

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Case number: Date of application: **29 SEPTEMBER 2021**

Property owner: **ARTHUR G. MITTON, IV AND LAURA C. MITTON**

Property address: **45 CHESTNUT DRIVE**

Name all streets on which the property is located: **CHESTNUT DRIVE**

Sheet: **4.40** Block: **41** Lot/Parcel: **13** Zoning District: **R-10**

Applicant: **GOTHAM DESIGN AND COMMUNITY DEVELOPMENT**

Standing of applicant if not owner: **AGENT FOR OWNER**

Address: **329 BROADWAY, DOBBS FERRY, NY 10522**

Daytime phone number: **914-693-5093** Fax number: **914-693-5390**

E-mail address: **arch329@gmail.com; archbgo@optonline.net**

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 F(1)a	FRONT YARD 30 FT.	27.75 TO EX. PORCH	23.25 TO PROP'D PORCH
295-68 F(1)a	FRONT YARD 30 FT.	30.50 TO EX. HOUSE	23.75 TO STAIR ADDITION
295-20 D(2)	FRONT YARD PRONOUNCED UNIFORMITY		OF ALIGNMENT
295-68 G	FAR 0.316 - 3,434 SF	0.146 - 1,589 SQ.FT.	0.354 - 3,838 SQ.FT.
295-68 F(1)c	2 SIDEYARDS 30 FT.	12.4 TO EX. GARAGE	12.4 TO PROP ROOF DECK

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use..... FSingle Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30	27.75 (PORCH)	23.25 (PORCH)
REAR	30	57.6 +/-	51.0 +/-
SIDE ONE	12	12.0	NO CHANGE
SIDE TWO		12.4	NO CHANGE
TOTAL OF TWO SIDES	30	24.4	NO CHANGE

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR N/A			
SIDE N/A			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2.5	1.0	2.5
FEET	35	22.42	34.5

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 SQ.FT.	12,870.25 SQ.FT.	NO CHANGE
*BLDG. COVERAGE/ % OF LOT AREA	25%	18.33%	23.30%
*DEVELOPMENT COVERAGE / % OF LOT AREA	35%	22.25%	27.81%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	ONE FAMILY	ONE FAMILY	NO CHANGE

** Single Family, Two Family, Commercial, Mixed Use etc.

FAR

FLOOR AREA RATIO	0.316	0.146	0.354
FLOOR AREA RATIO	3,434	1,589	3,838

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- ✓ List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- ✓ List pending violations on this property if any:

.....
.....

- ✓ Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- ✓ Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- ✓ Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)

- ✓ On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Applicant

Sworn to before me this _____ day
of SEPTEMBER, 20____

Notary Public

September 29, 2021 - Revised

Hastings-on-Hudson Building Department
7 Maple Street
Hastings-on-Hudson, New York 10706

Re: 45 Chestnut Drive - ZBA Application

Dear Mr. Minozzi, Building Inspector:

This letter is to submit an application to the Zoning Board of Appeals for the above referenced property. The owner recently purchased the property with the intent of significantly renovating the existing building, including a second floor addition above the existing one story structure, a two story addition on the back of the existing house, a new deck on the back of the house replacing the existing, and the construction of a porch and staircase on the front of the house.

We understand that there is an issue with the fact that the existing house is closer to the street right-of-way line than the Code requires. We are intending to add to the front of the house, which will reduce that setback further. The Code requires a front yard setback of 30 feet, whereas the existing house has a setback of 27.75 feet from the front property line. The stair tower and front porch that we are proposing reduces this setback to 23.25 feet.

The applicant requests a variance to permit the reduction of the required front yard setback from 30 feet to 23.25 feet, a reduction of 6.75 feet

It is our understanding that the Code specifically addresses this situation application in that, while the setback we are proposing is less than the 30 feet required, it is further setback than the average of the building on the neighboring properties on the same side of the street. Section 295-20D.(2) specifically permits a reduction in the front yard setback to be considered, when the proposed setback will be consistent with the character of the neighboring properties. The property to the east of the subject property has a setback of approximately 5 feet. The property to the west of the subject property has a setback to the front property line of approximately 8 feet. The next property to the west has a front setback to the property line of approximately 19 feet. The next two property to the west appear to have no setback to the front property line.

We also understand that there is an issue with the increase in floor area resulting from the proposed additions, which will cause the floor area to exceed the floor area ratio permitted for this property. With a site area of 10,870 square feet, Appendix B referenced in Section Section 295-53.1 imposes a restriction for a lot not exceeding 10,900 square feet that the floor area within the building not exceed a ratio of 0.316 for the floor area in the house divided by the area of the lot. This ratio limits a 10,870 square foot lot to a maximum floor area of 3,435 square feet. The existing house has a floor area of 1,608 square feet, including a garage with 244 square feet of floor area. 1,608 square feet on a 10,870 square foot lot results in a floor area ratio of 0.1479.

The owners of the house intend to totally renovate the existing house and to make several additions, including the following:

First floor kitchen addition	252 sq.ft.	
Second floor bedroom addition	294	
Front stair addition	130	
Second floor addition above first	1,345	
Total additional conditioned space	2,021 sq.ft.	0.1859 ratio
Covered front porch addition	154 sq.ft.	
Sub-Total additional floor area	2,175 sq.ft.	0.2000 ratio
Existing first floor area	1,364 sq.ft.	0.1255 ratio
Existing garage	244 sq.ft.	
Total proposed floor area	3,783 sq.ft.	0.3480 ratio

The proposed floor area of 3,783 square feet, which includes the existing garage and the proposed covered front porch, has an FAR ratio of 0.348, exceeding the allowable of 0.316 by 0.032; a variance of 9.1%.

It should be noted that the 3,783 square feet proposed includes the covered front porch with an area of 154 square and the existing garage with an area of 244 square feet. Hastings-on-Hudson requires that these uses be considered as floor area, even though they do not qualify as habitable area. Similarly, 560 square feet of the area that is counted as the second floor is actually a vaulted area that open to the first floor below. The actual habitable floor area in the house will be 2,825 square feet.

We understand that there is also an issue with the west side yard setback, which is currently 12.4 feet, where 18 feet is required. While we intend to redress the exterior of the existing garage, it will otherwise remain unchanged in use and dimension. However, we are proposing to change the roof line of the garage from being a pitched roof to being a flat roof.

The applicant requests a variance to permit changes to the roof on an existing structure that has a 12.4 foot setback to a side line where 18 feet is required, a deficiency of 5.6 feet.

Submitted with this letter, please find the following:

- A. A set of 18 sheets of drawings prepared by Gotham Design & Community Development Ltd., under the supervision of Laura Wakefield, Registered Architect, dated as Submitted for a Building Permit September 28, 2021.

Letter to Building Inspector Minozzi
Re: 45 Chestnut Application to the Zoning Board of Appeals
September 29, 2021 - Revised
Page two of three.

- B. A fully executed Application to the Zoning Board of Appeals for variances.
- C. A check in the amount of \$250 made payable to the Village of Hastings-on-Hudson.

We understand that Notice will be required for this application to neighbors and we are prepared to provide that mailing.

Please let us know if there is anything else that you need from us to process this Application and issue the required Building Permit.

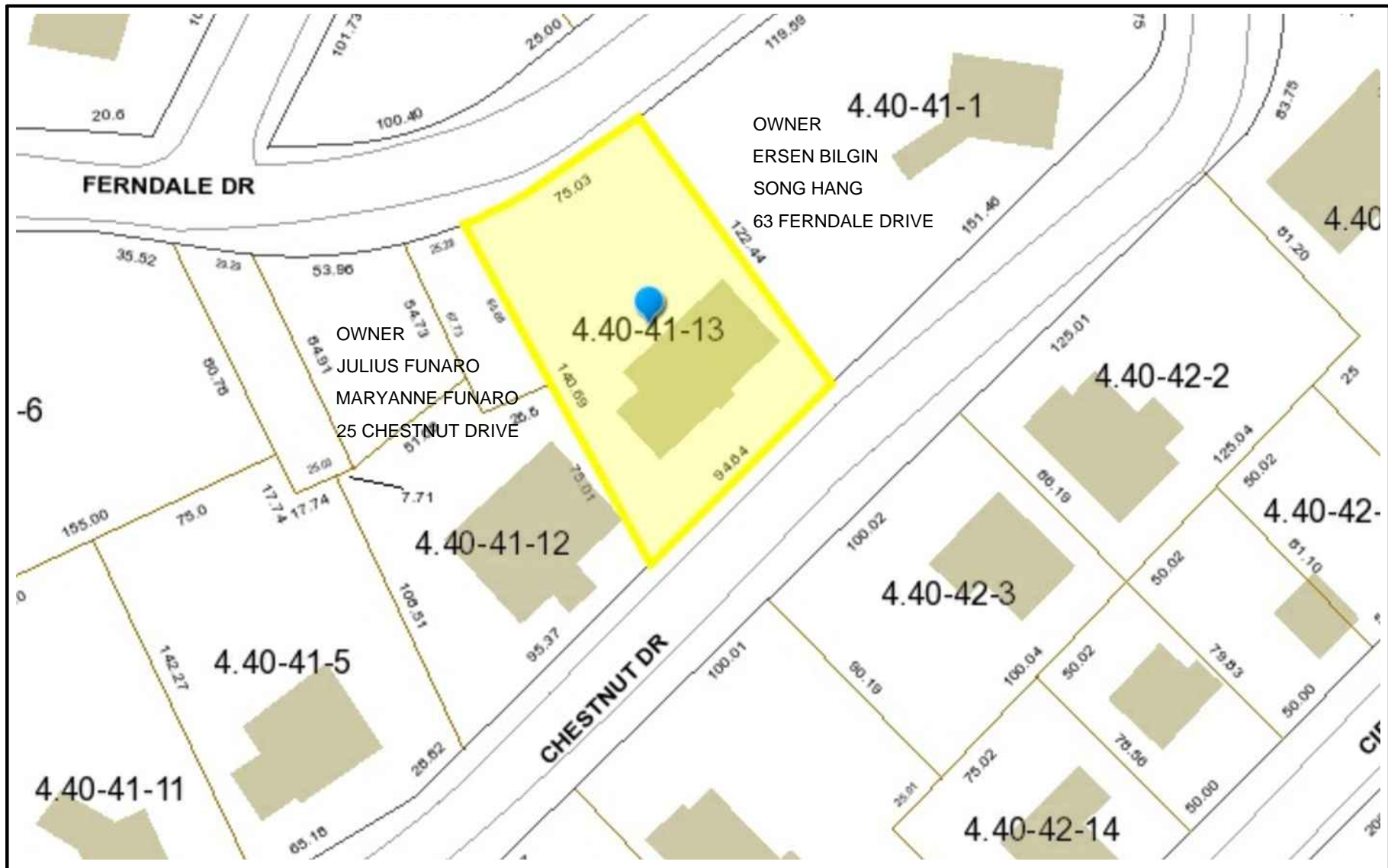
Thank you for your time and attention,

Paddy Steinschneider
As Agent for Andy and Laura Mitton, Property Owner

MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON N.Y. 10706



 **AERIAL LOCATION MAP**
NOT TO SCALE



 **VICINITY MAP**
NOT TO SCALE



 **SITE LOCATION MAP**
NOT TO SCALE

CODE COMPLIANCE NOTES:

- ALL PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE PERFORMED AND COMPLETED IN FULL COMPLIANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE, NOVEMBER 2019 EDITION.
- ALL ELECTRICAL WORK HAS BEEN DESIGNED AND SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE NFPA 70 2017 EDITION.
- ALL PLUMBING WORK HAS BEEN DESIGNED AND SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE, NOVEMBER 2019 EDITION.
- ALL MECHANICAL WORK HAS BEEN DESIGNED AND SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE, NOVEMBER 2019 EDITION.
- THE PROPOSED WORK HAS BEEN DESIGNED IN ACCORDANCE WITH AND SHALL BE PERFORMED AND COMPLETED IN FULL COMPLIANCE WITH THE 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE – RESIDENTIAL PROVISIONS, LATEST EDITION. BY AFFIXING A SEAL AND SIGNING THIS SET OF CONSTRUCTION DOCUMENT, THE REGISTERED DESIGN PROFESSIONAL HEREBY ATTESTS THAT, TO THE BEST OF HIS OR HER KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE CODE.
- THIS BUILDING IS TYPE 5B CONSTRUCTION.
- THIS BUILDING'S USE IS OCCUPANCY CLASSIFICATION R-3.

		BUILDING DEPARTMENT	ZONING DETERMINATION	ZONING BOARD OF APPEALS 09-28-2021	BUILDING PERMIT 09-28-2021
LIST OF DRAWINGS					
CS	LIST OF DRAWINGS, LOCATION MAPS, CODE COMPLIANCE NOTES				
GN	GENERAL NOTES, GREEN BUILDING NOTES, CONSTRUCTION SEQUENCE				
TE-1	BUILDING THERMAL ENVELOPE, NOTES, AND DETAILS				
EX - 1	EXISTING CELLAR AND FIRST FLOOR PLAN				
EX - 2	EXISTING ELEVATIONS				
A - 1	EXISTING AND PROPOSED SITE PLANS, ZONING TABLE				
A - 1.1	PROPOSED EROSION CONTROL AND STORM DRAINAGE PLAN AND DETAILS				
A - 2.0	PROPOSED CELLAR PLAN, FINISH SCHEDULE				
A - 2.01	PROPOSED FOUNDATION PLAN AND FOUNDATION DETAILS				
A - 2.1	PROPOSED FIRST FLOOR PLAN				
A - 2.2	PROPOSED SECOND FLOOR PLAN, DOOR AND WINDOW SCHEDULES				
A - 2.3	PROPOSED FRAMING PLANS				
A - 2.4	I-JOIST FRAMING DETAILS				
A - 2.5	I-JOIST ROOF FRAMING DETAILS				
A - 3.1	PROPOSED SOUTHEAST AND SOUTHWEST ELEVATIONS				
A - 3.2	PROPOSED NORTHEAST AND NORTHWEST ELEVATIONS				
A - 4.1	PROPOSED SECTIONS AND DETAIL SECTIONS				
A - 4.2	PROPOSED DETAIL SECTIONS				

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
DOBBS FERRY, NY 10522
TEL: 914 693 6165
N.Y.S STATE LICENSE
No. 27038

WARNING:
IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 146 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.

PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

SHEET TITLE:
COVER SHEET

DATE:
07-15-2021
SCALE:
AS NOTED

DRAWN BY:
SSJ
CHECKED BY:
PRS

CS

Village of Hastings on Hudson Building Department 7 Maple Ave. Hastings on Hudson, NY 10706 (914) 679-3400 ext. 513													
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 10/3/2016)													
Location: Village of Hastings on Hudson											Zip Code: 10706		
Ground Snow Load	Wind Design				Seismic Design Category (RCMY Only)	Subject to Damage From			Climate Zone	Ice Barrier/Underlayment Req'd	Flood Hazards	Air Freezing Index	Mean Annual Temp
	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone		Weathering	Frost Line Depth	Termite					
30	*Special Wind Region	NO	Yes	NO	C	Severe	42"	Moderate to Heavy	4A	YES	**FIRM COMMUNITY PANEL MAP# 30118C201P EFFECTIVE DATE: 8-28-2007	2000	51.6
** 115 MPH to 120 MPH. The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IRC and Figure R301.2(4) of the IRC are likely to occur and should be considered in the design.													
* State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, V/N. Verify with FIRM Maps. Maps are available on the FIRMA web site http://www.floodmap.floodsimple.com/													
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT													
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE			
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT													
4A	0.35	0.55	0.4	49	20 or 13+5	8/13	19	10/13	10, 2 FT	10/13			
TABLE R402.1.4 EQUIVALENT U-FACTORS													
4A	0.35	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065			

PROJECT DESCRIPTION

1. THIS PROJECT CONSISTS OF THE RENOVATION AND EXPANSION OF A ONE STORY SINGLE-FAMILY HOUSE. THE EXISTING FIRST FLOOR AND FINISHED BASEMENT WILL BE RENOVATED WITH A NEW KITCHEN AND BATHROOM INSTALLED ON THE FIRST FLOOR AND A NEW BATHROOM INSTALLED IN THE BASEMENT. A SECOND FLOOR WILL BE ADDED ABOVE THE EXISTING FIRST FLOOR. A TWO STORY ADDITION ABOVE A FINISHED BASEMENT WILL BE BUILT ON THE BACK OF THE EXISTING HOUSE TO PROVIDE ADDITIONAL SPACE FOR THE PROPOSED KITCHEN AND A MASTER BEDROOM SUITE ON THE PROPOSED SECOND FLOOR. AN ADDITION WALKWAY WILL BE BUILT ON THE FRONT OF THE HOUSE TO PROVIDE A NEW STAIRCASE CONNECTING THE EXISTING FIRST FLOOR TO THE EXISTING FINISHED BASEMENT AND TO THE PROPOSED SECOND FLOOR. THE ADDITION ON THE FRONT WILL ALSO INCLUDE A COVERED PORCH. THE EXISTING DECK ON THE BACK OF THE HOUSE WILL BE REMOVED AND A NEW DECK BUILT. THE EXISTING PLUMBING AND ELECTRICAL WORK IN THE HOUSE WILL BE UPGRADED AND EXTENDED AS REQUIRED TO ACCOMMODATE THE PROPOSED WORK. THE EXISTING HVAC SYSTEM WILL BE REPLACED WITH A NEW AIR TO AIR HEAT PUMP HEATING AND COOLING SYSTEM. A WHOLE HOUSE ENERGY RECOVERY VENTILATOR SYSTEM WILL BE INSTALLED. SINCE THE PROPOSED WORK EXCEEDS 50% OF THE EXISTING BUILDING, A FIRE PROTECTION SPRINKLER SYSTEM WILL BE INSTALLED.

