VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation

1. File one (1) original completed Application and all related drawings and documents, for a Variance, Interpretation or View Preservation Approval, with original signatures and notarization, a flash drive and two (2) copies (residential) or seven (7) copies (commercial) (**See requirements in step #2**) with the Office of the Building Inspector, no less than four (4) weeks prior to scheduled ZBA meeting.

2. Application must be complete with all plans, diagrams, surveys, photographs, etc. as necessary to fully describe requested variance/s and compelling reasons for non-conformity with the zoning regulations.

3. Pay an application fee as per following fee schedule:

✓ Single family residence	$ 250.00	$ 500.00*
✓ Two family residence	$ 300.00	$ 600.00*
✓ Multiple family residence	$ 350.00	$ 700.00*
✓ Commercial, apartment & office buildings	$ 500.00	$ 1000.00*
✓ Industry, subdivision, land development, etc.	$1000.00	$2000.00*
✓ View Preservation Stand Alone	1-2 Family-$250.00/$500.00*	Other-$500.00/$1000.00*

***For Variances/ZBA action for illegal construction**

4. Upon receipt of the application and prescribed fee, Office of the Building Inspector will prepare a legal notice describing the variance and submit the notice to an official newspaper for publication.

5. Office of the Building Inspector will prepare a mailing list of all neighbors within a 300-foot radius (500-feet if deemed necessary by the Building Inspector) of the subject property and make it available to the applicant prior to the ZBA meeting

6. The applicant must pick up copies of the legal notice and mailing list in a timely manner so as to be able to do the following:
   - Either mail copies of the legal notice to neighbors on the mailing list by certified mail requested or any other method of delivery providing proof of delivery no later than 14 days prior to the ZBA meeting
   - Or hand deliver copies of the legal notice no later than 10 days prior to the ZBA meeting.

7. **No later that one (1) week prior to the ZBA meeting** submit the following to the Office of the Building Inspector:
   - Proof of mailing and and supporting documentation or
   - The mailing list with dates and initials of recipients and a notarized affidavit stating:

     I, _____ fill in your name _____, do hereby swear that all the legal notices were hand delivered to the people on this mailing list on _____ fill in the date _____ and that the signatures/initials of the recipients are authentic.

8. The applicant or his/her authorized representative must appear before the ZBA on the scheduled meeting date to present his/her case, enter into record any additional evidence, and answer any questions.

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation

Case number: ..... Date of application: 29 SEPTEMBER 2021

Property owner: JEREMY AND SAMANTHA WERTHEIM

Property address: 62 CIRCLE DRIVE

Name all streets on which the property is located: CIRCLE DRIVE

Sheet: 4.40 Block: 43 Lot/Parcel: 10 Zoning District: R-10

Applicant: GOTHAM DESIGN AND COMMUNITY DEVELOPMENT

Standing of applicant if not owner: AGENT FOR OWNER

Address: 329 BROADWAY, DOBBS FERRY, NY 10522

Daytime phone number: 914-693-5093 Fax number: 914-693-5390

E-mail address: arch329@gmail.com; archbgo@optonline.net

ZBA action requested for (See §295-146B & C :

- [ ] Use Variance/s;
- [ ] Interpretation;
- [x] Area Variance/s;
- [ ] View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 F(1)a	FRONT YARD 30 FT.	13.9 TO EX. HOUSE	11.0 TO PROP'D. PORCH
295-20 D(2)	FRONT YARD PRONOUNCED UNIFORMITY		OF ALIGMENT

*See example below:

295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft	19.5 ft
295-68A	Permitted Principal Use.	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis

ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30	13.9	11 (PORCH)
REAR	30	27.5 +/	NO CHANGE
SIDE ONE	12	15.2	NO CHANGE
SIDE TWO		25.2	NO CHANGE
TOTAL OF TWO SIDES	30	40.4	NO CHANGE

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR N/A			
SIDE N/A			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2.5	2.5	NO CHANGE
FEET	35	34.75	NO CHANGE

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 SQ.FT.	12,297 SQ.FT.	NO CHANGE
*BLDG. COVERAGE/ % OF LOT AREA	25%	19.39%	21.62%
*DEVELOPMENT COVERAGE / % OF LOT AREA	35%	28.27%	29.44%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	ONE FAMILY	ONE FAMILY	NO CHANGE

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation

- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....	.....	.....	.....
.....	.....	.....	.....

- List pending violations on this property if any:

.....

.....

- Is there an approved site plan for this property?: ☐ (Yes) ☑ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☑ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☑ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Applicant

Sworn to before me this 28TH day of SEPTEMBER, 20__

Notary Public

DEBRA SILLER
NOTARY PUBLIC STATE OF NEW YORK
WESTCHESTER COUNTY
LIC. #01SI6205062
COMM. EXP. 5/14/25

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation

Name : SAMANTHA R. SHAPSES-WERTHEIM, being duly sworn, deposes and says that he/she resides at 62 CIRCLE DRIVE in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.40 Block 43 and Lot 10 of the tax map, and that he/she hereby authorized Gotham Design & Community Developmnt to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

Owner

SWORN TO BEFORE ME THIS 28TH DAY OF SEPTEMBER 2021

DEBRA SILLER
NOTARY PUBLIC STATE OF NEW YORK
WESTCHESTER COUNTY
LIC. #01SI6205087
COMM. EXP. 5/4/25

Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for Variance/Interpretation/View Preservation

Name : JEREMY A. WERTHEIM, being duly sworn, deposes and says that he/she resides at 62 CIRCLE DRIVE in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.40 Block 43 and Lot 10 of the tax map, and that he/she hereby authorized Gotham Design & Community Developmnt to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

Owner

SWORN TO BEFORE ME THIS 28TH DAY OF SEPTEMBER 2021

Notary Public

DEBRA SILLER
NOTARY PUBLIC STATE OF NEW YORK
WESTCHESTER COUNTY
LIC. #01SI6205087
COMM. EXP. 5/4/25

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

§ 295-146. Variances.

A. The Board of Appeals, on appeal from the decision or determination of the administrative officer charged with enforcement of this chapter, shall have the power to grant use variances and area variances, as defined herein.

B. Use variances.

1) "Use variance" shall mean the authorization by the Board of Appeals for the use of land for a purpose that is otherwise not allowed or is prohibited by the applicable zoning regulations.

2) No use variance shall be granted by the Board of Appeals without a showing by the applicant that applicable zoning regulations and restrictions have caused unnecessary hardship. In order to prove such unnecessary hardship, the applicant shall demonstrate to the Board of Appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:

a. The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence;

b. The alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood;

c. The requested use variance, if granted, will not alter the essential character of the neighborhood; and

d. The alleged hardship has not been self-created.

3) The Board of Appeals, in the granting of a use variance, shall grant the minimum variance that it shall deem necessary and adequate to address the unnecessary hardship proved by the applicant, and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.

C. Area variances.

1) "Area variance" shall mean the authorization by the Board of Appeals for the use of land in a manner that is not allowed by the dimensional or physical requirements of the applicable zoning regulations.

2) In determining whether to grant an area variance, the Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board of Appeals shall also consider:

a. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.

b. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.

c. Whether the requested area variance is substantial.

d. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

e. Whether the alleged difficulty was self-created, which consideration shall be relevant to the Board of Appeals but shall not necessarily preclude the granting of the area variance.

3) The Board of Appeals, in the granting of an area variance, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.

D. Imposition of conditions. The Board of Appeals shall, in the granting of both use variances and area variances, have the authority to impose such reasonable conditions and restrictions as are directly related to and incidental to the proposed use of the property. Such conditions shall be consistent with the spirit and intent of this chapter, and shall be imposed for the purpose of minimizing any adverse impact such variance may have on the neighborhood or community.

§ 295-82. View Preservation (VP) Districts

A. Principal and accessory uses. Subject to the provisions of Subsection C below, the permitted principal and accessory uses for any lot or parcel in a VP District shall be the same as otherwise permitted in the district in which the lot or parcel is located.

C. Approval by Planning Board and Board of Appeals.

(1) No building or structure shall be erected, altered, enlarged or moved in the district unless approved in accordance with the provisions of this section.

(2) Every application to permit the erection or exterior alteration of a building or structure in a VP District shall be referred by the Building Inspector to the Planning Board for its report and recommendations as to the best siting, dimensions and configuration of principal and accessory structures so as to cause the least possible obstruction of the view of the Hudson River and the Palisades for neighboring properties and adjacent public property and rights-of-way. The Planning Board shall issue its report and recommendations within 60 days after receipt of the application.

(3) After approval by the Planning Board, the plan for erection or exterior alteration of the building or structure shall be referred to the Board of Appeals, which shall conduct a public hearing on the plan. The Board of Appeals shall hold the hearing and render its decision within 60 days after the referral by the Planning Board.

(4) Joint notice of both the Planning Board meeting at which the application is to be considered and the Board of Appeals public hearing on the application shall be given at least 14 days before the Planning Board meeting. Notice shall be given as required in § **295-143C**. In addition, notice shall be given to the Architectural Review Board and shall be published in a newspaper of general circulation in the Village not less than 10 days before both the Planning Board meeting and the Board of Appeals hearing.

OFFICE OF THE BUILDING INSPECTOR
Village of Hastings On Hudson
Municipal Building
7 Maple Avenue
Hastings On Hudson, New York 10706
(914) 478-3400 Ext. 613
Fax: (914) 478-4624
BldgInsp@Hastingsgov.org

ZBA Application Checklist

1. ___ Location plan showing the site and its neighbors within 300' radius.
2. ___ Site plan of lot showing existing structures and all required setback lines. If setback encroachments exist, they should be hatched and dimensioned.
3. ___ Site plan of lot showing proposed conditions and required setback lines. Proposed encroachments should be hatched (differently than existing) and dimensioned.
4. ___ Floor plans of existing structures showing all floors. Setback lines and encroachments, if any, should be shown.
5. ___ Elevations of existing structures, showing height encroachments, if any.
6. ___ Floor plans of proposed conditions clearly differentiating existing conditions from proposed modifications. Setback lines and proposed encroachments should be shown and the resulting areas calculated.
7. ___ Elevations of proposed conditions, showing height encroachments, if any.
8. ___ Perspective renderings are helpful, and should be encouraged, but not required.
9. ___ Photographs and other supporting documentation of site and its structures, neighboring sites and structures to the degree they are relevant.

For multiple family dwellings and commercial buildings **add** the following:

1. ___ Conceptual design of a maximum 'As of Right' development on the site so that the ZBA can accurately gauge the proposed variances and responsibly make its findings related to them. This is not an unreasonable request, and would give us better footing in evaluating proposals and eliminate our reliance on "well, we looked at it, and we couldn't make it work" story that we hear too much of (and as you know drives me nuts)

For all of the above, schematic level drawings at a legible scale (1/8"=1'-0" or smaller) are generally all that are needed and should not create a burden for the applicant.

Padriac Steinschneider
Gotham Design & Community Development Ltd.
329 Broadway
Dobbs Ferry, New York 10522
(914) 693-5093 ▪ Fax: (914) 693-5390
Cell (914) 906-4802 ▪ arch329@gmail.com

GOTHAM

September 29, 2021

Hastings-on-Hudson Building Department
7 Maple Street
Hastings-on-Hudson, New York 10706

Re: 62 Circle Drive - ZBA Application

Dear Mr. Minozzi, Building Inspector:

This letter is to submit an application Zoning Board of Appeals for the above referenced property. The owner would like to renovate the interior of their existing finished basement, which will include changes to the exterior windows, but no increase of the footprint of the building, and create a new front porch and walkway to the front door. Integral to this effort is making changes to the way in which the stormwater runoff from the street impacts the existing house. We have proposed a storm drainage system to control the shedding stormwater from the street to an on-site retention/detention system. The proposed walkway is integral to this effort.

We understand that there is an issue with the fact that the existing house is closer to the street right-of-way property line than the Code requires. We are intending to add to the front of the house, which will reduce that setback further. The Code requires a front yard setback of 30 feet, whereas the existing house has a setback of 13.9 feet from the front property line. The proposed front porch, which is roofed, but not enclosed, would reduce this setback to 11 feet.

The applicant requests a variance to permit the reduction of the required front yard setback from 30 feet to 11 feet, a reduction of 19 feet.

While this reduction is numerically significant, the fact is that the proposed porch set 11 feet from the front yard setback will not result in any adverse impacts on the health, wealth, and safety of the community, neighbors, or the Village. It is our understanding that the Code specifically addresses this situation in that, while the setback we are proposing is less than the 30 feet required, it is consistent with the setback of the buildings on the neighboring properties on the same side of the street. Section 295-20D.(2) specifically permits a reduction in the front yard setback to be considered, when the proposed setback will be consistent with the character of the neighboring properties. The property to the west of the subject property has a setback of approximately 12.6 feet and the next property to the west has a setback to the front property line of approximately 12.4 feet. The next property to the east has a setback to the front property line of approximately 10.3 feet. There are several other properties on the same side of the street to the west of the subject property with setbacks of 8.5 feet, 4 feet, and 12 feet. Two of the properties to the west of the subject property on the same side of the street appear to have no front yard setback.

Submitted with this letter, please find the following:

A. A set of 11 sheets of drawings prepared by Gotham Design & Community Development Ltd., under the supervision of Laura Wakefield, Registered Architect, dated as Submitted for a Building Permit September 28, 2021.

B. A fully executed Application to the Zoning Board of Appeals for a variance.

C. A check in the amount of $250 made payable to the Village of Hastings-on-Hudson.

We understand that Notice will be required for this application to neighbors and we are prepared to provide that mailing.

Please let us know if there is anything else that you need from us to process this Application and issue the required Building Permit.

Thank you for your time and attention,

Paddy Steinschneider
As Agent for Jeremy and Samantha Wertheim, Property Owner

Padriac Steinschneider
Gotham Design & Community Development Ltd.
329 Broadway
Dobbs Ferry, New York 10522
(914) 693-5093 ▪ Fax: (914) 693-5390
Cell (914) 906-4802 ▪ arch329@gmail.com

GOTHAM

September 29, 2021

Hastings-on-Hudson Building Department
7 Maple Street
Hastings-on-Hudson, New York 10706

Re: 62 Circle Drive - Building Permit Application

Dear Mr. Minozzi, Building Inspector:

This letter is to submit an application for a Building Permit for the above referenced property. The owner would like to renovate the interior of their existing finished basement, which will include changes to the exterior windows, but no increase of the footprint of the building, and create a new front porch and walkway to the front door. Integral to this effort is making changes to the way in which the stormwater runoff from the street impacts the existing house. We have proposed a storm drainage system to control the shedding stormwater from the street to an on-site retention/detention system. The proposed walkway is integral to this effort.

We understand that there is an issue with the fact that the existing house is closer to the street right-of-way property line than the Code requires. We are intending to add to the front of the house, which will reduce that setback further. The Code requires a front yard setback of 30 feet, whereas the existing house has a setback of 13.9 feet from the front property line. The proposed front porch, which is roofed, but not enclosed, would reduce this setback to 11 feet.

It is our understanding that the Code specifically addresses this situation in that, while the setback we are proposing is less than the 30 feet required, it is consistent with the setback of the buildings on the neighboring properties on the same side of the street. Section 295-20D.(2) specifically permits a reduction in the front yard setback to be considered, when the proposed setback will be consistent with the character of the neighboring properties. The property to the west of the subject property has a setback of approximately 12.6 feet and the next property to the west has a setback to the front property line of approximately 12.4 feet. The next property to the east has a setback to the front property line of approximately 10.3 feet. There are several other properties on the same side of the street to the west of the subject property with setbacks of 8.5 feet, 4 feet, and 12 feet. Two of the properties to the west of the subject property on the same side of the street appear to have no front yard setback.

To address the issue described above, we have submitted an Application for a Variance to the Zoning Board of Appeals under separate cover.

Submitted with this letter, please find the following:

A. A set of 11 sheets of drawings prepared by Gotham Design & Community Development Ltd., under the supervision of Laura Wakefield, Registered Architect, dated as Submitted for a Building Permit September 28, 2021.

B. A fully executed Building Permit Application.

C. A check in the amount of $200 made payable to the Village of Hastings-on-Hudson.

As noted above, an Application for a Variance has been submitted for this same project under separate cover.

Please let us know if there is anything else that you need from us to process this Application and issue the required Building Permit.

Thank you for your time and attention,

Paddy Steinschneider
As Agent for Jeremy and Samantha Wertheim, Property Owner

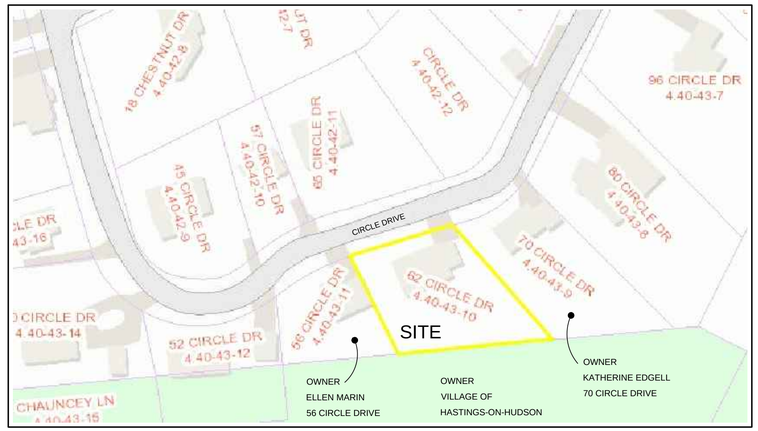
WERTHEIM RESIDENCE

62 CIRCLE DRIVE

HASTINGS-ON-HUDSON N.Y. 10706

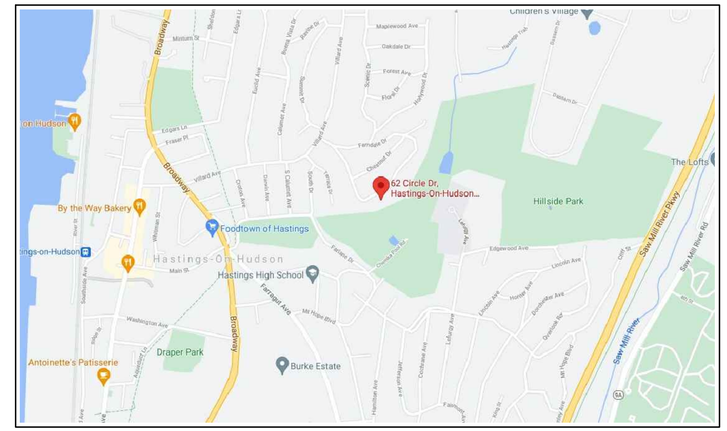
N

AERIAL LOCATION MAP
NOT TO SCALE



N

VICINITY MAP
NOT TO SCALE



N

SITE LOCATION MAP
NOT TO SCALE

Village of Hastings on Hudson
Building Department
7 Maple Ave. Hastings on Hudso, NY 10706
(914) 478-3400 ext. 613

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 10/3/2016)													
Location: Village of Hastings on Hudson													Zip Code: 10706
	Wind Design					Subject to Damage From							
Ground Snow Load	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone	Seismic Design Category (RCNY Only)	Weathering	Frost Line Depth	Termite	Climate Zone	Ice Barrier Underlayment Reqd	Flood Hazards	Air Freezing Index	Mean Annual Temp
30	*Special Wind Region	NO	Yes	NO	C	Severe	42"	Moderate to Heavy	4A	YES	**FIRM COMMUNITY-PANEL MAP# 36119C0201F EFFECTIVE DATE: 9-28-2007	2000	51.6

* 115 MPH to 120 MPH, The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

** State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 or 13+5	8/13	19	10/13	10, 2 FT	10/13
TABLE R402.1.4 EQUIVALENT U-FACTORS										
4A	0.35	0.55		0.026	0.05	0.098	0. 047	0.047	0.059	0.065

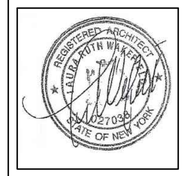
CODE COMPLIANCE NOTES:

1. ALL PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE PERFORMED AND COMPLETED IN FULL COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE, NOVEMBER 2019 EDITION.
2. ALL ELECTRICAL WORK HAS BEEN DESIGNED AND SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE NFPA 70 2017 EDITION.
3. ALL PLUMBING WORK HAS BEEN DESIGNED AND SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE RESIDENTIAL BUILDING CODE, NOVEMBER 2019 EDITION.
4. ALL MECHANICAL WORK HAS BEEN DESIGNED AND SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE RESIDENTIAL BUILDING CODE, NOVEMBER 2019 EDITION.
5. THE PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE PERFORMED AND COMPLETED IN FULL COMPLIANCE WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE – RESIDENTIAL PROVISIONS, LATEST EDITION. BY AFFIXING A SEAL AND SIGNING THIS SET OF CONSTRUCTION DOCUMENT, THE REGISTERED DESIGN PROFESSIONAL HEREBY ATTESTS THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE CODE.
6. THIS BUILDING IS TYPE 5B CONSTRUCTION.
7. THIS BUILDING'S USE IS OCCUPANCY CLASSIFICATION R–3.

