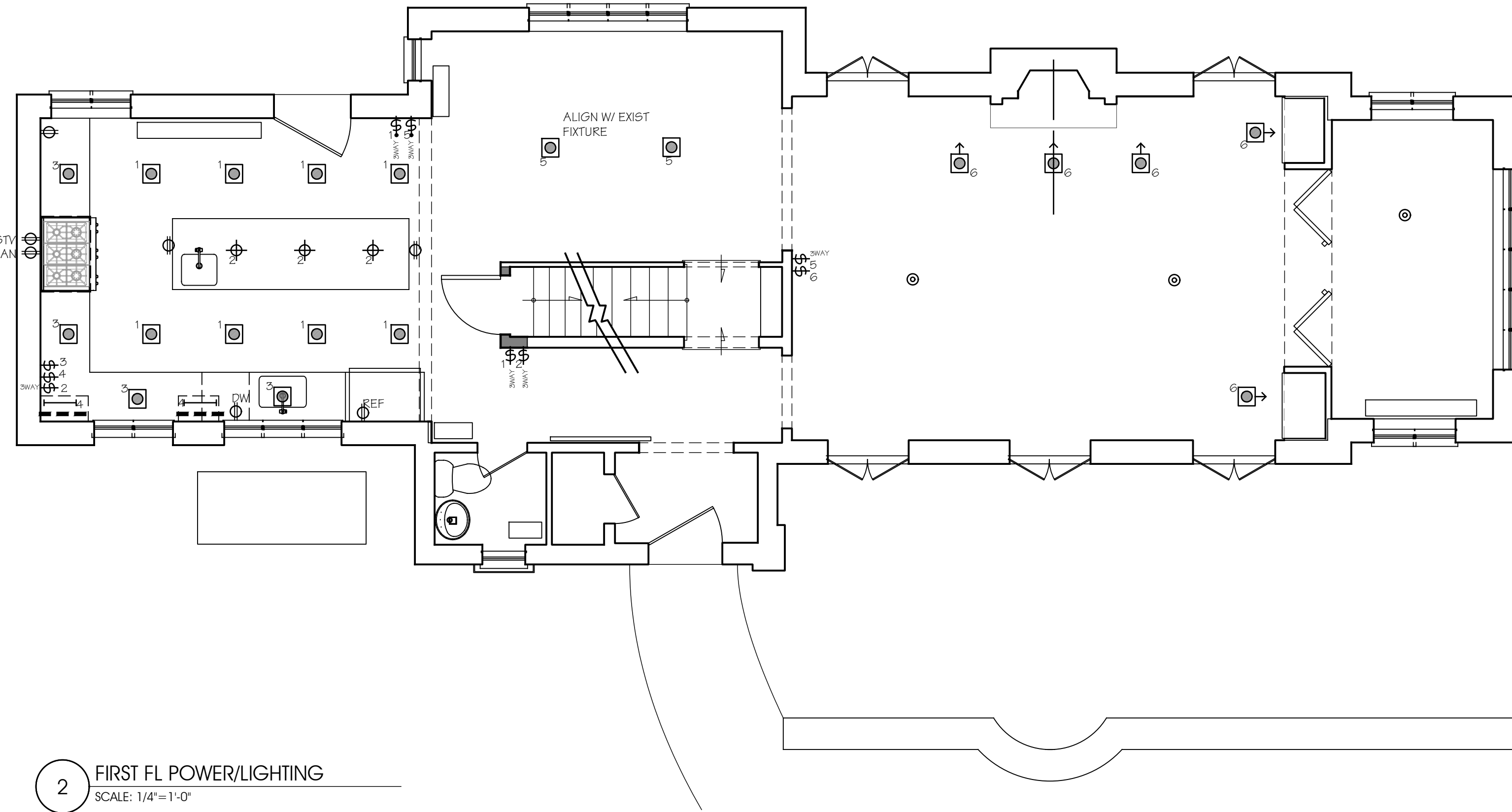
8 KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



LEGEND:	
	DIMMER SWITCH
	FIXTURE SYMBOL
DIMMER SWITCH SINGLE LOCATION LUTRON "LYNEO" COLOR TO FOLLOW	
3 OR 4 WAY DIMMER SWITCH LUTRON "LYNEO" COLOR TO FOLLOW	
RECESSED ADJUSTABLE DOWN LIGHT MANUF: EUROFASE MODEL: HG-4PR/19167-06 SIZE: 4\"/>	
RECESSED LENSED INCANDESCENT DOWNLIGHT - SHOWER LOCATIONS MANUF: LIGHTOLIER MODEL: 2090/2003R - LYTECASTER RECESSED DOWNLIGHTING SIZE: 4\"/>	
CLOSET LIGHT ON JAMB SWITCH MANUF: PROGRESSIVE LIGHTING MODEL: P3910-30WB, WHITE ETCHED OPAL ACRYLIC BOWL LAMP: 26 W CFL, WARM WHITE (2700 K)	
SURFACE MOUNTED DECORATIVE WALL SCONCE INCANDESCENT FIXTURE - SUPPLIED BY OWNER - 100 WATTS SET MOUNTING HEIGHT IN FIELD WITH ARCHITECT.	
SURFACE MOUNTED DECORATIVE CEILING INCANDESCENT FIXTURE ON JUNCTION BOX - SUPPLIED BY OWNER - 100 WATTS	
SURFACE MOUNTED STRIP LIGHTING MOUNTED TO THE UNDERSIDE OF THE CABINETS MANUF: W.A.C. LIGHTING MODEL: LOW VOLTAGE - HALOGEN LIGHT BARS #BA-LV HARDWIRED COLOR: WHITE SIZE: VARIES FROM 9'-1/4\"/>	
SURFACE MOUNTED TRACK LIGHT MANUF: W.A.C. LIGHTING TRACK: 120 V, SINGLE CIRCUIT TRACK, WHITE HEAD: EXTERMINATOR II 22W, 38\"/>	
SURFACE MOUNTED PORCELAIN SOCKET BASE	
STANDARD JUNCTION BOX	
COMBINATION SMOKE/CO DETECTOR MANUF: KIDDE MODEL: #KN-COPE-1	
EXHAUST FAN - SWITCH CONTROLLED - PANASONIC MODEL NO. FV-08V Q2(90CFM) - VENT TO EXTERIOR	
Fan	CEILING FAN MANUF: REJUVENATION MODEL: FALCON LED CEILING FAN COLOR: MATTE BLACK AND NATURAL BLADE

POWER LEGEND	
NOTE: ONLY NEW OUTLETS AND OTHER ELECTRICAL DEVICES ARE SHOWN. EXISTING OUTLETS TO BE RECIRCUITED, REPLACED, OR ABANDONED AS DIRECTED BY OWNER AND AS PER EXIST. NEW YORK STATE ELECTRICAL CODE OTHERWISE NOTED.	
	DUPLEX ELECTRIC OUTLET MOUNTED @ 15\"/>
	G.F.I. OUTLET
	DUPLEX ELECTRIC OUTLET WITH INTEGRATED USB MOUNTED @ 15\"/>
	FLOOR OUTLET
	WATERPROOF OUTLET
	QUAD OUTLET
	TELEPHONE/DATA OUTLET MOUNTED HORIZONTALLY - PROVIDE 2 CAT 5E CABLES AT EACH LOCATION
	TELEVISION OR VIDEO CABLE OUTLET
	APPLIANCE HOOK UP - VERIFY CONNECTION W/MANUFACTURER'S CUT
	UNDER CABINET PLUG-MOLD
	UNDER CABINET PLUG-MOLD W/USB

NOTE:	
MINIMUM 50% OF ALL FIXTURE LAMPS TO BE HIGH EFFICIENCY, AS PER NY STATE ENERGY CONSERVATION CODE. ALL RECESSED FIXTURES IN 2ND FLOOR CEILING SHALL BE IC TYPE	



NOTES:

PROJECT INFORMATION:

Additions alterations
MOY RESIDENCE
66 EDGARDS LN
HASTINGS ON HUDSON, NY

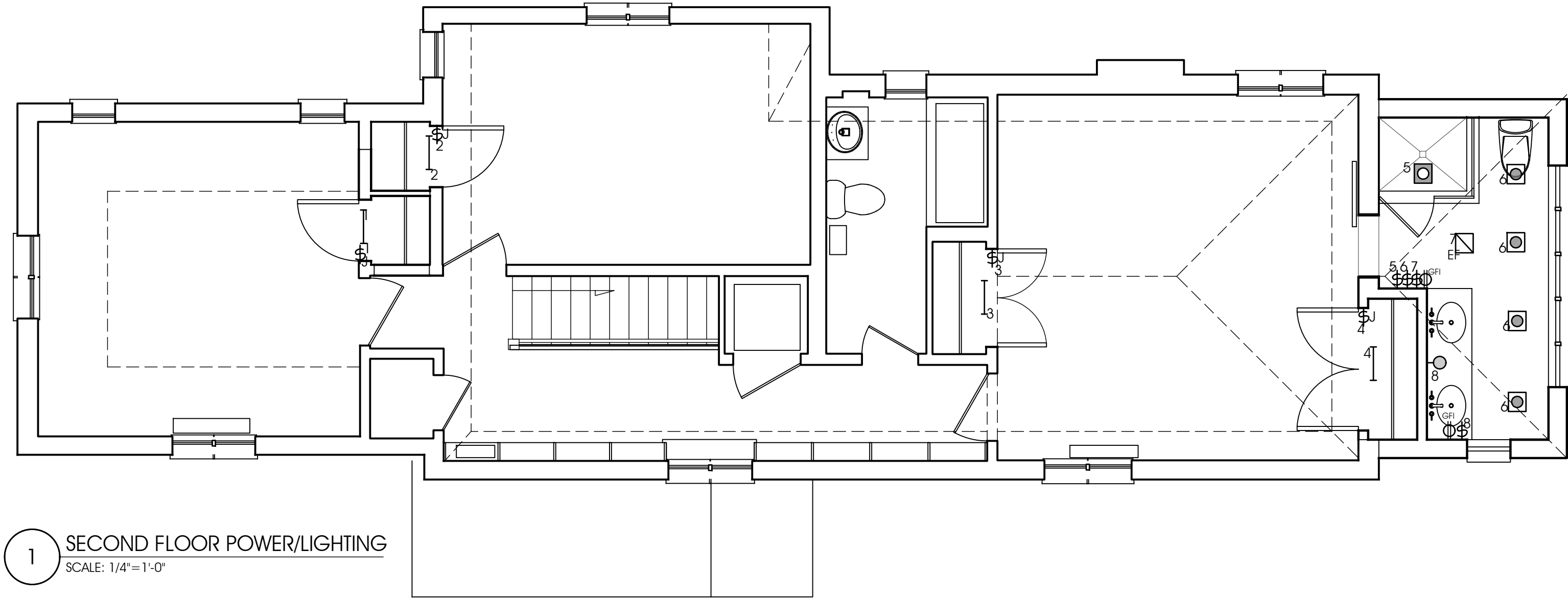
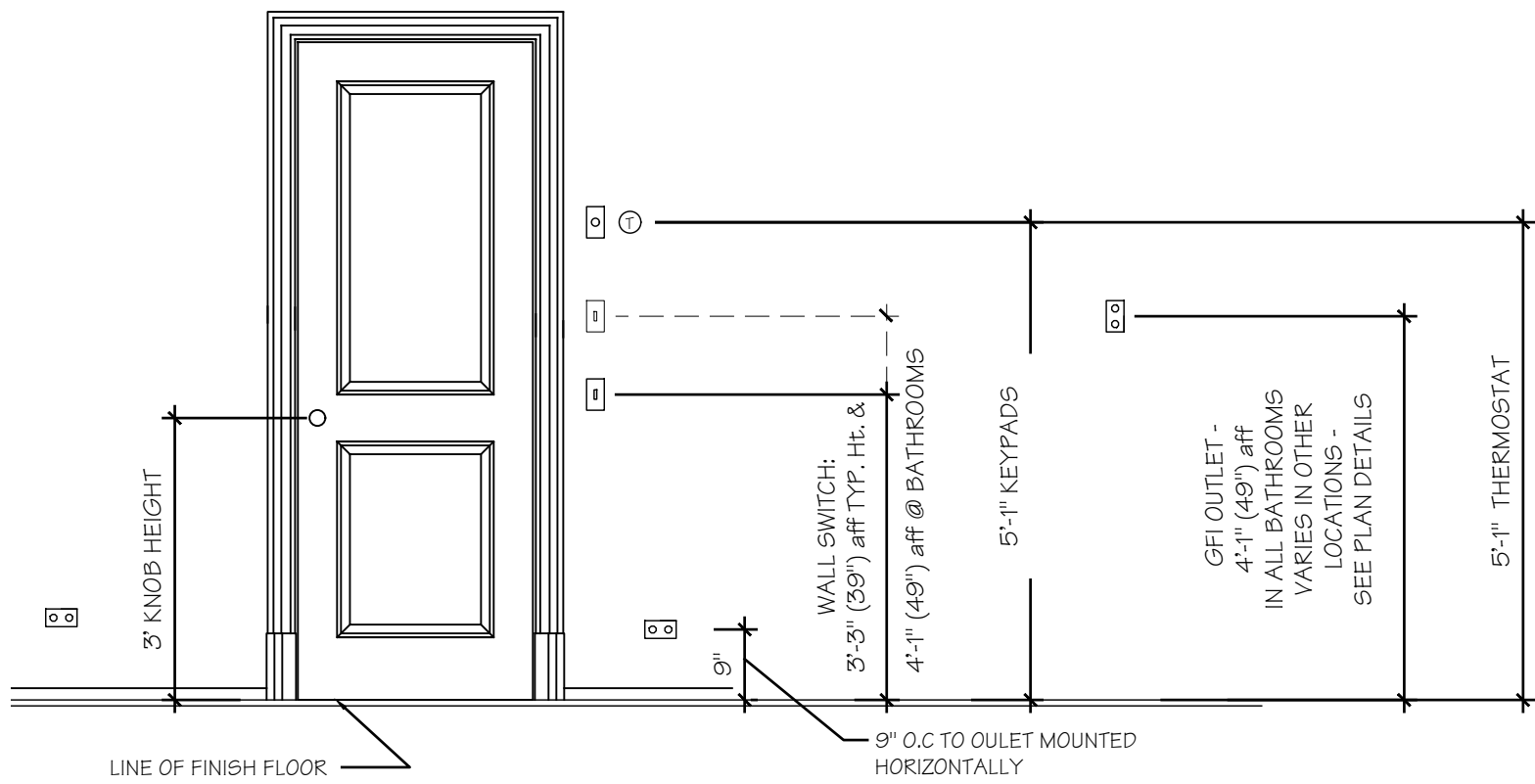
REV. #/DATE

DRAWING TITLE:

LIGHTING/POWER
PLANS

DRAWING INFO.

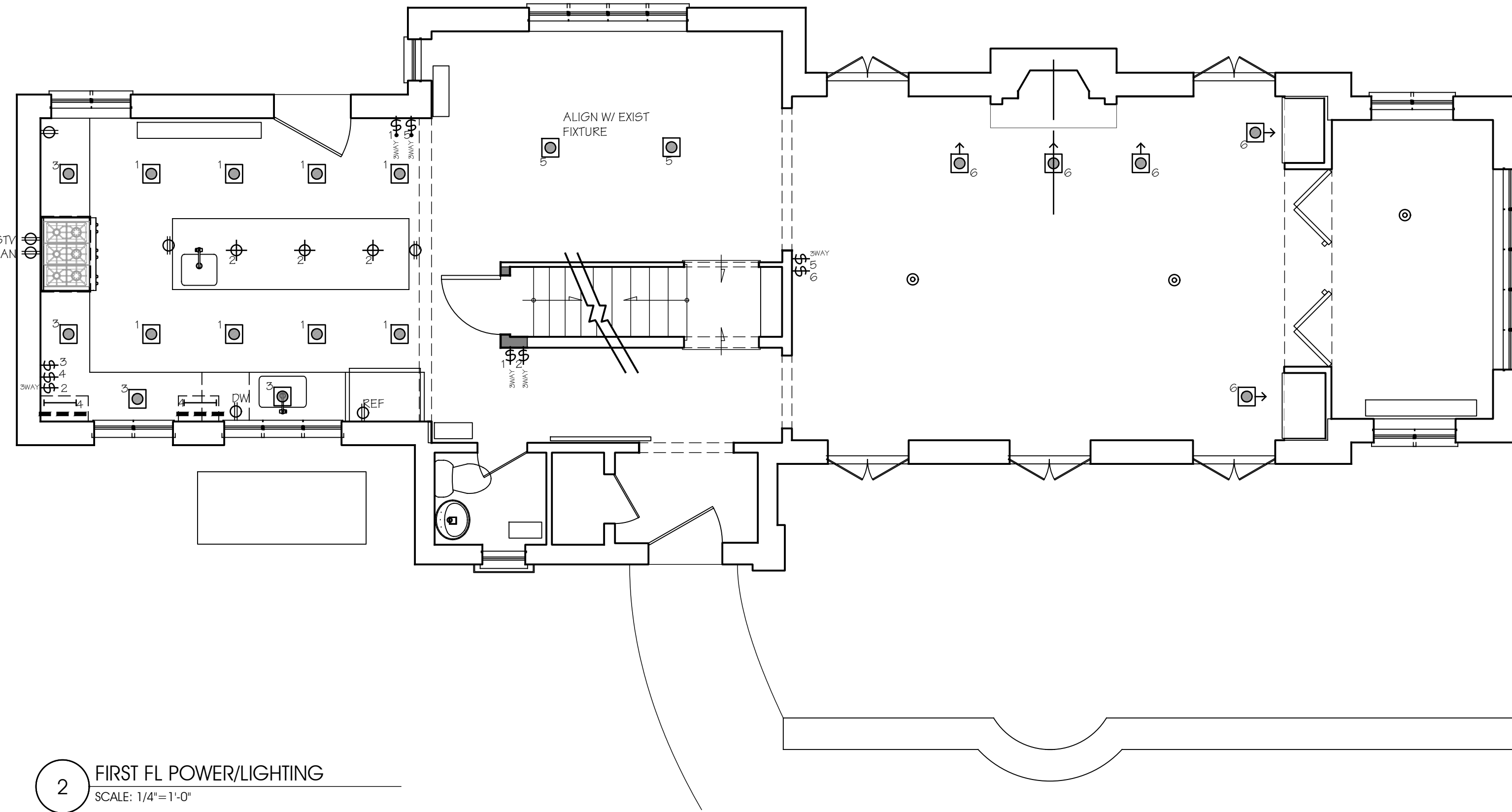
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NOTED