GENERAL NOTES

2. THESE NOTES PERTAIN TO THE ATTACHED DRAWINGS.

3. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS AND CONTRACT FOR CONSTRUCTION, COMPRISE THE CONTRACT DOCUMENTS FOR THIS PROJECT.

4. THE DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS COMPLEMENTARY. ALL LABOR, MATERIALS, EQUIPMENT, AND APPURTENANCES NECESSARY FOR THE EXECUTION OF THE WORK, IF SHOWN ON THE DRAWINGS BUT NOT DESCRIBED IN THE SPECIFICATIONS, OR IF DESCRIBED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS, AND ANY WORK WHICH IS NECESSARY TO COMPLETE THE WORK WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS, IS TO BE EXECUTED IN THE SAME MANNER AS THE OTHER PORTIONS OF THE CONTRACT. FOR VERIFICATION CONTACT GOTHAM DESIGN.

5. ALL CONSTRUCTION WORK MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, BUILDING CODES, AND REQUIREMENTS OF THE VILLAGE OF HASTINGS ON HUDSON, THE COUNTY OF WESTCHESTER, THE STATE OF NEW YORK, THE FEDERAL GOVERNMENT, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK TO BE PERFORMED.

6. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, NOVEMBER 2019 EDITION, AND THE PRESCRIPTIVE ENERGY REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

7. EACH CONTRACTOR PERFORMING WORK ON THIS PROJECT IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THEIR WORK, FOR COORDINATING AND SCHEDULING ALL REQUIRED INSPECTIONS OF THEIR WORK, AND OBTAINING ALL REQUIRED APPROVALS OF THEIR WORK FROM ALL AUTHORITIES HAVING JURISDICTION.

BUILDING CODE CRITERIA

8. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA - HASTINGS ON HUDSON NY

9. CONSTRUCTION TYPE: TYPE 5B - COMBUSTIBLE

10. OCCUPANCY: GROUP R-3: ONE FAMILY RESIDENCE

11. FIRE RATINGS: EXTERIOR BEARING WALLS 3/4 HOUR (MODIFIED UL NO. U326)
INTERIOR BEARING WALLS 3/4 HOUR (UL NO. U317)
COMMON WALLS 2 HOUR (UL NO. 263)
FLOOR CONSTRUCTION 1 HOUR (UL NO. L537)
ROOF CONSTRUCTION 3/4 HOUR

THE REQUIREMENTS FOR FIRE RATINGS OF THESE COMPONENTS IN TYPE 5B CONSTRUCTION IS 0 HOURS. THE FIRE RATINGS NOTED ABOVE EXCEED THE REQUIREMENTS.

ALL INTERIOR AND EXTERIOR BEARING WALL, FLOOR, AND ROOF ASSEMBLIES SHALL BE FIRE BLOCKED AS REQUIRED BY CODE

12. DESIGN LOADS: ROOF DL = 10 PSF SNOW LOAD = 30 PSF
FLOOR DL = 25 PSF LL = 40 PSF

13. TAPE AND COMPOUND ALL INSIDE GYPSUM BOARD CORNERS, CORNER BEAD AND COMPOUND ALL OUTSIDE GYPSUM BOARD CORNERS, J-BEAD AND COMPOUND ALL TERMINATING EDGES OF GYPSUM BOARD WHERE EXPOSED. ALL GYPSUM BOARD WORK IS TO BE IN ACCORDANCE WITH GYPSUM CONSTRUCTION HANDBOOK, UNITED STATES GYPSUM, LATEST EDITION.

SCOPE OF WORK

14. THE CONTRACTOR IS TO FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED FOR COMPLETION OF THIS PROJECT AS INDICATED ON THE CONTRACT DOCUMENTS, EXCEPT AS IDENTIFIED AS EXCLUDED IN THE SPECIFICATIONS OR NOTED AS NIC (NOT IN CONTRACT) ON THE DRAWINGS.

15. THE ONLY ITEMS TO BE EXCLUDED FROM THE BID PRICE FOR THE CONTRACTED SCOPE OF WORK ARE THOSE IDENTIFIED IN THE BID DOCUMENTS AND IN THE SPECIFICATIONS.

16. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE QUALITY STANDARDS IDENTIFIED IN THE CORRESPONDING SECTION OF THE SPECIFICATIONS.

17. EACH CONTRACTOR IS TO FURNISH ALL MATERIALS, LABOR, TOOLS, MACHINERY, SCAFFOLDING, EQUIPMENT, APPURTENANCES, AND APPLIANCES NECESSARY FOR THE PROPER HANDLING AND EXECUTION OF THE WORK.

18. EACH CONTRACTOR WILL HANDLE AND STORE THE MATERIALS IN A SECURED AREA, PROTECTED FROM ADVERSE CONDITIONS, IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, SO AS TO MAINTAIN A SAFE AND SECURE WORK SITE, AND SO AS TO PROTECT THE PREMISES AND MATERIALS FROM DAMAGE OR DETERIORATION.

SITE WORK

19. ALL SITE WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS INCLUDING THE SPECIFIC REQUIREMENTS OF THE VILLAGE OF HASTINGS ON HUDSON BUILDING DEPARTMENT.

20. STORM WATER RUNOFF FROM THE PROPOSED ROOF AREAS WILL BE COLLECTED IN ROOF GUTTERS. THESE GUTTERS WILL CONNECT VIA DOWNSPOUTS TO THE EXISTING STORM DRAINAGE SYSTEM.

21. ALL EXCAVATED MATERIAL, EXCEPT THAT WHICH WILL BE REQUIRED FOR BACKFILLING, WILL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL. IF STOCKPILING IS NECESSARY, MATERIAL MAY ONLY BE PLACED WHERE INDICATED BY GOTHAM DESIGN AND MUST BE PROTECTED TO PROHIBIT EROSION OR SEDIMENTATION INTO THE EXISTING STREAM. TO ADJACENT PROPERTIES, PUBLIC STREETS, OR SIDEWALKS, AND MAY NOT BE PLACED UNDER THE CANOPY OF TREES.

22. ALL EXISTING TREES ON THE PROPERTY SHALL BE PROTECTED AT ALL TIMES AND TEMPORARY FENCING WILL BE INSTALLED AROUND TREES ADJACENT TO THE WORK AREA AT THE DRIP LINE.

23. NO MATERIALS OR DEBRIS MAY BE STOCKPILED WITHIN THE DRIP LINE OF ANY TREE AT ANY TIME.

24. IN THE EVENT IT BECOMES NECESSARY TO REMOVE ANY TREES ON THE PROPERTY, ALL REQUIRED REMOVAL PERMITS SHALL BE OBTAINED PRIOR TO ANY TREE BEING JEOPARDIZED.

COORDINATION

25. USE LABELED DIMENSIONS ONLY. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. FOR CLARIFICATION, CONTACT GOTHAM DESIGN.

26. IN THE EVENT OF DIMENSIONAL DISCREPANCIES, CONFLICTS OR MISSING DIMENSIONS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.

27. IN THE EVENT OF DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS, CONSTRUCTION CONDITIONS, AND THE CONTRACT DOCUMENTS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.

28. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LOCATION OF ALL FRAMING MEMBERS AND SYSTEMS TO BE INSTALLED INCLUDING HEATING, AIR CONDITIONING, ELECTRICAL, PLUMBING, FIXTURES AND OTHER EQUIPMENT TO AVOID CONFLICTS AND UNNECESSARY OR EXCESSIVE NOTCHING, CUTTING, OR OTHER DISTURBANCE OF STRUCTURAL COMPONENTS.

29. DO NOT CLOSE-OFF OR OBSTRUCT DRIVEWAYS, STREETS, WALKS, OR OTHER FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, AS REQUIRED BY GOVERNING REGULATIONS.

30. CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND TO AVOID DISTURBANCE TO THE EXISTING RESIDENCE.

31. ALL CONTRACTORS FURNISHING WORK MUST COOPERATE WITH THE OWNER AND WITH EACH OTHER TO MAINTAIN AN EFFICIENT AND SAFE JOB SITE.

32. MAINTAIN EXISTING UTILITIES. DO NOT DISRUPT UTILITY SERVICES TO THE EXISTING RESIDENCE WITHOUT APPROPRIATE AUTHORIZATION FROM UTILITY COMPANIES. IF DISRUPTION OF UTILITIES IS NECESSARY, PROVIDE TEMPORARY SERVICE AS REQUIRED. IN THE EVENT UTILITIES MUST BE DISCONNECTED AND SERVICES INTERRUPTED, CONTRACTOR MUST PROVIDE 48 HOUR ADVANCE NOTICE TO THE OWNER AND OTHER CONTRACTORS FURNISHING SERVICES.

33. CONTRACTORS FURNISHING WORK MUST PROTECT ADJACENT EXISTING SURFACES AND NEW WORK AT ALL TIMES. DAMAGES MUST BE CORRECTED IN A TIMELY FASHION AT NO EXPENSE TO THE OWNER OR OTHER CONTRACTORS. EACH CONTRACTOR IS RESPONSIBLE FOR PROTECTING THEIR WORK UNTIL ACCEPTANCE BY THE OWNER.

DISPUTES

34. GOTHAM DESIGN HAS THE AUTHORITY TO NEGOTIATE SETTLEMENTS IN DISPUTES CONCERNING THE OBLIGATIONS OR WORK TO BE PERFORMED EITHER BETWEEN THE CONTRACTORS OR BETWEEN THE CONTRACTORS AND THE OWNER.

35. GOTHAM DESIGN HAS THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. WORK REJECTED BY GOTHAM DESIGN DUE TO FAILURE TO CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS MUST BE CORRECTED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

36. IN MATTERS REGARDING THE QUALITY, QUANTITY, AND AESTHETIC EFFECT OF THE WORK, GOTHAM DESIGN'S DECISIONS WILL BE CONSIDERED FINAL.

ERRORS AND OMISSIONS

37. THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ERRORS AND OMISSIONS IN THE WORK AND FOR FAILURE TO PERFORM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

38. THE CONTRACTORS' SERVICES MUST BE PERFORMED IN A SKILLFUL AND COMPETENT MANNER IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE CONSTRUCTION INDUSTRY AND WITH THE REQUIREMENTS OF THOSE AGENCIES HAVING JURISDICTION OR OTHERWISE IDENTIFIED IN THE SPECIFICATIONS.

39. THE CONTRACTOR WILL PROVIDE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE. WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE MUST BE FURNISHED AND COMPLETED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

40. THE CONTRACTOR MUST REPLACE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE INSTALLED IMPROPERLY OR SUBSTANDARD WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

CHANGES

41. ANY CHANGES IN THE ACCEPTED CONTRACT DOCUMENTS OR IN THE COMPLETED WORK WHICH WILL EFFECT THE SCOPE OF WORK, QUALITY AND AESTHETIC EFFECT OF THE WORK, OR THE CONTRACT PRICE REQUIRES A CHANGE ORDER APPROVED BY GOTHAM DESIGN. THIS CHANGE ORDER MUST FIRST BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO BEING EXECUTED BY THE CONTRACTOR.

42. NO CHANGES, ALTERATIONS, OR MODIFICATIONS TO THE DESIGN, THE CONTRACT DOCUMENTS, OR THE PROPOSED OR COMPLETED WORK ARE PERMISSIBLE BY ANY PARTY, INCLUDING THE OWNER AND THE CONTRACTOR, WITHOUT A WRITTEN CHANGE ORDER APPROVED BY GOTHAM DESIGN.

SUBSTITUTIONS

43. SUBSTITUTIONS OF MATERIALS, PRODUCTS, OR METHODS ARE PERMISSIBLE ONLY WITH PRIOR WRITTEN AUTHORIZATION FROM GOTHAM DESIGN.

44. GOTHAM DESIGN WILL CONSIDER REQUESTS FOR SUBSTITUTIONS UP TO FIVE DAYS PRIOR TO INITIATION OF WORK.

CLEAN UP

45. CONTRACTOR SHALL PROTECT THE EXISTING RESIDENCE FROM DUST INFILTRATION AND DAMAGE FROM DEBRIS WITH TEMPORARY BARRIERS AND PROTECTION BOARDS.

46. EACH CONTRACTOR IS RESPONSIBLE FOR CLEANING THEIR WORK AREAS AND REMOVING ALL DEBRIS ASSOCIATED WITH THEIR WORK FROM THE PREMISES AT THE END OF EACH WORK DAY. ALL DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

47. EACH CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT THEIR WORK AREA IS LEFT BROOM CLEAN AT THE END OF EACH WORK DAY.

SAFETY REQUIREMENTS

48. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE SAFETY REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION INCLUDING OSHA.

49. EACH CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL LADDERS, SCAFFOLDS, OR OTHER EQUIPMENT USED UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK.

RESPONSIBILITY

50. EACH CONTRACTOR AND SUBCONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ACCIDENTS RESULTING IN INJURY TO PERSONS OR DAMAGE TO PROPERTY CAUSED BY THE FAULT OR NEGLIGENCE OF THEMSELVES, THEIR AGENTS, EMPLOYEES, OR SUBCONTRACTORS.

51. EACH CONTRACTOR IS RESPONSIBLE FOR ALL PROPERTY INCLUDING MATERIALS, EQUIPMENT, TOOLS, AND APPURTENANCES DELIVERED TO THE JOB SITE UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK WHICH IS STOLEN FROM THE PROPERTY OR DAMAGED ON THE PREMISES.

52. EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER AND GOTHAM DESIGN HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR OR MAY BE ALLEGED TO HAVE OCCURRED DURING THE PERFORMANCE OF THE WORK AS A RESULT, EITHER DIRECTLY OR INDIRECTLY, OF THE CONTRACTOR'S FAULT OR NEGLIGENCE OR THAT OF THEIR AGENTS, EMPLOYEES, OR SUB CONTRACTORS AND WHETHER OR NOT SUCH INJURY OR DAMAGE IS ALSO ATTRIBUTABLE TO THE OWNER'S FAULT OR NEGLIGENCE.

53. GOTHAM DESIGN AND ITS CONSULTANTS HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE JOB SITE INCLUDING, BUT NOT LIMITED TO, ASBESTOS PRODUCTS, POLYCHLORIDE BIPHENYL (PCB), LEAD, OR OTHER TOXIC SUBSTANCES.

54. IN THE EVENT THAT THE CONTRACTOR DISCOVERS HAZARDOUS MATERIALS ON THE SITE, ALL WORK SHALL BE HALTED IMMEDIATELY AND THE REMOVAL OR CONTAINMENT OF THE HAZARDOUS MATERIAL SHALL BE CONDUCTED IN STRICT COMPLIANCE WITH THE REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.

55. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING PROPER HANDLING METHODS FOR ALL MATERIALS ON THE SITE AND FOR INSTRUCTING ALL WORKERS IN PRECAUTIONS, RISKS, AND REQUIREMENTS FOR THE PROPER HANDLING OF POTENTIALLY HAZARDOUS MATERIALS IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

INSURANCE

56. EACH CONTRACTOR AND SUBCONTRACTOR MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT COVERING FROM COMMENCEMENT THROUGH COMPLETION OF ALL WORK. EACH CONTRACTOR AND SUBCONTRACTOR MUST FURNISH A BINDER TO THE OWNER FROM THE CONTRACTOR'S INSURANCE AGENT INDICATING THE TYPE AND AMOUNTS OF COVERAGE. THE MUNICIPALITY, THE OWNER, AND GOTHAM DESIGN SHALL BE NAMED AS "ADDITIONAL INSURED" ON THE BINDER.

