

Variance Explanation for 59 Tompkins Avenue, Hastings on Hudson NY 10706

We are seeking to add an enclosed portico to the entrance of 59 Tompkins Avenue. The cement step on which we are building is frost proof and existing. We will nbuild over the existing cement slab and stay within parameters of the present structure. Our contractor (East Shore Builders) will frame area to match the pitch of our present roof, replace front door, replace windows and add siding to match exterior of home.

Description:

Construct a new entryway on existing concrete

Foundation. All structures will be constructed to meet or exceed the minimum requirements of the IRC 2009.

Owners:

Nate Kessman

Jacqueline Lee-Kessman

original

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number:..... Date of application: MAY 4, 2016

Property owner: NATE & JACQUELINE KESSMAN

Property address: 59 TOMPKINS AVENUE

Name all streets on which the property is located:.....

Sheet: 4.140 Block: 149 Lot/Parcel: 20 Zoning District: 210

Applicant: NATE & JACQUELINE KESSMAN

Standing of applicant if not owner:.....

Address: 59 TOMPKINS AVENUE

Daytime phone number: 917 417 7860 Fax number: 718 841 7277

E-mail address: JACQUELINE.KESSMAN@GMAIL.COM
NKESSMAN79@GMAIL.COM

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Special use Permit; ☐ Interpretation; ☐ View Preservation (See §295-82) ☐ Other;

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295-68F 1a</u>	<u>FRONTYARD MIN 30 FT DEEP</u>	<u>32 ft</u>	<u>26.5 Ft.</u>
.....
.....
.....
.....
.....
.....

*See example below:

<u>295-68F 1a</u>	<u>Front Yard Min. 30 ft. deep</u>	<u>26.5 ft.</u>	<u>29.5 ft.</u>
<u>295-68A</u>	<u>Permitted Principal Use</u>	<u>Single Family Home</u>	<u>Conversion to Dental Office</u>

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

	REQUIRED	EXISTING	PROPOSED
FRONT	30	32'	26.5'
REAR	30	44'	- N/A
SIDE ONE	30	32.7'	- N/A
SIDE TWO		21.9'	- N/A
TOTAL OF TWO SIDES		54.6'	- N/A

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.		Add'n in part of principal building	
REAR			
SIDE			

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2	N/C
FEET	35'	20'	N/C

	PERMITTED	EXISTING	PROPOSED
LOT AREA		.25 acres	No change
BLDG. COVERAGE / % OF LOT AREA	25%	16%	No change - New Structure over existing structure
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	21%	No change

*See Definitions of Building and Development Coverage in Section 235-5 of the Village code.

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single Family Res.	Single Family Residential	No Change

** Single Family, Two Family, Commercial, Mixed Use etc.

hsc

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

N/A

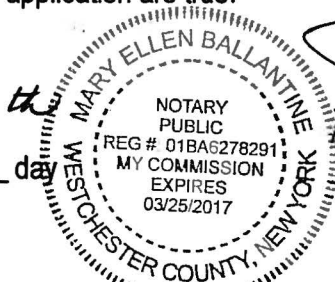
- Is there an approved site plan for this property?: ☐ ... (Yes) ☐ ... (No)
- Is there an Accessory Apartment at this property?: ☐ ... (Yes) ☒ ... (No)
- Does this property have Boarder's Permit?: ☐ ... (Yes) ☒ ... (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 13 day
of June, 2016



[Signature]
Applicant

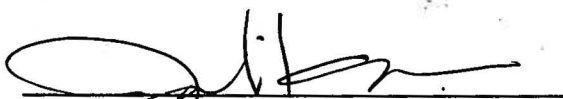
Mary Ellen Ballantine
Notary Public

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation

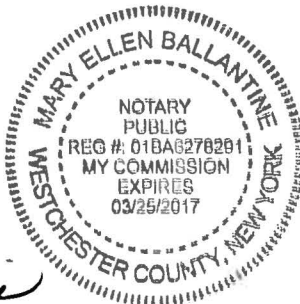


STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : NATE & JACQUELINE KESSMAN, being duly sworn, deposes and says that he/she resides at 59 TOMPKINS AVE, HASTINGS ON HUDSON NY 10706 in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet _____ Block 0796 and Lot 18 of the tax map, and that he/she hereby authorized _____ to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.