LIST OF DRAWINGS

		BUILDING DEPARTMENT 07-20-2021	ZONING DETERMINATION 08-05-2021	BUILDING PERMIT 08-20-2021	BUILDING PERMIT 09-24-2021
CS	LIST OF DRAWINGS,LOCATION MAPS, CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA	● 07-20-2021	● 08-05-2021	● 09-28-2021	● 09-28-2021
GN	GENERAL NOTES , GREEN CODE COMPLIANCE NOTES DOOR AND WINDOW SCHEDULES	● 07-20-2021		● 09-28-2021	● 09-28-2021
TE	BUILDING THERMAL ENVELOPE NOTES AND DETAILS	● 07-20-2021		● 09-28-2021	● 09-28-2021
EX - 1	EXISTING CELLAR AND FIRST FLOOR PLANS	● 07-20-2021	● 08-05-2021	● 09-28-2021	● 09-28-2021
EX - 2	EXISTING ELEVATIONS	● 07-20-2021	● 08-05-2021	● 09-28-2021	● 09-28-2021
A - 1	EXISTING AND PROPOSED SITE PLANS, ZONING TABLE	● 07-20-2021	● 08-05-2021	● 09-28-2021	● 09-28-2021
A - 1.1	EROSION CONTROL AND STORM DRAINAGE PLAN, NOTES	● 07-20-2021		● 09-28-2021	● 09-28-2021
A-1.2	SITE DETAILS	● 07-20-2021		● 09-28-2021	● 09-28-2021
A-2	CELLAR FLOOR DEMOLITION PLAN, CELLAR FLOOR - PROPOSED WORK PLAN	● 07-20-2021	● 08-05-2021	● 09-28-2021	● 09-28-2021
A-2.1	FIRST FLOOR PLAN DETAIL SECTIONS INTERIOR ELEVATION	● 07-20-2021	● 08-05-2021	● 09-28-2021	● 09-28-2021
A-3	ELEVATIONS - PROPOSED WORK	● 07-20-2021	● 08-05-2021	● 09-28-2021	● 09-28-2021

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED , THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT



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WARNING :
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT , ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.

PROJECT TITLE:
WERTHEIM RESIDENCE
62 CIRCLE DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2105**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

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SHEET TITLE:
COVER SHEET

DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE: **AS NOTED**	CHECKED BY: **PRS**

CS

PROJECT DESCRIPTION

1. THIS PROJECT CONSISTS OF TWO COMPONENTS:

A. THE RENOVATION OF THE EXISTING CELLAR, WHICH IS FINISHED SPACE WITH EXISTING DOORS AND WINDOWS FACING THE BACK YARD. THE INTERIOR SPACE WILL BE RECONFIGURED AND NEW EXTERIOR DOORS AND WINDOWS INSTALLED. THE PRIMARY STRUCTURE OF THE HOUSE WILL NOT BE CHANGED WITH ONE POSSIBLE EXCEPTION: FOLLOWING THE REMOVAL OF THE INTERIOR FINISHES ON THE EXTERIOR WALL FACING THE REAR YARD, WHETHER THAT WALL IS ACTUALLY STRUCTURAL OR NOT WILL BE DETERMINED. IF IT IS NOT, THE WALL WILL BE REMOVED AND A NEW WALL BUILT UNDER THE EXTERIOR WALL ABOVE, WHICH IS CURRENTLY SUPPORTED BY POSTS ON PIERS WHICH WERE INSTALLED IN A PREVIOUS RENOVATION. ALL INTERIOR LIGHTING IN THE RENOVATED CELLAR WILL BE REPLACED WITH HIGH EFFICIENCY LIGHTING FIXTURES. ALL NEW AND EXPOSED EXISTING EXTERIOR WALLS WILL BE FULLY INSULATED TO CURRENT CODE REQUIREMENTS. A NEW HIGH EFFICIENCY HEAT PUMP HEATING AND COOLING SYSTEM WILL BE INSTALLED FOR THE CELLAR SPACE.

B. A FRONT PORCH WILL BE CREATED ON THE HOUSE FACING THE STREET. THIS PORCH IS INTENDED TO PROVIDE COVER FOR PEOPLE AT THE FRONT DOOR IN INCLEMENT WEATHER AND TO IMPROVE THE APPEARANCE OF THE EXISTING HOUSE. WHILE IT IS ONLY A MINIMUM DEPTH OF FIVE FEET, THIS PORCH MAKES A SIGNIFICANT POSITIVE DIFFERENCE FOR THE CHARACTER OF THE HOUSE. THE FUNCTIONALITY OF THE FRONT PORCH IS INCREASED BY THE NEW WALKWAY THAT IS PROPOSED TO REPLACE THE EXISTING WALKWAY, WHICH IS IN NEED OF REPAIR, BEING AT THE SAME ELEVATION AS THE PORCH FLOOR. IN ADDITION TO THE IMPROVEMENTS EXPLAINED ABOVE, THIS PORCH WALKWAY STRUCTURE IS ALSO INTENDED TO CREATE A BARRIER TO STORM WATER THAT CURRENTLY SWEEPS OVER THE EXISTING CURB AND INTO THE FRONT YARD, WHERE IT REACHES THE FRONT OF THE HOUSE, CREATING A MOISTURE PROBLEM IN THE CELLAR. THE YARD BETWEEN THE WALKWAY AND THE PROPERTY LINE WILL BE REGRADED SO THAT THE STORM WATER THAT BREACHES THE CURB IS PREVENTED FROM REACHING THE HOUSE AND INSTEAD IS DIRECTED TOWARDS THE SIDE YARD. A STORM WATER MANAGEMENT PLAN HAS BEEN PROVIDED AND A RETENTION / DETENTION SYSTEM IS PROPOSED, WHICH WILL PICK UP THE STORM WATER FROM THE NEW DOWNSPOUT ON THE NEW PORCH AT THE FRONT OF THE HOUSE AND THE SURFACE FLOW. TWO YARD DRAINS ARE PROPOSED ON THE FRONT OF THE HOUSE TO CAPTURE THE STORM WATER AND DIRECT IT TO THE SUBSURFACE DRAINAGE CHAMBERS. WITH THE EXCEPTION OF THE VOLUME OF WATER THAT CURRENTLY PENETRATES INTO THE CELLAR, THIS SYSTEM HAS BEEN DESIGNED TO CONTROL THE FLOW OF STORM WATER SO THAT IT DISCHARGES TO THE SAME LOCATION AS EXISTING, BUT IN A MORE CONTROLLED WAY. THE INCREASE IN IMPERVIOUS SURFACE AREA IS ONLY 185 SQUARE FEET, WHICH WILL GENERATE 139 CUBIC FEET OF STORM WATER TO BE MANAGED, BUT THE SYSTEM HAS BEEN SIZED TO PROVIDE STORAGE FOR 270 CUBIC FEET, WHICH DOES NOT FACTOR IN THE PERCOLATION RATE OF THE SOIL, WHICH WILL MANAGE MORE THAN 400 CUBIC FEET OF WATER IN A 24 HOUR 100 YEAR STORM EVENT. THE GOAL IS TO BETTER MANAGE THE VOLUME OF WATER THAT CURRENTLY COMES OFF THE STREET ON TO THIS PARCEL OF PROPERTY.
ALL EXTERIOR LIGHTING WILL BE COMPLIANT WITH DARK SKY POLICIES.

GENERAL NOTES

2. THESE NOTES PERTAIN TO THE ATTACHED DRAWINGS.

3. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS AND CONTRACT FOR CONSTRUCTION, COMPRISE THE CONTRACT DOCUMENTS FOR THIS PROJECT.

4. THE DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS COMPLEMENTARY. ALL LABOR, MATERIALS, EQUIPMENT, AND APPURTENANCES NECESSARY FOR THE EXECUTION OF THE WORK, IF SHOWN ON THE DRAWINGS BUT NOT DESCRIBED IN THE SPECIFICATIONS, OR IF DESCRIBED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS, AND ANY WORK WHICH IS NECESSARY TO COMPLETE THE WORK WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS, IS TO BE EXECUTED IN THE SAME MANNER AS THE OTHER PORTIONS OF THE CONTRACT. FOR VERIFICATION CONTACT GOTHAM DESIGN.

5. ALL CONSTRUCTION WORK MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, BUILDING CODES, AND REQUIREMENTS OF THE VILLAGE OF HASTINGS ON HUDSON, THE COUNTY OF WESTCHESTER, THE STATE OF NEW YORK, THE FEDERAL GOVERNMENT, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK TO BE PERFORMED.

6. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, NOVEMBER 2019 EDITION, AND THE PRESCRIPTIVE ENERGY REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

7. EACH CONTRACTOR PERFORMING WORK ON THIS PROJECT IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THEIR WORK, FOR COORDINATING AND SCHEDULING ALL REQUIRED INSPECTIONS OF THEIR WORK, AND OBTAINING ALL REQUIRED APPROVALS OF THEIR WORK FROM ALL AUTHORITIES HAVING JURISDICTION.

BUILDING CODE CRITERIA

8. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - HASTINGS ON HUDSON NY

9. CONSTRUCTION TYPE: TYPE 5B - COMBUSTIBLE

10. OCCUPANCY: GROUP R-3: ONE FAMILY RESIDENCE

11. FIRE RATINGS:
EXTERIOR BEARING WALLS 3/4 HOUR (MODIFIED UL No. U326)
INTERIOR BEARING WALLS 3/4 HOUR (UL No. U317)
COMMON WALLS 2 HOUR (UL 263)
FLOOR CONSTRUCTION 1 HOUR (UL No. L537)
ROOF CONSTRUCTION 3/4 HOUR

THE REQUIREMENTS FOR FIRE RATINGS OF THESE COMPONENTS IN TYPE 5B CONSTRUCTION IS 0 HOURS. THE FIRE RATINGS NOTED ABOVE EXCEED THE REQUIREMENTS.

ALL INTERIOR AND EXTERIOR BEARING WALL, FLOOR, AND ROOF ASSEMBLIES SHALL BE FIRE BLOCKED AS REQUIRED BY CODE.

12. DESIGN LOADS: ROOF DL = 10 PSF LL = 45 PSF
FLOOR DL = 25 PSF LL = 40 PSF

13. TAPE AND COMPOUND ALL INSIDE GYPSUM BOARD CORNERS; CORNER BEAD AND COMPOUND ALL OUTSIDE GYPSUM BOARD CORNERS; J-BEAD AND COMPOUND ALL TERMINATION EDGES OF GYPSUM BOARD WHERE EXPOSED. ALL GYPSUM BOARD WORK IS TO BE IN ACCORDANCE WITH GYPSUM CONSTRUCTION HANDBOOK, UNITED STATES GYPSUM, LATEST EDITION.

SCOPE OF WORK

14. THE CONTRACTOR IS TO FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED FOR COMPLETION OF THIS PROJECT AS INDICATED ON THE CONTRACT DOCUMENTS EXCEPT AS IDENTIFIED AS EXCLUDED IN THE SPECIFICATIONS OR NOTED AS NIC (NOT IN CONTRACT) ON THE DRAWINGS.

15. THE ONLY ITEMS TO BE EXCLUDED FROM THE BID PRICE FOR THE CONTRACTED SCOPE OF WORK ARE THOSE IDENTIFIED IN THE BID DOCUMENTS AND IN THE SPECIFICATIONS.

16. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE QUALITY STANDARDS IDENTIFIED IN THE CORRESPONDING SECTION OF THE SPECIFICATIONS.

17. EACH CONTRACTOR IS TO FURNISH ALL MATERIALS, LABOR, TOOLS, MACHINERY, SCAFFOLDING, EQUIPMENT, APPURTENANCES, AND APPLIANCES NECESSARY FOR THE PROPER HANDLING AND EXECUTION OF THE WORK.

18. EACH CONTRACTOR WILL HANDLE AND STORE THE MATERIALS IN A SECURED AREA, PROTECTED FROM ADVERSE CONDITIONS, IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, SO AS TO MAINTAIN A SAFE AND SECURE WORK SITE, AND SO AS TO PROTECT THE PREMISES AND MATERIALS FROM DAMAGE OR DETERIORATION.

SITE WORK

19. ALL SITE WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS INCLUDING THE SPECIFIC REQUIREMENTS OF THE VILLAGE OF HASTINGS ON HUDSON BUILDING DEPARTMENT.

20. STORM WATER RUNOFF FROM THE PROPOSED ROOF AREAS WILL BE COLLECTED IN ROOF GUTTERS. THESE GUTTERS WILL CONNECT VIA DOWNSPOUTS TO THE EXISTING STORM DRAINAGE SYSTEM.

21. ALL EXCAVATED MATERIAL, EXCEPT THAT WHICH WILL BE REQUIRED FOR BACKFILLING, WILL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL. IF STOCKPILING IS NECESSARY, MATERIAL MAY ONLY BE PLACED WHERE INDICATED BY GOTHAM DESIGN AND MUST BE PROTECTED TO PROHIBIT EROSION OR SEDIMENTATION INTO THE EXISTING STREAM, TO ADJACENT PROPERTIES, PUBLIC STREETS, OR SIDEWALKS, AND MAY NOT BE PLACED UNDER THE CANOPY OF TREES.

22. ALL EXISTING TREES ON THE PROPERTY SHALL BE PROTECTED AT ALL TIMES AND TEMPORARY FENCING WILL BE INSTALLED AROUND TREES ADJACENT TO THE WORK AREA AT THE DRIP LINE.

23. NO MATERIALS OR DEBRIS MAY BE STOCKPILED WITHIN THE DRIP LINE OF ANY TREE AT ANY TIME.

24. IN THE EVENT IT BECOMES NECESSARY TO REMOVE ANY TREES ON THE PROPERTY, ALL REQUIRED REMOVAL PERMITS SHALL BE OBTAINED PRIOR TO ANY TREE BEING JEOPARDIZED.

COORDINATION

25. USE LABELED DIMENSIONS ONLY. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. FOR CLARIFICATION, CONTACT GOTHAM DESIGN.

26. IN THE EVENT OF DIMENSIONAL DISCREPANCIES, CONFLICTS OR MISSING DIMENSIONS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.

27. IN THE EVENT OF DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS, CONSTRUCTION CONDITIONS, AND THE CONTRACT DOCUMENTS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.

28. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LOCATION OF ALL FRAMING MEMBERS AND SYSTEMS TO BE INSTALLED INCLUDING PLUMBING, HEATING, AIR CONDITIONING, ELECTRICAL, FIXTURES AND OTHER EQUIPMENT TO AVOID CONFLICTS AND UNNECESSARY OR EXCESSIVE NOTCHING, CUTTING, OR OTHER DISTURBANCE OF STRUCTURAL COMPONENTS.

29. DO NOT CLOSE-OFF OR OBSTRUCT DRIVEWAYS, STREETS, WALKS, OR OTHER FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, AS REQUIRED BY GOVERNING REGULATIONS.

30. CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND TO AVOID DISTURBANCE TO THE EXISTING RESIDENCE.

31. ALL CONTRACTORS FURNISHING WORK MUST COOPERATE WITH THE OWNER AND WITH EACH OTHER TO MAINTAIN AN EFFICIENT AND SAFE JOB SITE.

32. MAINTAIN EXISTING UTILITIES. DO NOT DISRUPT UTILITY SERVICES TO THE EXISTING RESIDENCE WITHOUT APPROPRIATE AUTHORIZATION FROM UTILITY COMPANIES. IF DISRUPTION OF UTILITIES IS NECESSARY, PROVIDE TEMPORARY SERVICE AS REQUIRED. IN THE EVENT UTILITIES MUST BE DISCONNECTED AND SERVICES INTERRUPTED, CONTRACTOR MUST PROVIDE 48 HOUR ADVANCE NOTICE TO THE OWNER AND OTHER CONTRACTORS FURNISHING SERVICES.

33. CONTRACTORS FURNISHING WORK MUST PROTECT ADJACENT EXISTING SURFACES AND NEW WORK AT ALL TIMES. DAMAGES MUST BE CORRECTED IN A TIMELY FASHION AT NO EXPENSE TO THE OWNER OR OTHER CONTRACTORS. EACH CONTRACTOR IS RESPONSIBLE FOR PROTECTING THEIR WORK UNTIL ACCEPTANCE BY THE OWNER.

DISPUTES

34. GOTHAM DESIGN HAS THE AUTHORITY TO NEGOTIATE SETTLEMENTS IN DISPUTES CONCERNING THE OBLIGATIONS OR WORK TO BE PERFORMED EITHER BETWEEN THE CONTRACTORS OR BETWEEN THE CONTRACTORS AND THE OWNER.

35. GOTHAM DESIGN HAS THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. WORK REJECTED BY GOTHAM DESIGN DUE TO FAILURE TO CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS MUST BE CORRECTED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

36. IN MATTERS REGARDING THE QUALITY, QUANTITY, AND AESTHETIC EFFECT OF THE WORK, GOTHAM DESIGN'S DECISIONS WILL BE CONSIDERED FINAL.

ERRORS AND OMISSIONS

37. THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ERRORS AND OMISSIONS IN THE WORK AND FOR FAILURE TO PERFORM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

38. THE CONTRACTORS' SERVICES MUST BE PERFORMED IN A SKILLFUL AND COMPETENT MANNER IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE CONSTRUCTION INDUSTRY AND WITH THE REQUIREMENTS OF THOSE AGENCIES HAVING JURISDICTION OR OTHERWISE IDENTIFIED IN THE SPECIFICATIONS.

39. THE CONTRACTOR WILL PROVIDE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE. WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE MUST BE FURNISHED AND COMPLETED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

40. THE CONTRACTOR MUST REPLACE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE INSTALLED IMPROPERLY OR SUBSTANDARD WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

CHANGES

41. ANY CHANGES IN THE ACCEPTED CONTRACT DOCUMENTS OR IN THE COMPLETED WORK WHICH WILL EFFECT THE SCOPE OF WORK, QUALITY AND AESTHETIC EFFECT OF THE WORK, OR THE CONTRACT PRICE REQUIRES A CHANGE ORDER APPROVED BY GOTHAM DESIGN. THIS CHANGE ORDER MUST FIRST BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO BEING EXECUTED BY THE CONTRACTOR.

42. NO CHANGES, ALTERATIONS, OR MODIFICATIONS TO THE DESIGN, THE CONTRACT DOCUMENTS, OR THE PROPOSED OR COMPLETED WORK ARE PERMISSIBLE BY ANY PARTY, INCLUDING THE OWNER AND THE CONTRACTOR, WITHOUT A WRITTEN CHANGE ORDER APPROVED BY GOTHAM DESIGN.

SUBSTITUTIONS

43. SUBSTITUTIONS OF MATERIALS, PRODUCTS, OR METHODS ARE PERMISSIBLE ONLY WITH PRIOR WRITTEN AUTHORIZATION FROM GOTHAM DESIGN.

44. GOTHAM DESIGN WILL CONSIDER REQUESTS FOR SUBSTITUTIONS UP TO FIVE DAYS PRIOR TO INITIATION OF WORK.

CLEAN UP

45. CONTRACTOR SHALL PROTECT THE EXISTING RESIDENCE FROM DUST INFILTRATION AND DAMAGE FROM DEBRIS WITH TEMPORARY BARRIERS AND PROTECTION BOARDS.