57. BY ACCEPTING THE CONTRACT TO WORK ON THIS PROJECT, THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, KEEP, AND SAVE HARMLESS THE OWNER, THE PROPERTY, AND GOTHAM DESIGN AND THEIR REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, RELATED TO, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS UP TO THE FULL EXTENT WHICH WOULD OTHERWISE RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.

58. EACH CONTRACTOR AND SUBCONTRACTOR MUST PROVIDE AND MAINTAIN WORKER'S COMPENSATION INSURANCE IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS FOR ALL EMPLOYEES FURNISHING LABOR FOR THIS PROJECT. NO ONE MAY WORK ON THIS PROJECT WITHOUT BEING COVERED BY WORKER'S COMPENSATION INSURANCE. THE WORKER'S COMPENSATION POLICY SHALL BE INCLUDED ON THE INSURANCE BINDER.

59. CERTIFICATES OF INSURANCE ACCEPTABLE TO THE OWNER MUST BE FILED WITH THE OWNER PRIOR TO THE COMMENCEMENT OF THE WORK.

60. THE OWNER MUST OBTAIN AND MAINTAIN LIABILITY INSURANCE AS WILL PROTECT HIM FROM HIS CONTINGENT LIABILITY FOR INJURY AND DAMAGES WHICH MAY ARISE DURING THE WORK OF THIS PROJECT AND FROM ANY OTHER LIABILITY FOR WHICH THE CONTRACTORS ARE REQUIRED TO BE INSURED UNDER THE PROVISIONS OF THE CONTRACT.

61. THE OWNER MUST OBTAIN AND MAINTAIN FIRE INSURANCE INCLUDING EXTENDED COVERAGE AND MALICIOUS MISCHIEF COVERAGE ON THE STRUCTURE AND CONTENTS TO 100 PERCENT OF THE INSURABLE VALUE THEREOF, PROTECTING THE OWNER'S INTEREST. THE CONTRACTORS' INTERESTS, AND THE SUBCONTRACTORS' INTERESTS, AS USED HEREIN, INCLUDES EACH PARTY'S PROPERTY AND THE PROPERTY OF OTHERS FOR WHICH THEY ARE RESPONSIBLE, INCLUDING ALL MATERIALS, EQUIPMENT, AND SUPPLIES.

WAIVER OF LIENS

62. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WAIVER OF LIEN TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN COVERING ALL LABOR, MATERIALS, AND OTHER EXPENSES AT THE TIME COMPENSATION IS RECEIVED FOR SAME.

63. SUBSEQUENT PAYMENTS TO CONTRACTORS WILL NOT BE PAID UNTIL AN ACCEPTABLE WAIVER OF LIENS HAS BEEN RECEIVED FOR PREVIOUS WORK OF THE SAME CONTRACTOR.

64. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING WAIVERS OF LIENS FROM ALL SUPPLIERS AND SUBCONTRACTORS FURNISHING LABOR AND MATERIALS THROUGH THE GENERAL CONTRACTOR.

65. A RELEASE OF ALL LIENS TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN SHALL BE PROVIDED BY THE CONTRACTOR AT THE TIME OF FINAL PAYMENT.

CERTIFICATION

66. I HAVE REVIEWED THESE DRAWINGS THOROUGHLY AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS CONFORM TO AND COMPLY WITH THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, NOVEMBER 2019 EDITION AND THE PRESCRIPTIVE ENERGY REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AND ALL AUTHORITIES HAVING JURISDICTION.

HASTINGS-ON-HUDSON GREEN CODE COMPLIANCE NOTES:

1. THESE NOTES FOLLOW THE HASTINGS-ON-HUDSON GREEN CODE ORDINANCE FOR SINGLE FAMILY HOMES, CHAPTER 160, ARTICLE III, PART 3 IN THE VILLAGE CODE AND SPECIFICALLY PERTAIN TO 45 CHESTNUT DRIVE.

2. THE NATURAL RESOURCES SURVEY HAS BEEN COMPLETED FOR THIS APPLICATION.

3. A STORM WATER MANAGEMENT PLAN HAS BEEN PREPARED FOR THIS PROJECT INCLUDING A SUBSURFACE STORM WATER RETENTION/DETENTION SYSTEM INCLUDING CULTEX DRAINAGE STRUCTURES DESIGNED TO CONTAIN ALL ADDITIONAL RUNOFF RESULTING FROM THE INCREASE IN IMPERVIOUS SURFACE AREA OF APPROXIMATELY 1,000 SQUARE FEET. THE EXISTING CONDITIONS INCLUDE A TEMPORARY FLOW OF STORM WATER FROM THE PROPERTY TO THE EAST DISCHARGES ACROSS THE REAR YARD OF THE SUBJECT PROPERTY DURING HEAVY STORM EVENTS. THIS WILL BE TREATED AS A VEGETATIVE SWALE AND NOT DISRUPTED.

4. TO REDUCE HEAT ISLAND EFFECT AS A RESULT OF THE CONSTRUCTION OF THE PROPOSED WALKWAY AT THE FRONT OF THE HOUSE, ADDITIONAL SHADE TREES ARE INCLUDED IN THE LANDSCAPING PLAN.

5. NO IRRIGATION IS INCLUDED IN THIS SCOPE OF WORK.

6. ALL LANDSCAPING WILL BE PLANTED WITH INDIGENOUS AND NONINVASIVE MATERIAL.

7. PROPOSED EXTERIOR LIGHTING FIXTURES HAVE BEEN SELECTED AND POSITIONED SO THAT THERE IS NO NIGHT SKY POLLUTION, LIGHT SPILLAGE UPWARD, OR BEYOND THE SITE BOUNDARIES.

8. ALL LIGHTING CONTROLS FOR EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 9.4.1.3 OF ANSI/ASHRAE/IESNA STANDARD 90.1-2007, WITHOUT AMENDMENTS.

9. IT IS ANTICIPATED THAT THE EXISTING HOT WATER BOILER WILL BE REPLACED BY A HIGH EFFICIENCY AIR TO AIR HEAT PUMP SYSTEM. IF A NEW BOILER IS INSTALLED, IT SHALL BE A NATURAL GAS CONDENSING BOILER WITH A MINIMUM ANNUAL FUEL UTILIZATION EFFICIENCY ("AFUE") OF AT LEAST 92%.

10. THE PROPOSED HIGH EFFICIENCY AIR TO AIR HEAT PUMP SYSTEM WILL BE INSTALLED FOR COOLING. ALL EQUIPMENT SHALL HAVE A SEASONAL ENERGY EFFICIENCY RATIO ("SEER") OF AT LEAST 16.

11. ALL NEW FIXTURES AND APPLIANCES SHALL BE COMPLIANT WITH ENERGY STAR.

12. ALL HEATING AND COOLING SYSTEMS SHALL BE CONTROLLED WITH A PROGRAMMABLE THERMOSTAT THAT ALLOWS FOR A VARIETY OF TIME-OF-DAY AND SEASONAL SETTINGS.

13. THE PROPOSED HEATING AND COOLING SYSTEM WILL BE ZONED SO THAT THE HEATING AND COOLING ON THE LOWER LEVEL, FIRST FLOOR, AND SECOND FLOOR CAN BE INDEPENDENTLY CONTROLLED.

14. THE PROPOSED NEW TOILETS SHALL A LOW FLUSH TOILET EQUAL TO OR LESS THEN 1.28 GALLONS PER FLUSH ("GPF").

15. THE PROPOSED NEW SHOWER HEADS SHALL PROVIDE AN AVERAGE FLOW RATE OF NO MORE THAN TWO GALLONS PER MINUTE ("GPM").

16. THE PROPOSED NEW LAVATORY FAUCETS SHALL PROVIDE AN AVERAGE FLOW RATE OF NO MORE THAN TWO GALLONS PER MINUTE ("GPM").

17. PAINTS, COATINGS, AND PRIMERS APPLIED TO INTERIOR SURFACES SHALL NOT EXCEED A VOC CONTENT LIMIT OF 50G/L FOR FLAT PAINT AND 150 G/L FOR NON-FLAT PAINT.

18. CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, SEALERS, AND SHELLACS APPLIED TO INTERIOR SURFACES SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS: 275G/L FOR VARNISH AND LAQUER, 730G/L FOR CLEAR SHELLAC AND 550G/L FOR PIGMENTED SHELLAC, 100G/L FOR WATERPROOFING, 275G/L FOR SANDING, AND 100G/L FOR ALL OTHER SEALERS.

19. CARPET ADHESIVE SHALL NOT EXCEED A VOC CONTENT LIMIT OF 50G/L.

20. NO MATERIALS SHALL CONTAIN ADDED FORMALDEHYDE.

21. THE PROPOSED ROOFING MATERIALS SHALL HAVE AN SRI (SOLAR REFLECTANCE INDEX) OF AT LEAST 0.78 FOR LOW SLOPED ROOFS AND AN SRI OF AT LEAST 0.29 FOR STEEP SLOPED ROOFS. THIS PROJECT CONSISTS OF THE RENOVATION OF AN EXISTING HOUSE WITH AN EXPANSION OF THE EXISTING ROOF AREA BY APPROXIMATELY 380 SQUARE FEET FOR TWO PROPOSED HABITABLE ADDITIONS PLUS 140 SQUARE FEET FOR A PROPOSED FRONT PORCH.

22. EFFORTS WILL BE MADE TO RECYCLE, REPURPOSE, AND/OR REUSE A MINIMUM OF 25% OF CONSTRUCTION WASTE BY WEIGHT SO AS NOT TO BE SENT TO A LANDFILL OR INCINERATOR. THE EXISTING WINDOWS, DOORS, PLUMBING FIXTURES, CABINETS, AND APPLIANCES WILL BE OFFERED TO AGENCIES THAT CAN DISTRIBUTE THESE MATERIALS TO OTHERS IN NEED.

23. THE PROPOSED PROJECT CONSISTS OF THE RENOVATION OF THE EXISTING SINGLE FAMILY HOME WITH A FIRST FLOOR AND FINISHED LOWER LEVEL. ADDITIONS INCREASING THE FOOTPRINT OF THE BUILDING ARE PROPOSED ON THE FRONT OF THE HOUSE FOR A NEW ENTRY AND STAIRS WITH AN INTEGRAL PORCH AND ON THE BACK OF THE HOUSE FOR AN EXPANDED LOWER LEVEL AND FIRST FLOOR. A SECOND FLOOR IS BEING ADDED ABOVE THE EXISTING FIRST FLOOR AND THIS EXTENDS ABOVE THE PROPOSED FIRST FLOOR ADDITIONS. THE LOWER LEVEL WILL INCREASE IN AREA FROM XX TO YY, THE FIRST FLOOR WILL INCREASE IN AREA FROM XX TO YY, AND THE PROPOSED SECOND FLOOR WILL HAVE A FLOOR AREA OF XX. THE EXISTING GARAGE WILL REMAIN THE SAME AREA, BUT WITH THE ROOF CHANGED TO BE A FLAT ROOF DECK ACCESSED FROM THE SECOND FLOOR. THESE CHANGES WILL INCREASE THE FLOOR AREA IN THE HOUSE FROM XXX TO YYY. THIS COMPUTES TO THE AREA OF THE PROPOSED WORK BEING EFFECTIVELY 100% OF THE EXISTING AREA AND AN ADDITION OF ZZZ SQUARE FEET. THE PROJECT REQUIRES THAT THE PART 3 - RESIDENTIAL PROJECTS POINT TABULATION FORM BE COMPLETED, AS STIPULATED IN SECTION 160-2(c) IN THE HASTINGS-ON-HUDSON VILLAGE CODE, SINCE THE ALTERATION IS MORE THAN 1,000 SQUARE FEET AND MORE THAN 50% OF THE AGGREGATE AREA OF THE HOUSE. THE FOLLOWING POINTS ARE ANTICIPATED TO BE GENERATED BY THE PROPOSED PROJECT, AS IS SPECIFIED IN SECTION 160-18 OF THE HASTINGS-ON-HUDSON VILLAGE CODE:

D. WHOLE-HOUSE ENERGY SIMULATION (25%) 4 POINTS

F. HEAT RECOVERY VENTILATION 1 POINT

J. HIGH EFFICIENCY COOLING SYSTEM 1 POINT

K. HIGH EFFICIENCY HEATING EQUIPMENT 2 POINTS

M. LEDS FOR AT LEAST 75% OF LIGHT FIXTURES 1 POINT

O. UTILIZE REUSED MATERIALS (ROOF FRAMING) 1 POINT

P. LOCAL MATERIALS (10% MINIMUM BY COST) 1 POINT

Q. CERTIFIED WOOD (ENGINEERED FRAMING/SHEATHING) 1 POINT

TOTAL 12 POINTS

12 POINTS EXCEEDS THE 5 POINT REQUIREMENT.

OTHER OPTIONS WILL BE CONSIDERED AND IMPLEMENTED, IF PRACTICABLE, SUCH AS A. RAINWATER HARVESTING, C. ECONOMY OF WOOD CONSTRUCTION FRAMING, G. SOLAR ELECTRICITY, AND R. RAPIDLY RENEWABLE MATERIALS.

CONSTRUCTION SEQUENCE NOTES:

1. PRIOR TO INITIATING ANY WORK AT THE SITE, THE GENERAL CONTRACTOR SHALL CONDUCT A SITE MEETING WITH THE CONSTRUCTION MANAGER, PROJECT ENGINEER, AND BUILDING INSPECTOR TO DISCUSS THE SCHEDULE AND CONFIRM SITE CONDITIONS.

2. INSTALL INITIAL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING THE FOLLOWING:
A. PLACE ORANGE CONSTRUCTION FENCING AROUND ANY AREAS TO BE USED FOR EX-FILTRATION TO AVOID COMPACTION.
B. CREATE A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
C. ESTABLISH A CONSTRUCTION STAGING AREA.
D. INSTALL TREE PROTECTION ON TREES AS NOTED ON PLANS AND RIBBON TREES SCHEDULED FOR REMOVAL.
E. REMOVE SELECTIVE VEGETATION FOR INSTALLATION OF SILT FENCE.
F. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.

3. THE BUILDING INSPECTOR AND VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES, IF DEEMED NECESSARY TO MITIGATE UNFORSEEN EROSION OF DISTURBED SOILS AND SILTATION.

4. MAINTAIN THE SITE FREE OF DEBRIS AT ALL TIMES. REMOVE DUMPSTERS WITHIN 24 HOURS OF BEING FILLED.

5. DURING CONSTRUCTION, MAINTAIN ALL EROSION AND SEDIMENTATION MEASURES AT ALL TIMES. INSPECT SILT FENCES AND STRAWBALE BARRIERS WEEKLY, IN ADVANCE OF FORECAST STORMS, AND FOLLOWING STORM EVENTS. MAINTAIN, REPAIR, AND ADJUMENT AS NECESSARY.

6. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS. TEMPORARILY STABILIZE TOPSOIL STOCKPILES WITH HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH TARPULAINS NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND TOE OF SLOPE.

7. REMOVE WINDOWS, DOORS, PLUMBING FIXTURES, CABINETS, AND APPLIANCES AND DONATE TO AGENCIES THAT CAN DISTRIBUTE THESE TO OTHERS IN NEED.

8. GUT THE INTERIOR OF THE HOUSE, REMOVING SHEETROCK ON WALLS AND CEILINGS, TILE ON FLOORS AND WALLS, AND WOOD FLOORS.

9. REMOVE THE EXISTING ROOF AND FIRST FLOOR CEILING. RETAIN WOOD FRAMING FOR REUSE. REMOVE EXISTING EXTERIOR SIDING.

10. SURVEY AND STAKE THE PROPOSED EXCAVATION FOR THE STORM WATER DRAINAGE SYSTEM AND FOUNDATIONS FOR ADDITIONS.

11. EXCAVATE FOR FOUNDATIONS AND PROCEED WITH CONSTRUCTION IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.

12. WATERPROOF THE NEW FOUNDATION WALLS, INSTALL FOOTING DRAINS, AND BACKFILL TO PROPOSED GRADE.

13. FOLLOWING COMPLETION OF THE FOUNDATIONS, HAVE AN AS-BUILT SURVEY PREPARED FOR SUBMISSION TO THE BUILDING INSPECTOR'S OFFICE.