Owner

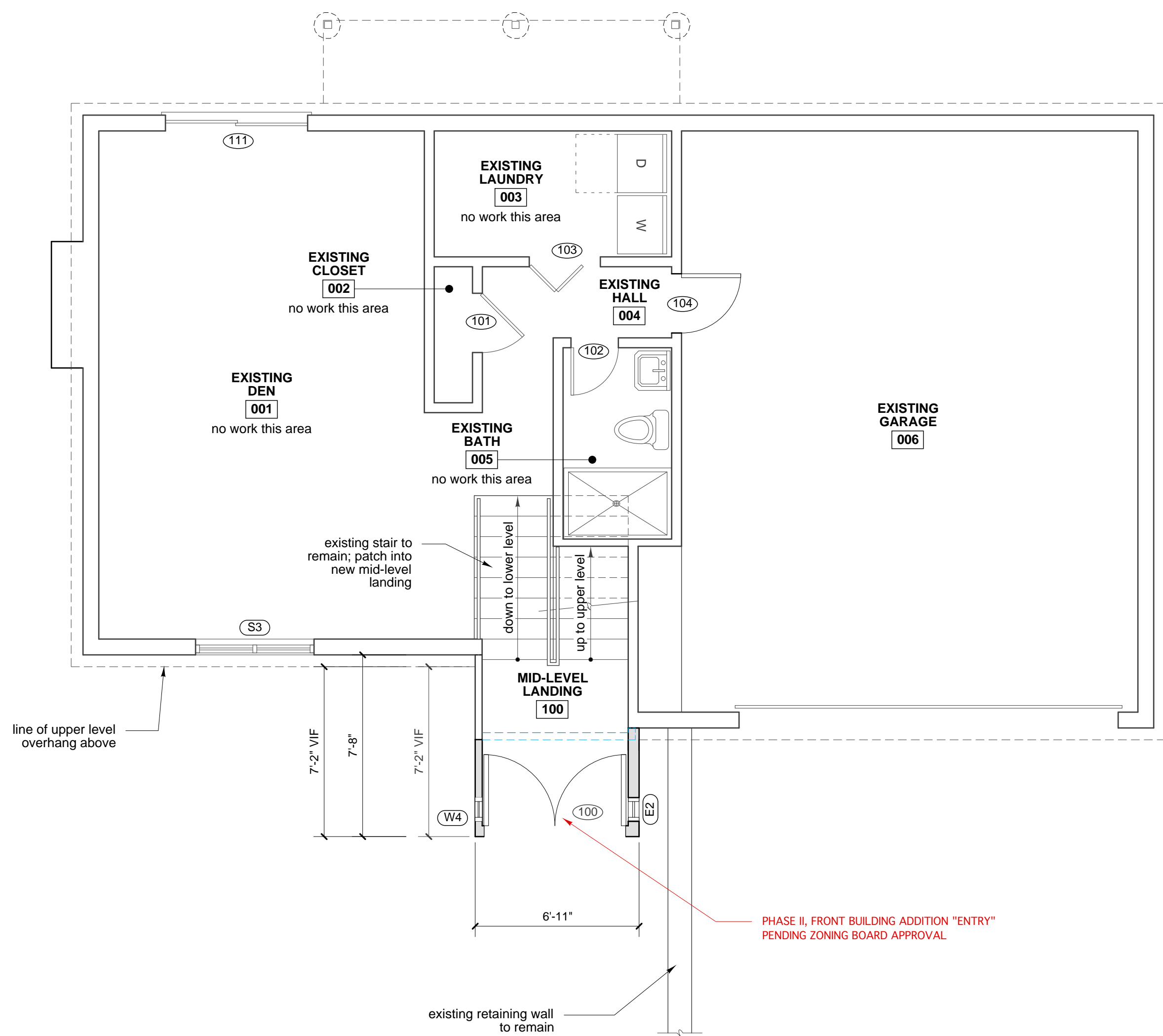
SWORN TO BEFORE ME THIS 13th DAY
OF June 2016