46. EACH CONTRACTOR IS RESPONSIBLE FOR CLEANING THEIR WORK AREAS AND REMOVING ALL DEBRIS ASSOCIATED WITH THEIR WORK FROM THE PREMISES AT THE END OF EACH WORK DAY. ALL DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

47. EACH CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT THEIR WORK AREA IS LEFT BROOM CLEAN AT THE END OF EACH WORK DAY.

SAFETY REQUIREMENTS

48. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE SAFETY REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION INCLUDING OSHA.

49. EACH CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL LADDERS, SCAFFOLDS, OR OTHER EQUIPMENT USED UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK.

RESPONSIBILITY

50. EACH CONTRACTOR AND SUBCONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ACCIDENTS RESULTING IN INJURY TO PERSONS OR DAMAGE TO PROPERTY CAUSED BY THE FAULT OR NEGLIGENCE OF THEMSELVES, THEIR AGENTS, EMPLOYEES, OR SUBCONTRACTORS.

51. EACH CONTRACTOR IS RESPONSIBLE FOR ALL PROPERTY INCLUDING MATERIALS, EQUIPMENT, TOOLS, AND APPURTENANCES DELIVERED TO THE JOB SITE UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK WHICH IS STOLEN FROM THE PROPERTY OR DAMAGED ON THE PREMISES.

52. EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER AND GOTHAM DESIGN HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR OR MAY BE ALLEGED TO HAVE OCCURRED DURING THE PERFORMANCE OF THE WORK AS A RESULT, EITHER DIRECTLY OR INDIRECTLY, OF THE CONTRACTOR'S FAULT OR NEGLIGENCE OR THAT OF THEIR AGENTS, EMPLOYEES, OR SUB CONTRACTORS AND WHETHER OR NOT SUCH INJURY OR DAMAGE IS ALSO ATTRIBUTABLE TO THE OWNER'S FAULT OR NEGLIGENCE.

53. GOTHAM DESIGN AND ITS CONSULTANTS HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE JOB SITE INCLUDING, BUT NOT LIMITED TO, ASBESTOS PRODUCTS, POLYCHLORIDE BIPHENYL (PCB), LEAD, OR OTHER TOXIC SUBSTANCES.

54. IN THE EVENT THAT THE CONTRACTOR DISCOVERS HAZARDOUS MATERIALS ON THE SITE, ALL WORK SHALL BE HALTED IMMEDIATELY AND THE REMOVAL OR CONTAINMENT OF THE HAZARDOUS MATERIAL SHALL BE CONDUCTED IN STRICT COMPLIANCE WITH THE REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

55. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING PROPER HANDLING METHODS FOR ALL MATERIALS ON THE SITE AND FOR INSTRUCTING ALL WORKERS IN PRECAUTIONS, RISKS, AND REQUIREMENTS FOR THE PROPER HANDLING OF POTENTIALLY HAZARDOUS MATERIALS IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

INSURANCE

56. EACH CONTRACTOR AND SUBCONTRACTOR MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT COVERING FROM COMMENCEMENT THROUGH COMPLETION OF ALL WORK. EACH CONTRACTOR AND SUBCONTRACTOR MUST FURNISH A BINDER TO THE OWNER FROM THE CONTRACTOR'S INSURANCE AGENT INDICATING THE TYPE AND AMOUNTS OF COVERAGE. THE MUNICIPALITY, THE OWNER, AND GOTHAM DESIGN SHALL BE NAMED AS "ADDITIONAL INSURED" ON THE BINDER.

57. BY ACCEPTING THE CONTRACT TO WORK ON THIS PROPERTY, THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, KEEP, AND SAVE HARMLESS THE OWNER, THE PROPERTY, AND GOTHAM DESIGN AND THEIR REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, RELATED TO, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS UP TO THE FULL EXTENT WHICH WOULD OTHERWISE RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.

58. EACH CONTRACTOR AND SUBCONTRACTOR MUST PROVIDE AND MAINTAIN WORKER'S COMPENSATION INSURANCE IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS FOR ALL EMPLOYEES FURNISHING LABOR FOR THIS PROJECT. NO ONE MAY WORK ON THIS PROJECT WITHOUT BEING COVERED BY WORKER'S COMPENSATION INSURANCE. THE WORKER'S COMPENSATION POLICY SHALL BE INCLUDED ON THE INSURANCE BINDER.

59. CERTIFICATES OF INSURANCE ACCEPTABLE TO THE OWNER MUST BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.

60. THE OWNER MUST OBTAIN AND MAINTAIN LIABILITY INSURANCE AS WILL PROTECT HIM FROM HIS CONTINGENT LIABILITY FOR INJURY AND DAMAGES WHICH MAY ARISE DURING THE WORK OF THIS PROJECT AND FROM ANY OTHER LIABILITY FOR WHICH THE CONTRACTORS ARE REQUIRED TO BE INSURED UNDER THE PROVISIONS OF THE CONTRACT.

61. THE OWNER MUST OBTAIN AND MAINTAIN FIRE INSURANCE INCLUDING EXTENDED COVERAGE AND MALICIOUS MISCHIEF COVERAGE ON THE STRUCTURE AND CONTENTS TO 100 PERCENT OF THE INSURABLE VALUE THEREOF, PROTECTING THE OWNER'S INTEREST, THE CONTRACTORS' INTERESTS, AND THE SUBCONTRACTORS' INTERESTS. INTEREST, AS USED HEREIN, INCLUDES EACH PARTY'S PROPERTY AND THE PROPERTY OF OTHERS FOR WHICH THEY ARE RESPONSIBLE, INCLUDING ALL MATERIALS, EQUIPMENT, AND SUPPLIES.

WAIVER OF LIENS

62. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WAIVER OF LIEN TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN COVERING ALL LABOR, MATERIALS, AND OTHER EXPENSES AT THE TIME COMPENSATION IS RECEIVED FOR SAME.

63. SUBSEQUENT PAYMENTS TO CONTRACTORS WILL NOT BE PAID UNTIL AN ACCEPTABLE WAIVER OF LIENS HAS BEEN RECEIVED FOR PREVIOUS WORK OF THE SAME CONTRACTOR.

64. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING WAIVERS OF LIENS FROM ALL SUPPLIERS AND SUBCONTRACTORS FURNISHING LABOR AND MATERIALS THROUGH THE GENERAL CONTRACTOR.

65. A RELEASE OF ALL LIENS TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN SHALL BE PROVIDED BY THE CONTRACTOR AT THE TIME OF FINAL PAYMENT.

GLAZING NOTES:

1. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 18 INCHES OF ANY FLOOR.
2. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION AND WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
EXCEPTION: 1. DECORATIVE GLAZING 2. THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER THE DOOR AND GLAZING. 3.WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH.
3. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING IN ALL HAZARDOUS LOCATIONS. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.
EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES MEASURED HORIZONTALLY, AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL OR FROM THE EDGE OF A SHOWER, SAUNA OR STEAM ROOM.
4. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING THAT IS WITHIN 60 INCHES FROM THE BOTTOM OF ANY STAIR AND LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR OR LANDING. FOR MORE INFORMATION REFER TO SECTION 308 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (NOVEMBER 2019 EDITION) .

CONSTRUCTION SEQUENCE NOTES:

1. PRIOR TO INITIATING ANY WORK AT THE SITE, THE GENERAL CONTRACTOR SHALL CONDUCT A SITE MEETING WITH THE CONSTRUCTION MANAGER, PROJECT ENGINEER, AND BUILDING INSPECTOR TO DISCUSS THE SCHEDULE AND CONFIRM SITE CONDITIONS.

2. INSTALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING THE FOLLOWING:
A. PLACE ORANGE CONSTRUCTION FENCING AROUND ANY AREAS TO BE USED FOR EX–FILTRATION TO AVOID COMPACTION.
B. CREATE A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
C. ESTABLISH A CONSTRUCTION STAGING AREA.
D. INSTALL TREE PROTECTION ON TREES AS NOTED ON PLANS AND RIBBON TREES SCHEDULED FOR REMOVAL.
E. REMOVE SELECTIVE VEGETATION FOR INSTALLATION OF SILT FENCE.
F. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.

3. THE BUILDING INSPECTOR AND VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES, IF DEEMED NECESSARY TO MITIGATE UNFORSEEN EROSION OF DISTURBED SOILS AND SILTATION.

4. MAINTAIN THE SITE FREE OF DEBRIS AT ALL TIMES. REMOVE DUMPSTERS WITHIN 24 HOURS OF BEING FILLED.

5. DURING CONSTRUCTION, MAINTAIN ALL EROSION AND SEDIMENTATION MEASURES AT ALL TIMES. INSPECT SILT FENCES AND STRAWBALE BARRIERS WEEKLY, IN ADVANCE OF FORECAST STORMS, AND FOLLOWING STORM EVENTS. MAINTAIN, REPAIR, AND AUGMENT AS NECESSARY.

6. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS. TEMPORARILY STABILIZE TOPSOIL STOCKPILES WITH HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH TARPAULINS NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND TOE OF SLOPE.

7. REMOVE WINDOWS, PLUMBING FIXTURES, CABINETS, AND APPLIANCES AND DONATE TO AGENCIES THAT CAN DISTRIBUTE THESE TO OTHERS IN NEED. SECURE WALL OPENINGS WITH PLYWOOD AND POLYETHYLENE AGAINST WEATHER AND UNWARRANTED ACCESS.

8. GUT CELLAR WALL FINISHES, CEILING FINISHES, AND FLOOR FINISHES.

9. REMOVE THE EXISTING RETAINING WALL.

10. ROUGH GRADE SITE.

11. SURVEY AND STAKE THE PROPOSED EXCAVATION FOR THE STORMWATER DRAINAGE SYSTEM AND FOUNDATIONS.

12. EXCAVATE AND INSTALL SUBSURFACE STORM DRAINAGE SYSTEM LOCATED IN THE WEST SIDE YARD IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. INSTALL INLET PROTECTION MEASURES TO PREVENT SILT FROM ENTERING SYSTEM DURING CONSTRUCTION.

13. REMOVE EXISTING CLAPBOARD SIDING ON FRONT OF HOUSE ALONG THE TOP OF FOUNDATION FROM CORNER TO CORNER. INSPECT STRUCTURE FOR DETERIORATED MATERIAL AND REPAIR AS NECESSARY. INSTALL NEW SHEATHING.

14. EXCAVATE FROM CORNER TO CORNER ALONG THE FRONT OF THE HOUSE TO THE EXISTING FOOTING. IT IS ANTICIPATED THAT THIS WILL REQUIRE DIGGING TO A DEPTH OF AT LEAST 6 FEET. EXCAVATE FOR THE PROPOSED PORCH FOUNDATION.

15. APPLY A WATERPROOFING MEMBRANE AND PROTECTION BOARD FROM THE TOP OF THE EXISTING FOOTING TO THE PROPOSED FINISHED GRADE. APPLY A PEEL AND STICK MEMBRANE ON THE NEW SHEATHING, LAPPING ONTO THE NEW PROTECTION BOARD. INSTALL ALUMINUM FLASHING FROM THE FIRST FLOOR LEVEL TO 8 INCHES BELOW THE TOP OF THE EXISTING FOUNDATION.

16. CONSTRUCT THE PROPOSED FOOTING AND FOUNDATION WALL FOR THE NEW PORCH.

17. CONFIRM CONDITION OF FOOTING DRAIN ON THE FRONT OF THE HOUSE AND REPLACE OR REPAIR AS REQUIRED. INSTALL PERFORATED DRAINAGE PIPES ON GRAVEL BASE WRAPPED WITH FILTER FABRIC AND BACKFILL FOUNDATION FIRST WITH GRAVEL AND THEN WITH SUITABLE FILL TO ROUGH GRADE.

18. CONSTRUCT THE REINFORCED CONCRETE SLAB FOR THE PORCH AND THE FRONT WALK. INSTALL PAVERS ON PORCH AND WALKWAY SLAB.

19. COMPLETE CONSTRUCTION OF THE FRONT PORCH.

20. INSTALL DRAINAGE WORK TRIBUTARY TO EX–FILTRATION SYSTEMS FROM DRIVEWAY AND PROPOSED STRUCTURES. INSTALL INLET PROTECTION MEASURES TO PREVENT SILT FROM ENTERING SYSTEM DURING CONSTRUCTION.

21. AFTER DETERMINING THE STATUS OF THE FOUNDATION STRUCTURE ON THE BACK OF THE HOUSE, PROCEED WITH EITHER REMOVING THE EXISTING CONCRETE BLOCK FOUNDATION WALL, INSTALLING A GRADE BEAM AND BUILDING A NEW WOOD FRAMED FOUNDATION WALL ALIGNED WITH THE EXISTING POSTS, OR MAKE THE MODIFICATIONS TO THE EXISTING CONCRETE FOUNDATION WALL TO ACCOMMODATE THE NEW WINDOWS AND DOORS.

22. CONTINUE WITH CONSTRUCTION OF THE RENOVATED LOWER LEVEL

23. FOLLOWING COMPLETION OF THE FOUNDATIONS, WALKWAYS, AND SITE WORK, PREPARE AN AS–BUILT SURVEY AND SUBMIT TO THE BUILDING INSPECTOR'S OFFICE.

24. RESTORE THE ROADWAY, CURB, AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT–OF–WAY PERFORMED TO THE SATISFACTION OF THE VILLAGE BUILDING INSPECTOR AND DEPARTMENT OF PUBLIC WORKS.

25. INSTALL 4" – 6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPING PLANTS IN ACCORDANCE WITH THE APPROVED LANDSCAPING PLAN.

26. SPREAD SALT HAY OVER SEEDED AREAS AND MAINTAIN ALL PLANTED AREAS UNTIL MATERIAL HAS TAKEN ROOT AND BECOME STABLE.

27. CLEAN PAVEMENT AND DRAIN LINES. CLEAN EX–FILTRATION SYSTEMS. ENSURE GRASS STAND IS ACHIEVED.

28. AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH VEGETATION, REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES.

29. SUBMIT "AS–BUILT" DRAWINGS OF THE COMPLETED WORK INCLUDING ALL SITE IMPROVEMENTS AND A FINAL SURVEY SHOWING THE IMPROVEMENTS TO THE BUILDING DEPARTMENT.

30. OBTAIN THE CERTIFICATE OF OCCUPANCY FOLLOWING FINAL INSPECTION BY THE BUILDING INSPECTOR.

CERTIFICATION

66. I HAVE REVIEWED THESE DRAWINGS THOROUGHLY AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS CONFORM TO AND COMPLY WITH THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, NOVEMBER 2019 EDITION AND THE PRESCRIPTIVE ENERGY REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AND ALL AUTHORITIES HAVING JURISDICTION.

DOOR SCHEDULE WERTHEIM 62 CIRCLE DRIVE HASTINGS-ON-HUDSON N.Y. 10706

INTERIOR

SYM	MANUF	TYPE	TYPE	SIZE	ROUGH OPENING	QUANTITY	NOTES
D	TRUSTILE	SWINGING DOOR	MDF TS 2020 SOLID CORE	3'-0" x 6'-8" x 1 3/4"	3'-2" x 6'- 10 1/2"	1	
E	TRUSTILE	SWINGING DOOR	MDF TS 2020 SOLID CORE	3'-0" x 6'-8" x 1 3/4"	3'-2" x 6'- 10 1/2"	1	
F	TRUSTILE	SWINGING DOOR	MDF TS 2020 SOLID CORE	3'-0" x 7'-0" x 1 3/4"	3'-2" x 7'- 2 1/2"	1	3/4 HOUR FIRE RATED DOOR WITH SELF CLOSING MECHANISM
G	TRUSTILE	SWINGING DOOR	MDF TS 2020 SOLID CORE	(2) 1'-8" x 6'-8"x 1 3/8"	3'-6" x 6'- 10 1/2"	1	
H	TRUSTILE	SLIDING DOORS	MDF TS 2020 SOLID CORE	(4) 3'-0" x 6'-8" x 1 3/4"	12'-0" x 6'- 10 1/2"	1	

INTERIOR DOOR HARDWARE
"EMTEK"
PRIVACY SET - BATHROOMS AND BEDROOMS
PASSAGE SET - SINGLE DOOR CLOSETS
DUMMY PAIR - DOUBLE DOOR CLOSETS
HINGES TO MATCH HARDWARE FINISH

DOOR SCHEDULE WERTHEIM 62 CIRCLE DRIVE HASTINGS-ON-HUDSON N.Y. 10706

EXTERIOR

SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	GRILLES	NOTES
A	PELLA	CLAD INSWING FR. DOOR	CIFD 3882 R	3'- 3 " x 6'- 10"	1	INSULATED	0.29	NONE	
B	PELLA	CLAD SLID. PATIO DOOR	SPD 7282 OX	6'- 0" x 6'- 10"	1	INSULATED	0.29	NONE	
C	PELLA	CLAD SLID. PATIO DOOR	SPD 7282 XO	6'- 0" x 6'- 10"	1	INSULATED	0.29	NONE	

WINDOW SCHEDULE WERTHEIM 62 CIRCLE DRIVE HASTINGS-ON-HUDSON N.Y. 10706

SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	GRILLES	NOTES
1	PELLA	CLAD CASEMENT	CC 3547	3'- 0" x 4'-0"	2 (1L , 1 R)	INSULATED	0.28	NONE	EGRESS
2	PELLA	CLAD CASEMENT	CC 3571 3 W	8'- 10" x 6'-0"	1 L ,F, R	INSULATED	0.28	NONE	EGRESS, TEMPERED GLASS

PELLA WINDOWS AND DOORS - "LIFESTYLE SERIES " COLOR - TO MATCH EXISTING

EGRESS WINDOW:
THESE WINDOWS MEET OR EXCEED THE REQUIREMENTS OF SECTION R310.2.1 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
OPENINGS TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
THE NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24 INCHES.
THE NET CLEAR WIDTH OPENING SHALL NOT BE LESS THAN 20 INCHES.
THE SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

HASTINGS–ON–HUDSON GREEN CODE COMPLIANCE NOTES:

1. THESE NOTES FOLLOW THE HASTINGS–ON–HUDSON GREEN CODE ORDINANCE FOR SINGLE FAMILY HOMES, CHAPTER 160, ARTICLE III, PART 3 IN THE VILLAGE CODE.

2. THIS PROJECT DOES NOT INCLUDE A SCOPE THAT COULD HARNESS NATURAL RESOURCES AND WILL NOT OTHERWISE AFFECT ANY NATURAL RESOURCES, OTHER THAN A SMALL AREA TO BE REPLANTED AND A SMALL INCREASE IN STORMWATER, WHICH WILL BE CAPTURED AND MANAGED.

3. WHILE THIS PROJECT WILL NOT DISTURB 500 OR MORE SQUARE FEET OF LAND, A STORMWATER MANAGEMENT PLAN HAS BEEN PROVIDED AND A SUBSURFACE STORMWATER RETENTION/DETENTION SYSTEM CONSISTING OF CULTEX DRAINAGE STRUCTURES WILL BE PROVIDED. THE EXISTING STORMWATER SURFACE FLOW CAUSES ADVERSE CONDITIONS ON THE SITE AND THIS WILL BE CORRECTED. IN ADDITION TO THE STORMWATER SYSTEM, A VEGETATED SWALE WILL BE CREATE IN THE FRONT AND SIDE YARDS TO HELP MANAGE THE STORMWATER RUNOFF THAT CURRENTLY BREACHES THE CURB IN THE PUBLIC RIGHT–OF–WAY AND FLOWS TOWARDS THE HOUSE.

4. THIS PROJECT WILL INCREASE THE HARDSCAPE ON THE PROPERTY BY APPROXIMATELY 185 SQUARE FEET WITH CHANGES TO THE EXISTING WALKWAY AND THE ADDITION OF A FRONT PORCH ROOF. THIS HARDSCAPE IS ON THE NORTH SIDE OF THE HOUSE AND SUBSTANTIALLY IN SHADOW. THIS PROJECT WILL NOT INCREASE THE HEAT ISLAND AFFECT ON THE PROPERTY.