14. PROCEED WITH CONSTRUCTION OF THE ADDITIONS AND RENOVATION OF THE HOUSE.

15. INSTALL SUBSURFACE STORM DRAINAGE SYSTEM IN THE FRONT YARD IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. INSTALL INLET PROTECTION MEASURES TO PREVENT SILT FROM ENTERING SYSTEM DURING CONSTRUCTION.

16. COMPLETE CONSTRUCTION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

17. HAVE A BLOWER TEST PERFORMED ON THE COMPLETED HOUSE AND SUBMIT REQUIRED DOCUMENTS IN ACCORDANCE WITH THE NEW YORK STATE ENERGY CODE TO THE BUILDING DEPARTMENT.

18. GRADE PROPERTY TO FINISHED GRADE.

19. RESTORE THE ROADWAY, CURB, AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY PERFORMED TO THE SATISFACTION OF THE VILLAGE BUILDING INSPECTOR AND DEPARTMENT OF PUBLIC WORKS.

20. INSTALL 4" - 6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPING PLANTS IN ACCORDANCE WITH THE LANDSCAPING PLAN.

21. SPREAD SALT HAY OVER SEEDED AREAS AND MAINTAIN ALL PLANTED AREAS UNTIL MATERIAL HAS TAKEN ROOT AND BECOME STABLE.

22. CLEAN PAVEMENT AND DRAIN LINES. CLEAN EX-FILTRATION SYSTEMS. ENSURE GRASS STAND IS ACHIEVED.

23. AFTER CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED WITH VEGETATION, REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES.

24. SUBMIT "AS-BUILT" DRAWINGS OF THE COMPLETED WORK INCLUDING ALL SITE IMPROVEMENTS AND A FINAL SURVEY SHOWING THE IMPROVEMENTS TO THE BUILDING DEPARTMENT.

25. OBTAIN THE CERTIFICATE OF OCCUPANCY FOLLOWING FINAL INSPECTION BY THE BUILDING INSPECTOR.



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WARNING: IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 2009 FOR ANY PERSON UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, ENGINEER OR LAND SURVEYOR TO ALTER ANY ITEM IN ANY WAY.

PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
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SHEET TITLE:
GENERAL NOTES

DATE: 09-28-2021	DRAWN BY: SSJ
SCALE: AS NOTED	CHECKED BY: PRS

GN

Village of Hastings on Hudson Building Department 7 Maple Ave. Hastings on Hudson, NY 10806 (914) 353-5400 ext. 513										
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 10/3/2016)										
Location: Village of Hastings on Hudson			Zip Code: 10706							
Ground Snow Load	Wind Design				Subject to Damage From			Ice Barrier Underlayment Req'd	Flood Hazards **FIRM COMMUNITY-PANEL MAP# 30118C0201F EFFECTIVE DATE: 9-28-2007	Air Freezing Index
	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone	Seismic Design Category (RCNY Only)	Weathering	Frost Line Depth	Termites		
30	*Special Wind Region	NO	Yes	NO	C	Severe	42"	Moderate to Heavy	4A	2000
* 115 MPH to 120 MPH. The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 1609 of the IRC and Figure R301.2(4) of the IRC are likely to occur and should be considered in the design.										
** State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, YES. Verify with FIRM Maps. Maps are available on the FIRMA web site http://www.firmamaps.firmadirect.com/										

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 or 13-15	81/3	19	10/13	10.2 FT	10/13
TABLE R402.1.4 EQUIVALENT U-FACTORS										
4A	0.35	0.55		0.089	0.08	0.088	0.047	0.047	0.059	0.085

MANUAL J DESIGN CRITERIA							
ELEVATION 178	LATITUDE 41	WINTER HEATING 7	SUMMER COOLING 87	ALTITUDE CORRECTION FACTOR 1	INDOOR DESIGN TEMPERATURE 65	DESIGN TEMPERATURE COOLING 75	HEATING TEMPERATURE DIFFERENCE 61
CURRENT TEMPERATURE DIFFERENCE 12	WIND VELOCITY HEATING 20.4	WIND VELOCITY COOLING 7.5	CONCIDENT WET BULB 72	DAILY RANGE M	WINTER HUMIDITY 30	SUMMER HUMIDITY 55	

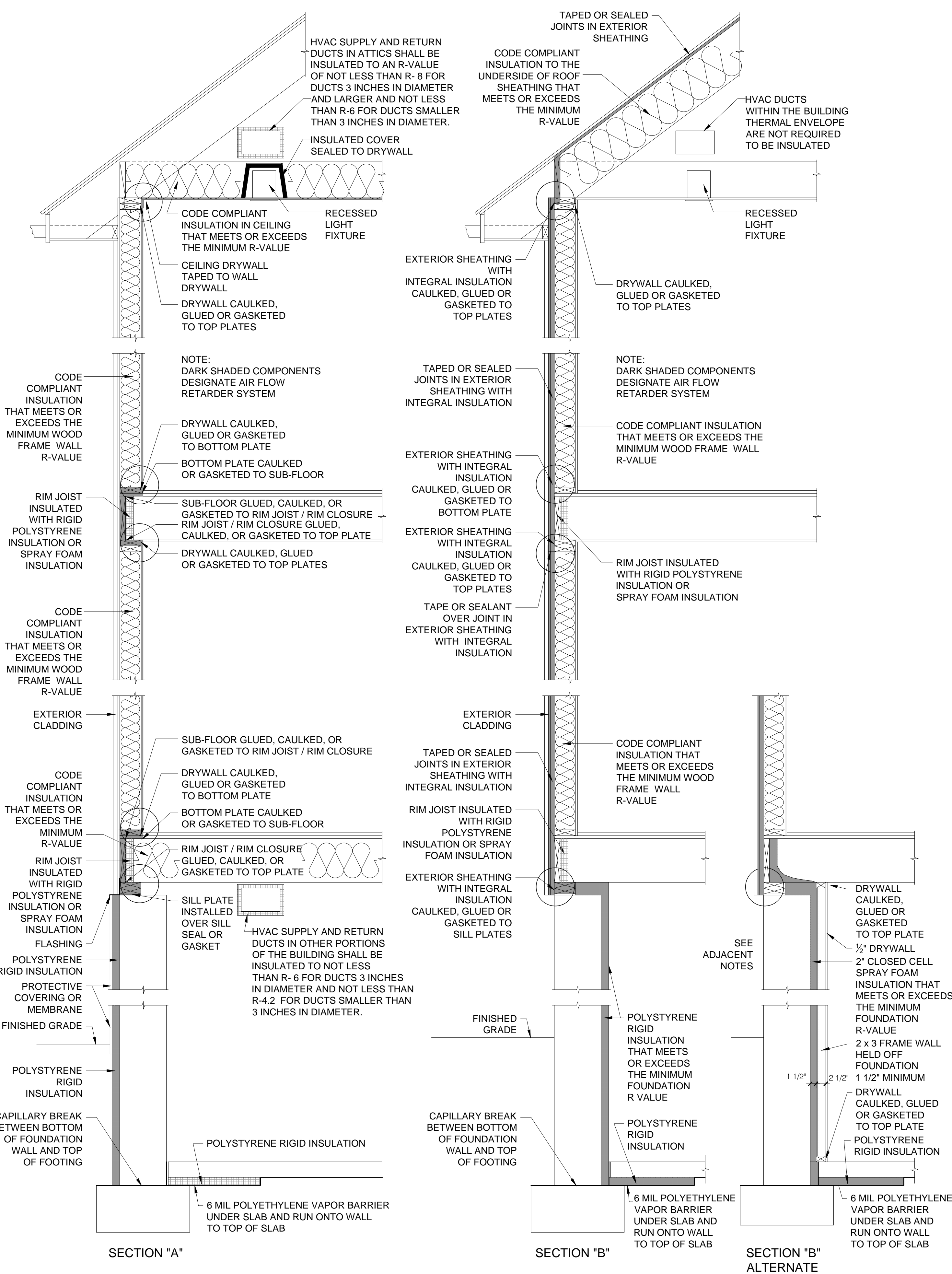
AIR SEALING CHECKLIST	
1. AIR BARRIER AND THERMAL ALIGNMENT	AIR BARRIER IS IN ALIGNMENT WITH THE THERMAL BARRIER (INSULATION)
2. ATTIC AIR SEALING	TOP PLATES AND WALL TO CEILING CONNECTIONS ARE SEALED.
3. ATTIC KNEE-WALLS	AIR BARRIER IS INSTALLED AT THE INSULATED BOUNDARY (KNEE-WALL TRANSITION) OR ROOF, AS APPROPRIATE
4. DUCT SHAFT / PIPING SHAFT AND PENETRATIONS	OPENINGS FROM UNCONDITIONED ATTICS AND SPACES TO CONDITIONED SPACES ARE SEALED.
5. DROPPED CEILING / SOFFIT	AIR BARRIER IS FULLY ALIGNED WITH INSULATION. ALL GAPS ARE SEALED.
6. STAIRCASE FRAMING AT EXTERIOR WALL / ATTIC	AIR BARRIER IS FULLY ALIGNED WITH INSULATION. ALL GAPS ARE SEALED
7. PORCH ROOF	AIR BARRIER IS INSTALLED AT THE INTERSECTION OF THE PORCH ROOF AND EXTERIOR WALL.
8. FLUE OR CHIMNEY SHAFT	OPENING AROUND FLUE IS CLOSED WITH FLASHING, AND ANY REMAINING GAPS ARE SEALED WITH FIRE RATED CAULK OR SEALANT.
9. ATTIC ACCESS / PULL-DOWN STAIR	ATTIC ACCESS PANEL OR PULL-DOWN STAIR IS FULLY GASKETED FOR AN AIR-TIGHT FIT.
10. RECESSED LIGHTING	FIXTURES ARE PROVIDED WITH AIR-TIGHT ASSEMBLY OR COVERING.
11. DUCTS	ALL DUCTS SHALL BE SEALED, ESPECIALLY IN ATTICS, VENTED CRAWL SPACES AND RIM AREAS.
12. WHOLE HOUSE FAN	PENETRATION AT ATTIC- AN INSULATED COVER IS PROVIDED THAT IS GASKETED OR SEALED TO THE OPENING FROM EITHER THE ATTIC SIDE OR CEILING SIDE OF THE FAN.
13. EXTERIOR WALLS	SERVICE PENETRATIONS ARE SEALED AND AIR SEALING IS IN PLACE BEHIND OR AROUND SHOWER / TUB ENCLOSURES, ELECTRICAL BOXES, SWITCHES AND OUTLETS ON EXTERIOR WALLS.
14. FIREPLACE WALL	AIR SEALING IS COMPLETED IN FRAMED SHAFT BEHIND THE FIREPLACE OR AT FIREPLACE SURROUND.
15. GARAGE / LIVING SPACE WALLS	AIR SEALING IS COMPLETED BETWEEN GARAGE AND LIVING SPACE. PASS-THROUGH DOOR IS WEATHERED STRIPPED.
16. CANTILEVERED FLOOR	CANTILEVERED FLOORS ARE AIR SEALED AND INSULATED AT PERIMETER OR JOIST TRANSITION.
17. RIM JOISTS, SEAL PLATE, FOUNDATION	RIM JOISTS ARE INSULATED AND INCLUDE AN AIR BARRIER. JUNCTION OF FOUNDATION AND SILL PLATE IS SEALED. PENETRATIONS THROUGH THE BOTTOM PLATE ARE SEALED. ALL LEAKS AT FOUNDATIONS, FLOOR JOISTS AND FLOOR PENETRATIONS ARE SEALED. EXPOSED EARTH IN CRAWL SPACE IS COVERED WITH CLASS I VAPOR RETARDER OVERLAPPED AND TAPED AT SEAMS.
18. WINDOWS AND DOORS	SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING IS SEALED.
19. COMMON WALLS BETWEEN ATTACHED DWELLING UNITS	THE GAP BETWEEN A GYPSUM SHAFT WALL (I.E. COMMON WALL 0 AND THE STRUCTURAL FRAMING BETWEEN UNITS IS SEALED.

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE IN THE AIR BARRIER SHALL BE SEALED.	AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING / ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW / DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	CHINK SPACE AROUND FRAMING AND TAPE EXTERIOR FLANGE TO AIR BARRIER
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS INCLUDING CANTILEVERED FLOORS AND ABOVE GARAGES	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUB-FLOOR DECKING, OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS A VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	CRAWL SPACE INSULATION WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO WALLS.
SHAFTS, PENETRATION	DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISH SURFACE.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING	PENETRATIONS THROUGH AIR BARRIER SHALL BE SEALED	IN EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING, OR INSULATION, THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACES SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER / TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL AND COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS AND CEILINGS.	
HVAC DUCT WORK	WHERE DUCT WORK PENETRATES THE BUILDING THERMAL ENVELOPE, DUCT WORK SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL. ALL DUCT WORK SHALL BE SEALED.	DUCT WORK LOCATED IN UNCONDITIONED SPACES SHALL BE INSULATED WITH R-8 FOR DUCTS THREE INCHES OR LARGER AND R-6 FOR DUCTS THREE INCHES OR SMALLER

INSULATION SCHEDULE			
LOCATION	TYPE	MINIMUM R-VALUE	NOTES
EXTERIOR WALL CAVITIES	FULL THICKNESS "THERMOSEAL 500" OR APPROVED EQUAL OPEN CELL SPRAY INSULATION	R-20	
EXTERIOR WALL SHEATHING	ZIP SYSTEM SHEATHING OR APPROVED EQUAL	R-6	ALL JOINTS TAPED
UNDERSIDE OF ROOF SHEATHING	7 INCHES OF "THERMOSEAL 2000" OR APPROVED EQUAL CLOSED CELL SPRAY FOAM INSULATION OR FULL THICKNESS "THERMOSEAL 500" OR APPROVED EQUAL OPEN CELL SPRAY INSULATION	R-49 R-38	INSULATION TO EXTEND OVER WALL PLATE AS PER N 1102.2.1 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
FIRST FLOOR CAVITIES	UNFACED FIBERGLASS BATTS	R-30	
SECOND FLOOR CAVITIES	5.5" OF SOUND ATTENUATION BATTS	N / A	
UNDER BASEMENT FLOOR SLAB		R-10	
FOUNDATION WALLS CONCRETE	2 INCH RIGID POLYSTYRENE INSULATION BOARDS	R-10	FULL HEIGHT OF CONCRETE
WOOD FRAME	3" OF "THERMOSEAL 2000" OR APPROVED EQUAL CLOSED CELL SPRAY INSULATION		R-20
WATER PIPES	1.5" PIPE INSULATION	R-10	IN ALL UNHEATED SPACES
SUPPLY AND RETURN DUCTS	FOIL FACED FIBERGLASS DUCT INSULATION	R-8	3 INCHES IN DIAMETER AND LARGER LOCATED IN ATTICS
		R-6	SMALLER THAN 3 INCHES LOCATED IN ATTICS
		R-6	3 INCHES IN DIAMETER AND LARGER IN OTHER PORTIONS OF THE BUILDING
		R-4.2	SMALLER THAN 3 INCHES LOCATED IN OTHER PORTIONS OF THE BUILDING
INTERIOR BATHROOM AND BEDROOM WALLS	3.5" OF SOUND ATTENUATION BATTS	N / A	

- MECHANICAL NOTES:**
- THE SHEETS OF MECHANICAL DRAWINGS PREPARED BY GOTHAM ARE TO BE AUGMENTED BY THE MECHANICAL ENGINEER WORKING WITH THE MECHANICAL CONTRACTOR ON THIS PROJECT. THE MECHANICAL ENGINEER SHALL PROVIDE THE ACTUAL PLANS AND DETAILS OF THE HVAC SYSTEM, INCLUDING THE REQUIRED SPECIFICATIONS ON THE EQUIPMENT, THE DUCT WORK, THE MANUAL J, AND THE MANUAL S. NO HVAC WORK, INCLUDING THE ORDERING OF EQUIPMENT, SHALL COMMENCE PRIOR TO A COMPLETED MANUAL J AND A COMPLETED MANUAL S HAVE BEEN SUBMITTED TO THE BUILDING INSPECTOR'S OFFICE
 - PRIOR TO INITIATING ANY WORK ON THE PROJECT, THE CONTRACTOR SHALL REVIEW ALL OF THE CONSTRUCTION DOCUMENTS AND COMPLETE THE NEW YORK STATE ENERGY CODE B2020 EOCNYS RESIDENTIAL ENERGY PLAN CHECKLIST ON THEIR LETTERHEAD. ANY DEFICIENCIES ON THE CONSTRUCTION DOCUMENTS, INCLUDING THE RESCHECK SHALL BE CORRECTED PRIOR TO THE WORK PROCEEDING. A COPY OF THIS CHECKLIST SHALL BE PROVIDED TO THE BUILDING INSPECTOR'S OFFICE PRIOR TO WORK BEGINNING ON THE SITE.
 - NO WORK ON THE HVAC SYSTEM, INCLUDING THE ORDERING OF EQUIPMENT, SHALL COMMENCE PRIOT TO SHOP DRAWINGS OF THE DUCT WORK AND PIPING. A RESIDENTIAL HVAC EQUIPMENT DESIGN WORKSHEET, A RESIDENTIAL HVAC DESIGN FORM, AND A 2020 EOCNYS RESIDENTIAL ENERGY PLAN REVIEW CHECKLIST, IN ACCORDANCE WITH THE NEW YORK STATE ENERGY CODE, HAVE BEEN PREPARED AND SUBMITTED TO THE BUILDING INSPECTOR'S OFFICE ON THE MECHANICAL CONTRACTOR/S LETTERHEAD.
 - DURING THE COURSE OF THE WORK, THE CONTRACTOR SHALL COMPLETE THE NEW YORK STATE ENERGY CODE FORMS FOR FOUNDATION INSULATION INSPECTION, ROUGH MECHANICAL AND PLUMBING INSPECTION CHECKLIST, AIR BARRIER AND INSULATION INSTALLATION CHECKLIST, FINAL INSPECTION INSULATION AND DOCUMENTATION CHECKLIST, AND THE RESIDENTIAL DUCT AND ENVELOPE TESTING (EDT) FORM ON THE CONTRACTOR'S LETTERHEAD. THESE COMPLETED FORMS SHALL BE SUBMITTED TO THE BUILDING INSPECTOR'S OFFICE PRIOR TO SUBMITTING AFFIDAVITS FOR THE REQUIRED CERTIFICATE OF OCCUPANCY.