LEGEND:	
	DIMMER SWITCH
	FIXTURE SYMBOL
DIMMER SWITCH SINGLE LOCATION LUTRON "LYNEO" COLOR TO FOLLOW	
3 OR 4 WAY DIMMER SWITCH LUTRON "LYNEO" COLOR TO FOLLOW	
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	UNDER CABINET PLUG-MOLD
	UNDER CABINET PLUG-MOLD W/USB

NOTE:	
MINIMUM 50% OF ALL FIXTURE LAMPS TO BE HIGH EFFICIENCY, AS PER NY STATE ENERGY CONSERVATION CODE. ALL RECESSED FIXTURES IN 2ND FLOOR CEILING SHALL BE IC TYPE	



NOTES:

PROJECT INFORMATION:

Additions alterations
MOY RESIDENCE
66 EDGARDS LN
HASTINGS ON HUDSON, NY

REV. #/DATE

DRAWING TITLE:

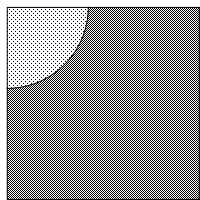
LIGHTING/POWER
PLANS

DRAWING INFO.

E1.0
NOTED

NOTES:

1. 08/09/18 REVIEW SET



Blue Sky Design, Inc.
Consulting Engineers
121 West 27th Street, Suite 904
New York, NY 10001
Tel. 646-230-9900
Fax 646-230-7400

PROJECT INFORMATION:

Moy Residence
66 Edgars Lane Hastings-on-Hudson, NY

REV. #/DATE

DRAWING TITLE:

**2ND FLOOR & FIRST
FLOOR FRAMING
PLANS**

DRAWING INFO.

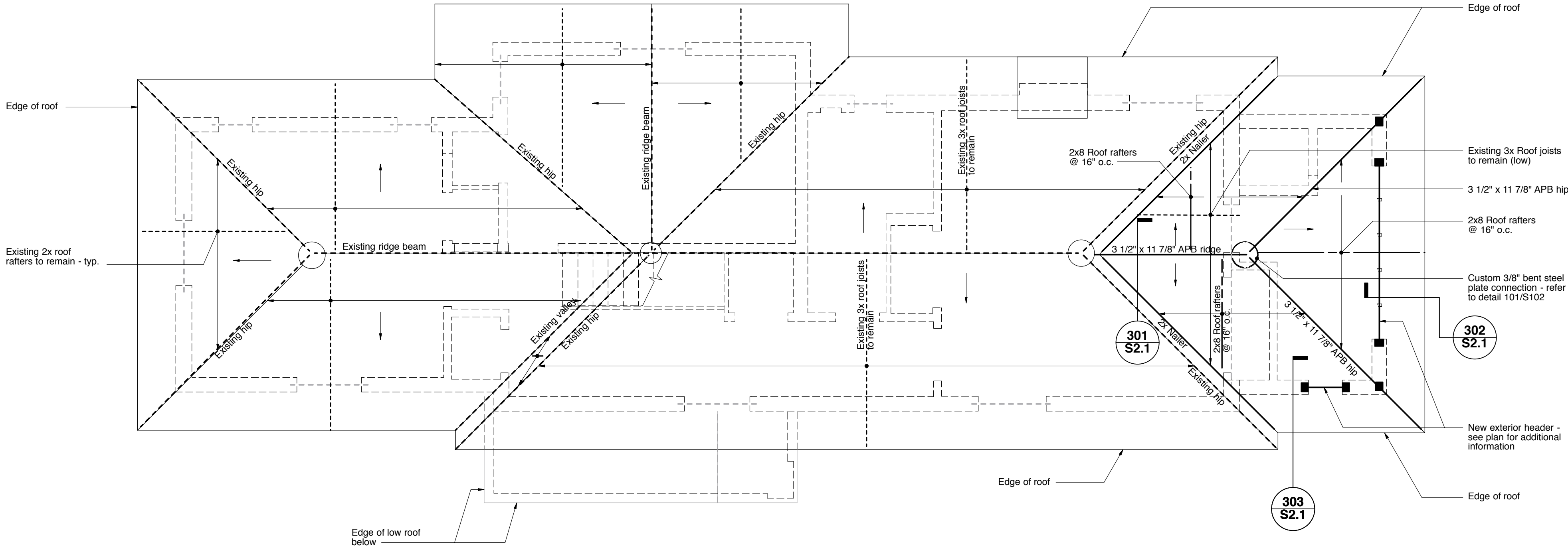
S1.0
AS NOTED

Roof Framing Plan

Scale: 1/4" = 1'-0"

NOTES:

- Coordinate all dimensions and elevations with Architectural Drawings, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
- Refer to S2.0 for Structural Notes and Specifications.
- All structural steel to be supported by steel, masonry, or concrete. Steel will not frame into wood.
- Denotes walls below - refer to Architectural Drawing for layout.
- All wood framing permanently exposed to weather shall be pressure treated (P.T.).
- Use joist & beam hangers by Simpson or approved equal all flush framed connections where required.
- Denotes anchor/strap connector by Simpson or approved equal. Refer to anchor/strap schedule for more information.

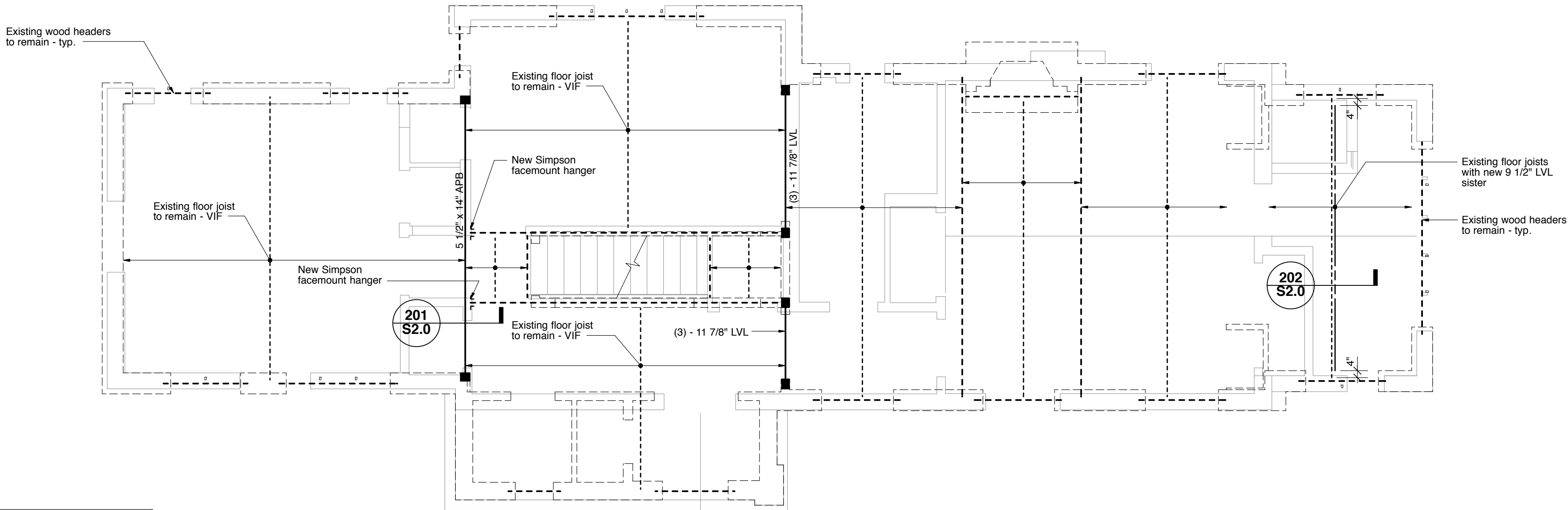


Second Floor Framing Plan

Scale: 1/4" = 1'-0"

NOTES:

- Coordinate all dimensions and elevations with Architectural Drawings, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
- Refer to S2.0 for Structural Notes and Specifications.
- All structural steel to be supported by steel, masonry, or concrete. Steel will not frame into wood.
- Denotes walls above - refer to Architectural Drawings for layout.
Denotes walls below - refer to Architectural Drawings for layout.
- All wood framing permanently exposed to weather shall be pressure treated (P.T.).
- Use joist & beam hangers by Simpson or approved equal all flush framed connections where required.
- Denotes anchor/strap connector by Simpson or approved equal. Refer to anchor/strap schedule for more information.
- Refer to Detail 203/S2.0 for required strapping @ window.