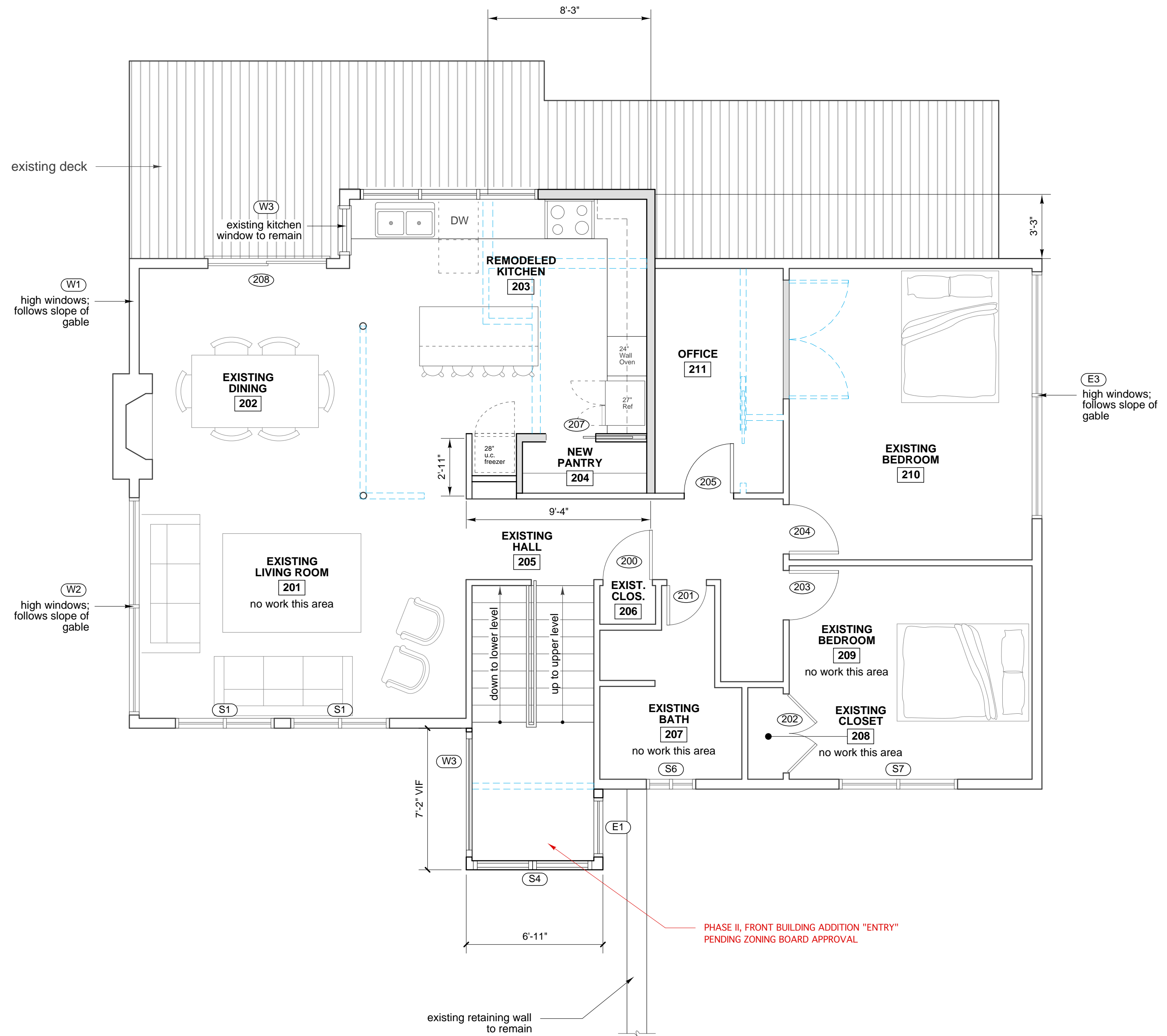

Notary Public

NOTICE

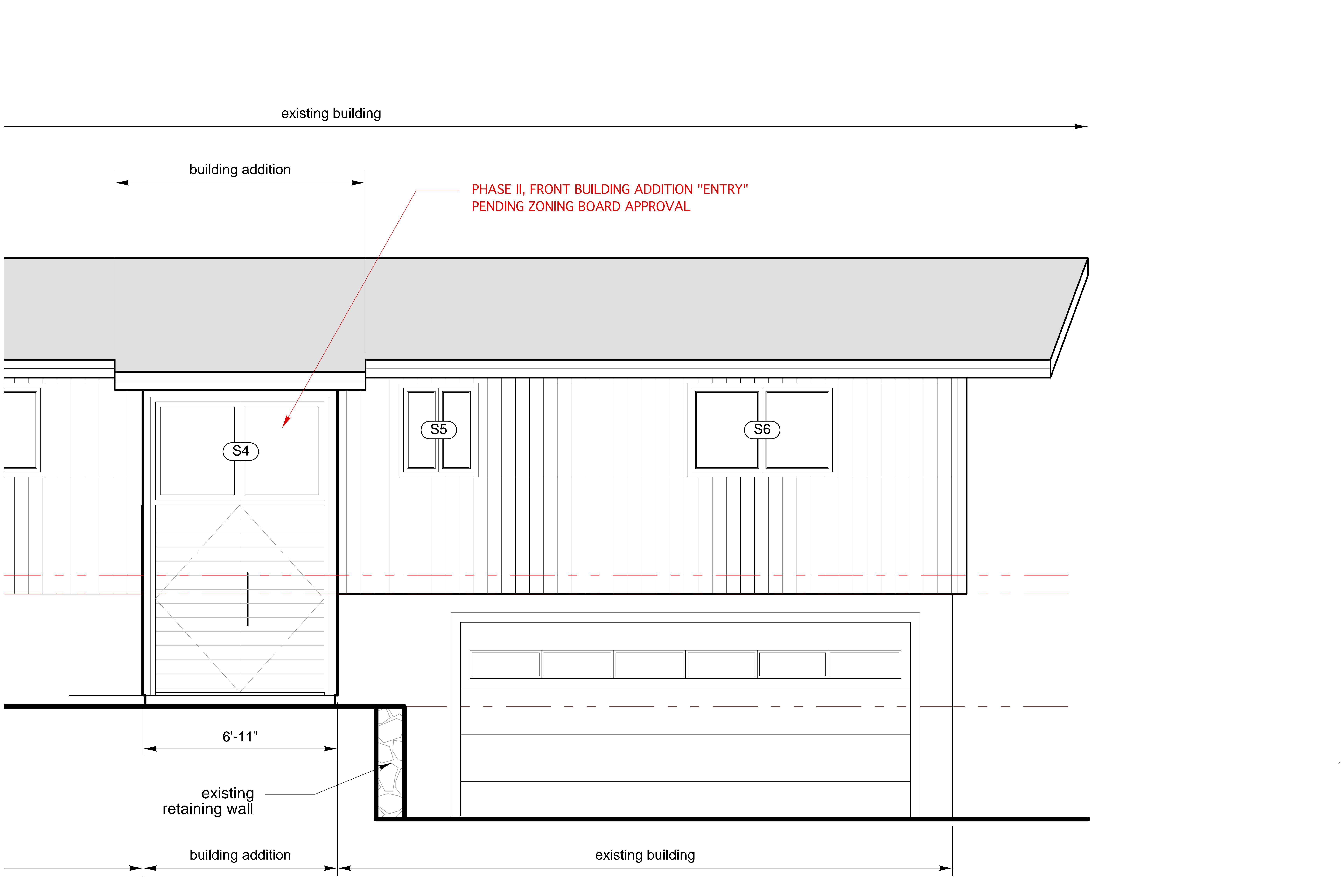
This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

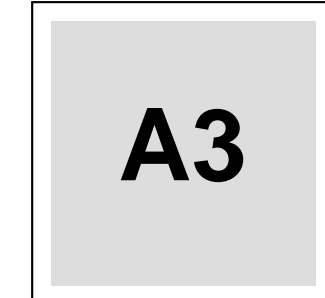
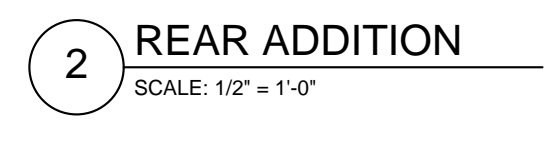


1 Lower Level Floor Plan
SCALE: 1/4" = 1'-0"



2 Upper Level Floor Plan
SCALE: 1/4" = 1'-0"





The diagram illustrates two types of Andersen 400 Series entry doors. Type A is shown on the left, featuring a door with a multi-layered frame, consisting of an inner door panel surrounded by a thick, multi-layered frame. Type B is shown on the right, featuring a door with a single frame. Below each diagram is a caption identifying the type and providing instructions for new interior doors.

TYPE A
Andersen 400 Series
entry door

TYPE B
All new interior doors
shall match existing

[illegible]