5. NO IRRIGATION IS INCLUDED IN THIS SCOPE OF WORK.

6. THE FRONT GARDEN AREA WILL BE REPLANTED WITH INDIGENOUS AND NONINVASIVE MATERIAL.

7. PROPOSED EXTERIOR LIGHTING FIXTURES HAVE BEEN SELECTED AND POSITIONED SO THAT THERE IS NO NIGHT SKY POLLUTION, LIGHT SPILLAGE UPWARD, OR BEYOND THE SITE BOUNDARIES.

8. ALL LIGHTING CONTROLS FOR EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 9.4.1.3 OF ANSI/ASHRAE/IESNA STANDARD 90.1–2007, WITHOUT AMENDMENTS.

9. THIS PROJECT DOES NOT INCLUDE CHANGES TO AN EXISTING HOT WATER BOILER. IF CHANGES ARE MADE TO THE EXISTING HOT WATER BOILER, THE BOILER SHALL BE A NATURAL GAS CONDENSING BOILER WITH A MINIMUM ANNUAL FUEL UTILIZATION EFFICIENCY ("AFUE") OF AT LEAST 92%.

10. A HIGH EFFICIENCY AIR TO AIR HEAT PUMP HEATING AND COOLING SYSTEM WILL BE INSTALLED FOR CONDITIONED SPACE IN THE CELLAR. ALL EQUIPMENT SHALL HAVE A SEASONAL ENERGY EFFICIENCY RATIO ("SEER") OF AT LEAST 16.

11. THIS PROJECT DOES NOT INCLUDE THE INSTALLATION OF NEW FIXTURES OR APPLIANCES. IF FIXTURES OR APPLIANCES ARE ADDED, THEY SHALL BE COMPLIANT WITH ENERGY STAR.

12. ALL HEATING AND COOLING SYSTEMS SHALL BE CONTROLLED WITH A PROGRAMMABLE THERMOSTAT THAT ALLOWS FOR A VARIETY OF TIME–OF–DAY AND SEASONAL SETTINGS.

13. THE PROPOSED HEATING AND COOLING SYSTEM PROPOSED FOR THE FINISHED CELLAR IS ZONED INDEPENDENTLY FROM THE HEATING AND COOLING ON THE OTHER FLOORS IN THE EXISTING HOUSE.

14. THE PROPOSED NEW TOILET SHALL A LOW FLUSH TOILET EQUAL TO OR LESS THEN 1.28 GALLONS PER FLUSH ("GPF").

15. THE PROPOSED NEW SHOWER HEAD SHALL PROVIDE AN AVERAGE FLOW RATE OF NO MORE THAN TWOGALLONS PER MINUTE ("GPM").

16. THE PROPOSED NEW LAVATORY FAUCET SHALL PROVIDE AN AVERAGE FLOW RATE OF NO MORE THAN TWO GALLONS PER MINUTE ("GPM").

17. PAINTS, COATINGS, AND PRIMERS APPLIED TO INTERIOR SURFACES SHALL NOT EXCEED A VOC CONTENT LIMIT OF 50G/L FOR FLAT PAINT AND 150 G/L FOR NON–FLAT PAINT.

18. CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, SEALERS, AND SHELLACS APPLIED TO INTERIOR SURFACES SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS: 275G/L FOR VARNISH AND LAQUER, 730G/L FOR CLEAR SHELLAC AND 550G.L FOR PIGMENTED SHELLAC, 100G/L FOR WATERPROOFING, 275G/L FOR SANDING, AND 100G/L FOR ALL OTHER SEALERS.

19. CARPET ADHESIVE SHALL NOT EXCEED A VOC CONTENT LIMIT OF 50G/L.

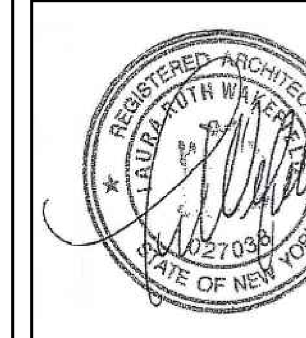
20. NO MATERIALS SHALL CONTAIN ADDED FORMALDEHYDE.

21. THE ONLY ROOFING INVOLVED IN THIS PROJECT CONSISTS OF THE PORCH ADDITION PROPOSED ON THE FRONT OF THE HOUSE WITH A PLAN AREA OF 155 SQUARE FEET.

22. EFFORTS WILL BE MADE TO RECYCLE, REPURPOSE, AND/OR REUSE A MINIMUM OF 25% OF CONSTRUCTION WASTE BY WEIGHT SO AS NOT TO BE SENT TO A LANDFILL OR INCINERATOR.

NOTE: THE PROPOSED PROJECT CONSISTS OF THE RENOVATION OF THE EXISTING FINISHED CELLAR TO PROVIDE A FAMILY ROOM, EXERCISE AREA, OFFICE, WORKSHOP, BATHROOM, AND STORAGE CLOSET. THE TOTAL FLOOR AREA TO BE AFFECTED IN THE CELLAR IS 975 SQUARE FEET. AN OPEN FRONT PORCH ADDITION WITH A HORIZONTAL SURFACE AREA OF 155 SQUARE FEET IS ALSO PROPOSED. THE FLOOR AREA IN THE EXISTING HOUSE ON THE FIRST AND SECOND FLOOR LEVELS TOTALS 2,490 SQUARE FEET. WITH A TOTAL FLOOR AREA IN THE HOUSE INCLUDING THE FINISHED CELLAR OF 3,465 SQUARE FEET, NOT INCLUDING THE OPEN PORCH, THE AREA OF THE PROPOSED WORK COMPUTES TO 28.1% OF THE AGGREGATE AREA OF THE HOUSE. AS SUCH, THE PROPOSED PROJECT IS EXEMPT FROM REQUIRING THE PART 3 – RESIDENTIAL PROJECTS POINT TABULATION, AS STIPULATED IN SECTION 160–2(c) IN THE HASTINGS–ON–HUDSON GREEN BUILDING CODE, SINCE THE ALTERATION IS LESS THAN 1,000 SQUARE FEET AND LESS THAN 50% OF THE AGGREGATE AREA OF THE HOUSE.

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED , THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT



LAURA WAKEFIELD
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329 BROADWAY
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N.Y.S STATE LICENSE
No. 27038

WARNING :
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT , ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.

PROJECT TITLE:
WERTHEIM RESIDENCE
62 CIRCLE DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2105**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

SHEET TITLE:
GENERAL NOTES GREEN BUILDING NOTES DOOR AND WINDOW SCHEDULES

DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE:	CHECKED BY:
AS NOTED	**PRS**

GN

Village of Hastings on Hudson
Building Department
7 Maple Ave, Hastings on Hudso, NY 10706
(914) 478-3400 ext. 513

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 10/3/2016)

Location: Village of Hastings on Hudson — Zip Code: 10706

Ground Snow Load	Wind Design: Speed (mph)	Wind Design: Topo Effects	Wind Design: Special Wind Region	Wind Design: Wind-borne Debris Zone	Seismic Design Category (HCNY Only)	Subject to Damage From: Weathering	Subject to Damage From: Frost Line Depth	Subject to Damage From: Termite	Climate Zone	Ice Barrier Underlayment Req'd	Flood Hazards	Air Freezing Index	Mean Annual Temp
30	*Special Wind Region	NO	Yes	NO	C	Severe	42"	Moderate to Heavy	4A	YES	**FIRM COMMUNITY-PANEL MAP# 3611960261F EFFECTIVE DATE, 9-28-2007	2000	51.6

* 115 MPH to 120 MPH, The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

** State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENSTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 or 13+5	8/13	19	10/13	10, 2 FT	10/13
TABLE R402.1.4 EQUIVALENT U-FACTORS										
4A	0.35	0.55		0.026	0.05	0.098	0. 047	0.047	0.059	0.065

MANUAL J DESIGN CRITERIA

ELEVATION	LATITUDE	WINTER HEATING	SUMMER COOLING	ALTITUDE CORRECTION FACTOR	INDOOR DESIGN TEMPERATURE	DESIGN TEMPERATURE COOLING	HEATING TEMPERATURE DIFFERENCE
179	41	7	87	1	68	75	61
CURRENT TEMPERATURE DIFFERENCE	**WIND VELOCITY HEATING**	**WIND VELOCITY COOLING**	**COINCIDENT WET BULB**	**DAILY RANGE**	**WINTER HUMIDITY**	**SUMMER HUMIDITY**	
12	20.4	7.5	72	M	30	55	

AIR SEALING CHECKLIST

1.	AIR BARRIER AND THERMAL ALIGNMENT	AIR BARRIER IS IN ALIGNMENT WITH THE THERMAL BARRIER (INSULATION)
2.	ATTIC AIR SEALING	TOP PLATES AND WALL TO CEILING CONNECTIONS ARE SEALED.
3.	ATTIC KNEE-WALLS	AIR BARRIER IS INSTALLED AT THE INSULATED BOUNDARY (KNEE-WALL TRANSITION) OR ROOF, AS APPROPRIATE
4.	DUCT SHAFT / PIPING SHAFT AND PENETRATIONS	OPENINGS FROM UNCONDITIONED ATTICS AND SPACES TO CONDITIONED SPACES ARE SEALED.
5.	DROPPED CEILING / SOFFIT	AIR BARRIER IS FULLY ALIGNED WITH INSULATION, ALL GAPS ARE SEALED.
6.	STAIRCASE FRAMING AT EXTERIOR WALL / ATTIC	AIR BARRIER IS FULLY ALIGNED WITH INSULATION, ALL GAPS ARE SEALED
7.	PORCH ROOF	AIR BARRIER IS INSTALLED AT THE INTERSECTION OF THE PORCH ROOF AND EXTERIOR WALL.
8.	FLUE OR CHIMNEY SHAFT	OPENING AROUND FLUE IS CLOSED WITH FLASHING, AND ANY REMAINING GAPS ARE SEALED WITH FIRE RATED CAULK OR SEALANT.
9.	ATTIC ACCESS / PULL-DOWN STAIR	ATTIC ACCESS PANEL OR PULL-DOWN STAIR IS FULLY GASKETED FOR AN AIR-TIGHT FIT.
10.	RECESSED LIGHTING	FIXTURES ARE PROVIDED WITH AIR-TIGHT ASSEMBLY OR COVERING.
11.	DUCTS	ALL DUCTS SHALL BE SEALED, ESPECIALLY IN ATTICS, VENTED CRAWL SPACES AND RIM AREAS.
12.	WHOLE HOUSE FAN	PENETRATION AT ATTIC- AN INSULATED COVER IS PROVIDED THAT IS GASKETED OR SEALED TO THE OPENING FROM EITHER THE ATTIC SIDE OR CEILING SIDE OF THE FAN.
13.	EXTERIOR WALLS	SERVICE PENETRATIONS ARE SEALED AND AIR SEALING IS IN PLACE BEHIND OR AROUND SHOWER / TUB ENCLOSURES, ELECTRICAL BOXES, SWITCHES AND OUTLETS ON EXTERIOR WALLS.
14.	FIREPLACE WALL	AIR SEALING IS COMPLETED IN FRAMED SHAFT BEHIND THE FIREPLACE OR AT FIREPLACE SURROUND.
15.	GARAGE / LIVING SPACE WALLS	AIR SEALING IS COMPLETED BETWEEN GARAGE AND LIVING SPACE. PASS-THROUGH DOOR IS WEATHERED STRIPPED.
16.	CANTILEVERED FLOOR	CANTILEVERED FLOORS ARE AIR SEALED AND INSULATED AT PERIMETER OR JOIST TRANSITION.
17.	RIM JOISTS, SEAL PLATE, FOUNDATION	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER. JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED. PENETRATIONS THROUGH THE BOTTOM PLATE ARE SEALED. ALL LEAKS AT FOUNDATIONS,FLOOR JOISTS AND FLOOR PENETRATIONS ARE SEALED. EXPOSED EARTH IN CRAWL SPACE IS COVERED WITH CLASS I VAPOR RETARDER OVERLAPPED AND TAPED AT SEAMS.
18.	WINDOWS AND DOORS	SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING IS SEALED.
19.	COMMON WALLS BETWEEN ATTACHED DWELLING UNITS	THE GAP BETWEEN A GYPSUM SHAFT WALL (I E, COMMON WALL 0 AND THE STRUCTURAL FRAMING BETWEEN UNITS IS SEALED.

AIR BARRIER AND INSULATION INSTALLATION CRITERIA AND GUIDELINES

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE.THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE IN THE AIR BARRIER SHALL BE SEALED.	AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	CHINK SPACE AROUND FRAMING AND TAPE EXTERIOR FLANGE TO AIR BARRIER
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS INCLUDING CANTILEVERED FLOORS AND ABOVE GARAGES	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUB-FLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS A VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	CRAWL SPACE INSULATION WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO WALLS.
SHAFTS, PENETRATION	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISH SURFACE.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING	PENETRATIONS THROUGH AIR BARRIER SHALL BE SEALED	IN EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING,OR INSULATION,THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACES SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL AND COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS AND CEILINGS.	
HVAC DUCT WORK	WHERE DUCT WORK PENETRATES THE BUILDING THERMAL ENVELOPE, DUCT WORK SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL. ALL DUCT WORK SHALL BE SEALED.	DUCT WORK LOCATED IN UNCONDITIONED SPACES SHALL BE INSULATED WITH R-8 FOR DUCTS THREE INCHES OR LARGER AND R-6 FOR DUCTS THREE INCHES OR SMALLER

INSULATION SCHEDULE

LOCATION	TYPE	MINIMUM R-VALUE	NOTES
EXTERIOR WALL CAVITIES	FULL THICKNESS "THERMOSEAL 500" OR APPROVED EQUAL OPEN CELL SPRAY INSULATION	R-20	
EXTERIOR WALL SHEATHING	ZIP SYSTEM SHEATHING OR APPROVED EQUAL	R-6	ALL JOINTS TAPED
UNDERSIDE OF ROOF SHEATHING	7 INCHES OF "THERMOSEAL 2000" OR APPROVED EQUAL CLOSED CELL SPRAY FOAM INSULATION OR FULL THICKNESS "THERMOSEAL 500" OR APPROVED EQUAL OPEN CELL SPRAY INSULATION	R-49 R-38	INSULATION TO EXTEND OVER WALL PLATE AS PER N 1102.2.1 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
FIRST FLOOR CAVITIES	UNFACED FIBERGLASS BATTS	R-30	
SECOND FLOOR CAVITIES	5.5" OF SOUND ATTENUATION BATTS	N / A	
UNDER BASEMENT FLOOR SLAB	2 INCH RIGID POLYSTYRENE INSULATION BOARDS FOR A WIDTH OF 2 FEET ALONG THE PERIMETER OF THE BASEMENT FLOOR UNDER THE FLOOR SLAB	R-10	
FOUNDATION WALLS CONCRETE	2 INCH RIGID POLYSTYRENE INSULATION BOARDS	R-10	FULL HEIGHT OF CONCRETE
WOOD FRAME	3" OF "THERMOSEAL 2000" OR APPROVED EQUAL CLOSED CELL SPRAY INSULATION		R-20
WATER PIPES	1.5" PIPE INSULATION	R-10	IN ALL UNHEATED SPACES
SUPPLY AND RETURN DUCTS	FOIL FACED FIBERGLASS DUCT INSULATION	R-8 R-6 R-6 R-4.2	3 INCHES IN DIAMETER AND LARGER LOCATED IN ATTICS SMALLER THAN 3 INCHES LOCATED IN ATTICS 3 INCHES IN DIAMETER AND LARGER IN OTHER PORTIONS OF THE BUILDING SMALLER THAN 3 INCHES LOCATED IN OTHER PORTIONS OF THE BUILDING
INTERIOR BATHROOM AND BEDROOM WALLS	3.5" OF SOUND ATTENUATION BATTS	N / A	

MECHANICAL NOTES:

1. THE SHEETS OF MECHANICAL DRAWINGS PREPARED BY GOTHAM ARE TO BE AUGMENTED BY THE MECHANICAL ENGINEER WORKING WITH THE MECHANICAL CONTRACTOR ON THIS PROJECT. THE MECHANICAL ENGINEER SHALL PROVIDE THE ACTUAL PLANS AND DETAILS OF THE HVAC SYSTEM, INCLUDING THE REQUIRED SPECIFICATIONS ON THE EQUIPMENT, THE DUCT WORK, THE MANUAL J, AND THE MANUAL S. NO HVAC WORK, INCLUDING THE ORDERING OF EQUIPMENT, SHALL COMMENCE PRIOR TO A COMPLETED MANUAL J AND A COMPLETED MANUAL S HAVE BEEN SUBMITTED TO THE BUILDING INSPECTOR'S OFFICE

2. PRIOR TO INITIATING ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL REVIEW ALL OF THE CONSTRUCTION DOCUMENTS AND COMPLETE THE NEW YORK STATE ENERGY CODE B2020 ECCCNYS RESIDENTIAL ENERGY PLAN CHECKLIST ON THEIR LETTERHEAD. ANY DEFICIENCIES ON THE CONSTRUCTION DOCUMENTS, INCLUDING THE RESCHECK SHALL BE CORRECTED PRIOR TO THE WORK PROCEEDING. A COPY OF THIS CHECKLIST SHALL BE PROVIDED TO THE BUILDING INSPECTOR'S OFFICE PRIOR TO WORK BEGINNING ON THE SITE.

3. NO WORK ON THE HVAC SYSTEM, INCLUDING THE ORDERING OF EQUIPMENT, SHALL COMMENCE PRIOT TO SHOP DRAWINGS OF THE DUCT WORK AND PIPING, A RESIDENTIAL HVAC EQUIPMENT DESIGN WORKSHEET, A RESIDENTIAL HVAC DESIGN FORM, AND A 2020 ECCCNYS RESIDENTIAL ENERGY PLAN REVIEW CHECKLIST, IN ACCORDANCE WITH THE NEW YORK STATE ENERGY CODE, HAVE BEEN PREPARED AND SUBMITTED TO THE BUILDING INSPECTOR'S OFFICE ON THE MECHANICAL CONTRACTOR/S LETTERHEAD.

4. DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL COMPLETE THE NEW YORK STATE ENERGY CODE FORMS FOR FOUNDATION INSULATION INSPECTION, ROUGH MECHANICAL AND PLUMBING INSPECTION CHECKLIST, AIR BARRIER AND INSULATION INSTALLATION CHECKLIST, FINAL INSPECTION INSULATION AND DOCUMENTATION CHECKLIST, AND THE RESIDENTIAL DUCT AND ENVELOPE TESTING (EDET) FORM ON THE CONTRACTOR'S LETTERHEAD. THESE COMPLETED FORMS SHALL BE SUBMITTED TO THE BUILDING INSPECTOR'S OFFICE PRIOR TO SUBMITTING AFFIDAVITS FOR THE REQUIRED CERTIFICATE OF OCCUPANCY.