Anchor / Strap Schedule			Nailing Schedule		
Plan Desig.	Simpson Connector	Connection Description	5/8" Plywood Wall Sheathing	Typical	
1	LSTA30	Rafter to rafter over ridge (all rafters)	Within 3'-0" of corners	8d @ 6" o.c. @ Panel edge 8d @ 12" o.c. @ Panel interior	Stagger nails @ edge of adjacent panels
2	H6, H2A	Rafter over double top plate at eave to stud or beam below (all wall studs)		8d @ 6" o.c. @ Panel edge 8d @ 6" o.c. @ Panel interior	
3	DSP	All window and door posts to foundation wall			
4	LSTA18 @ 32" o.c.	All exterior headers to posts. If header ≥ 8'-0" provide one each side of post, each end of beam.			
5	MSTA36	2nd Floor stud to 1st Floor stud @ 32" o.c.			
*Note: Provide 5/8" Ø x 1'-4" anchor bolts between sill plates & foundation wall at 36" max. - use Simpson BP 5/8" Bearing Plate @ each.					

Structural Notes:

General:

1.

All work shall comply with The Building Code of New York State, latest edition, and all other applicable Local Codes and Regulations of Agencies having jurisdiction.

2.

Work these drawings with the Specifications, the Architectural, Mechanical, Electrical, Plumbing, Site Drawings, and all other related documents. Contractor shall coordinate all dimensions with Architectural drawings and shall verify all data on existing conditions prior to commencement of work.

3.

Specific notes and details shall take precedence over General Notes and typical details. The Contractor shall refer to the Specifications for information not covered by these General Notes & Specifications

4.

The Contractor shall provide temporary erection bracing and/or shoring for all structural work as required for structural stability during all phases of construction.

5.

Contractor shall make special provisions and provide protection as required for cold or hot weather concrete and masonry work, in conformance with the appropriate technical associations.

Loads:

1.

Floor load, snow load, and wind load have been analyzed in accordance with the Building Code of New York State and ASCE-7 where appropriate.

Wood Framing:

1.

All lumber work and materials shall conform to the latest edition of the following Specifications and the The Building Code of New York State:

a.

American Institute of Timber Construction (AITC).

b.

National Forest Products Assoc. "Design Specifications for Stress Grade Lumber".

c.

U.S. Dept. of Commerce Standard CS 253.

d.

American Plywood Association.

2.

Lumber for all interior structural framing, including roof framing, joists, posts, studs, sills, cap plates, wood bearing plates, and blocking, shall be surface dry and used at maximum 19% moisture content with the following minimum base design values:

Base Design Values for Visually Graded Dimension Lumber:

Bending:

Fb = 850 psi

Horizontal Shear:

Fv = 95 psi

Comp. Perpendicular to Grain:

Fc = 625 psi

Comp. Parallel to Grain:

Fc = 1,300 psi

Modulus of Elasticity:

E = 1,600,000 psi

All values shall be adjusted with appropriate adjustment factors as per the per NDS Supplement. Any lumber species may be used, subject to review and acceptance by the Engineer, if they meet the above minimum requirements.

Should Cedar be used for exterior framing, western species should be used.

3.

TJI Series:

TJI joist sections shall be of the size and type specified on the plans, as manufactured by Truss Joist McMillan Ltd., or equal. Flange members, web members and adhesives shall conform to the provisions of CABO Report No. NER-200. Coordinate bridging and stiffener requirements with TJI manufacturer.

4.

Plywood:

Subfloor shall consist of 3/4" Exposure 1 Grade plywood, glued and screwed to joists. Exterior wall sheathing shall consist of 3/4" Exposure 1 Grade plywood fastened to wall studs with 8d nails at 6" o.c. max.

5.

Laminated Veneer Lumber:

Laminated Veneer Lumber (LVL) sections shall be "MICRO=LAM 8" or "PARALLAM 8" as manufactured by Truss Joist MacMillan, Ltd., or equal, with the following minimum properties: Fb = 2865 psi, Fc = 750 psi, Fv = 285 psi, E = 2,000,000 psi.

Multiple sections shall be fastened together with a minimum of two rows of 16d nails at 12" o.c., and as recommended by the manufacturer.

6.

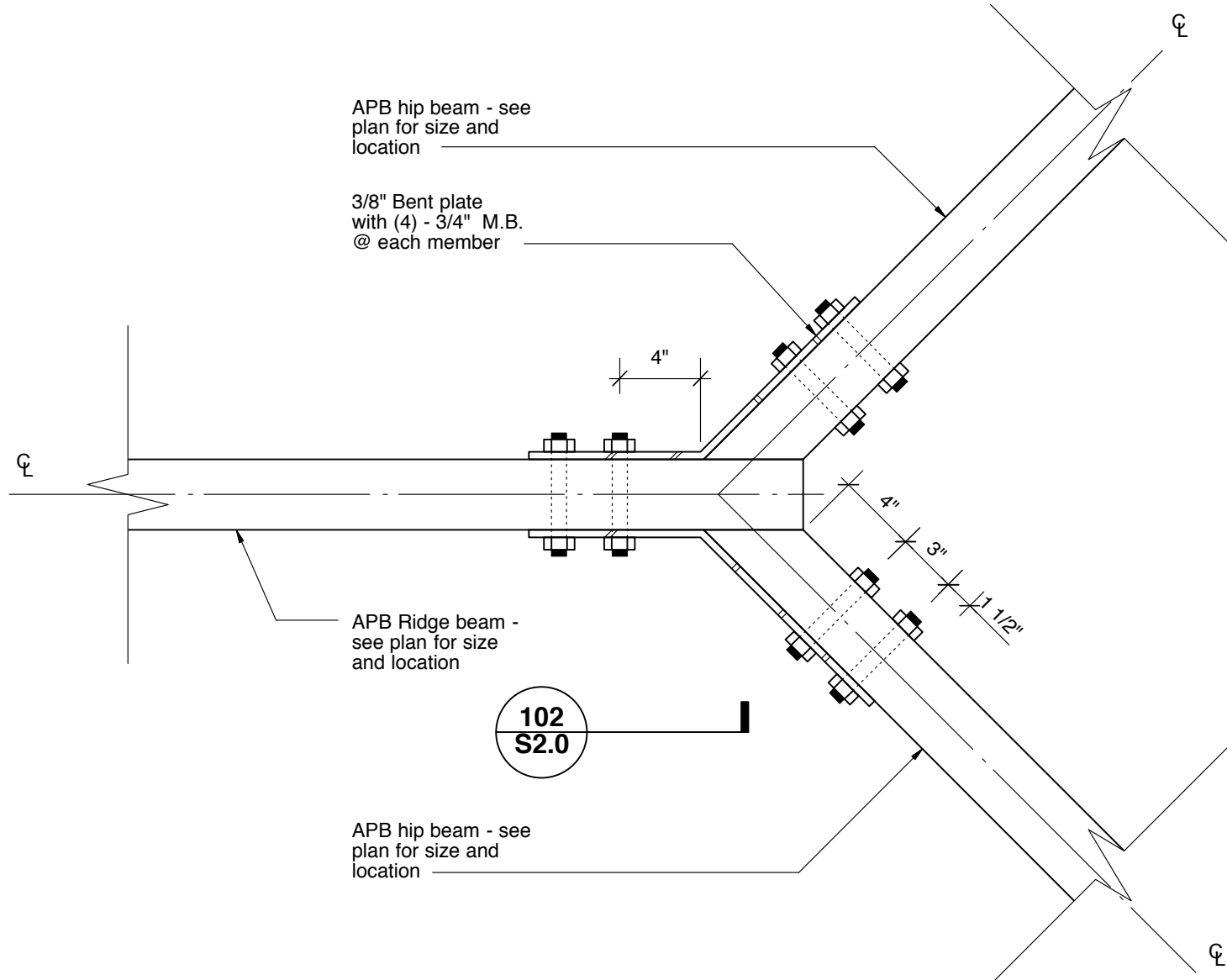
All bearing stud walls shall have crosskats at mid-height or 4'-6" o.c. minimum.

7.