1. PLUMBING NOTES:
 - A. PROVIDE SHUT-OFF VALVES ON ALL WATER SUPPLY LINES AT NEW FIXTURES.
 - B. PURGE ALL WATER LINES BEFORE FINAL CONNECTIONS AT NEW FIXTURES.
 - C. PROVIDE AIR CHAMBERS AT TOP OF NEW WATER RISERS MINIMUM 18" HIGH; 1 1/2" DIA.
 - D. CONNECT NEW PLUMBING TO EXISTING HOUSE SEWER.
 - E. REMOVE EXISTING PLUMBING FIXTURES, PROPERLY SEAL AND/OR REMOVE ALL PLUMBING LINES NOT TO BE USED.
 - F. NEW PLUMBING TO BE INSTALLED 4-6" MINIMUM ABOVE FINISH FLOOR.
 - G. ALL NEW PIPING INSTALLED TO SERVICE BUILDING AND WITHIN BUILDING SHALL BE THERMALLY INSULATED AS PER NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
 - H. CONTRACTOR SHALL CHECK EXISTING HOUSE DRAIN, HOUSE TRAP AND F.A.I. AND REPORT TO ARCHITECT ANY DISCREPANCIES IMMEDIATELY.
 - I. PROVIDE FOR ANY WORK.
 - J. NEW PLUMBING INSTALLATION TO COMPLY WITH NEW YORK CITY BUILDING CODE REQUIREMENTS.
2. GENERAL CONSTRUCTION NOTES:
 - A. THE ARCHITECT SHALL COMPLY WITH THE 2009 INTERNATIONAL BUILDING CODE. COMPLIANCE WITH UPDATED CODES AND LOCAL ORDINANCES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR / BUILDER.
 - B. ALL UTILITY AND SITE DESIGN SHALL BE BY OTHERS.
 - C. CABINET / MILLWORK LAYOUTS SHALL BE DONE BY OTHERS. GENERAL CONTRACTOR SHALL VERIFY CABINET LAYOUT WITH THE SUPPLIER.
 - D. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - E. OPENINGS IN STRUCTURAL MEMBERS SHALL NOT EXCEED TWO INCHES IN DIAMETER AT THE CENTER POINT. CONTRACTORS SHALL NOT CUT OR PENETRATE ROOF RAFTERS, FLOOR TRUSSES OR CENTER SUPPORT BEAM.
 - F. THE ELECTRICIAN IS RESPONSIBLE TO MEET STATE AND LOCAL CODES FOR THE COMPLETE WIRING SYSTEM.
 - G. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE COMPLETE PLUMBING SYSTEM.
 - H. DIMENSIONS, WHERE PROVIDED, SHALL TAKE PRECEDENCE OVER SCALE OF DRAWINGS. CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS.
 - I. THIS PLAN ILLUSTRATES THE GENERAL CONDITIONS OF THE BUILDING AT THIS TIME AND IS NOT INTENDED TO BE COMPLETE OR ACCURATE. CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING WORK.
 - J. INTERPRETATION OF CONTRACT DOCUMENTS, CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY, OR ERROR WHICH THEY MAY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS OR OF THE SITE AND LOCAL CONDITIONS. IF THE CONTRACTORS KNOWINGLY DO NOT NOTIFY THE ARCHITECT OF SUCH AMBIGUITY, INCONSISTENCY, OR ERROR THEY THEREFORE ACCEPT SUCH AMBIGUITY AND INCONSISTENCY AND ASSUME ALL RISKS AND CONDITIONS. CORRECTIONS NECESSARY TO PROPERLY COMPLETE THE WORK AT THEIR EXPENSE.
 - K. PROVIDE DUST PROTECTION AS NEEDED OR DIRECTED BY ARCHITECT/OWNER
 - L. DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS IS THE RESPONSIBILITY OF THE SUBCONTRACTORS FOR THE SPECIFIC TRADES AND MUST COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTIONS.
 - M. NO SMOKING OR SPECIFICATIONS SHALL IMPOSE LIABILITY ON THE ARCHITECT OR HIS CONSULTANTS FOR CLAIMS, LAWSUITS, EXPENSES OR DAMAGES ARISING FROM, OR IN ANY MANNER RELATED TO THE EXPOSURE TO, OR HANDLING, OR DISPOSAL OF ASBESTOS, ASBESTOS PRODUCTS, LEAD PAINT, OR HAZARDOUS WASTE IN ANY OF ITS VARIOUS FORMS, AS DEFINED BY THE EPA.
 - N. THE ARCHITECT WAS UNABLE TO VERIFY ALL EXISTING CONDITIONS DUE TO EXISTING INTERIOR FINISHES. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS MEET MINIMUM STANDARDS PRIOR TO INSTALLATION OF THE WORK.
 - O. ALL LUDW IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED.
 - P. PROVIDE AND INSTALL ALL NECESSARY ROUGH HARDWARE SUCH AS NAILS, SCREWS, CLIPS AND OTHER FRAMING DEVICES SHOWN OR REQUIRED FOR SECURING ITEMS OF ROUGH CARPENTRY.
 - Q. REMOVE EXISTING FRAMED WALLS TO MEET NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
 - R. AT LEAST ONE EGRESS WINDOW OR DOOR TO THE OUTSIDE PER ROOM IS REQUIRED IN ALL BEDROOMS.
 - S. INSTALL SHELVES IN ALL CLOSETS AS NOTED ON THE A-SERIES PLANS
 - T. ALL NEW FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER
 - U. REMOVE ALL PORTIONS OF THE BUILDING INDICATED BY DEMOLITION PLANS AND LEGALLY DISPOSE OF SAME AS REQUIRED BY LAW.
 - V. RETURN ANY ITEMS TO THE OWNER FROM THE DEMOLITION WORK AS NOTED BY OWNER.

[illegible][illegible]

TYPE A
Andersen 400 Series Replacement Slider
(field verify existing rough opening)

TYPE B
Andersen 400 Series Replacement Slider
(field verify existing rough opening)

TYPE C
Andersen 400 Series Picture
(field unit dimensions)

TYPE D
Andersen 400 Series Replacement Casement
(field verify existing rough opening)

TYPE E
Andersen 400 Series Picture
(field verify unit dimensions)

TYPE F
Andersen 400 Series Picture

TYPE G
Andersen 400 Series Replacement Trapezoid + Replacement Trapezoid
(field verify existing rough opening)

TYPE H
Andersen 400 Series Awning

TYPE I
Andersen 400 Series Casement

TYPE J
Andersen 400 Series Trapezoid + Trapezoid
(field verify unit dimensions)

TYPE K
Andersen 400 Series Trapezoid
(field verify unit dimensions)