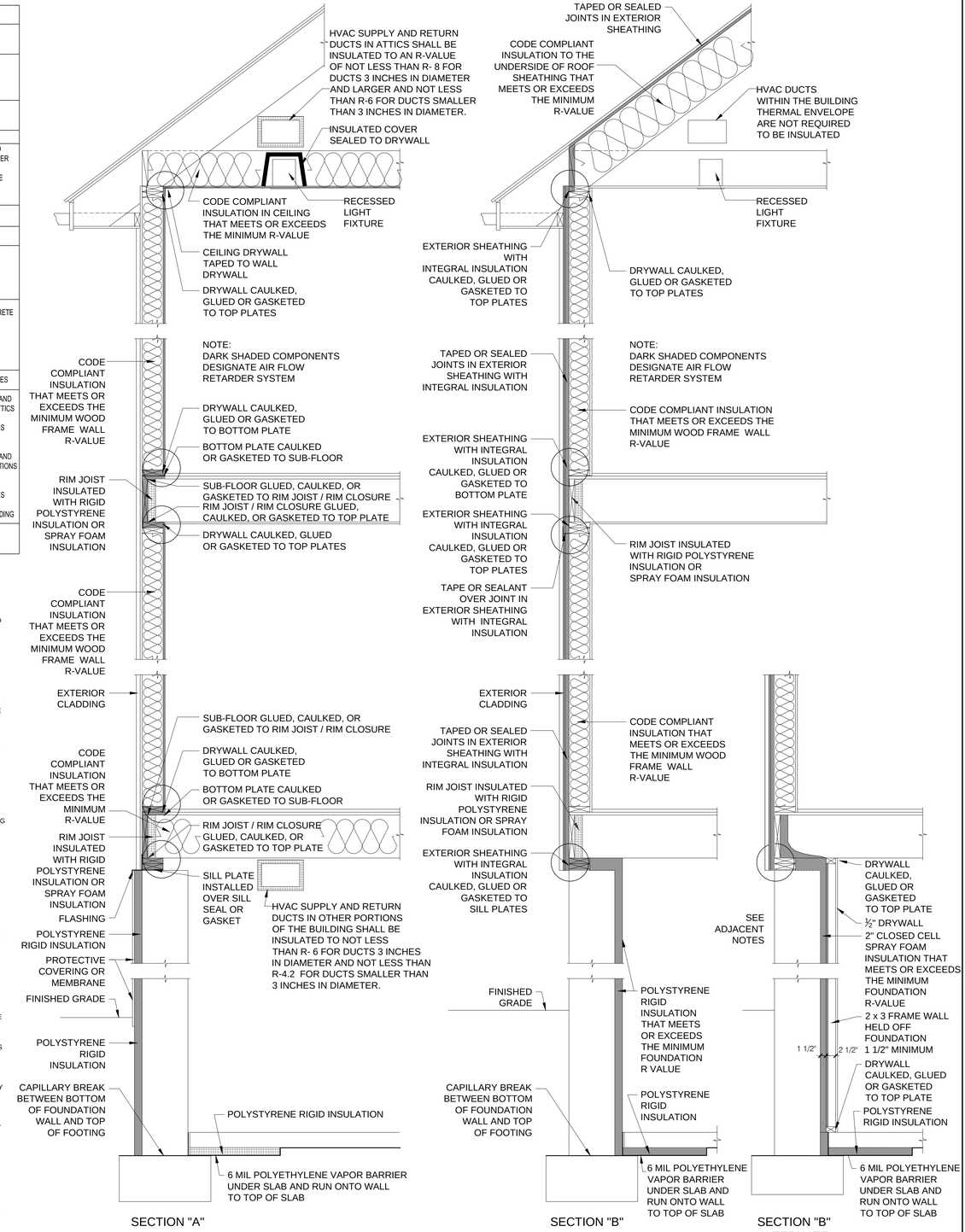
NY R402.4.1.2 TESTING

THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR.TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RES NET / ICC380, ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH WG (50 PASCALS) . TESTING SHALL BE PERFORMED AT ANY TIMEAFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.

DURING TESTING

1. EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED. BUT NOT SEALED BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
2. DAMPERS INCLUDING EXHAUST, INTAKE ,MAKEUP AIR ,BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
3. INTERIOR DOORS WHERE INSTALLED AT THE TIME OF THE TEST SHALL BE OPEN.
4. EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
5. HEATING AND COOLING SYSTEMS, WHERE INSTALLED AT THE TIME OF THE TEST, SHALL BE TURNED OFF
6. SUPPLY AND RETURN REGISTERS, WHERE INSTALLED AT THE TIME OF THE TEST, SHALL BE FULLY OPEN

WHERE REQUIRED BY THE BUILDING OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS SHALL BE PREPARED AND SIGNED BY THE PARTY CONDUCTING THE TEST
AND PROVIDED TO THE BUILDING OFFICIAL.
THE WRITTEN REPORT SHALL INCLUDE:
1. THE NAME AND PLACE OF BUSINESS OF THE PARTY CONDUCTING THE TEST.
2. THE ADDRESS OF THE BUILDING THAT WAS TESTED.
3. THE CONDITIONED FLOOR AREA OF THE DWELLING CALCULATED IN ACCORDANCE WITH ANSI / BOMA Z65.1,
EXCEPT THAT CONDITIONED FLOOR AREA SHALL INCLUDE AREAS WHERE THE CEILING HEIGHT IS LESS
THAN 5 FEET (1524 MM).
4. MEASUREMENT OF THE AIR VOLUME LOST AT AN INTERNAL PRESSURIZATION OF 0.2 WG (50 PASCALS).
5. THE DATE OF THE TEST
6. A CERTIFICATION BY THE PARTY CONDUCTING THE TEST OF THE ACCURACY OF THE TEST RESULTS, AND
7. THE SIGNATURE OF THE PARTY CONDUCTING THE TEST.



AIR BARRIER AND THERMAL BARRIER ALIGNMENT ENVELOPE AIR SEALING (TYPICAL)

DO NOT SCALE

THERMAL ENVELOPE NOTE:
THE CONSTRUCTION SECTIONS "A" AND "B" SHOWN ON THIS SHEET ARE INTENDED AS GENERIC DIAGRAMS TO ILLUSTRATE THE TWO ACCEPTABLE METHODS USED TO CREATE THE THERMAL ENVELOPE FOR THE BUILDING SUBJECT TO THIS SET OF DRAWINGS. SECTION "A" SHOWS WHERE THE THERMAL ENVELOPE IS ON THE FRAMING SIDE OF THE INTERIOR FINISH. SECTION "B" SHOWS WHERE THE THERMAL ENVELOPE IS ON THE EXTERIOR SIDE OF THE SHEATHING. THE INTENT OF THESE SECTIONS IS TO DEMONSTRATE THE CONTINUITY THAT THESE SYSTEMS REQUIRES TO PROVIDE A COMPLETE SEAL FOR THE BUILDING. THERE ARE CIRCUMSTANCES THAT COULD RESULT IN BOTH SYSTEMS BEING USED IN THE SAME BUILDING. FOR THE SPECIFIC SECTIONS REQUIRED FOR THE CONSTRUCTION OF THE BUILDING SUBJECT TO THIS SET OF DRAWINGS SEE SHEET A-2.1

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED , THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

REGISTERED ARCHITECT LAURA ROTH WAKEFIELD 027038 STATE OF NEW YORK

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No. 27038

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PROJECT TITLE:
WERTHEIM RESIDENCE
62 CIRCLE DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2105**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.
329 Broadway
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Phone: (914) 693-5093
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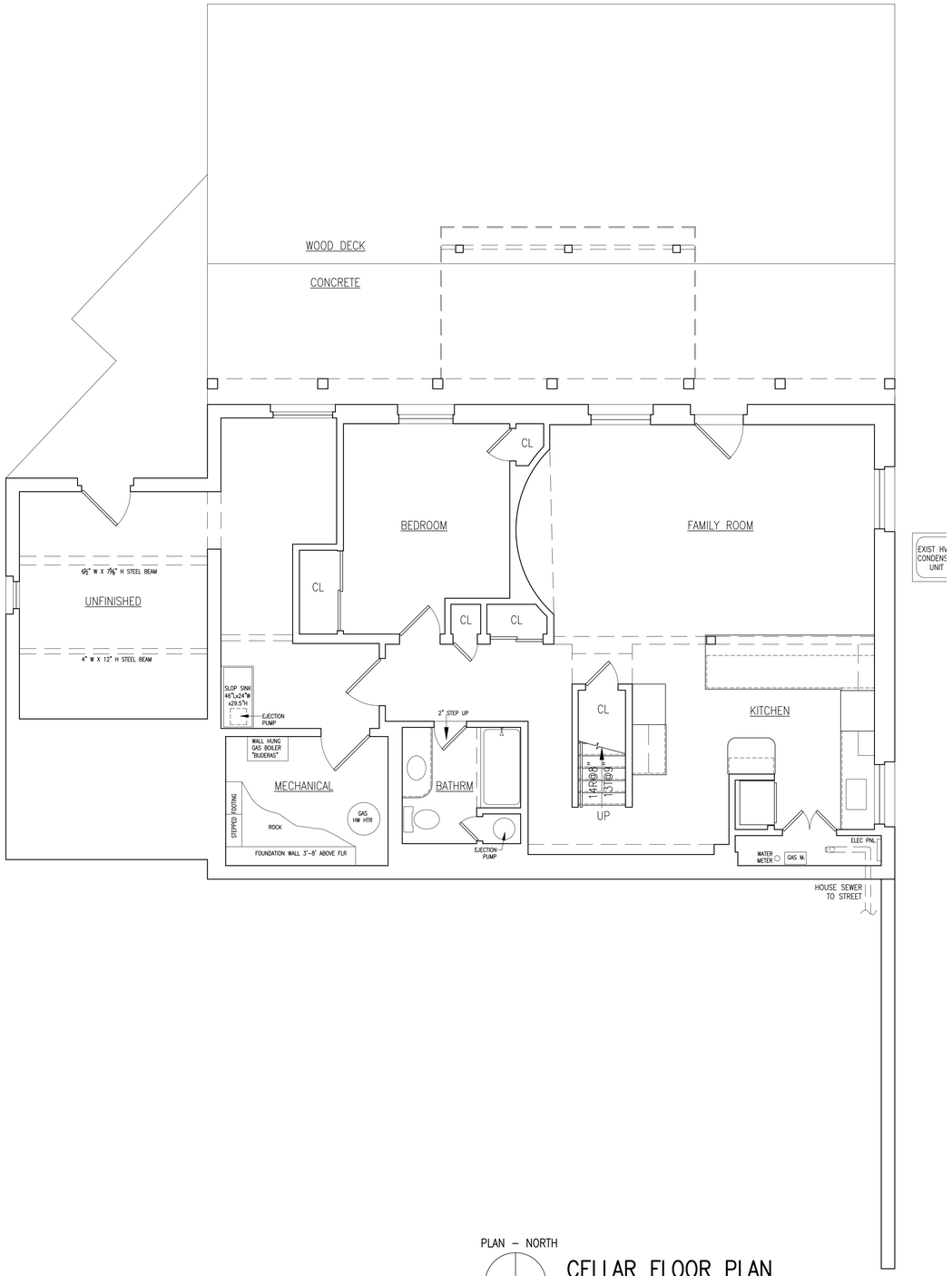
email: arch329@gmail.com

ISSUED / REVISIONS

SHEET TITLE:
BUILDING THERMAL ENVELOPE NOTES AND DETAILS

DATE:	DRAWN BY:
07-20-2021	MB
SCALE:	CHECKED BY:
AS NOTED	PRS

TE-1



PLAN – NORTH

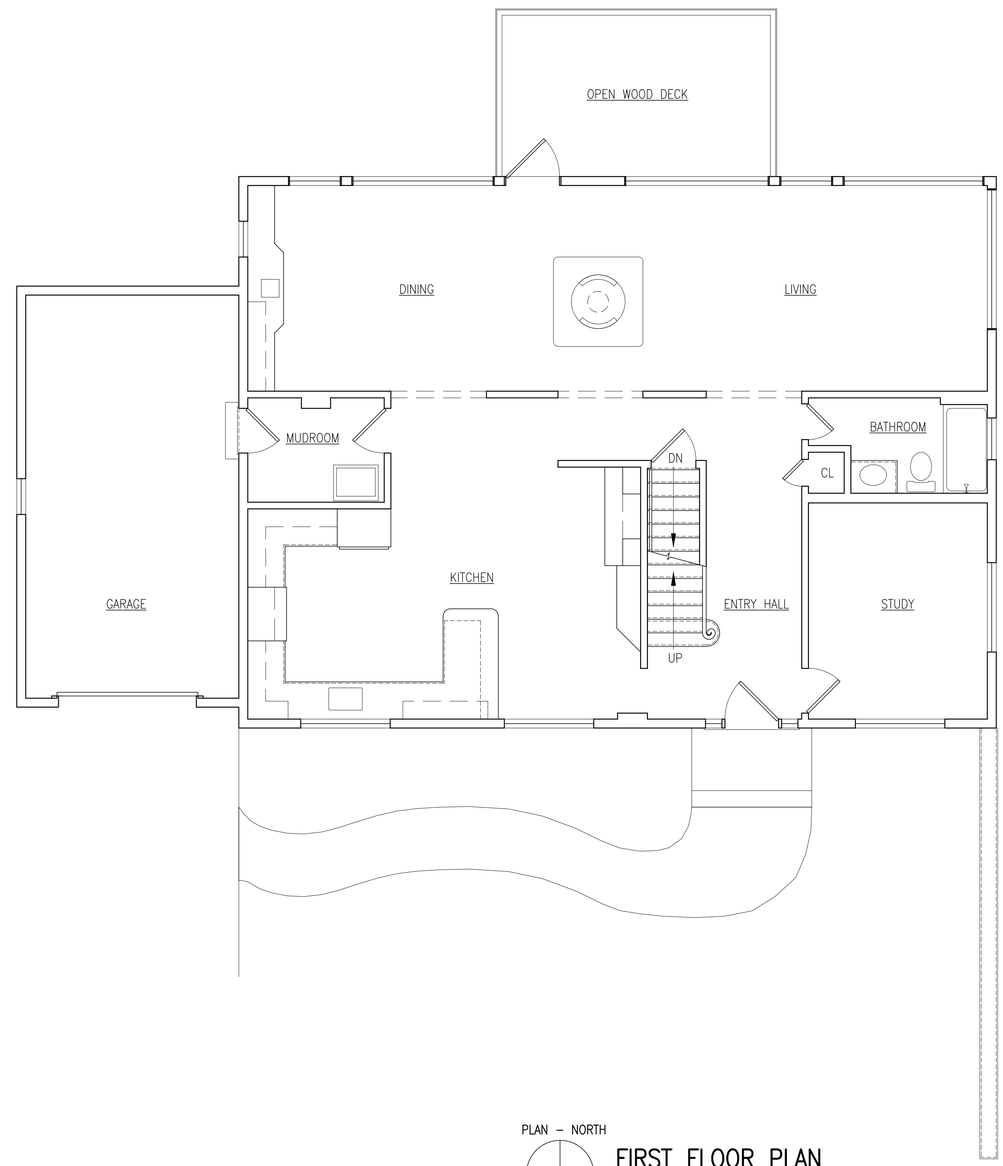
N

CELLAR FLOOR PLAN

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

0 1 2 4 8



PLAN – NORTH

N

FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

0 1 2 4 8

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED , THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

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WERTHEIM RESIDENCE
62 CIRCLE DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2105**

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SHEET TITLE:
EXISTING CELLAR AND FIRST FLOOR PLANS

DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE:	CHECKED BY:
AS NOTED	**PRS**

EX-1

EAST ELEVATION

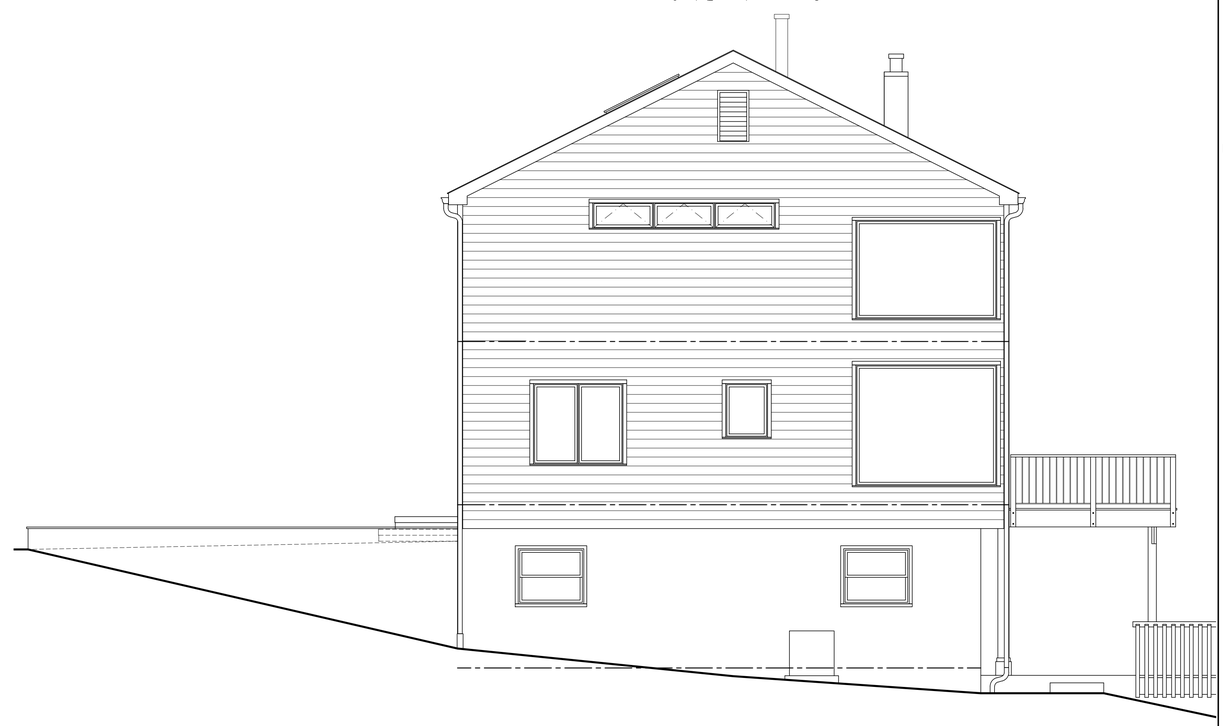
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8

NORTH ELEVATION (CIRCLE DRIVE)

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8

SOUTH ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8



WEST ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED , THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

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WERTHEIM RESIDENCE
62 CIRCLE DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2105**

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SHEET TITLE:
EXISTING ELEVATIONS

DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE: **AS NOTED**	CHECKED BY: **PRS**

EX-2

BUILDING COVERAGE
EXISTING

HOUSE+GARAGE	1597
DECK	641
DECK	147
TOTAL	2385

2,385 / 12,297 = 19.39 %

DEVELOPMENT COVERAGE
EXISTING

HOUSE+GARAGE	1597
DECK	641
DECK	147
CONC PATIO	309
WALK+STEPS	71
WALK+STEPS	121
WALL	52
WALL	51
WALL	13
FRONT WALK	125
FRONT STEPS	30
FRONT WALL	24
DRIVEWAY	287
HVAC	9
TOTAL	3477

3,477 / 12,297 = 28.27 %

ZONING TABLE

PROPERTY LOCATION: 62 CIRCLE DRIVE HASTINGS-ON-HUDSON NY 10706 TAX ID: 4.40-43.10
OWNER : JEREMY AND SAMANTHA WERTHEIM

ZONING DISTRICT R-10

REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED	VARIANCE REQUESTED
MINIMUM STREET FRONTAGE	FEET	70	92.96	NO CHANGE	
MINIMUM NET LOT AREA	SQ.FT.	10,000	12,297	NO CHANGE	
MINIMUM LOT WIDTH	FEET	100	92.96	NO CHANGE	
BUILDING COVERAGE	%	25	19.39	20.63	
DEVELOPMENT COVERAGE	%	35	28.27	29.44	
MINIMUM FRONT YARD SETBACK	FEET	30	13.9	11 PORCH	SEE NOTES
MINIMUM REAR YARD SETBACK	FEET	30	± 27.5	NO CHANGE	
MINIMUM SIDE YARD SETBACK EACH	FEET	12	15.2	NO CHANGE	
MINIMUM SIDE YARD SETBACK BOTH	FEET	30	40.4	NO CHANGE	
STORIES	NUMBER	2.5	2.5	NO CHANGE	
MAXIMUM HEIGHT	FEET	35	34.75	NO CHANGE	
OFF STREET PARKING	NUMBER	2	1	NO CHANGE	

TBD - TO BE DETEMINED

NOTES ON FRONT YARD SETBACK:

THE SUBJECT PROPERTY IS LOCATED IN THE R-10 ZONING DISTRICT, WHICH HAS A FRONT YARD SETBACK REQUIREMENT OF 30 FEET. THE EXISTING HOUSE HAS A FRONT YARD SETBACK OF 13.9 FEET AND THE PROPOSED FRONT PORCH WILL REDUCE THE FRONT YARD SETBACK TO 11 FEET. HOWEVER, SECTION 295-20 D.(2) INCLUDES THE FOLLOWING:

"If, on one side of a street within 250 feet of any lot, there is pronounced uniformity of alignment of the fronts of existing buildings and of the depths of front yards that is less than the required minimum depth specified in this chapter, the Zoning Board of Appeals may permit a reduction in the required depth of the front yard for a new building on that lot, or expansion of an existing building on that lot, provided that the spirit and intent of this chapter is met and that the depth of the front yard shall conform as nearly as practicable to that existing on the neighboring lots."