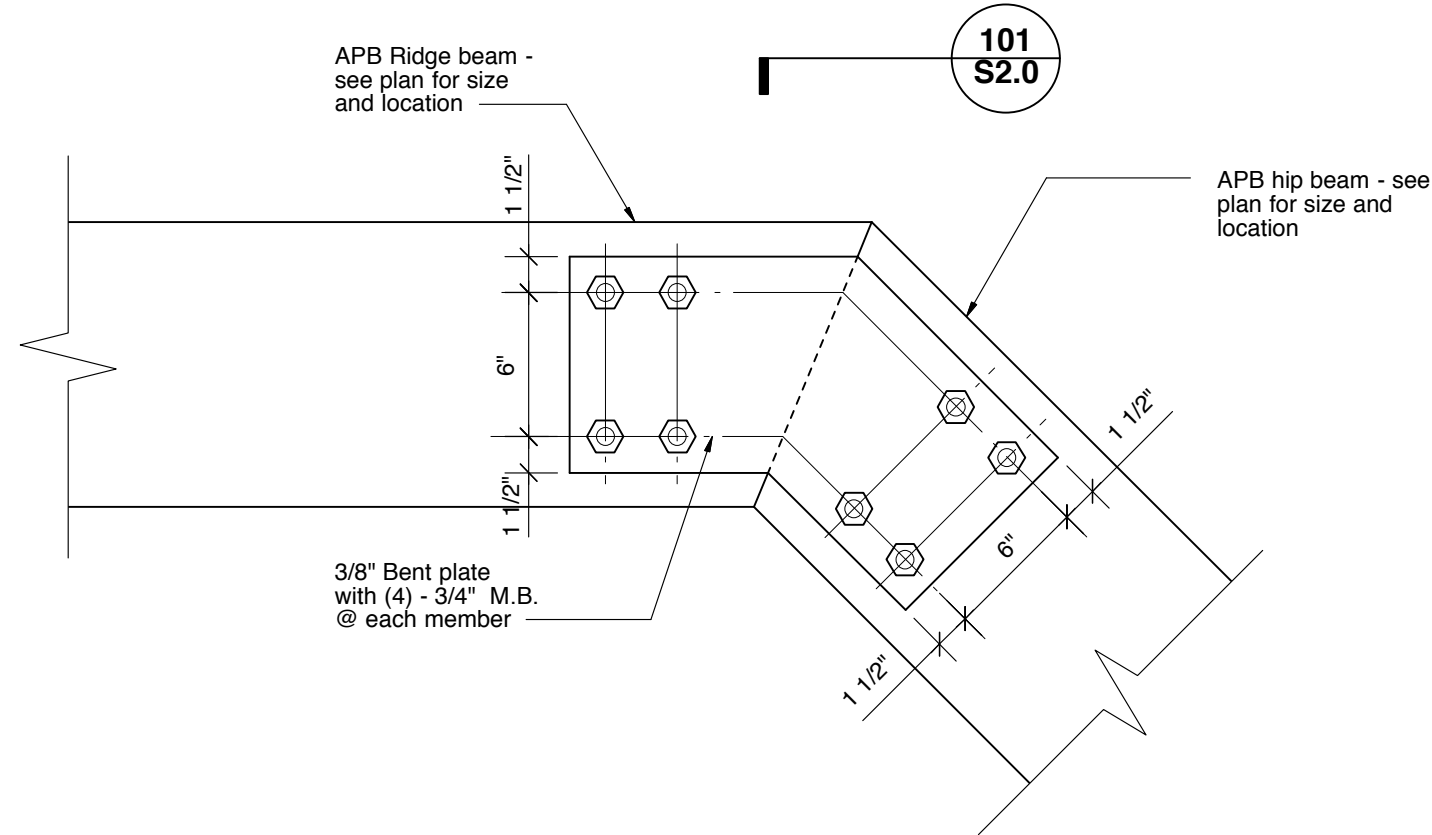
Use double members at all jambs and heads of all openings. Use double joists (min.) below all non-bearing stud walls parallel to spans and provide solid blocking between joists below all non-bearing stud walls perpendicular to joist spans. Use double sills and cap plates for all bearing walls.

LOAD SCHEDULE (PSF)

	Floor loads	Roof loads
Dead Load	25	20
Live Load	40	20
Snow load	Ground Snow: 20 + Drift	
Wind Load	Enclosure Classification: Enclosed*	
	Enclosure (Category II): C	
	Wind Speed: 130 mph	
Seismic Category:	B	
Subject to damage from:		
Frostline Depth:	4'-0" Below Grade	
Weathering:	Severe	
Termite:	Moderate - Heavy	
Ice Barrier and Underlayment:	Required	



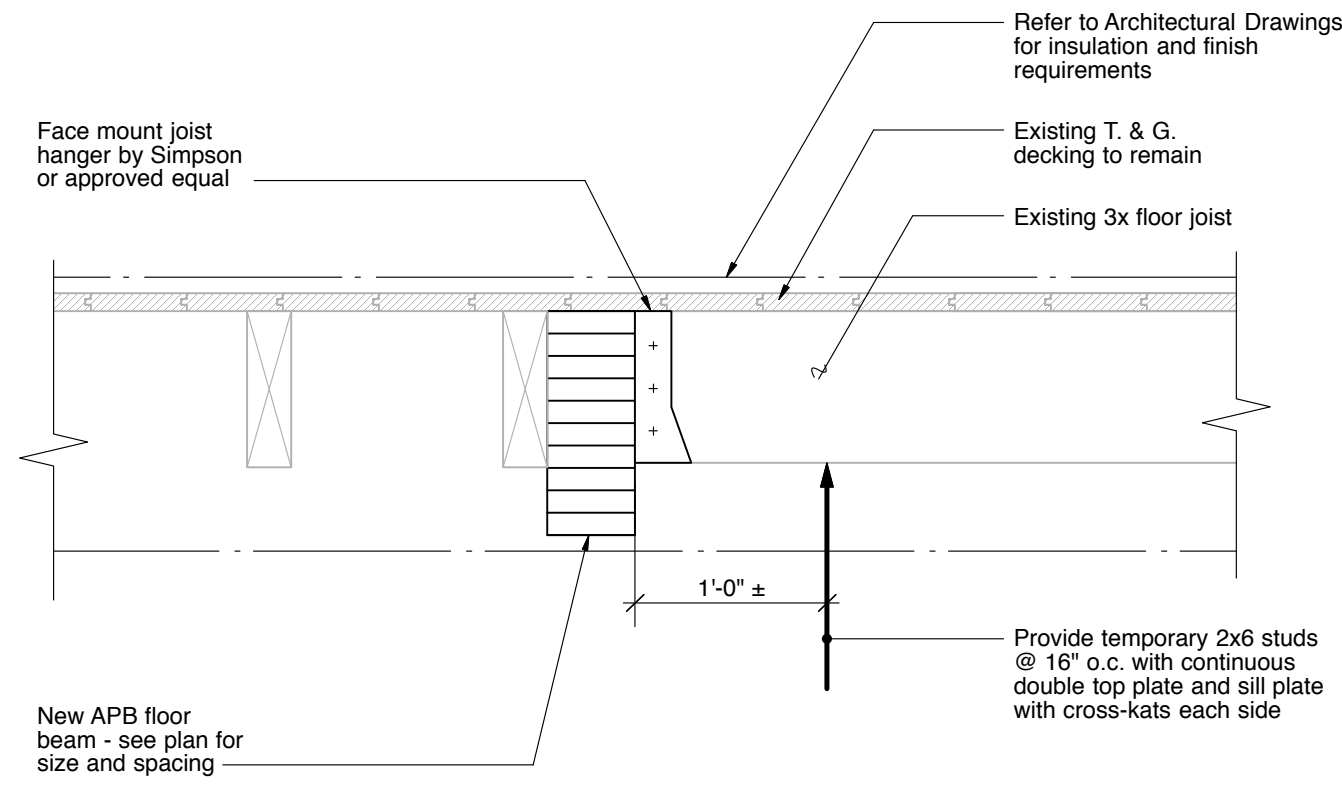
Section
Scale: 1 1/2" = 1'-0"



Section
Scale: 1 1/2" = 1'-0"