- NY R402.4.1.2 TESTING**
- THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH RES NET / ICC380, ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2 INCH WG (50 PASCALES) . TESTING SHALL BE PERFORMED AT ANY TIMEAFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
- DURING TESTING**
- EXTERIOR WINDOWS AND DOORS, FIREPLACE AND STOVE DOORS SHALL BE CLOSED, BUT NOT SEALED BEYOND THE INTENDED WEATHERSTRIPPING OR OTHER INFILTRATION CONTROL MEASURES.
 - DAMPERS INCLUDING EXHAUST, INTAKE, MAKEUP AIR, BACKDRAFT AND FLUE DAMPERS SHALL BE CLOSED BUT NOT SEALED BEYOND INTENDED INFILTRATION CONTROL MEASURES.
 - INTERIOR DOORS WHERE INSTALLED AT THE TIME OF THE TEST SHALL BE OPEN.
 - EXTERIOR DOORS FOR CONTINUOUS VENTILATION SYSTEMS AND HEAT RECOVERY VENTILATORS SHALL BE CLOSED AND SEALED.
 - HEATING AND COOLING SYSTEMS, WHERE INSTALLED AT THE TIME OF THE TEST, SHALL BE TURNED OFF.
 - SUPPLY AND RETURN REGISTERS, WHERE INSTALLED AT THE TIME OF THE TEST, SHALL BE FULLY OPEN
- WHERE REQUIRED BY THE BUILDING OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS SHALL BE PREPARED AND SIGNED BY THE PARTY CONDUCTING THE TEST
- AND PROVIDED TO THE BUILDING OFFICIAL.
- THE WRITTEN REPORT SHALL INCLUDE:
- THE NAME AND PLACE OF BUSINESS OF THE PARTY CONDUCTING THE TEST.
 - THE ADDRESS OF THE BUILDING THAT WAS TESTED.
 - THE CONDITIONED FLOOR AREA OF THE DWELLING CALCULATED IN ACCORDANCE WITH ANSI / BOMA Z65.1, EXCEPT THAT CONDITIONED FLOOR AREA SHALL INCLUDE AREAS WHERE THE CEILING HEIGHT IS LESS THAN 5 FEET (1524 MM).
 - MEASUREMENT OF THE AIR VOLUME LOST AT AN INTERNAL PRESSURIZATION OF 0.2 WG (50 PASCALES) .
 - THE DATE OF THE TEST
 - A CERTIFICATION BY THE PARTY CONDUCTING THE TEST OF THE ACCURACY OF THE TEST RESULTS, AND
 - THE SIGNATURE OF THE PARTY CONDUCTING THE TEST.



AIR BARRIER AND THERMAL BARRIER ALIGNMENT ENVELOPE AIR SEALING (TYPICAL)

DO NOT SCALE

THERMAL ENVELOPE NOTE:

THE CONSTRUCTION SECTIONS "A" AND "B" SHOWN ON THIS SHEET ARE INTENDED AS GENERIC DIAGRAMS TO ILLUSTRATE THE TWO ACCEPTABLE METHODS USED TO CREATE THE THERMAL ENVELOPE FOR THE BUILDING SUBJECT TO THIS SET OF DRAWINGS. SECTION "A" SHOWS WHERE THE THERMAL ENVELOPE IS ON THE FRAMING SIDE OF THE INTERIOR FINISH. SECTION "B" SHOWS WHERE THE THERMAL ENVELOPE IS ON THE EXTERIOR SIDE OF THE SHEATHING. THE INTENT OF THESE SECTIONS IS TO DEMONSTRATE THE CONTINUITY THAT THESE SYSTEMS REQUIRES TO PROVIDE A COMPLETE SEAL FOR THE BUILDING. THERE ARE CIRCUMSTANCES THAT COULD RESULT IN BOTH SYSTEMS BEING USED IN THE SAME BUILDING. FOR THE SPECIFIC SECTIONS REQUIRED FOR THE CONSTRUCTION OF THE BUILDING SUBJECT TO THIS SET OF DRAWINGS SEE SHEET A-2.1

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

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PROJECT TITLE:
MITTON RESIDENCE

45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706

PROJECT NO.: **2103**

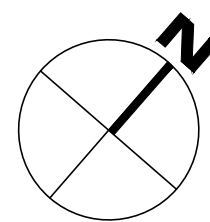
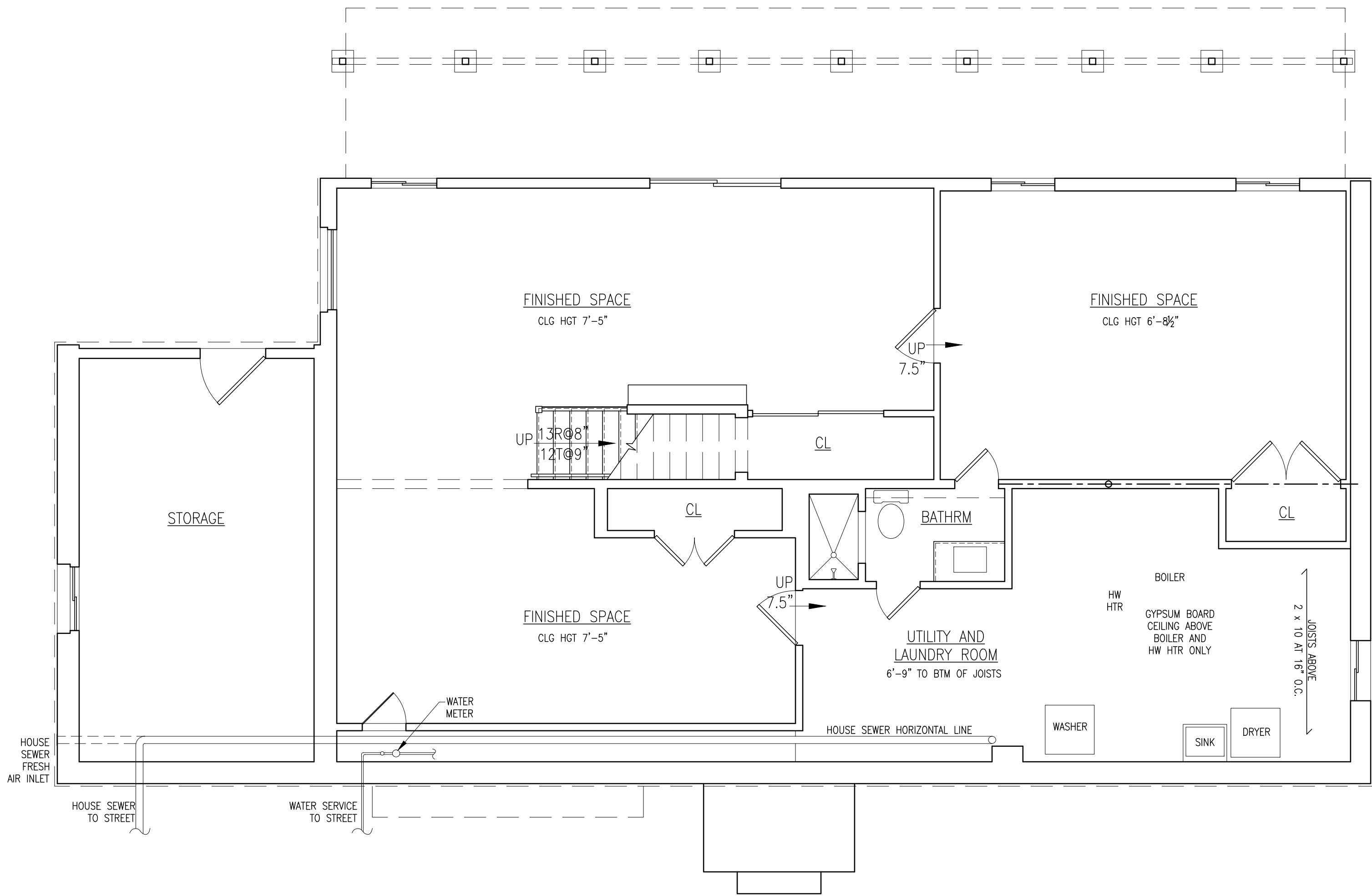
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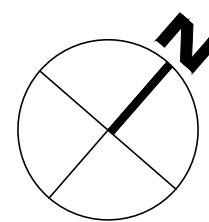
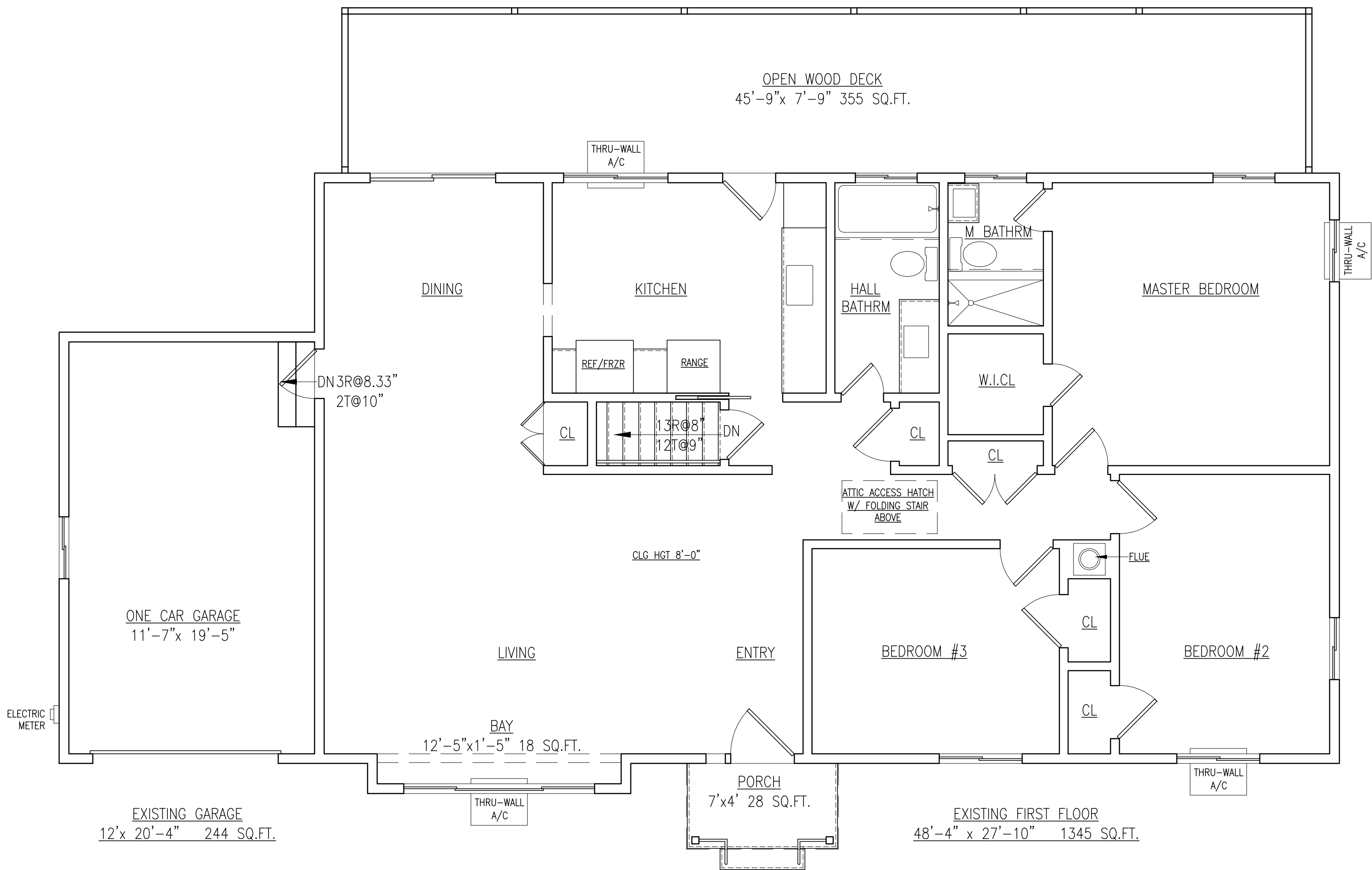
SHEET TITLE:	BUILDING THERMAL ENVELOPE NOTES AND DETAILS
DATE: 09-28-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

TE-1



CELLAR FLOOR PLAN

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET



FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

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MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

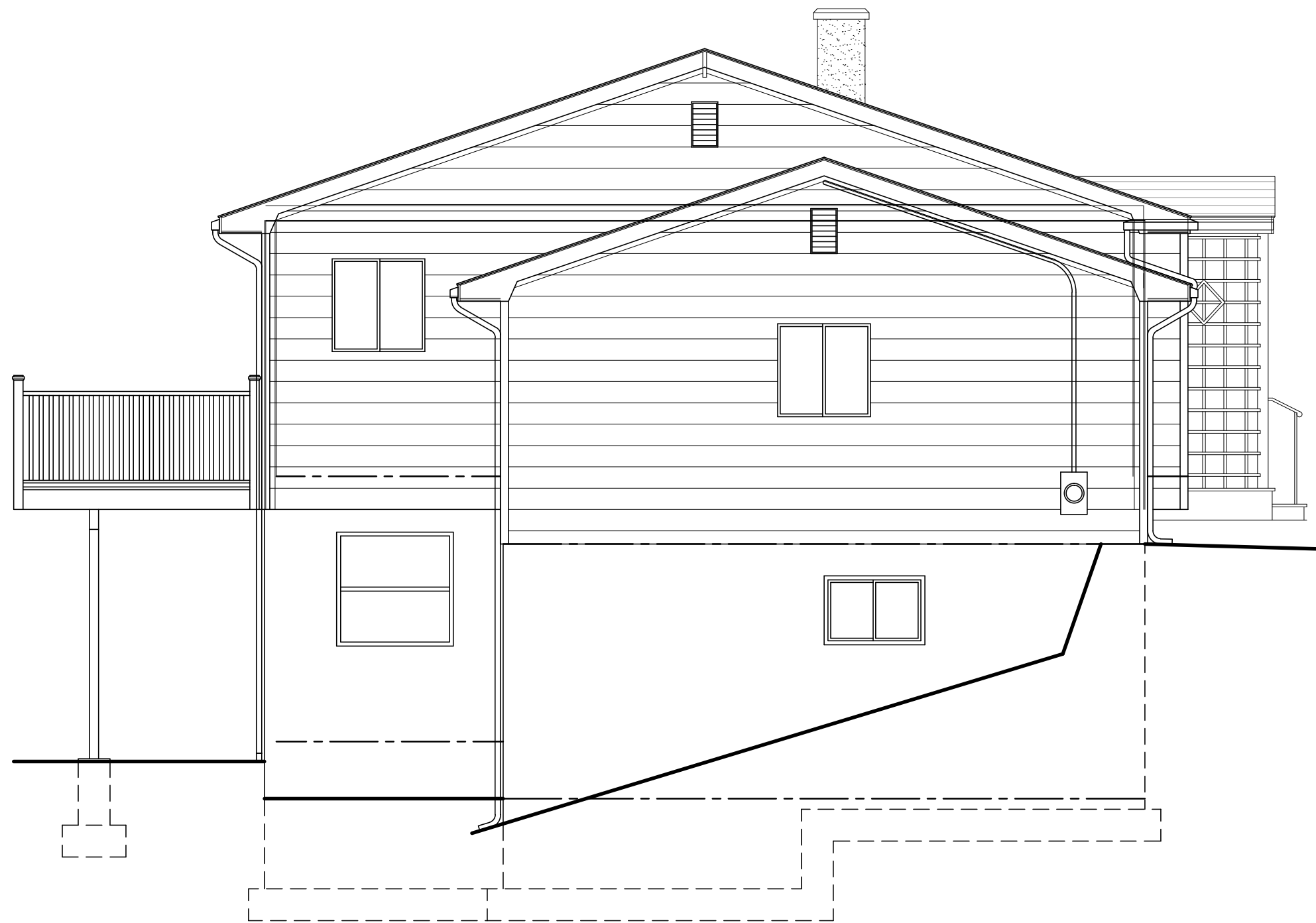
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SHEET TITLE:
**EXISTING
FLOOR PLANS**