Woolwich, Maine
steve@eastshorebuilders.com
(207) 319 -8765

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KESMAN RESIDENCE

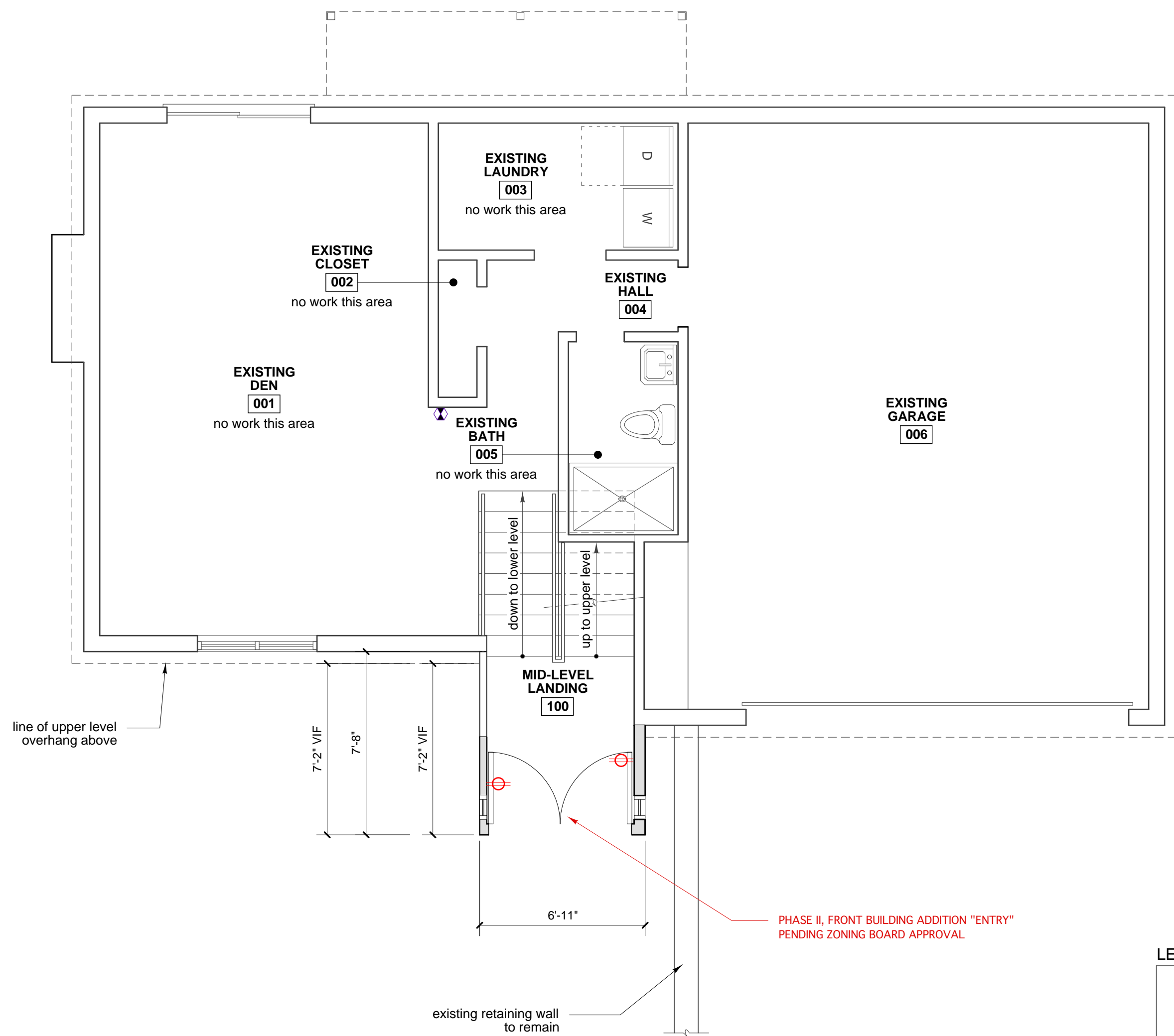
59 Tompkins Avenue
Hastings on Hudson, New York