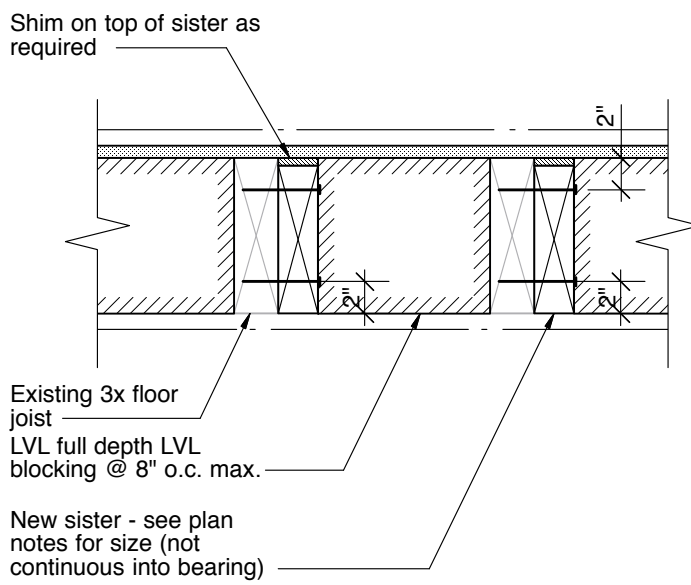
101
S2.0

102
S2.0

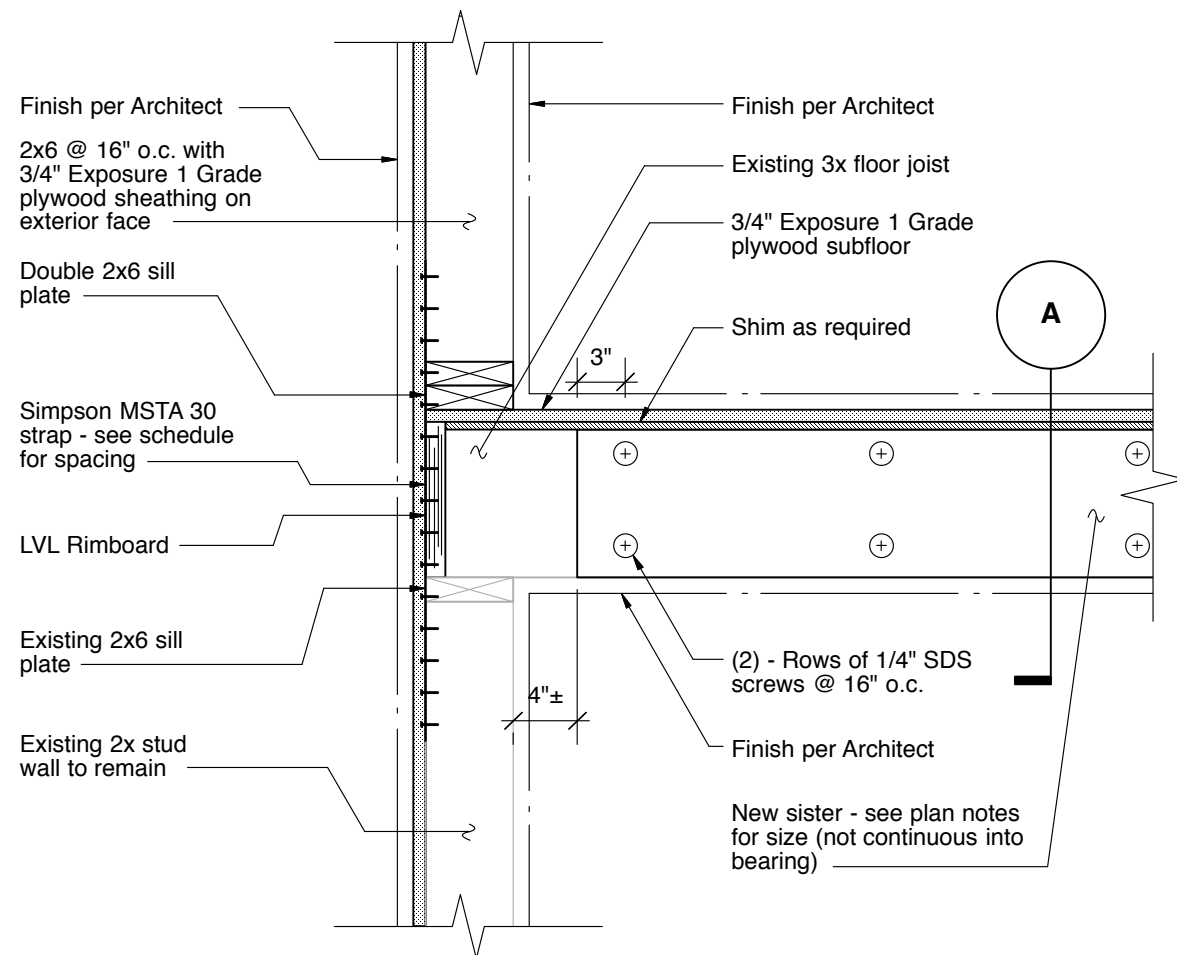


Section - Flush Beam
Scale: 1" = 1'-0"

201
S2.0

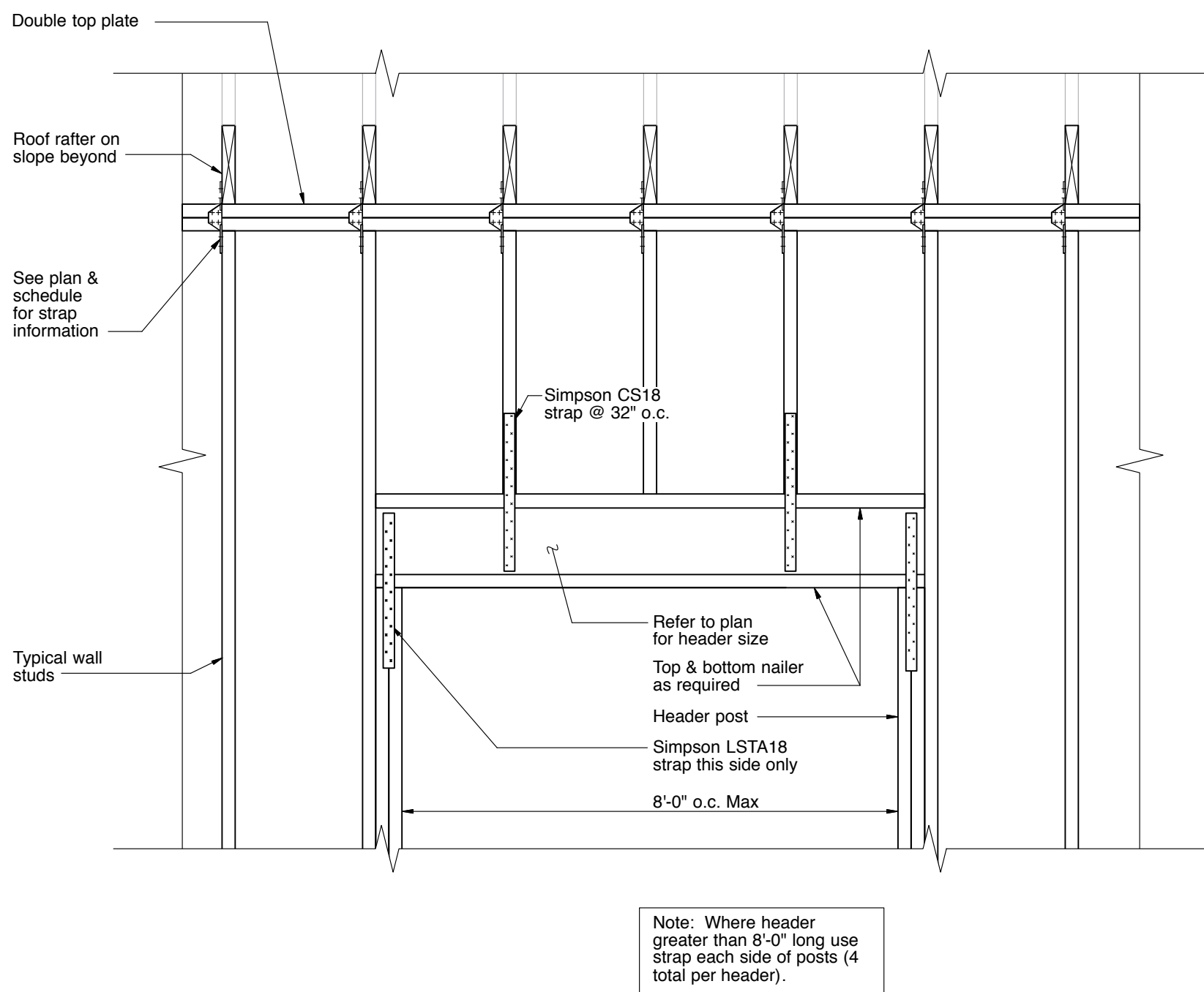


Section A



Detail - Typical Joist/Beam Sistering
Scale: 1" = 1'-0"

202
S2.0



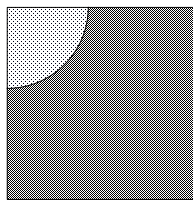
Elevation - Typical 2nd Floor Header To Post Strapping
Scale: N.T.S. Where Required/View From Exterior

203
S2.0

Note: Where header greater than 8'-0" long use strap each side of posts (4 total per header).

McC Architecture pllc
25 n. dutcher st., Irvington, ny 10533 mcc-architecture.com
t: 917-887-0975 e: dmcc@mc-architecture.com

NOTES:
1. 08/09/18 REVIEW SET



Blue Sky Design, Inc.
Consulting Engineers
121 West 27th Street, Suite 904
New York, NY 10001
Tel. 646-230-9900
Fax 646-230-7400

PROJECT INFORMATION:

Moy Residence
66 Edgars Lane Hastings-on-Hudson, NY

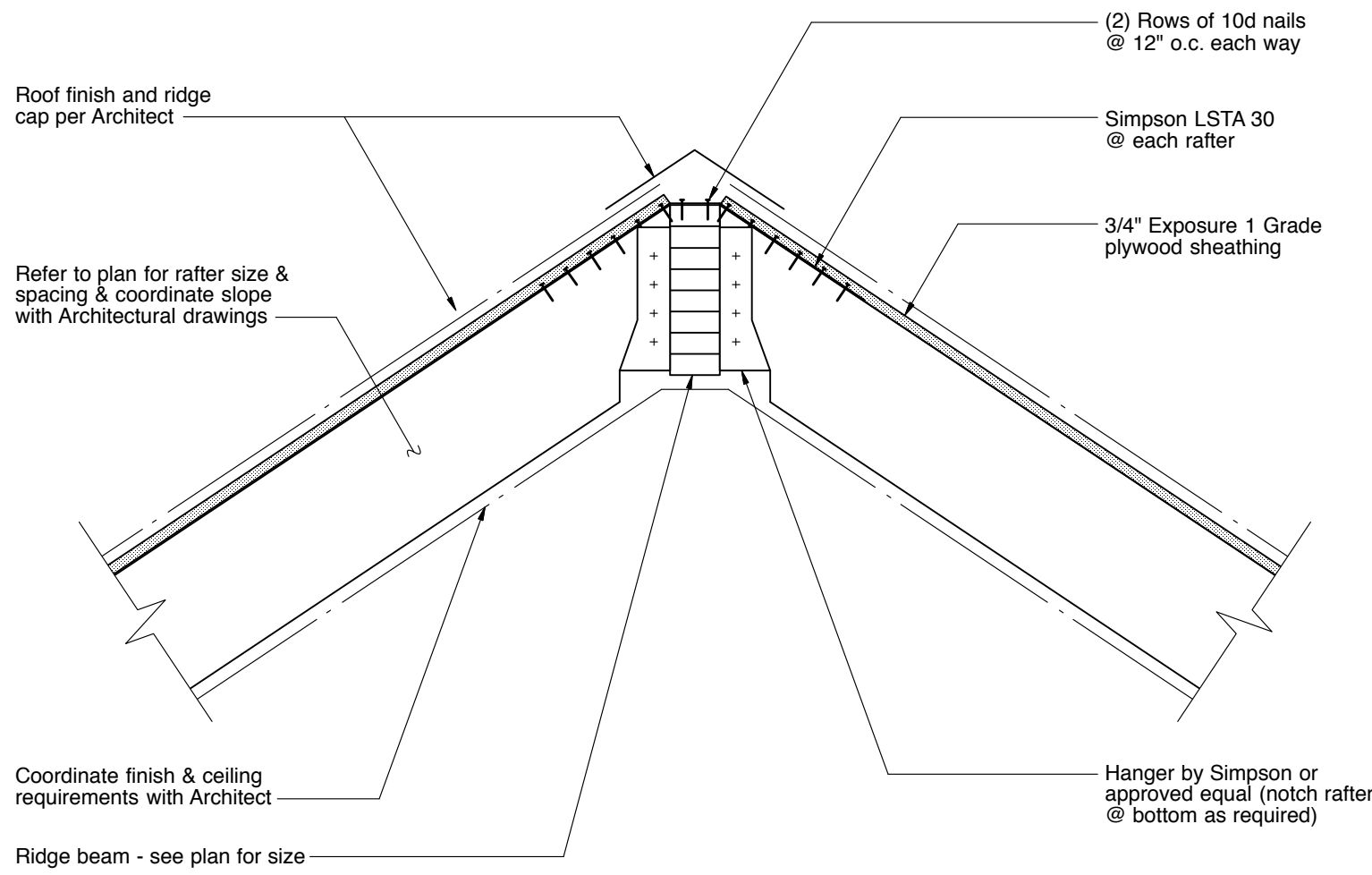
REV. #/DATE

DRAWING TITLE:

STRUCTURAL NOTES,
SECTIONS & DETAILS

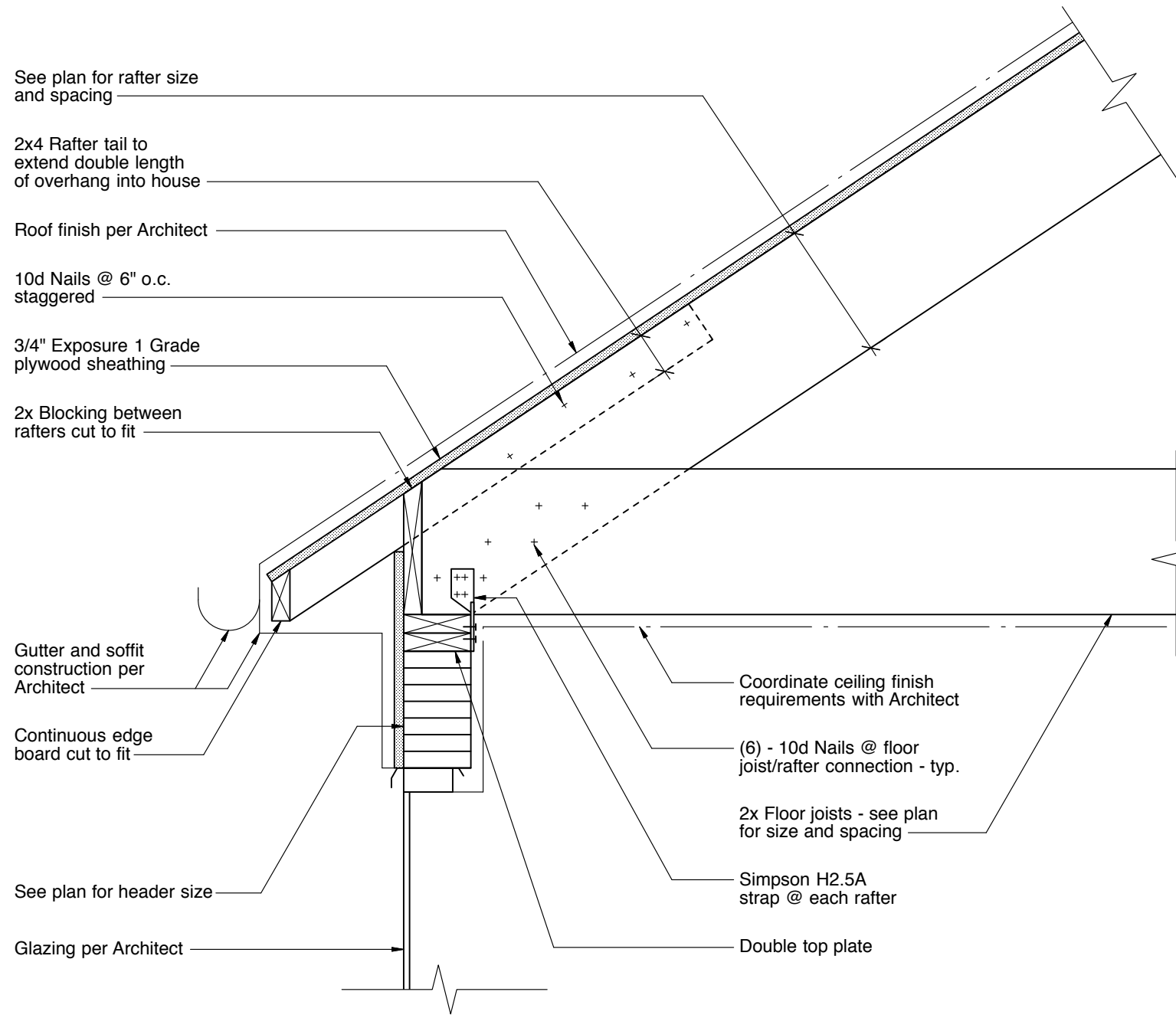
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S2.0
AS NOTED



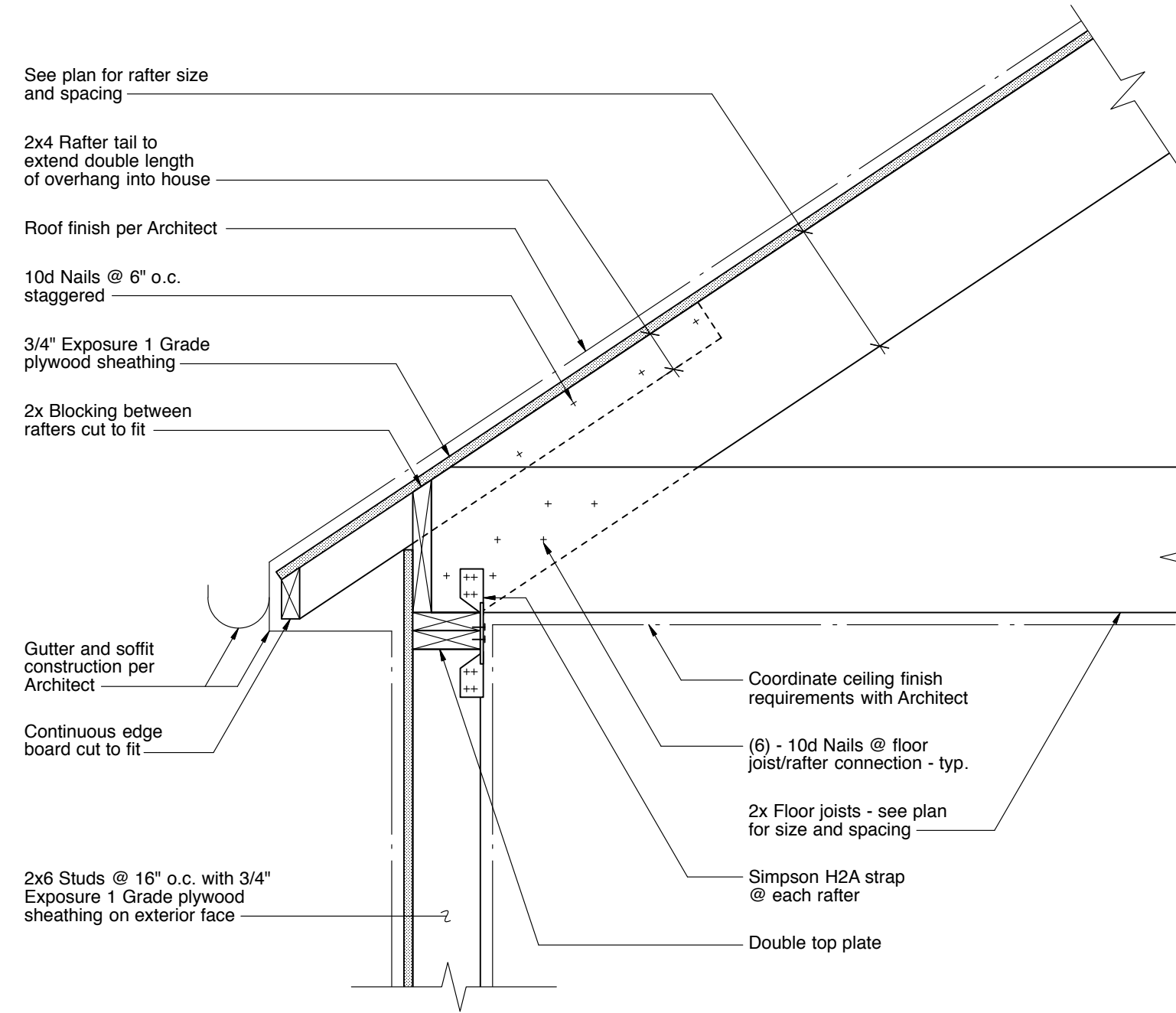
Section - Typical Ridge Framing Requirements
Scale: 1" = 1'-0" Structural Wood Ridge Beam