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

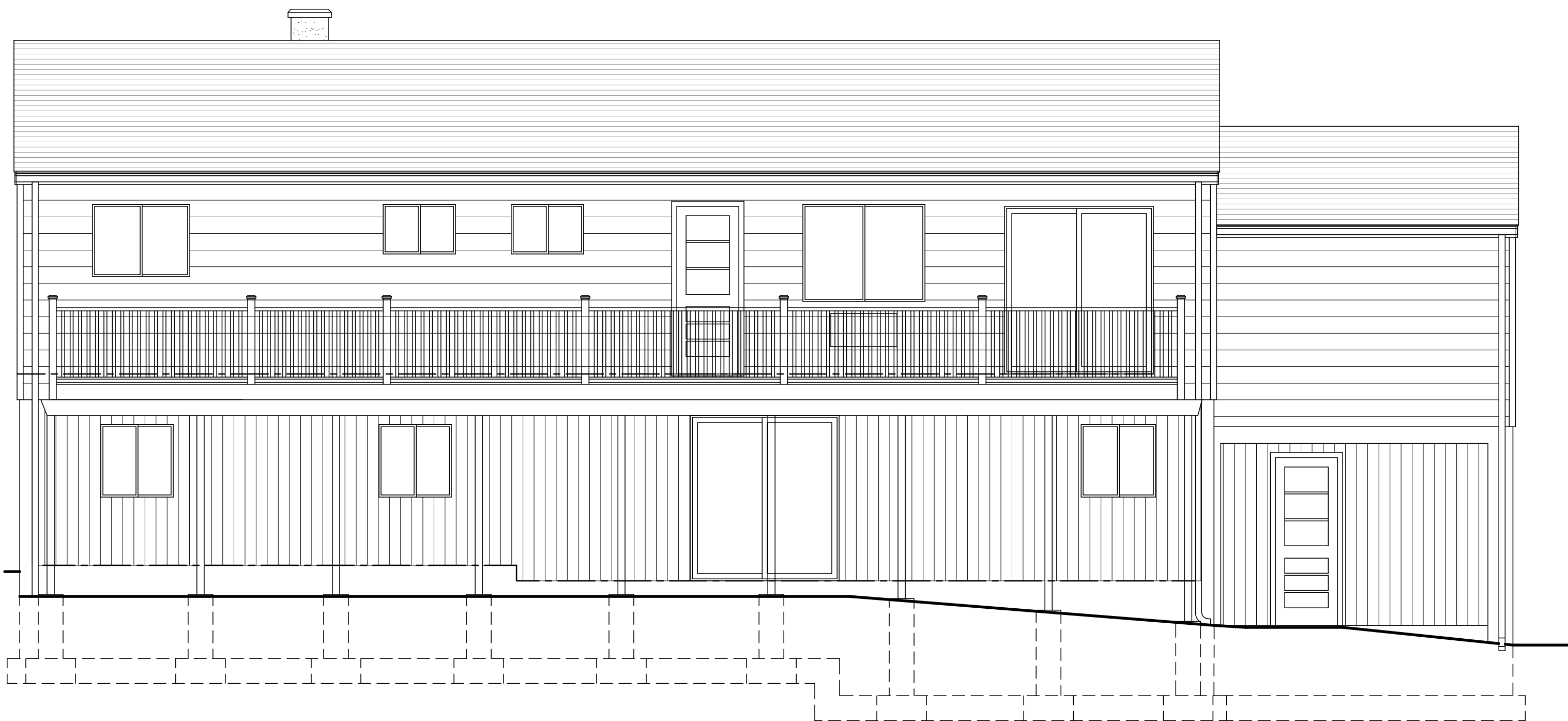
EX-1



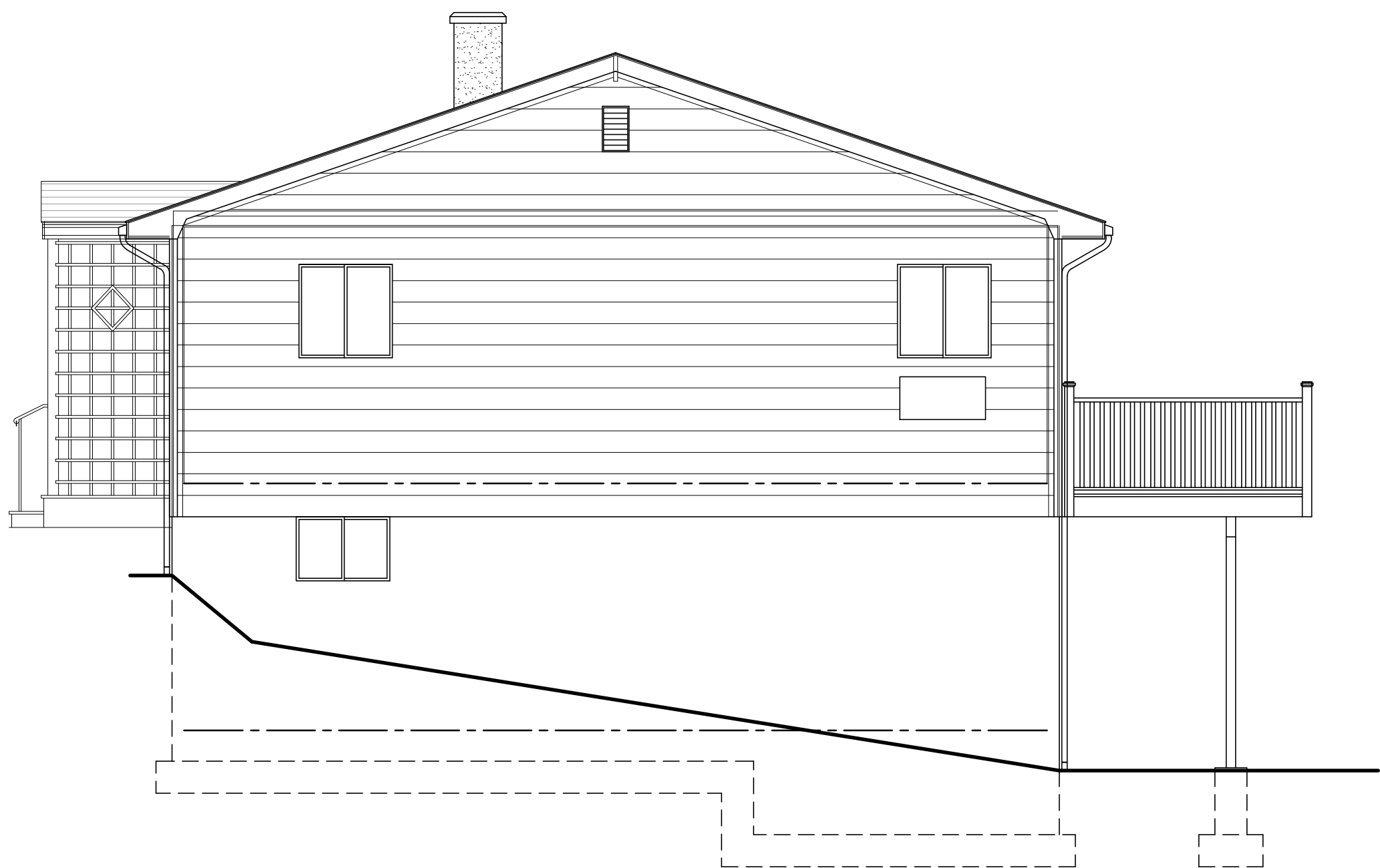
SOUTHWEST ELEVATION
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET
0 1 2 4 8



SOUTHEAST ELEVATION
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET
0 1 2 4 8

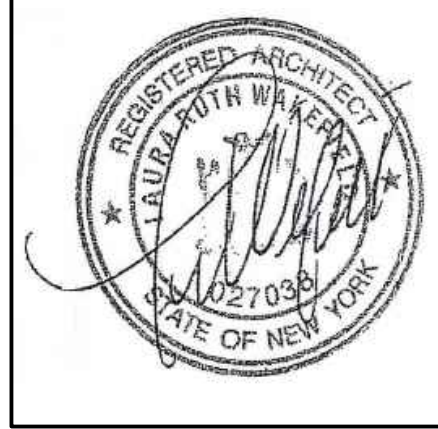


NORTHWEST ELEVATION
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0 1 2 4 8



NORTHEAST ELEVATION
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET
0 1 2 4 8

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45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

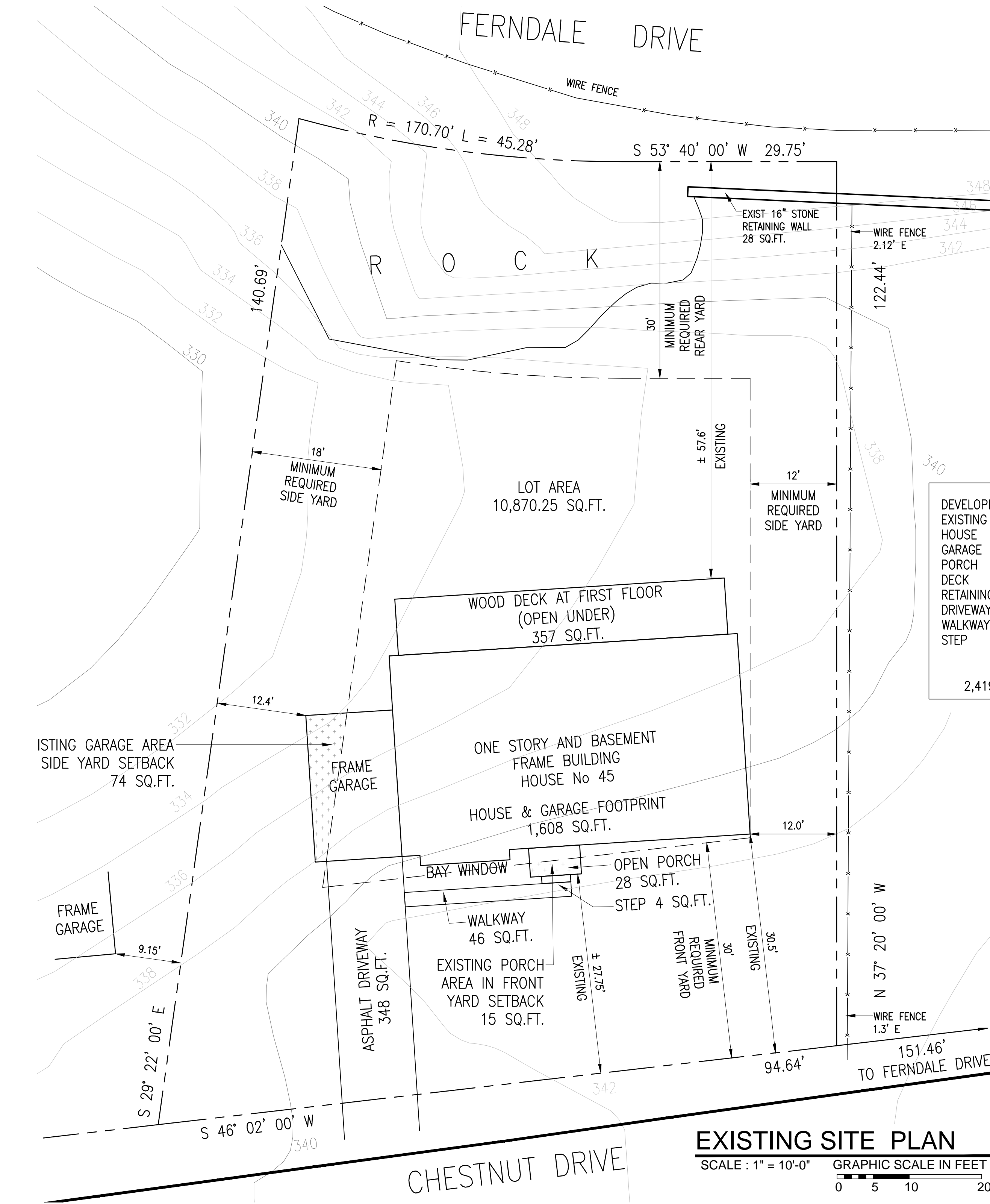
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SHEET TITLE:
**EXISTING
ELEVATIONS**

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

EX-2



DEVELOPMENT COVERAGE	
PROPOSED	
EXIST HOUSE	1345
EXIST GARAGE	244
EXIST RETAINING WALL	28
EXIST DRIVEWAY	348
PROPOSED FRONT ADDITION	130
PROPOSED FRONT PORCH	154
PROPOSED REAR ADDITION	252
PROPOSED 2ND FLR CANTILEVER	42
PROPOSED DECK	366
PROPOSED WALKWAY	114
TOTAL	3023 SQ.FT.