THE TWO PROPERTIES ON THE SAME SIDE OF THE STREET TO THE WEST HAVE FRONT YARD SETBACKS AS FOLLOWS: 52 CIRCLE HAS A SETBACK OF APPROXIMATELY 12.6 FEET AND 56 CIRCLE HAS A SETBACK OF APPROXIMATELY 12.4 FEET. THE PROPERTY ON THE SAME SIDE OF THE STREET TO THE EAST, 70 CIRCLE DRIVE, HAS A FRONT YARD SETBACK OF APPROXIMATELY 10.3 FEET. THESE THREE PROPERTIES ARE WITHIN 250 FEET OF THE SUBJECT PROPERTY. THERE ARE OTHER PROPERTIES ON THE SAME SIDE OF CIRCLE DRIVE THAT ARE BEYOND THE 250 FEET AND HAVE THE FOLLOWING APPROXIMATE FRONT YARD SETBACKS: 16 CIRCLE – 8.5 FEET, 20 CIRCLE – 0 FEET, 26 CIRCLE – 4 FEET, 30 CIRCLE –12 FEET, AND 38 CIRCLE 0 FEET.

GENERAL NOTES:

1. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IFDEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
2. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THEVILLAGE ENGINEER AND BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3. INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE AS-BUILT.
4. FILL IMPORTED TO THE SITE SHALL BE CERTIFIED IN WRITING BY A NEW YORK LICENSED PROFESSIONAL ENGINEER AS CLEAN, NON CONTAMINATED FILL SUITABLE FOR THE INTENDED USE.
5. THE RESTORATION FOR WORK PERFORMED WITHIN THE VILLAGE RIGHT-OF-WAY SHALLBE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS.

BUILDING COVERAGE
PROPOSED

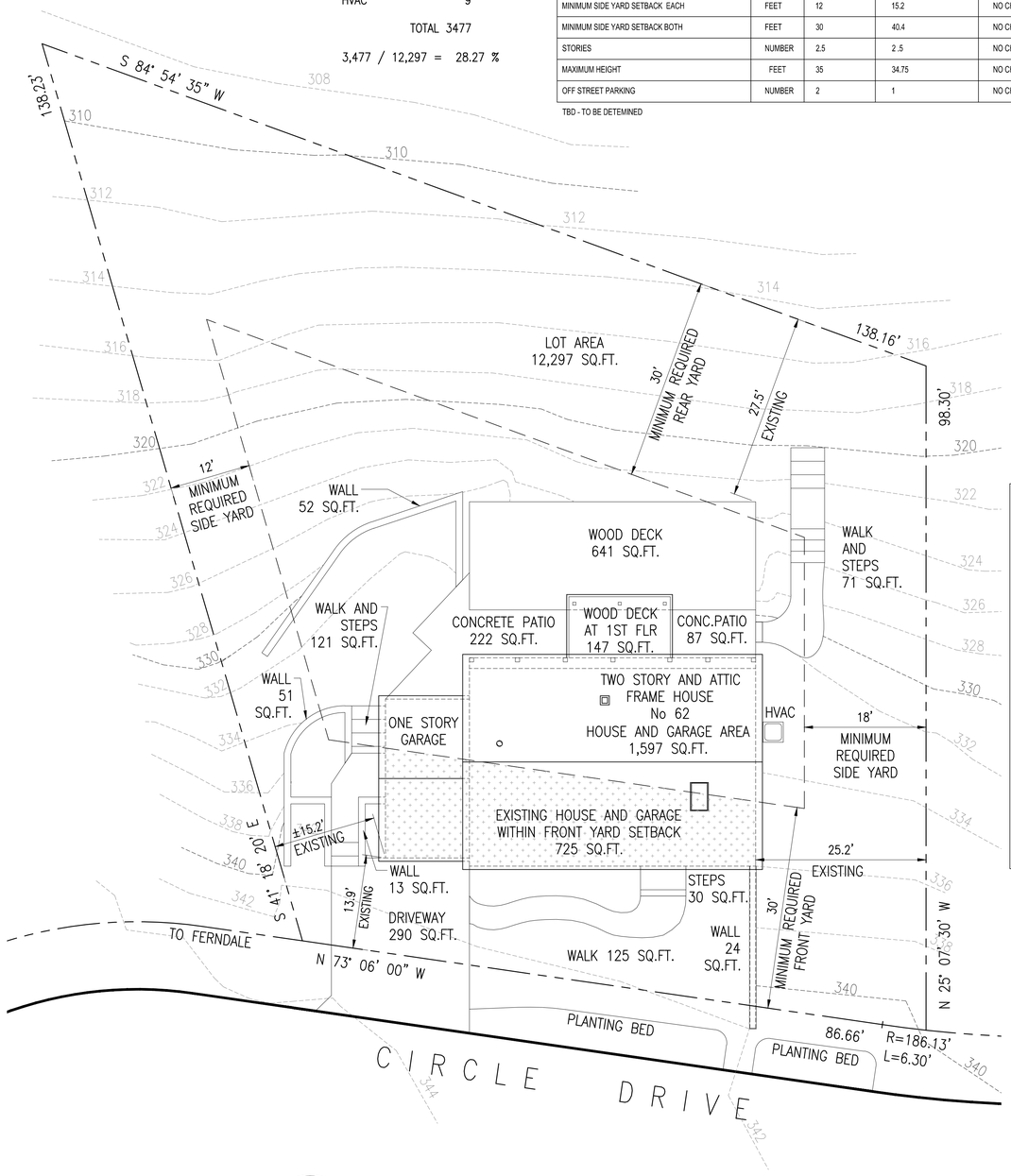
HOUSE+GARAGE	1597
DECK	641
DECK	147
PROPOSED PORCH	152
TOTAL	2537

2,537 / 12,297 = 20.63 %

DEVELOPMENT COVERAGE
PROPOSED

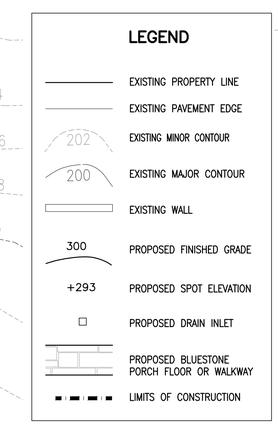
HOUSE+GARAGE	1597
DECK	641
DECK	147
CONC PATIO	309
WALK+STEPS	71
WALK+STEPS	121
WALL	52
WALL	51
WALL	13
DRIVEWAY	287
HVAC	9
PROPOSED PORCH	152
PROP BL.STONE WALKWAY	170
TOTAL	3620

3,620 / 12,297 = 29.44 %



SITE PLAN – EXISTING

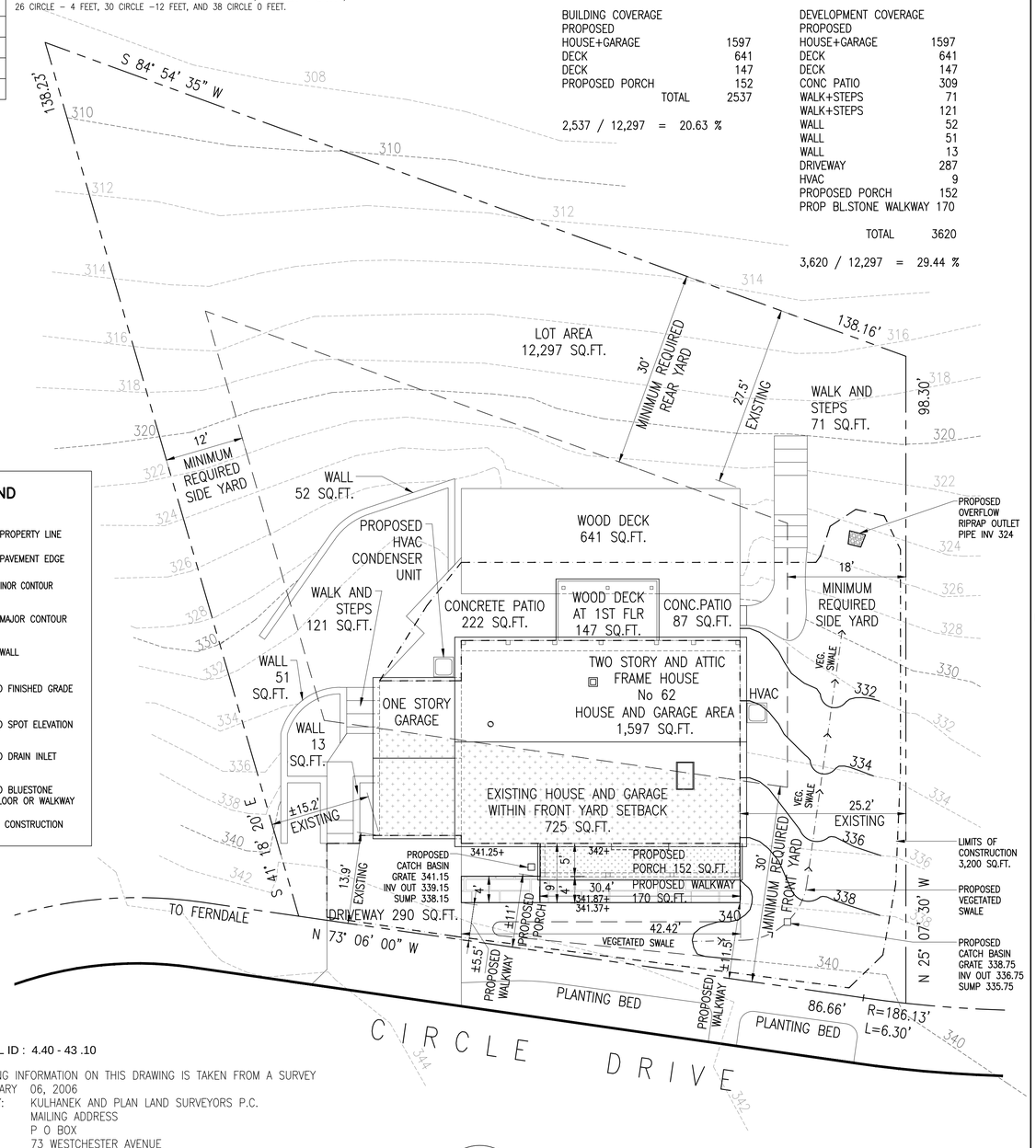
SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET 0 5 10 20

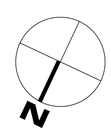


TAX PARCEL ID : 4.40 - 43 .10

ALL SURVEYING INFORMATION ON THIS DRAWING IS TAKEN FROM A SURVEY
DATED JANUARY 06, 2006
PREPARED BY: KULHANEK AND PLAN LAND SURVEYORS P.C.
MAILING ADDRESS
P O BOX
73 WESTCHESTER AVENUE
POUND RIDGE, N.Y. 10576
TEL. 914 764-0304

ALL TOPOGRAPHIC INFORMATION ON THIS DRAWING IS FROM THE TOWN OF GREENBURGH GIS MAPS





SITE PLAN – PROPOSED

SCALE : 1" = 10'-0" GRAPHIC SCALE IN FEET 0 5 10 20

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62 CIRCLE DRIVE
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PROJECT NO.: **2105**

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ISSUED / REVISIONS

SHEET TITLE:
EXISTING & PROPOSED SITE PLANS

DATE:	DRAWN BY:
07-20-2021	MB
SCALE:	CHECKED BY:
AS NOTED	PRS

A-1

NOTES:

1. THE INFILTRATION SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
2. AN INSPECTION PORT SHOULD BE PROVIED FOR THE INFILTRATION SYSTEM. IT SHOULD BE LOCATED AS RECOMMENDED BY THE MANUFACTURER.

CONSTRUCTION WITHIN STEEP SLOPES							
STEEP SLOPE CATEGORY	TOTAL AREA EXISTING STEEP SLOPES (SQ.FT.)	ALLOWABLE PERCENTAGE	ALLOWABLE AREA (SQ.FT.)	PROPOSED STEEP SLOPE		REQUIRED VARIANCE	
				SQ.FT.	%	SQ.FT.	%
0 – 15%	2,560	100%	2,560	324	12.7%	0	0%
15 – 25%	3,950	35%	1,382	0	0%	0	0%
25% OR GREATER	3,250	25%	812	0	0%	0	0%
DEVELOPED	2,537						
TOTAL LOT AREA	**12,297**						

REGRADING WITHIN STEEP SLOPES FOR STORMWATER MANAGEMENT							
STEEP SLOPE CATEGORY	TOTAL AREA EXISTING STEEP SLOPES (SQ.FT.)	ALLOWABLE PERCENTAGE	ALLOWABLE AREA (SQ.FT.)	PROPOSED STEEP SLOPE		REQUIRED VARIANCE	
				SQ.FT.	%	SQ.FT.	%
0 – 15%	2,560	100%	2,560	340	13.3%	0	0%
15 – 25%	3,950	35%	1,382	940	23.8%	0	0%
25% OR GREATER	3,250	25%	812	0	0.0%	0	0%
DEVELOPED	2,537						
TOTAL LOT AREA	**12,297**						

LEGEND

- EXISTING PROPERTY LINE
- EXISTING PAVEMENT EDGE
- 202 EXISTING MINOR CONTOUR
- 200 EXISTING MAJOR CONTOUR
- EXISTING WALL
- 300 PROPOSED FINISHED GRADE
- +293 PROPOSED SPOT ELEVATION
- PROPOSED BLUESTONE WALK
- PROPOSED DRAIN INLET
- PROPOSED STORM DRAIN PIPE SIZE AND FLOW DIRECTION
- SS TEMPORARY SOIL STOCKPILE
- SILT TEMPORARY SILT FENCE

STORMWATER FACILITY NOTES:

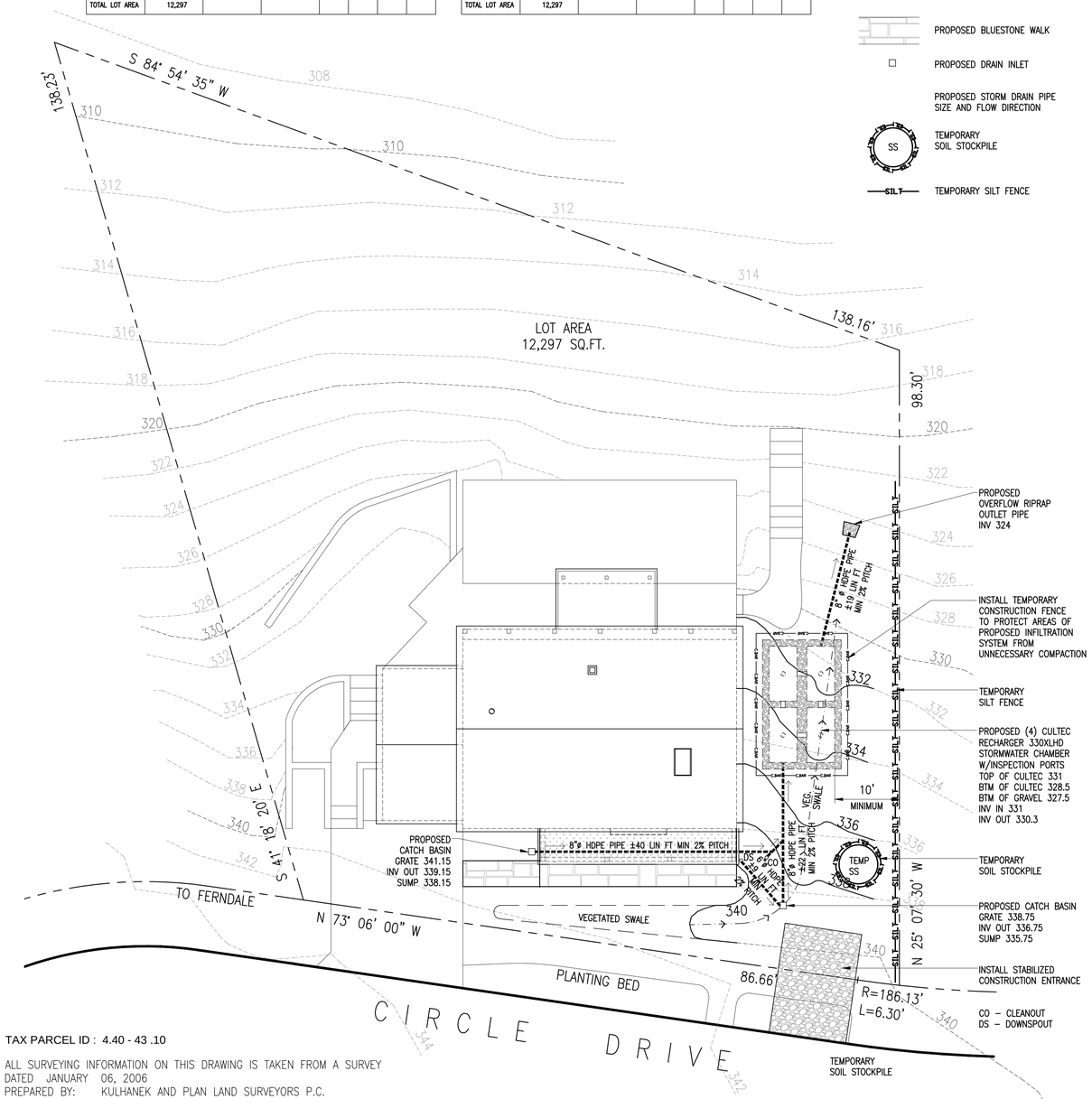
1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES, IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION ANDEROSION OF DISTURBED SOILS.
2. ALL EXISTING TREES IN THE CONSTRUCTION AREA SHALL BE PROTECTED WITH A MINIMUM OF 6 INCHES OF WOOD CHIPS OR MULCH IN AREAS PRONE TO COMPACTION DUE TO CONSTRUCTION ACTIVITIES.
3. WHEN TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION,THEY SHALL NEVER BE PULLED WITH MACHINERY. WHERE NECESSARY, CUT ROOTS CLEANLY AND BRIDGE WHENPOSSIBLE.
4. WORK WITHIN DRIP LINE OF TREES SHALL BE COMPLETED BY HAND.
5. THE INFILTRATION SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. "AS–BUILT" DRAWINGS OF THE SITE IMPROVEMENT SHALL BE SUBMITTED TO THE VILLAGE ENGINEER AND BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
7. THE INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS–BUILT" DRAWINGS.

STORMWATER MANAGEMENT FACILITIES MAINTENANCE

THE FOLLOWING MAINTENANCE PLAN HAS BEEN DEVELOPED TO MAINTAIN THE PROPER FUNCTION OF ALL DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES:

1. MINIMIZE THE USE OF ROAD SALT FOR MAINTENANCE OF PAVED AREAS.
2. DRAINAGE INLETS SHALL BE VACUUM SWEPT TWICE A YEAR AT THE CONCLUSION OF THE LANDSCAPE SEASON IN THE FALL AND AT THE COMPLETION OF THE SAND AND DE–ICING SEASON IN THE SPRING.
3. AT THE SAME TIME AS THE DRAINAGE INLETS ARE VACUUM SWEPT, INSPECT THE EXFILTRATION/ATTENUATION STRUCTURE FOR SEDIMENT AND REMOVE SAME, IF FOUND.
4. KEEP GUTTERS FREE OF LEAVES AND DEBRIS.
5. KEEP LEAVES AND DEBRIS AWAY FROM THE DRAINAGE INLETS.

UPON COMPLETION OF CONSTRUCTION AND ACCEPTANCE OF THE IMPROVEMENTS, THE MAINTENANCE OF THE STORMWATER SYSTEM BECOMES THE RESPONSIBILITY OF THE HOMEOWNERS.