SCHEDULES & DETAILS

Scale: NTS

Date: 04.04.16

A4

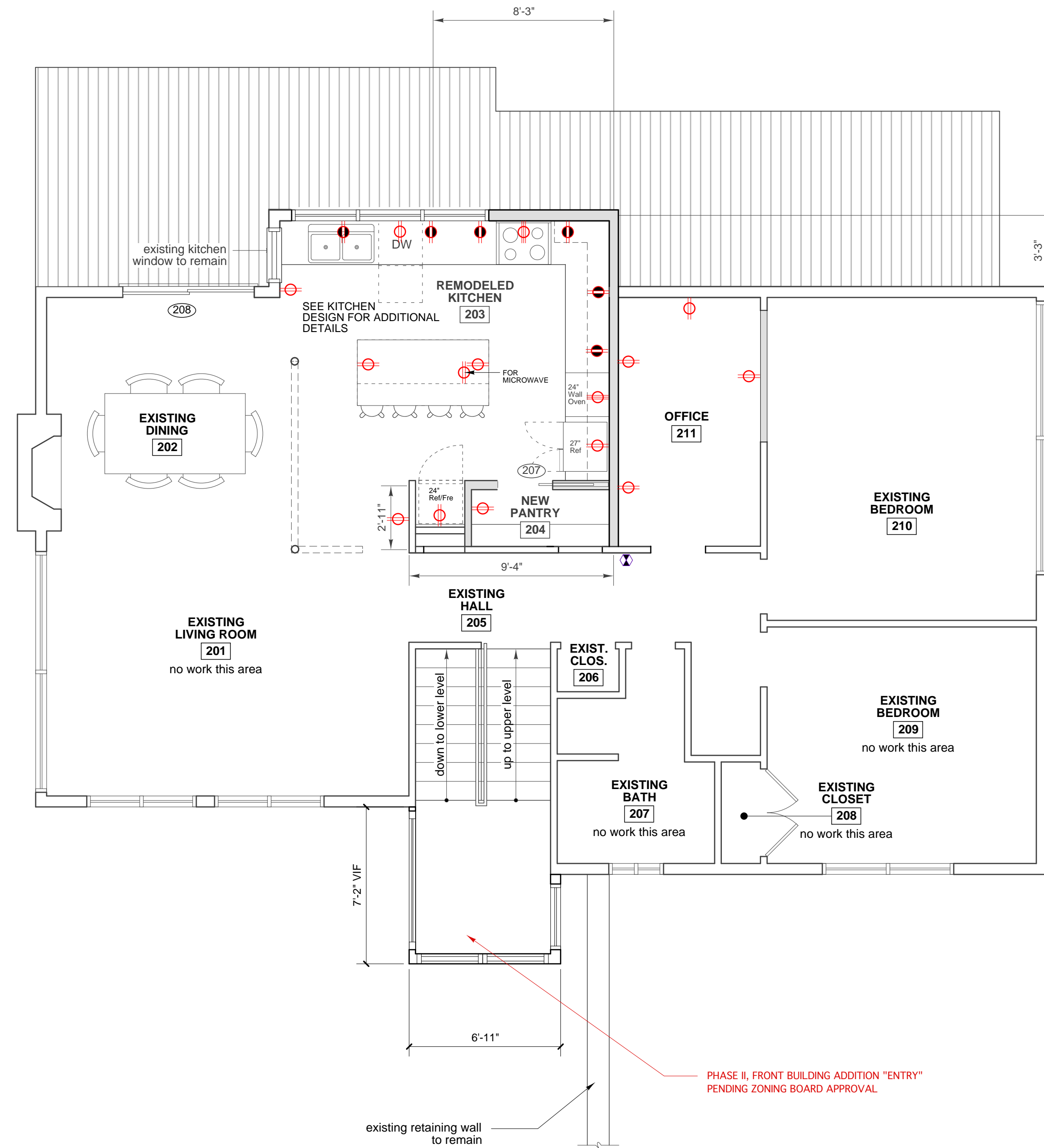


1 Lower Level Floor Plan
SCALE: 1/4" = 1'-0"

LEGEND

- COMBO CO/SMOKE
- NEW GFI OUTLET
- NEW STANDARD OUTLET
- NEW 220 OUTLET

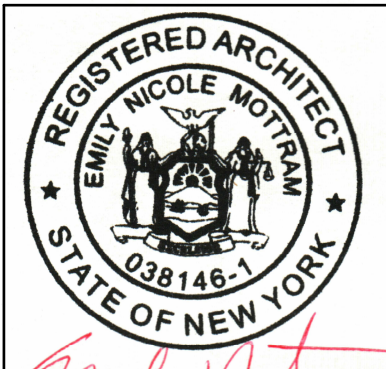
- NOTES
1. THE ELECTRICIAN IS RESPONSIBLE FOR MEETING ALL STATE AND LOCAL CODES
 2. ANY NEW LIGHTING MUST BE ENERGY STAR APPROVED AND MEET THE REQUIREMENTS OF THE NY GREEN ENERGY CODE
 3. SMOKE DETECTORS MUST BE LOCATED WITHIN 15 FEET OF SLEEPING AREA AND ONE PER FLOOR
 4. SMOKE DETECTORS SHALL BE COMBINATION SMOKE/CO ALARMS AND MEET ALL STATE AND LOCAL CODES
 5. REFER TO KITCHEN DESIGN FOR EXACT LOCATION OF EQUIPMENT AND ADDITIONAL ELECTRICAL REQUIREMENTS
 6. ALL NEW EXTERIOR LIGHTING MUST PREVENT LIGHT SPILLAGE UPWARD OR BEYOND THE SITE BOUNDARY.



2 Upper Level Floor Plan
SCALE: 1/4" = 1'-0"

MOTTRAM
ARCHITECTURE

P.O. Box 253,
Minot, Maine, 04258
(207) 713-4591
mottramarchitecture@gmail.com



ESB
EAST SHORE BUILDERS

Woolwich, Maine
steve@eastshorebuilders.com
(207) 319-8765

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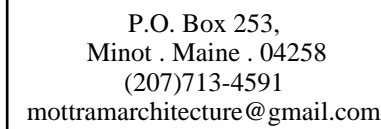
KESSMAN RESIDENCE

59 Tompkins Avenue
Hastings on Hudson, New York

ELECTRICAL PLANS

Scale: 1/4" = 1'-0"
Date: 04.04.16

E1



Woolwich, Maine
steve@eastshorebuilders.com
(207) 319 -8765

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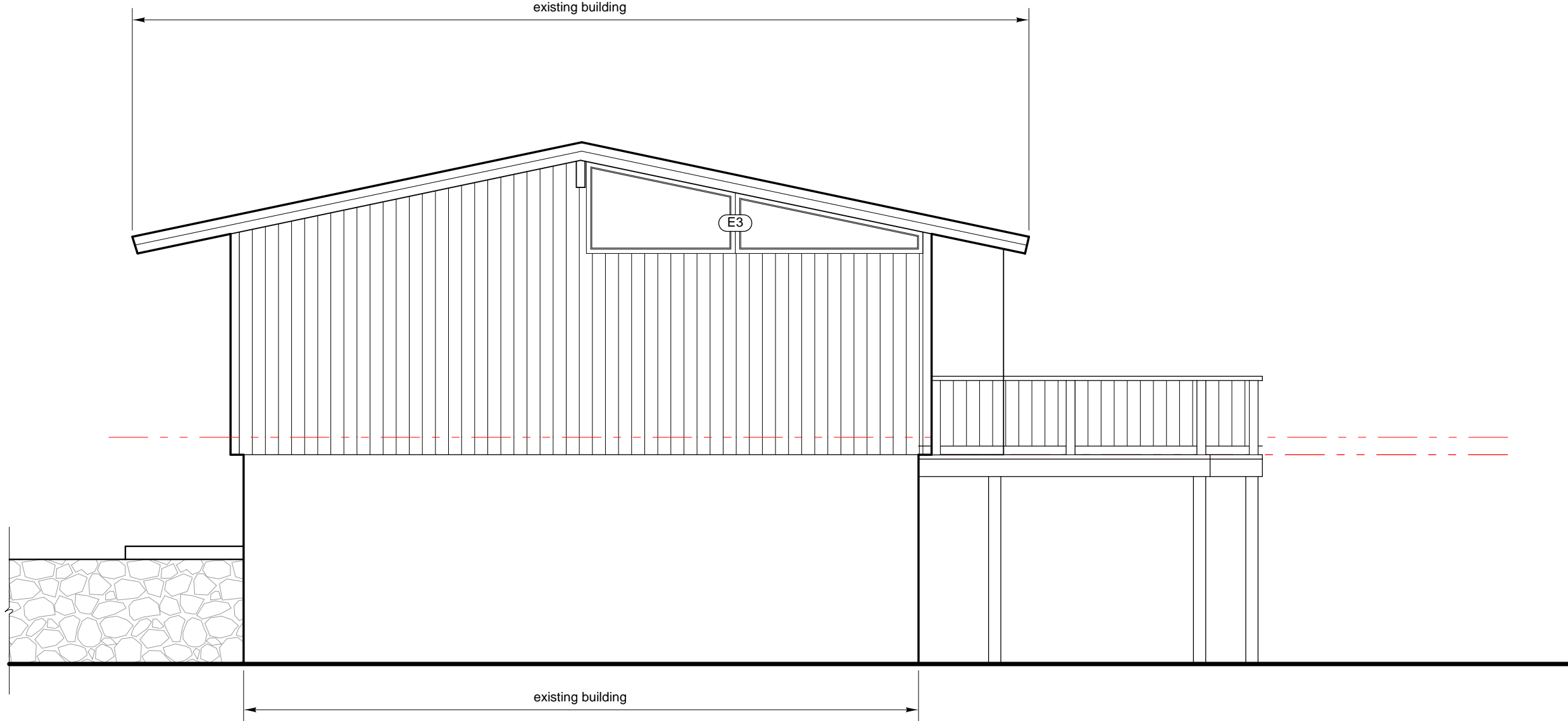
Date: 04.04.16