$3,023 / 10,870 = 27.81 \%$

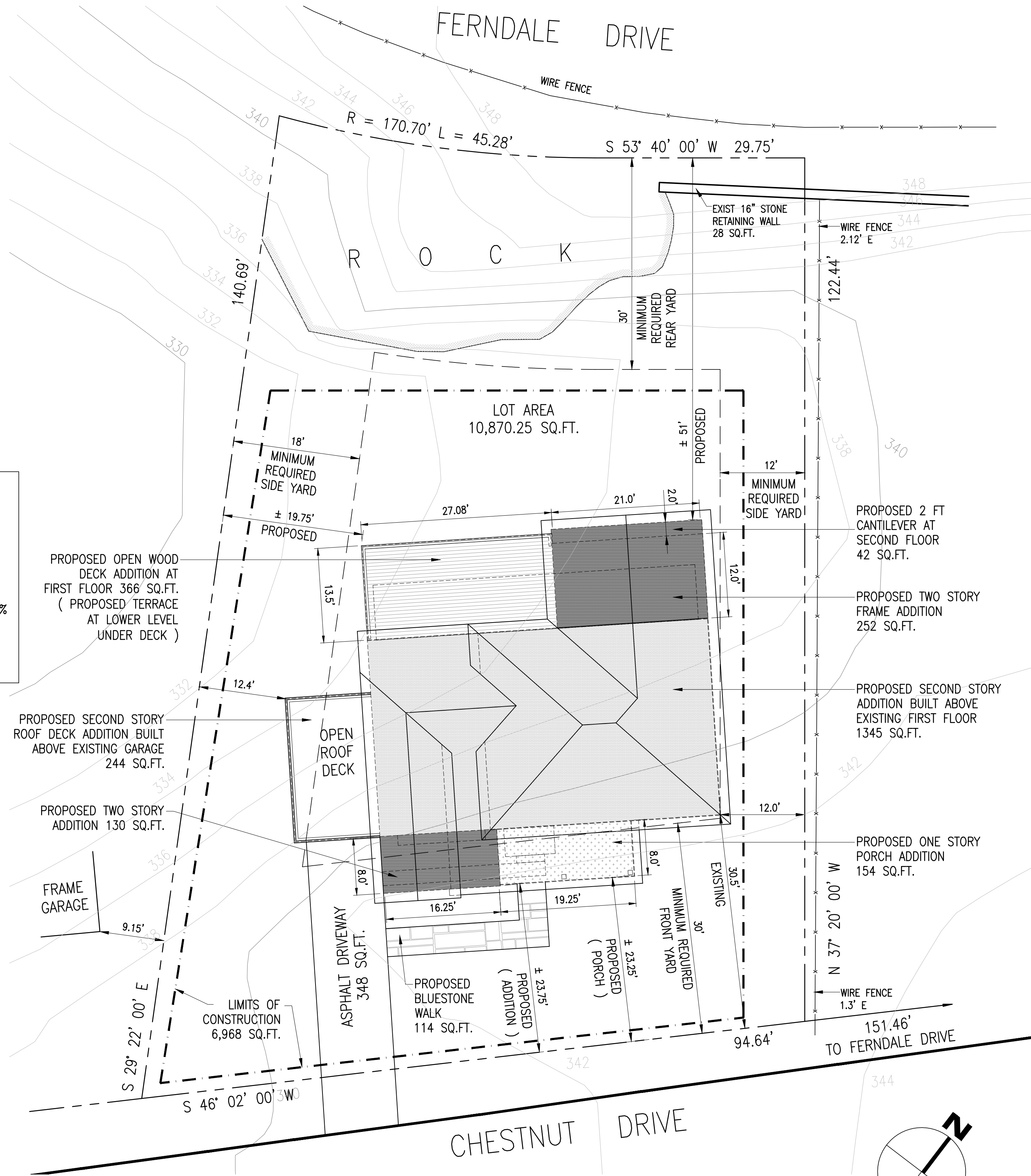
BLDG COVERAGE	
PROPOSED	
EXIST HOUSE	1345
EXIST GARAGE	244
PROPOSED FRONT ADDITION	130
PROPOSED FRONT PORCH	154
PROPOSED REAR ADDITION	252
PROPOSED 2ND FLR CANTILEVER	42
PROPOSED DECK	366
TOTAL	2533 SQ.FT.

$2,533 / 10,870 = 23.30 \%$

DEVELOPMENT COVERAGE		BLDG COVERAGE	
EXISTING		EXISTING	
HOUSE	1364	HOUSE	1364
GARAGE	244	GARAGE	244
PORCH	28	DECK	357
DECK	357	PORCH	28
RETAINING WALL	28	TOTAL	1993 SQ.FT.
DRIVEWAY	348		
WALKWAY	46		
STEP	4		
TOTAL	2419 SQ.FT.		

$2,419 / 10,870 = 22.25 \%$

LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING PAVEMENT EDGE
202	EXISTING MINOR CONTOUR
200	EXISTING MAJOR CONTOUR
---	EXISTING WALL
---	EXISTING WIRE FENCE
300	PROPOSED FINISHED GRADE
+293	PROPOSED SPOT ELEVATION
□	PROPOSED DRAIN INLET
---	PROPOSED BLUESTONE WALK
---	LIMITS OF CONSTRUCTION



FLOOR AREA RATIO CALCULATIONS

PROPOSED FLOOR AREA	1,589 SQ.FT. INCLUDING GARAGE
EXISTING FIRST FLOOR	130 SQ.FT.
FIRST FLOOR ENTRY ADDITION	252 SQ.FT.
FIRST FLOOR REAR ADDITION	154 SQ.FT.
OPEN COVERED PORCH	1713 SQ.FT. INCLUDING CANTILEVER
PROPOSED SECOND FLOOR	
TOTAL 3,838 SQ.FT.	
$3,838 / 10,870 = 0.354$	EXCEEDS 0.316

CONSTRUCTION WITHIN STEEP SLOPES						
STEEP SLOPE CATEGORY	TOTAL AREA EXISTING STEEP SLOPES (SQ.FT.)	ALLOWABLE PERCENTAGE	ALLOWABLE AREA (SQ.FT.)	PROPOSED STEEP SLOPE SQ.FT.	%	REQUIRED VARIANCE SQ.FT. %
0 - 15%	5,717	100%	5,717	480	8.4%	0 0%
15 - 25%	960	35%	336	0	0%	0 0%
25% OR GREATER	2,200	25%	550	0	0%	0 0%
DEVELOPED	1,993					
TOTAL LOT AREA	10,870					

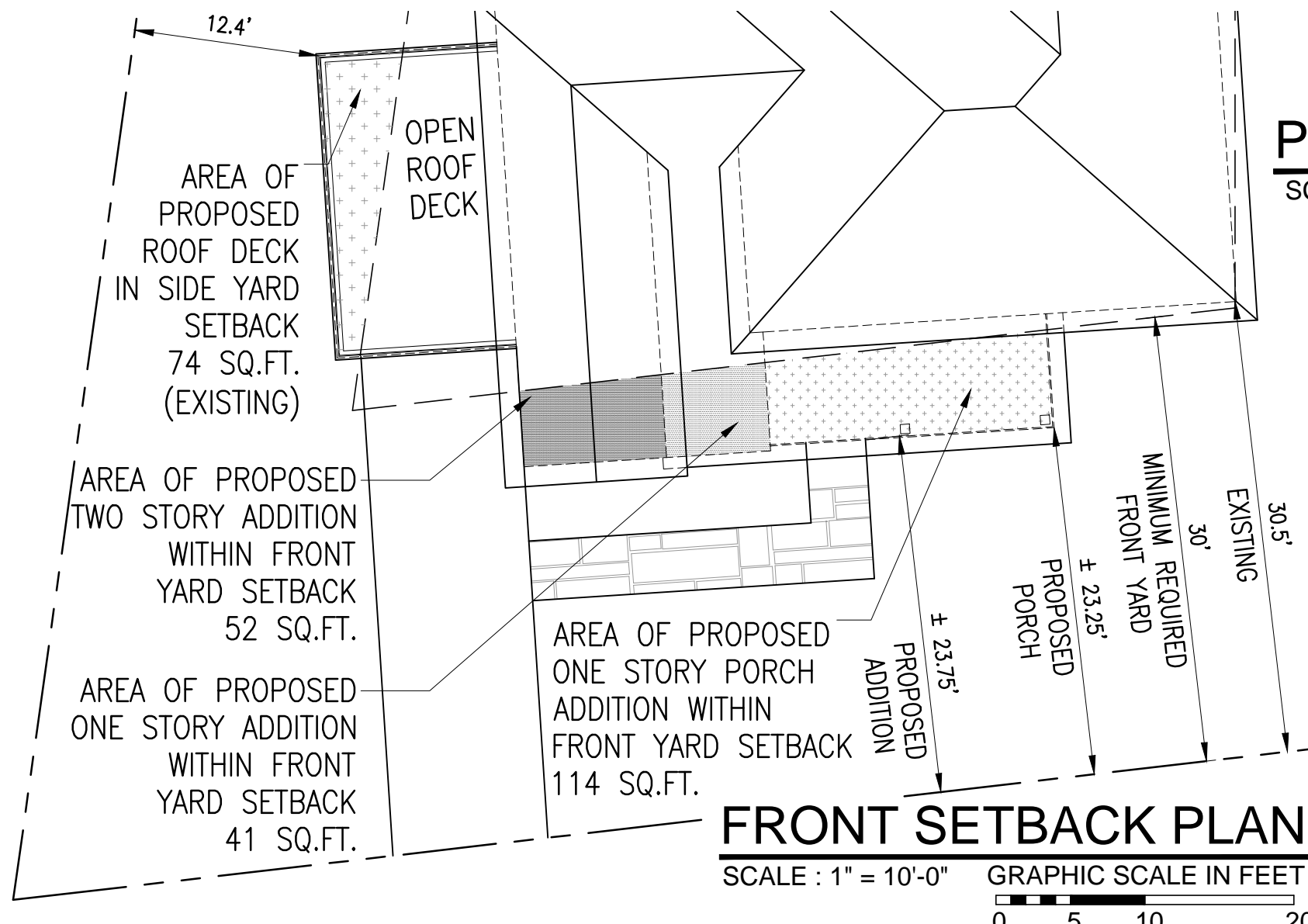
ZONING TABLE						
PROPERTY LOCATION : 45 CHESTNUT DRIVE HASTINGS - ON HUDSON NY 10706 TAX ID : 440 - 41.13						
OWNER : ARTHUR AND LAURA MITTON						
ZONING DISTRICT	R-10					
REQUIREMENT	UNITS	REQUIRED/ ALLOWED	EXISTING	PROPOSED	VARIANCE REQUESTED	
MINIMUM STREET FRONTAGE	FEET	70	94.64	NO CHANGE		
MINIMUM NET LOT AREA	SQ.FT.	10,000	10,870.25	NO CHANGE		
MINIMUM LOT WIDTH	FEET	100	94.64	NO CHANGE		
BUILDING COVERAGE	%	25	18.33	23.30		
DEVELOPMENT COVERAGE	%	35	22.25	27.81		
MINIMUM FRONT YARD SETBACK	FEET	30	30.5 27.75 PORCH	23.75 23.25 PORCH	SEE NOTES	
MINIMUM REAR YARD SETBACK	FEET	30	± 57.6	± 51		
MINIMUM SIDE YARD SETBACK EACH	FEET	12	12	NO CHANGE	TBD	
MINIMUM SIDE YARD SETBACK BOTH	FEET	30	24.4	NO CHANGE	EXISTING NON- CONFORMITY	
STORIES	NUMBER	2.5	1	2.5		
MAXIMUM HEIGHT	FEET	35	22.42	34.5		
OFF STREET PARKING	NUMBER	2	1	NO CHANGE		
MAXIMUM FLOOR AREA RATIO		0.316	0.146	0.354	0.038	
MAXIMUM FLOOR AREA	SQ. FT.	3,434	1,589	3,838	404	

NOTES ON FRONT YARD SETBACK:

THE SUBJECT PROPERTY IS LOCATED IN THE R-10 ZONING DISTRICT, WHICH HAS A FRONT YARD SETBACK REQUIREMENT OF 30 FEET. THE EXISTING HOUSE HAS A FRONT YARD SETBACK OF 27.75 FEET TO THE PORCH, AND THE PROPOSED FRONT PORCH WILL REDUCE THE FRONT YARD SETBACK TO 23.25 FEET. HOWEVER, SECTION 295-20 D.(2) INCLUDES THE FOLLOWING:

If, on one side of a street within 250 feet of any lot, there is pronounced uniformity of alignment of the fronts of existing buildings and of the depths of front yards that is less than the required minimum depth specified in this chapter, the Zoning Board of Appeals may permit a reduction in the required depth of the front yard for a new building on that lot, or expansion of an existing building on that lot, provided that the spirit and intent of this chapter is met and that the depth of the front yard shall conform as nearly as practicable to that existing on the neighboring lots.

THERE ARE SIX PROPERTIES ON THE SAME SIDE OF CHESTNUT, INCLUDING THE SUBJECT PROPERTY. THE HOUSE TO THE EAST OF THE SUBJECT PROPERTY IS 63 FERDALE AND IS ON THE CORNER OF FERDALE AND CHESTNUT, WITH A SET BACK OF APPROXIMATELY 5 FEET TO THE PROPERTY LINE ALONG CHESTNUT. THE HOUSE TO THE WEST OF THE SUBJECT PROPERTY AT 25 CHESTNUT IS SET BACK APPROXIMATELY 8 FEET FROM CHESTNUT. THE PROPERTIES THEN RUNNING TO THE WEST INCLUDE 21 CHESTNUT WITH A SET BACK OF APPROXIMATELY 19 FEET, 17 CHESTNUT WITH A SETBACK OF APPROXIMATELY 0 FEET, AND 25 CIRCLE DRIVE, WHICH ALSO HAS A SETBACK TO CHESTNUT OF APPROXIMATELY 0 FEET.

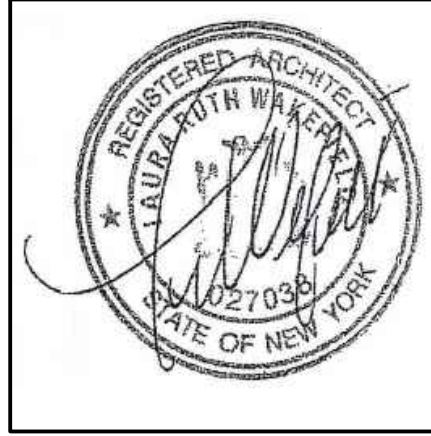


TAX PARCEL ID : 4.40 - 41 .13

ALL SURVEYING INFORMATION ON THIS DRAWING IS TAKEN FROM A SURVEY DATED FEBRUARY '23, 2021 PREPARED BY: VINCENT M. TEUTONICO NEW YORK LICENSE 050307 BIG APPLE LAND SURV. D. 65 MEADOW LANE GROUND LEVEL NEW ROCHELLE, N.Y. 10805 TEL. 914 365-1847 TEM. FAX. 914 365 -1845 EMAIL: BIGAPPLES@YAHOO.COM

ALL TOPOGRAPHIC INFORMATION ON THIS DRAWING IS FROM THE TOWN OF GREENBURGH GIS MAPS

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



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No. 27038

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PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: 2103

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

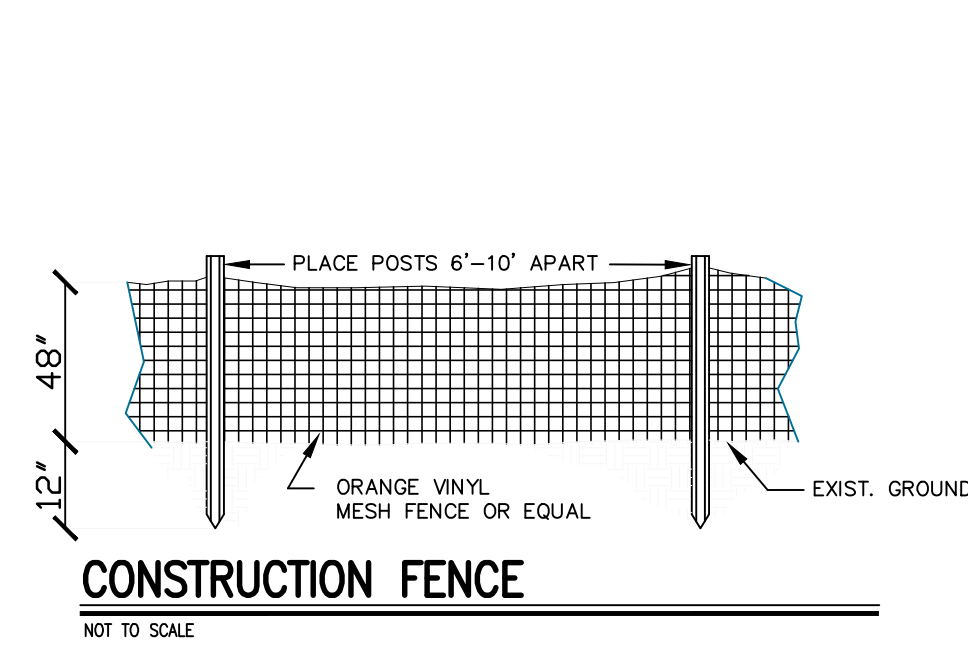
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email: arch329@gmail.com