TAX PARCEL ID : 4.40 - 43 .10

ALL SURVEYING INFORMATION ON THIS DRAWING IS TAKEN FROM A SURVEY
DATED JANUARY 06, 2006
PREPARED BY: KULHANEK AND PLAN LAND SURVEYORS P.C.
MAILING ADDRESS
P O BOX
73 WESTCHESTER AVENUE
POUND RIDGE, N.Y. 10576
TEL. 914 764–0304

ALL TOPOGRAPHIC INFORMATION ON THIS DRAWING IS FROM THE TOWN OF GREENBURGH GIS MAPS

EROSION CONTROL AND STORM DRAINAGE PLAN

SCALE : 1" = 10'–0"

GRAPHIC SCALE IN FEET
0 5 10 20

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED , THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

REGISTERED ARCHITECT LAURA ROTH WAKEFIELD 027038 STATE OF NEW YORK

LAURA WAKEFIELD
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PROJECT TITLE:
WERTHEIM RESIDENCE
62 CIRCLE DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2105**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

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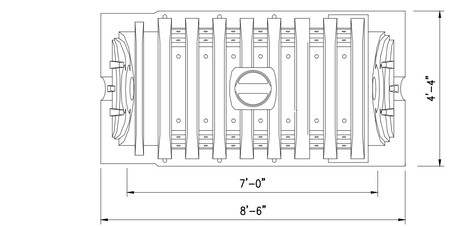
ISSUED / REVISIONS

SHEET TITLE:
EROSION CONTROL & STORM DRAINAGE PLANS

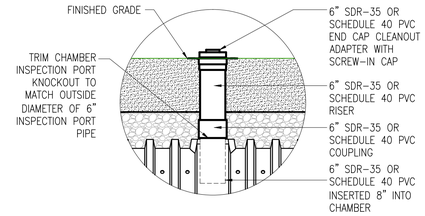
DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE:	CHECKED BY:
AS NOTED	**PRS**

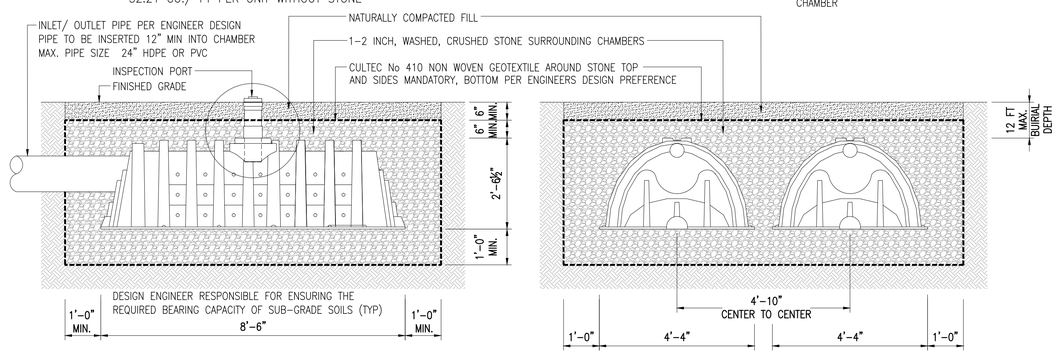
A-1.1



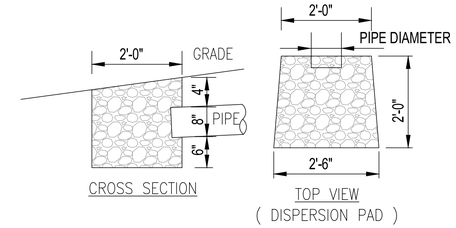
CULTEC MODEL RECHARGER 330XLHD
CHAMBER STORAGE 7.46 CU./FT PER FT WITHOUT STONE
52.21 CU./ FT PER UNIT WITHOUT STONE

STORMWATER CHAMBER BY CULTEC INC.
STORMWATER DESIGN MODEL: RECHARGER 330XLHD
INSTALLATION: PER MANUFACTURERS INSTRUCTIONS



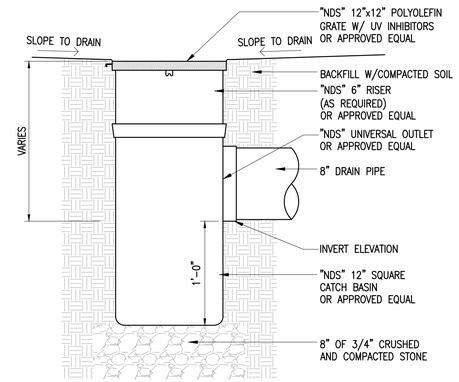


CULTEC RECHARGER 330XLHD



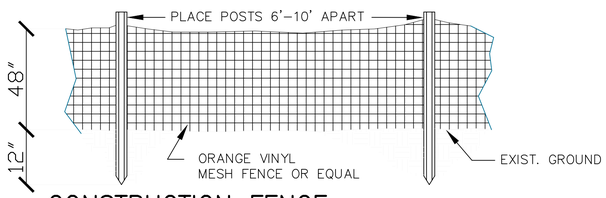
RIPRAP DISPERSION PAD

NOT TO SCALE



"NDS" SQUARE CATCH BASIN

OR APPROVED EQUAL

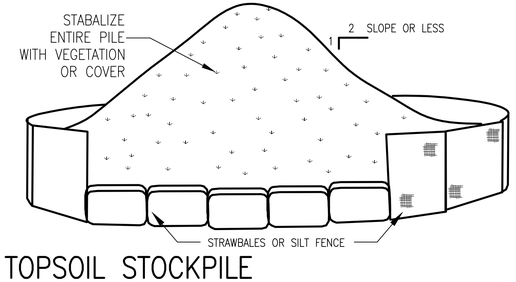


CONSTRUCTION FENCE

NOT TO SCALE

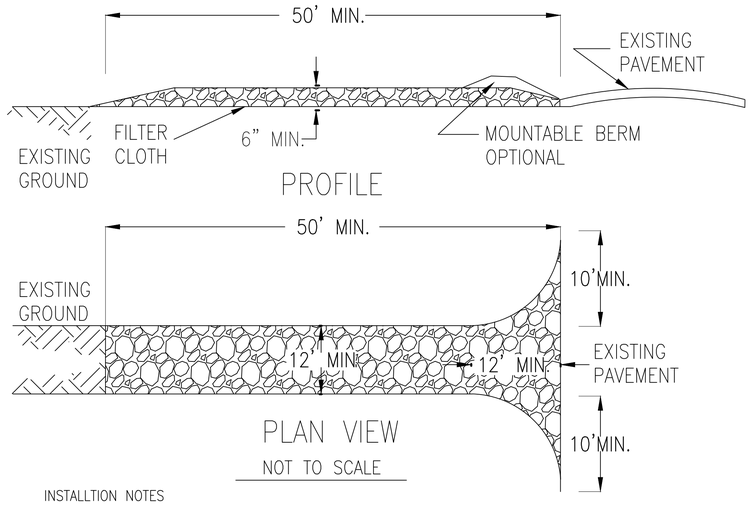
INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABALIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.



TOPSOIL STOCKPILE

NOT TO SCALE

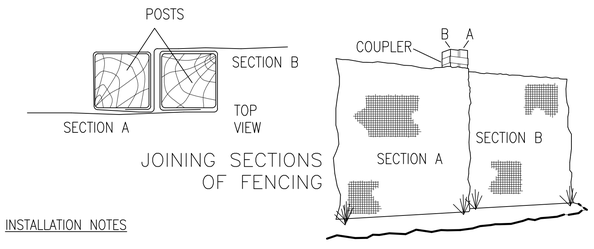


INSTALLTION NOTES

1. STONE SIZE – USE 1-4 INCH STONE, OR RECLAIMED RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
3. THICKNESS – NOT LESS THAN SIX (6) INCHES
4. WIDTH – EIGHT (8) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY (24) FOOT IF SINGLE ENTRANCE TO SITE
5. GEOTEXTILE – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 51 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

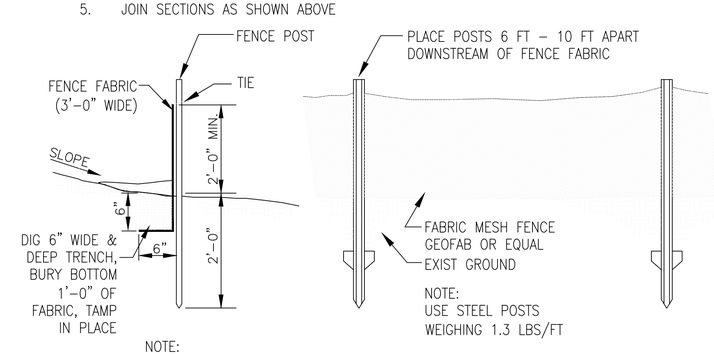
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



INSTALLATION NOTES

1. EXCAVATE A 4 INCH x 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE



NOTE:
AT THE COMPLETION OF THE PROJECT AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEN ASSURED, THE SILT FENCE MUST BE COMPLETELY REMOVED AND THE EMBEDMENT TRENCH RESTORED TO A NATURAL CONDITION

SILT FENCE DETAIL

NOT TO SCALE

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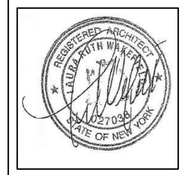

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ISSUED / REVISIONS

SHEET TITLE:
SITE DETAILS

DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE:	CHECKED BY:
AS NOTED	**PRS**

A-1.2

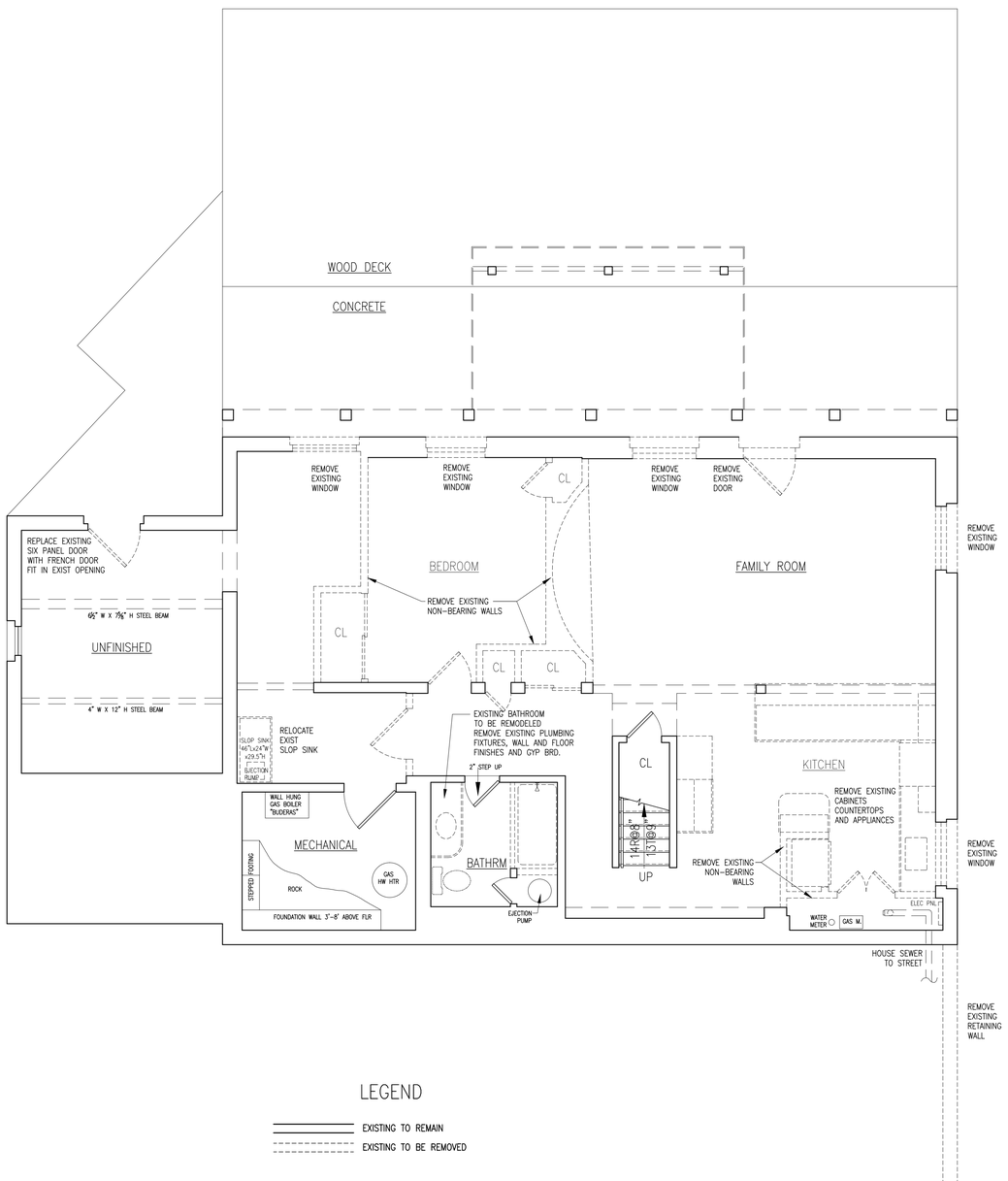
LIGHT AND VENTILATION CALCULATIONS

AFFECTED ROOM	SQUARE FEET	LIGHT REQUIRED (8 %)	LIGHT PROVIDED	VENT REQUIRED (4 %)	VENT PROVIDED
FAMILY ROOM	354	28.32	**48.7**	14.16	**30.6**
EXERCISE AREA	109	7.2	**23.8**	3.6	**15.6**
BEDROOM	135	10.8	**16.6**	5.4	**15**

EGRESS

THESE WINDOWS MEET OR EXCEED THE REQUIREMENTS OF SECTION R310.2.1 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS

LOCATION	WINDOW PROVIDED	REQUIREMENTS: MIN. NET CLEAR OPENING AREA 5.7 SQ.FT.	MINIMUM CLEAR OPENING HEIGHT 24"	MINIMUM CLEAR OPENING WIDTH 20"	MAXIMUM FLOOR TO BOTTOM OF CLEAR OPENING 44"
BEDROOM	PELLA CASEMENT 3547	7.5	22 7/8"	25 1/4"	35"



LEGEND

EXISTING TO REMAIN

EXISTING TO BE REMOVED

PLAN – NORTH

N

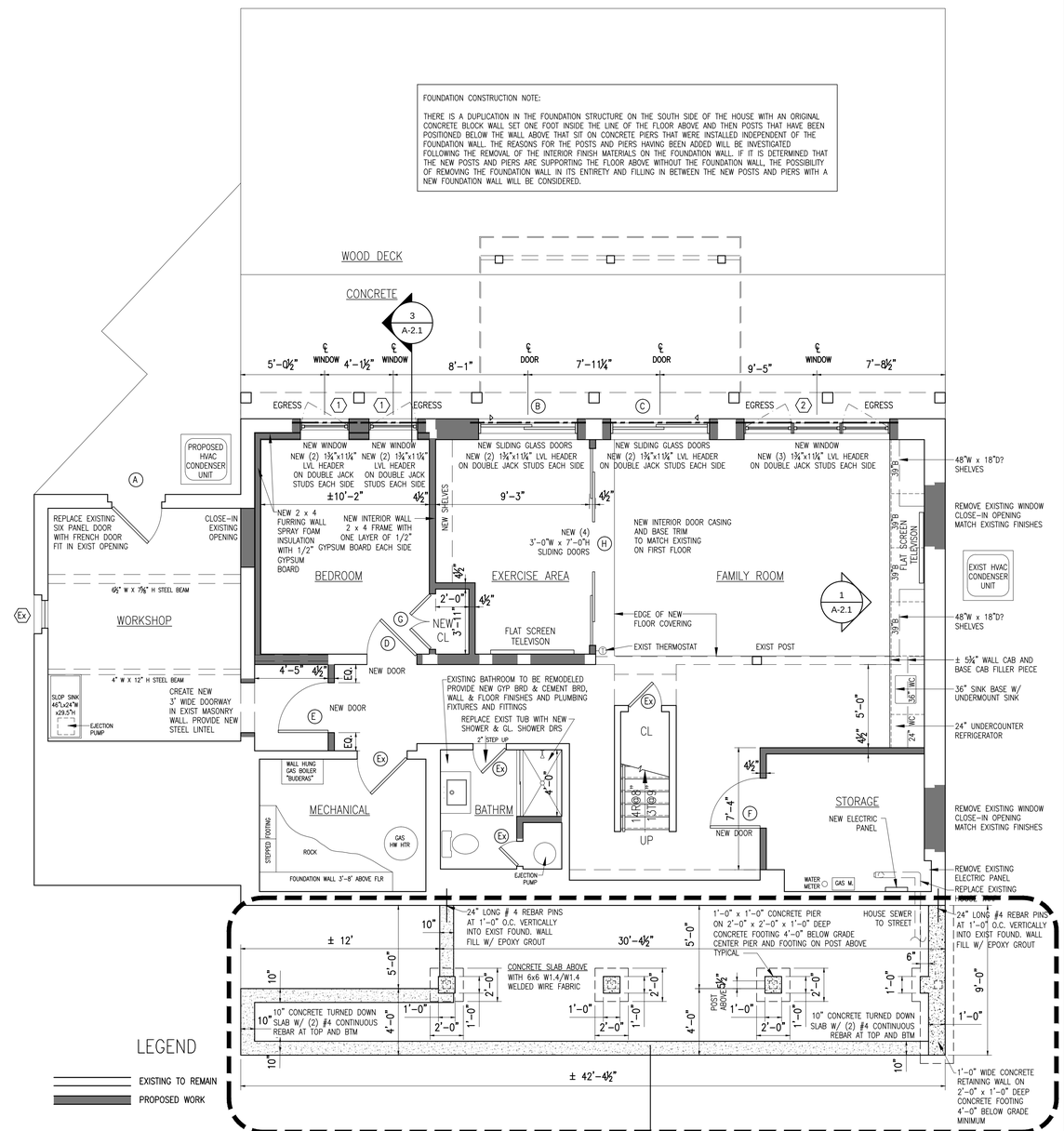
CELLAR FLOOR DEMOLITION PLAN

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET 0 1 2 4 8

FOUNDATION CONSTRUCTION NOTE:

THERE IS A DUPLICATION IN THE FOUNDATION STRUCTURE ON THE SOUTH SIDE OF THE HOUSE WITH AN ORIGINAL CONCRETE BLOCK WALL SET ONE FOOT INSIDE THE LINE OF THE FLOOR ABOVE AND THEN POSTS THAT HAVE BEEN POSITIONED BELOW THE WALL ABOVE THAT SIT ON CONCRETE PIERS THAT WERE INSTALLED INDEPENDENT OF THE FOUNDATION WALL. THE REASONS FOR THE POSTS AND PIERS HAVING BEEN ADDED WILL BE INVESTIGATED FOLLOWING THE REMOVAL OF THE INTERIOR FINISH MATERIALS ON THE FOUNDATION WALL. IF IT IS DETERMINED THAT THE NEW POSTS AND PIERS ARE SUPPORTING THE FLOOR ABOVE WITHOUT THE FOUNDATION WALL, THE POSSIBILITY OF REMOVING THE FOUNDATION WALL IN ITS ENTIRETY AND FILLING IN BETWEEN THE NEW POSTS AND PIERS WITH A NEW FOUNDATION WALL WILL BE CONSIDERED.