EX1

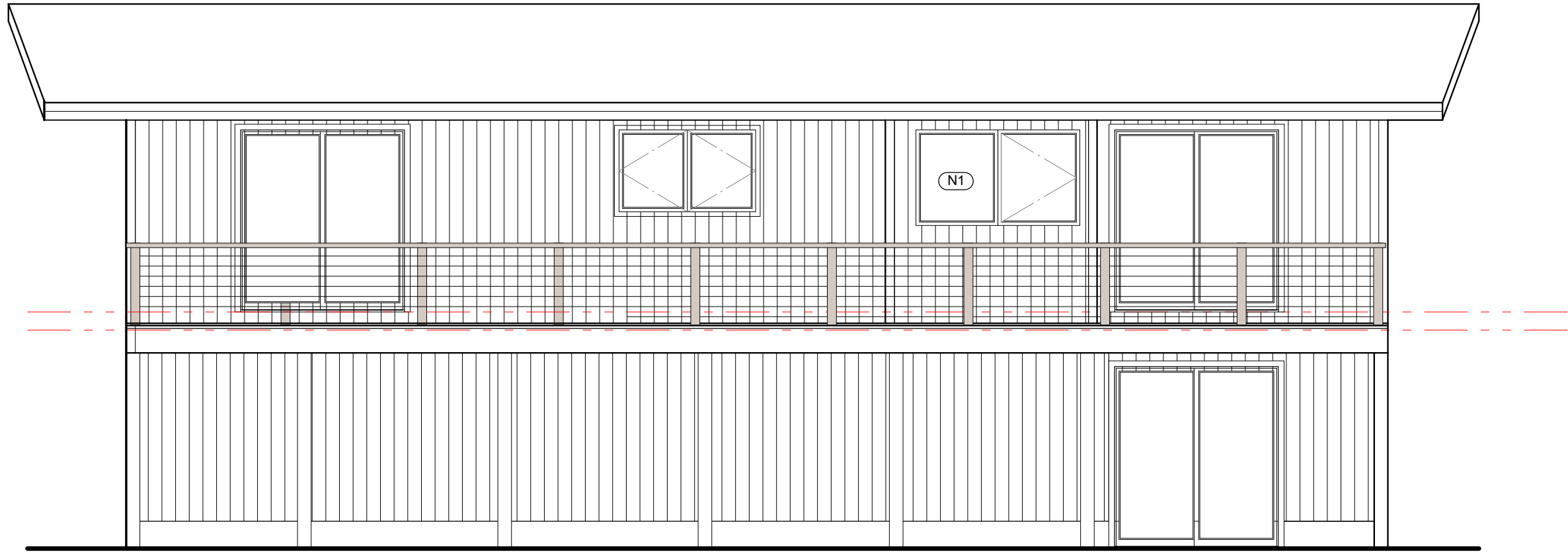




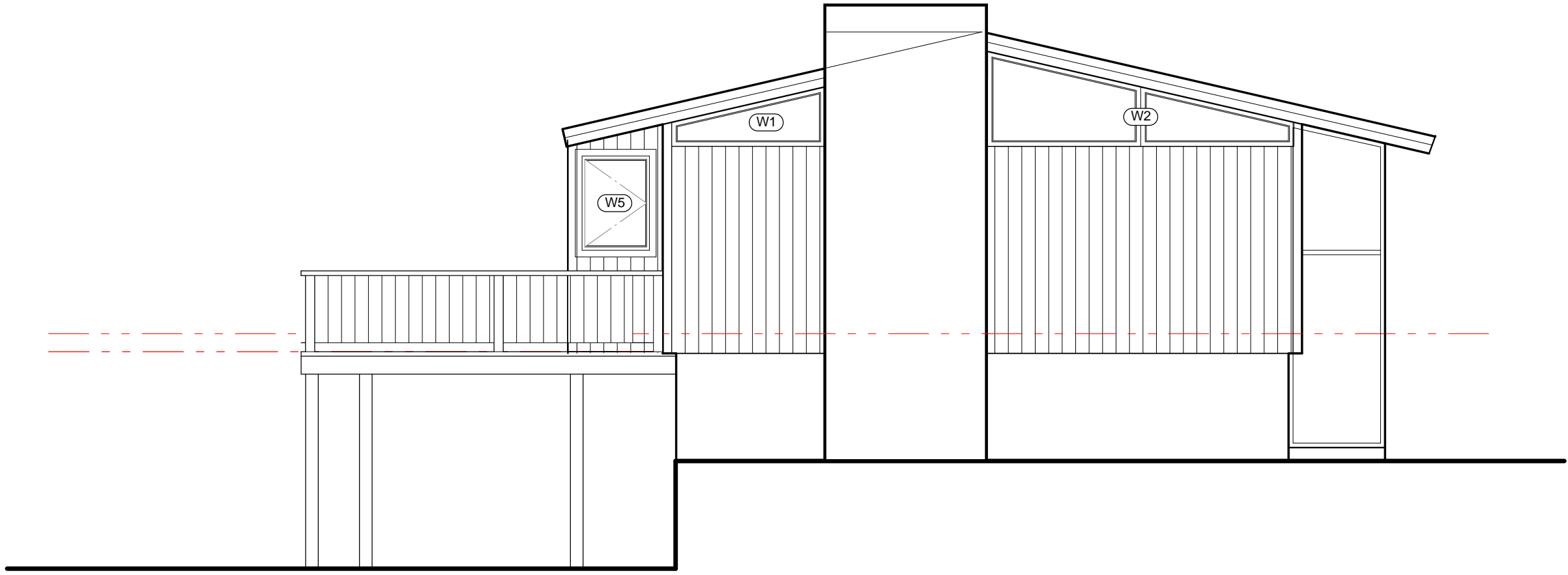
1 South Elevation
SCALE: 1/4" = 1'-0"