301
S3.0



Section - Typical Roof Eave
Scale: 1" = 1'-0" @ Header

302
S3.0



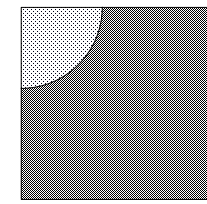
Section - Typical Roof Eave
Scale: 1" = 1'-0" @ Wall

303
S3.0

McC Architecture plc

25 n. dutcher st., irvington, ny 10533 mcc-architecture.com
t: 917-887-0975 e: dmcc@mc-architecture.com

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66 Edgars Lane Hastings-on-Hudson, NY

REV. #/DATE

DRAWING TITLE:

SECTIONS & DETAILS

DRAWING INFO.

S2.1
AS NOTED

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



1. File one (1) original completed Application and all related drawings and documents, for a Variance, Interpretation or View Preservation Approval, with original signatures and notarization, a flash drive and two (2) copies (residential) or seven (7) copies (commercial) (**See requirements in step #2**) with the Office of the Building Inspector, no less than four (4) weeks prior to scheduled ZBA meeting.
2. Application must be complete with all plans, diagrams, surveys, photographs, etc. as necessary to fully describe requested variance/s and compelling reasons for non-conformity with the zoning regulations.
3. Pay an application fee as per following fee schedule:

✓ Single family residence	\$ 250.00	\$ 500.00*
✓ Two family residence	\$ 300.00	\$ 600.00*
✓ Multiple family residence	\$ 350.00	\$ 700.00*
✓ Commercial, apartment & office buildings	\$ 500.00	\$ 1000.00*
✓ Industry, subdivision, land development, etc.	\$1000.00	\$2000.00*
✓ View Preservation Stand Alone	1-2 Family-\$250.00/\$500.00*	Other-\$500.00/\$1000.00*

***For Variances/ZBA action for illegal construction**

4. Upon receipt of the application and prescribed fee, Office of the Building Inspector will prepare a legal notice describing the variance and submit the notice to an official newspaper for publication.
5. Office of the Building Inspector will prepare a mailing list of all neighbors within a 300-foot radius (500-feet if deemed necessary by the Building Inspector) of the subject property and make it available to the applicant prior to the ZBA meeting
6. The applicant must pick up copies of the legal notice and mailing list in a timely manner so as to be able to do the following:
 - ✓ Either mail copies of the legal notice to neighbors on the mailing list by certified mail requested or any other method of delivery providing proof of delivery no later than 14 days prior to the ZBA meeting
 - ✓ Or hand deliver copies of the legal notice no later than 10 days prior to the ZBA meeting.
7. **No later than one (1) week prior to the ZBA meeting** submit the following to the Office of the Building Inspector:
 - ✓ Proof of mailing and and supporting documentation or
 - ✓ The mailing list with dates and initials of recipients and a notarized affidavit stating:

I, fill in your name, do hereby swear that all the legal notices were hand delivered to the people on this mailing list on fill in the date and that the signatures/initials of the recipients are authentic.
8. The applicant or his/her authorized representative must appear before the ZBA on the scheduled meeting date to present his/her case, enter into record any additional evidence, and answer any questions.

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Case number:..... Date of application:.....

Property owner:.....

Property address:.....

Name all streets on which the property is located:.....

Sheet: **27**..... Block: **4.40**..... Lot/Parcel: **21**..... Zoning District:

Applicant:.....

Standing of applicant if not owner:.....

Address:.....

Daytime phone number: Fax number:

E-mail address:.....

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☐ Area Variance/s;
 ☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68.F1c	Two side yards totalling 30 ft.	Two side yards totalling 26'-7"	No change

*See example below:

....295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30'	35'-2"	No change
REAR	30'	69'-11"	No change
SIDE ONE	12' min.	6'-1"	No change
SIDE TWO	12' min.	20'-6"	No change
TOTAL OF TWO SIDES	30'	26'-7"	No change

YARD SETBACKS
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2.5	2	No change
FEET	35	Existing	No change

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000	11,466	No change
*BLDG. COVERAGE/ % OF LOT AREA	2,861	1416	No change
*DEVELOPMENT COVERAGE / % OF LOT AREA	4,006	2396	No change

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single family	Single family	No change

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- ✓ List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- ✓ List pending violations on this property if any:

.....
.....

- ✓ Is there an approved site plan for this property?: ☐... (Yes) ☐... (No)

- ✓ Is there an Accessory Apartment at this property?: ☐... (Yes) ☐... (No)

- ✓ Does this property have Boarder's Permit?: ☐... (Yes) ☐... (No)

- ✓ On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Applicant

Sworn to before me this _____ day
of _____, 20____

Notary Public

§ 295-146. Variances.

- A. The Board of Appeals, on appeal from the decision or determination of the administrative officer charged with enforcement of this chapter, shall have the power to grant use variances and area variances, as defined herein.
- B. Use variances.
 - 1) "Use variance" shall mean the authorization by the Board of Appeals for the use of land for a purpose that is otherwise not allowed or is prohibited by the applicable zoning regulations.
 - 2) No use variance shall be granted by the Board of Appeals without a showing by the applicant that applicable zoning regulations and restrictions have caused unnecessary hardship. In order to prove such unnecessary hardship, the applicant shall demonstrate to the Board of Appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:
 - a. The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence;
 - b. The alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood;
 - c. The requested use variance, if granted, will not alter the essential character of the neighborhood; and
 - d. The alleged hardship has not been self-created.
 - 3) The Board of Appeals, in the granting of a use variance, shall grant the minimum variance that it shall deem necessary and adequate to address the unnecessary hardship proved by the applicant, and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- C. Area variances.
 - 1) "Area variance" shall mean the authorization by the Board of Appeals for the use of land in a manner that is not allowed by the dimensional or physical requirements of the applicable zoning regulations.
 - 2) In determining whether to grant an area variance, the Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board of Appeals shall also consider:
 - a. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.
 - b. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.
 - c. Whether the requested area variance is substantial.
 - d. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
 - e. Whether the alleged difficulty was self-created, which consideration shall be relevant to the Board of Appeals but shall not necessarily preclude the granting of the area variance.
 - 3) The Board of Appeals, in the granting of an area variance, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- D. Imposition of conditions. The Board of Appeals shall, in the granting of both use variances and area variances, have the authority to impose such reasonable conditions and restrictions as are directly related to and incidental to the proposed use of the property. Such conditions shall be consistent with the spirit and intent of this chapter, and shall be imposed for the purpose of minimizing any adverse impact such variance may have on the neighborhood or community.

CODE OF THE VILLAGE OF HASTINGS ON HUDSON

§ 295-82. View Preservation (VP) Districts

- A. Principal and accessory uses. Subject to the provisions of Subsection [C](#) below, the permitted principal and accessory uses for any lot or parcel in a VP District shall be the same as otherwise permitted in the district in which the lot or parcel is located.
- C. Approval by Planning Board and Board of Appeals.
 - (1) No building or structure shall be erected, altered, enlarged or moved in the district unless approved in accordance with the provisions of this section.
 - (2) Every application to permit the erection or exterior alteration of a building or structure in a VP District shall be referred by the Building Inspector to the Planning Board for its report and recommendations as to the best siting, dimensions and configuration of principal and accessory structures so as to cause the least possible obstruction of the view of the Hudson River and the Palisades for neighboring properties and adjacent public property and rights-of-way. The Planning Board shall issue its report and recommendations within 60 days after receipt of the application.
 - (3) After approval by the Planning Board, the plan for erection or exterior alteration of the building or structure shall be referred to the Board of Appeals, which shall conduct a public hearing on the plan. The Board of Appeals shall hold the hearing and render its decision within 60 days after the referral by the Planning Board.
 - (4) Joint notice of both the Planning Board meeting at which the application is to be considered and the Board of Appeals public hearing on the application shall be given at least 14 days before the Planning Board meeting. Notice shall be given as required in **§ 295-143C**. In addition, notice shall be given to the Architectural Review Board and shall be published in a newspaper of general circulation in the Village not less than 10 days before both the Planning Board meeting and the Board of Appeals hearing.