LEGEND

EXISTING TO REMAIN

PROPOSED WORK

PLAN – NORTH

N

CELLAR FLOOR – PROPOSED WORK PLAN

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET 0 1 2 4 8

PHASE TWO:
NOT INCLUDED IN BUILDING PERMIT PENDING GRANTING OF VARIANCE BY ZONING BOARD OF APPEALS

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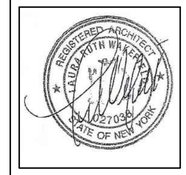

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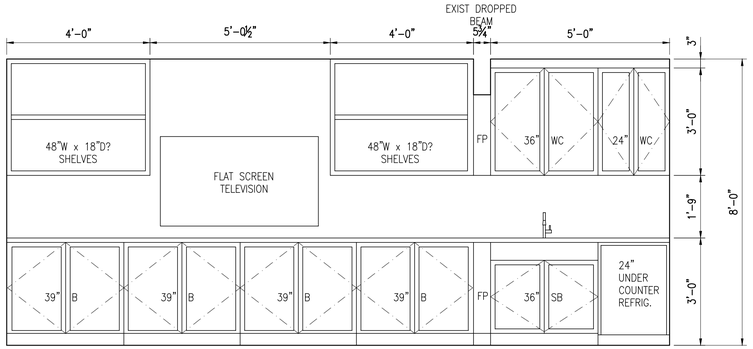
SHEET TITLE:
CELLAR FLOOR DEMOLITION PLAN
CELLAR FLOOR PROPOSED WORK PLAN

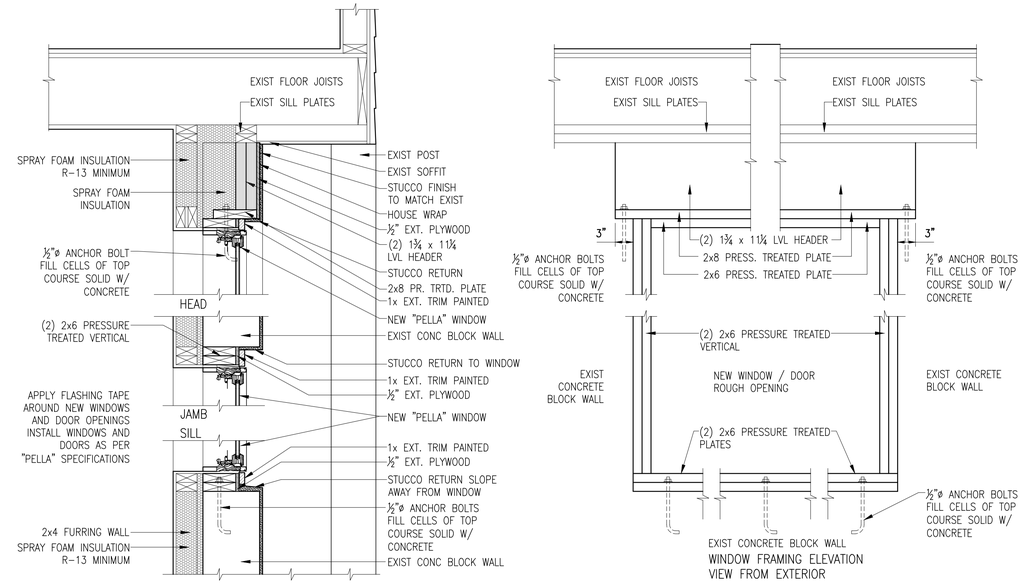
DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE: **AS NOTED**	CHECKED BY: **PRS**

A-2



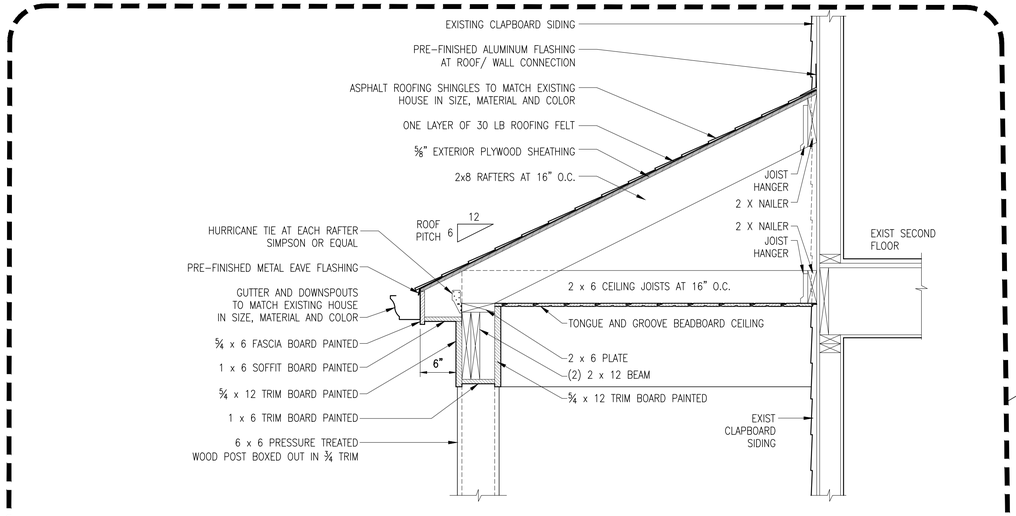
1 A-2.1 INTERIOR ELEVATION 1

SCALE : 1/2" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4

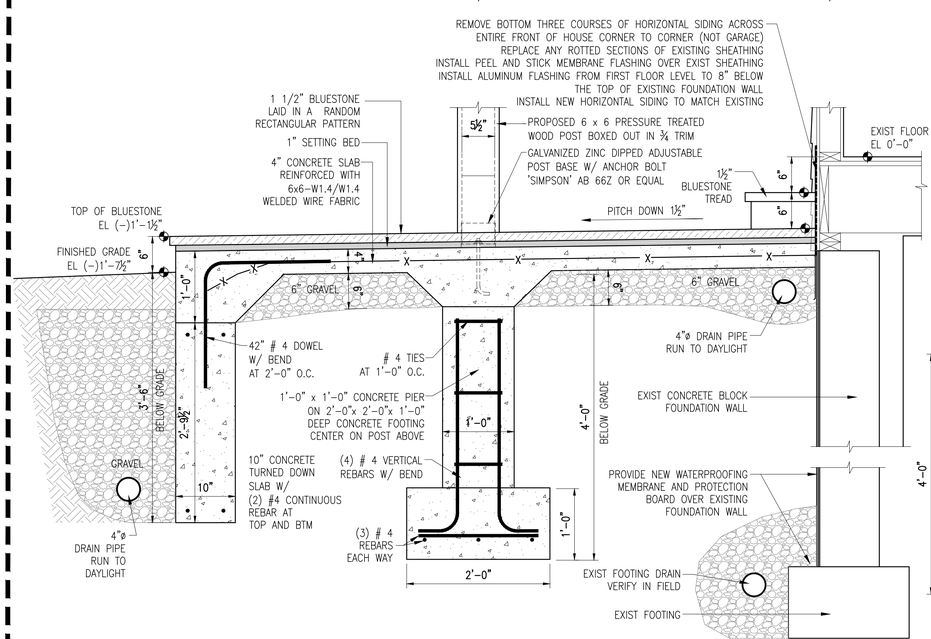


3 A-2.1 CELLAR NEW WINDOW / DOOR DETAIL

SCALE : 1" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2

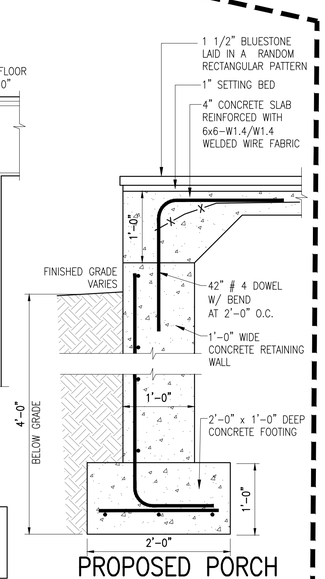


PHASE TWO:
NOT INCLUDED IN BUILDING PERMIT PENDING GRANTING OF VARIANCE BY ZONING BOARD OF APPEALS



2 A-2.1 SECTION THROUGH PROPOSED PORCH

SCALE : 1" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2



2 A-2.1 PROPOSED PORCH AT RETAINING WALL

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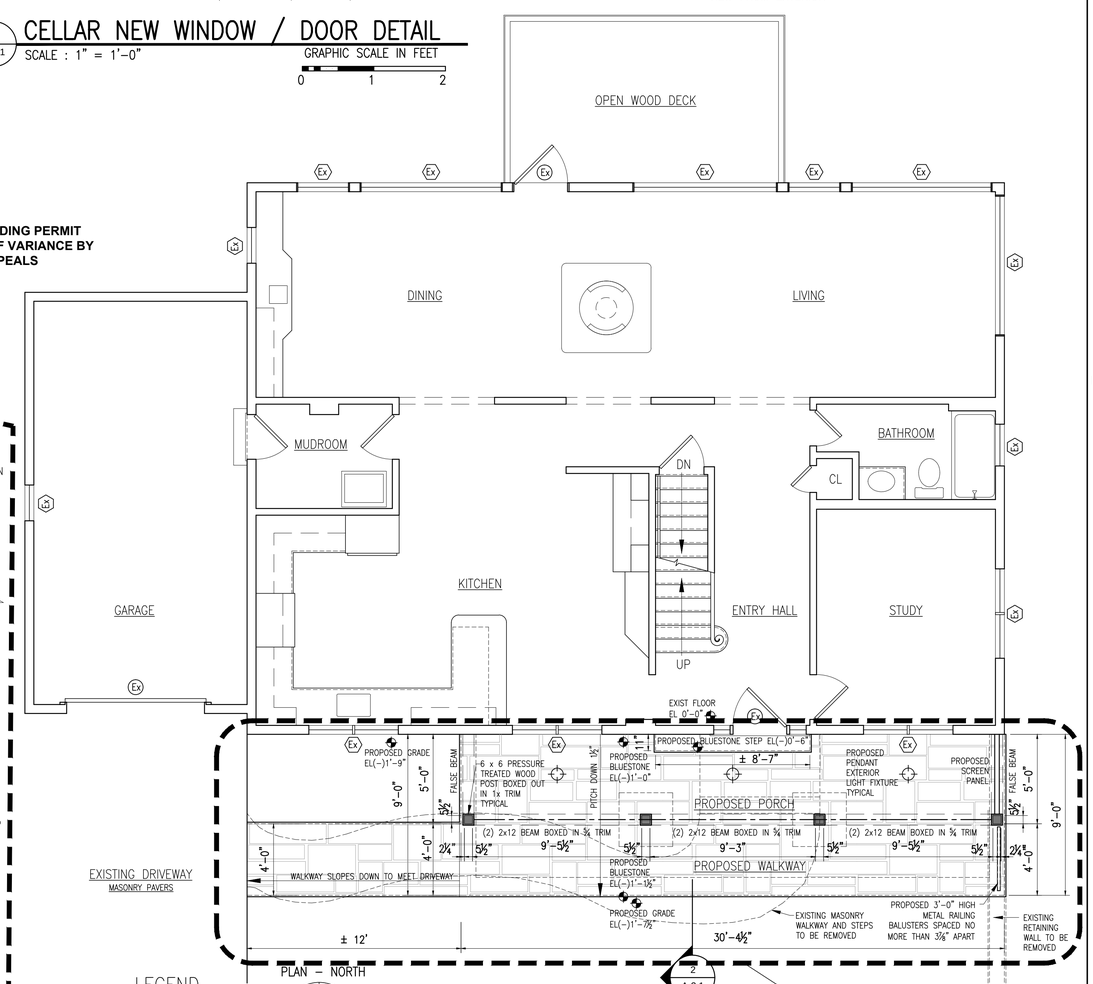

2 A-2.1 FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8

PHASE TWO:
NOT INCLUDED IN BUILDING PERMIT PENDING GRANTING OF VARIANCE BY ZONING BOARD OF APPEALS

LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED WORK

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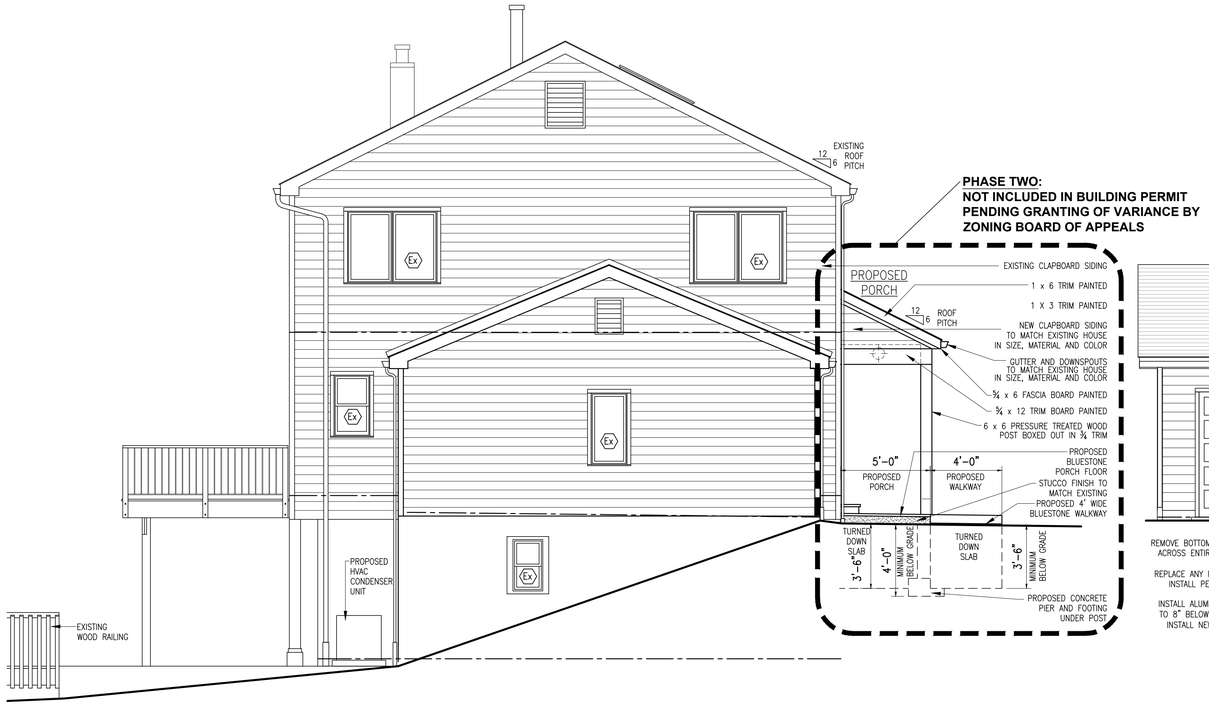
SHEET TITLE:
FIRST FLOOR PLAN
INTERIOR ELEVATION
DETAIL SECTIONS

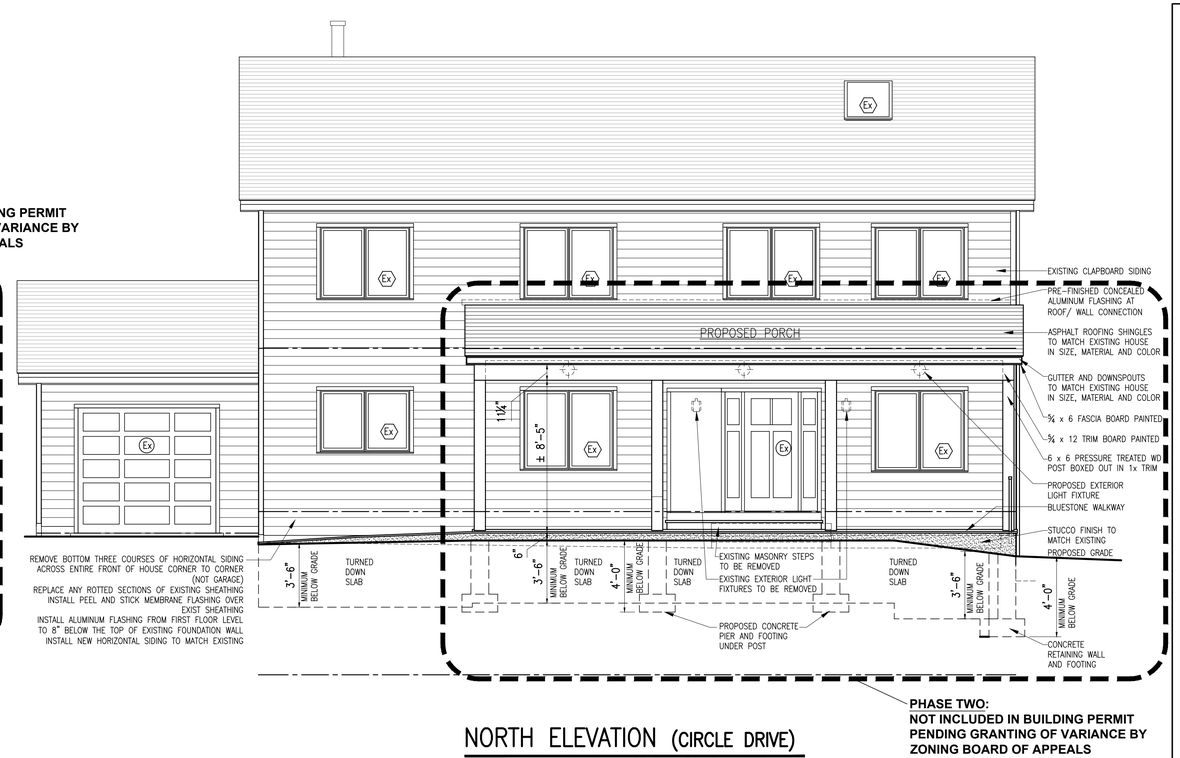
DATE:	DRAWN BY:
07-20-2021	MB
SCALE:	CHECKED BY:
AS NOTED	PRS

A-2.1



EAST ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8

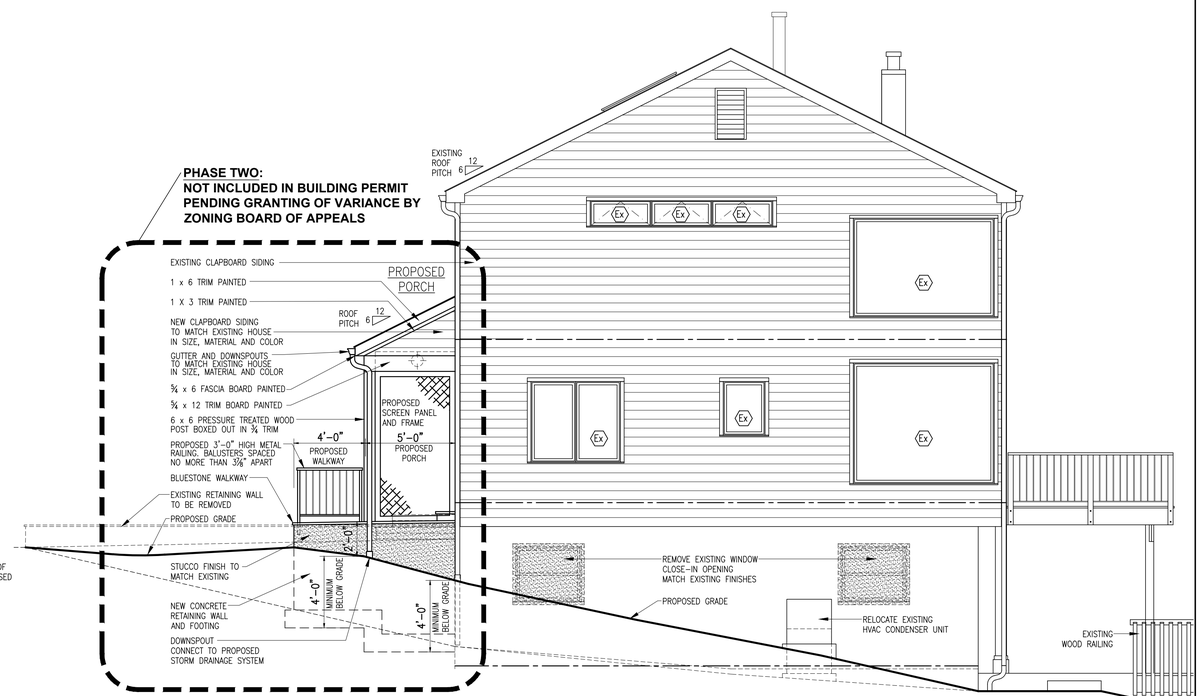


NORTH ELEVATION (CIRCLE DRIVE)

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8

SOUTH ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET 0 1 2 4 8



WEST ELEVATION

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PROJECT TITLE:
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62 CIRCLE DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2105**

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ELEVATIONS PROPOSED WORK

DATE:	DRAWN BY:
07-20-2021	**MB**
SCALE:	CHECKED BY:
AS NOTED	**PRS**

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