2 East Elevation
SCALE: 1/4" = 1'-0"



3 North Elevation
SCALE: 1/4" = 1'-0"



4 West Elevation
SCALE: 1/4" = 1'-0"

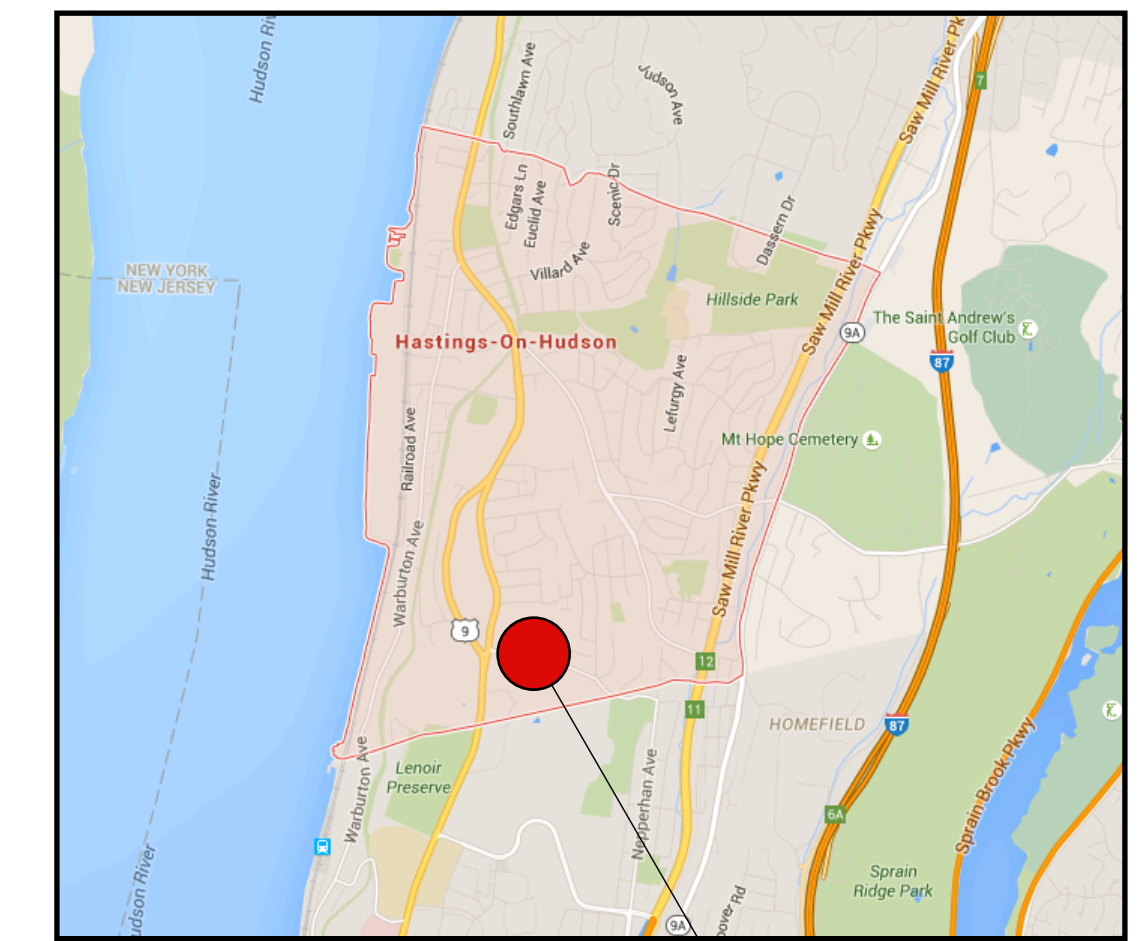


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KESSMAN RESIDENCE
59 Tompkins Avenue
Hastings on Hudson, New York

FLOOR PLANS
Scale: 1/4" = 1'-0"
Date: 04.04.16

EX2



NOTES:

59 TOMPKINS AVENUE
HASTINGS ON THE HUDSON, NEW YORK

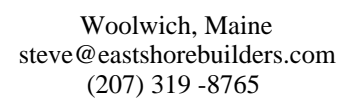
ZONING: R-10
SETBACKS: FRONT 30, REAR 30 OR 30% OF LOT DEPTH, WHICHEVER IS LESS, SIDE 30
MAXIMUM HEIGHT: 35'
BUILDING COVERAGE 25%
TOTAL LOT COVERAGE 35%

CURRENT BUILDING/DECK/OUT BUILDING: 1,731 SF
LOT COVERAGE: 16%

BUILDING IMPROVEMENTS:
FRONT ADDITION 50 SF
REAR ADDITION 27 SF
ROOF ADDITIONS ARE BUILT OVER EXISTING COVERAGE AREA. (REAR DECK/FRONT ENTRY STOOP) ADDITIONS WILL NOT INCREASE LOT OR BUILDING COVERAGE

LOT SIZE: 25 ACRES
LOT COVERAGE: 1731 SF HOUSE + 610 SF DRIVEWAY + WALKWAY.
TOTAL: 2341 SF OR 21%

REGISTERED ARCHITECT
EMILY NICOLE MOTTRAM
038146-1
STATE OF NEW YORK

[illegible]

59 Tompkins Avenue
Hastings on Hudson, New York

Scale: 1/4" = 1'-0"

Date: 04.04.16

LS1