ISSUED / REVISIONS
10-11-21
ADDED FAR CALCULATIONS AND
ADDED FAR TO ZONING CHART

SHEET TITLE:
EXISTING & PROPOSED SITE PLANS

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-1

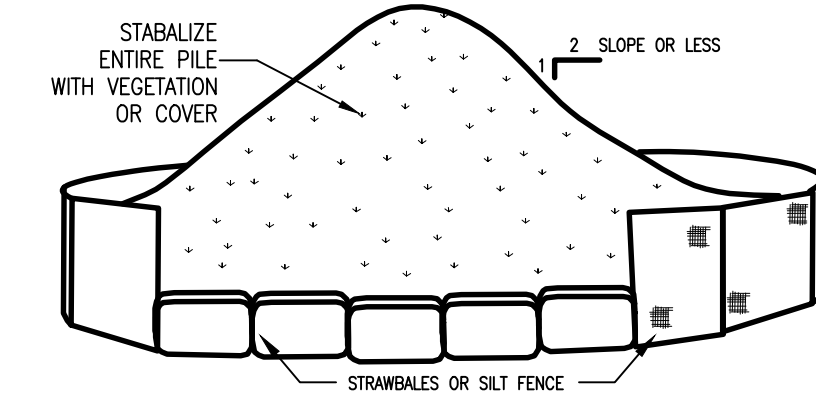


CONSTRUCTION FENCE

NOT TO SCALE

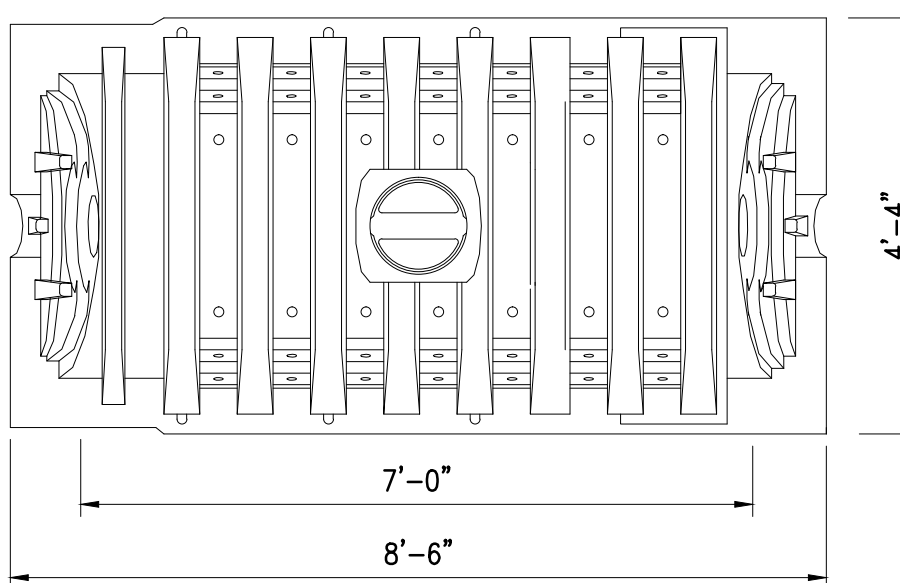
INSTALLATION NOTES:

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRIMBLES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

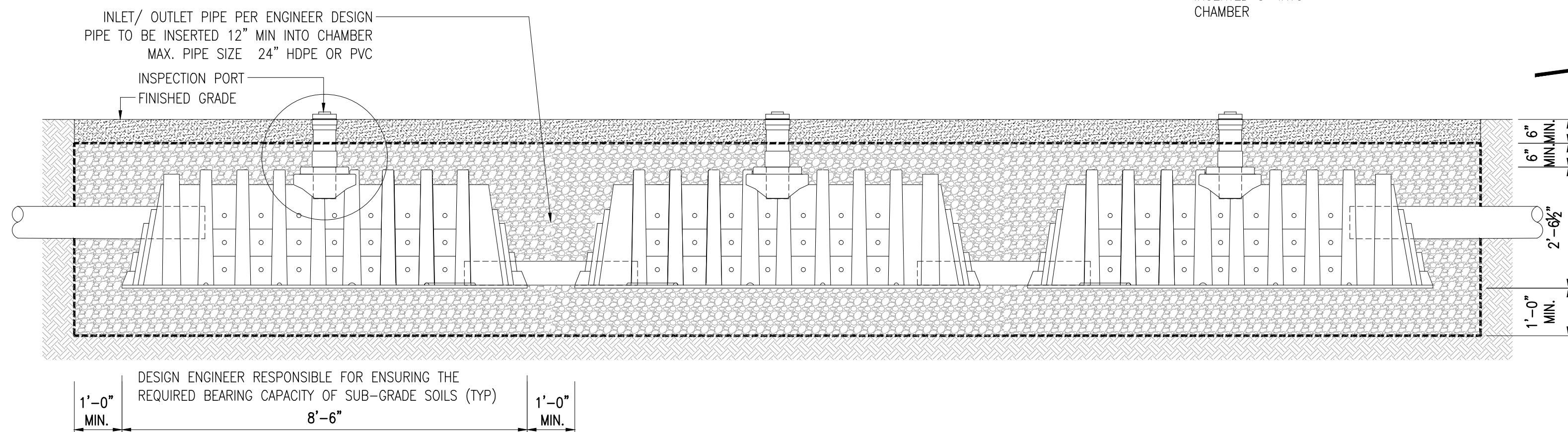
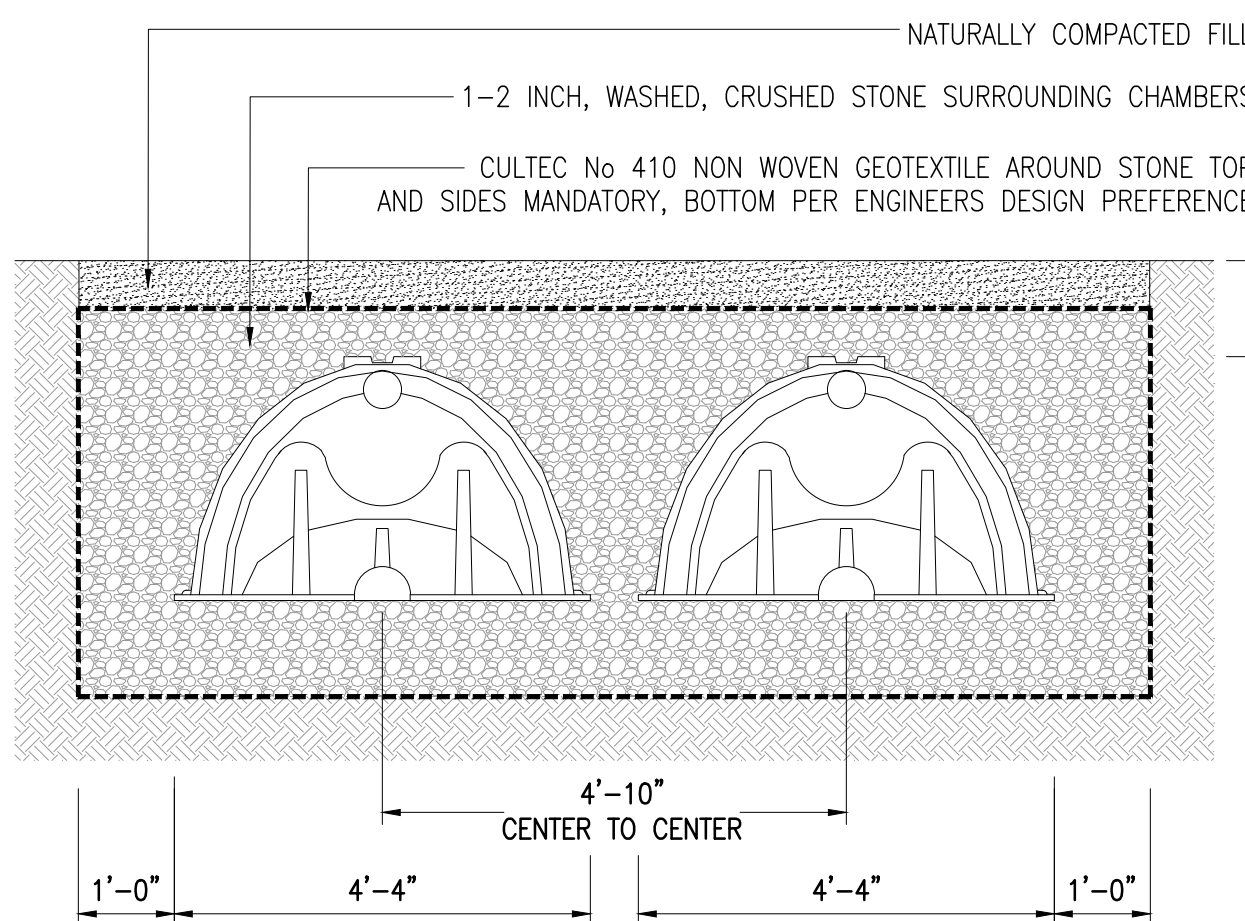


TOPSOIL STOCKPILE

NOT TO SCALE

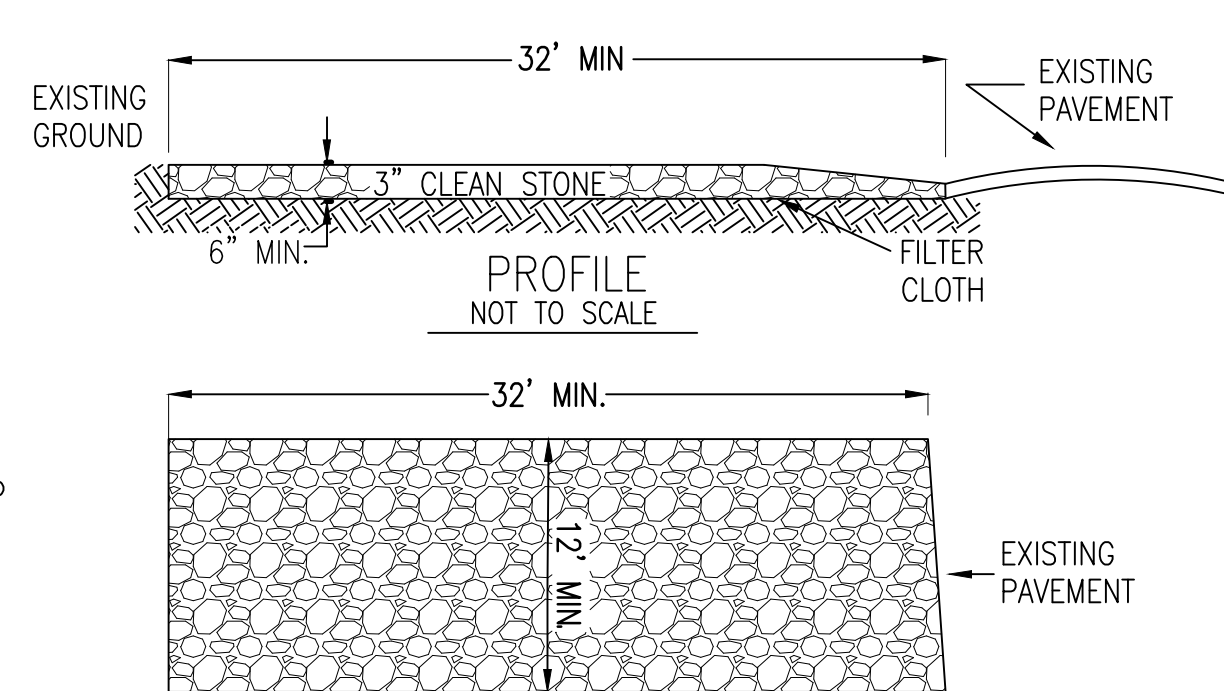


CULTEC MODEL RECHARGER 330XLHD
CHAMBER STORAGE 7.46 CU./FT. PER FT. WITHOUT STONE
52.21 CU./FT. PER UNIT WITHOUT STONE



CULTEC RECHARGER 330XLHD

NOT TO SCALE



PLAN VIEW

NOT TO SCALE

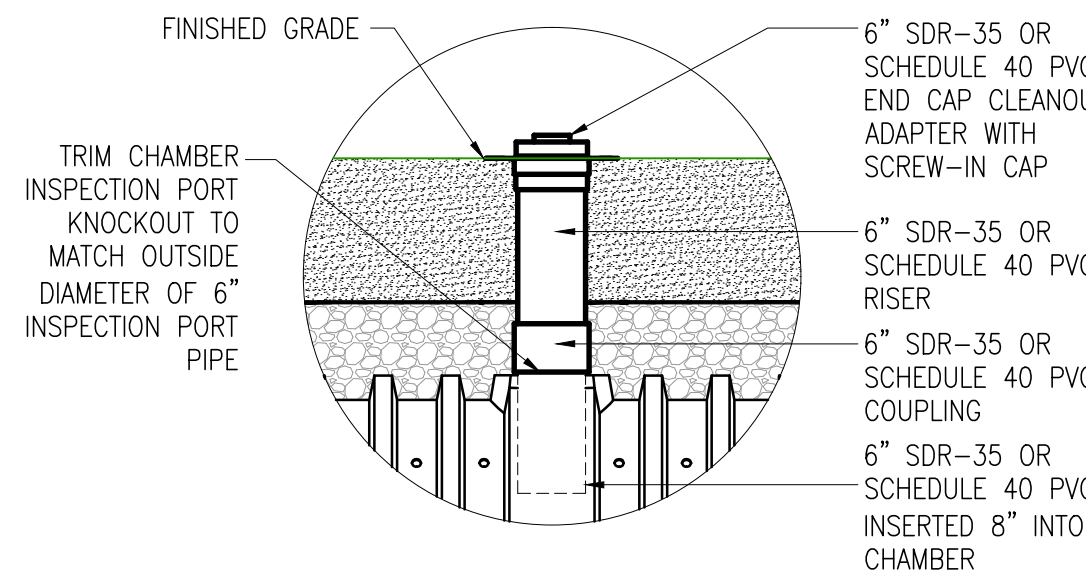
INSTALLATION NOTES

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - EIGHT (8) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

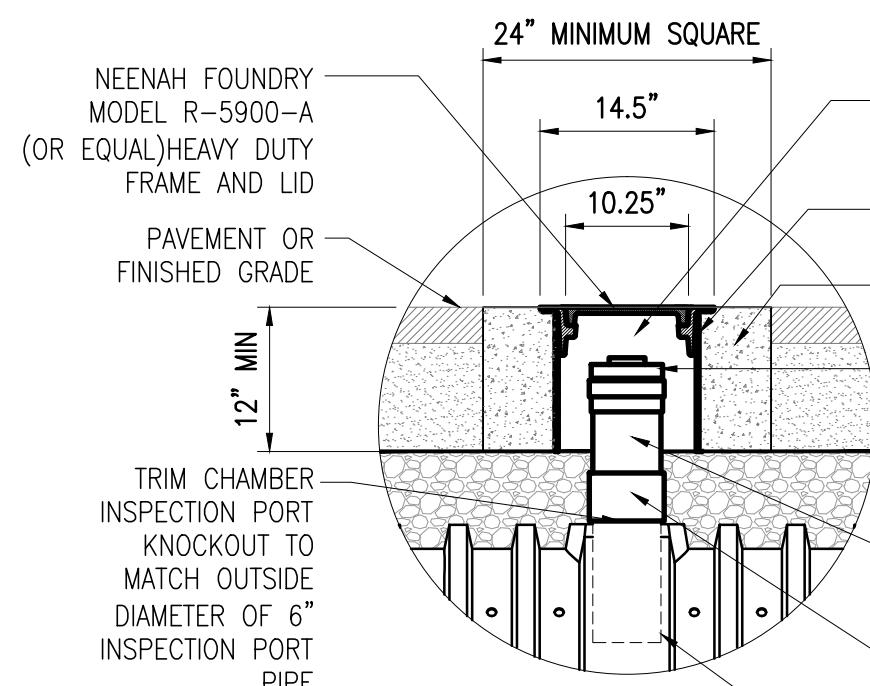
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

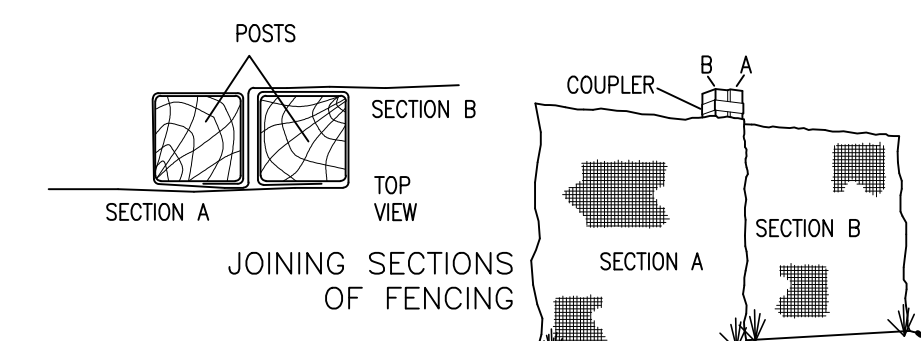
STORMWATER CHAMBER BY CULTEC INC.
STORMWATER DESIGN MODEL: RECHARGER 330XLHD
INSTALLATION: PER MANUFACTURERS INSTRUCTIONS



NON-TRAFFIC

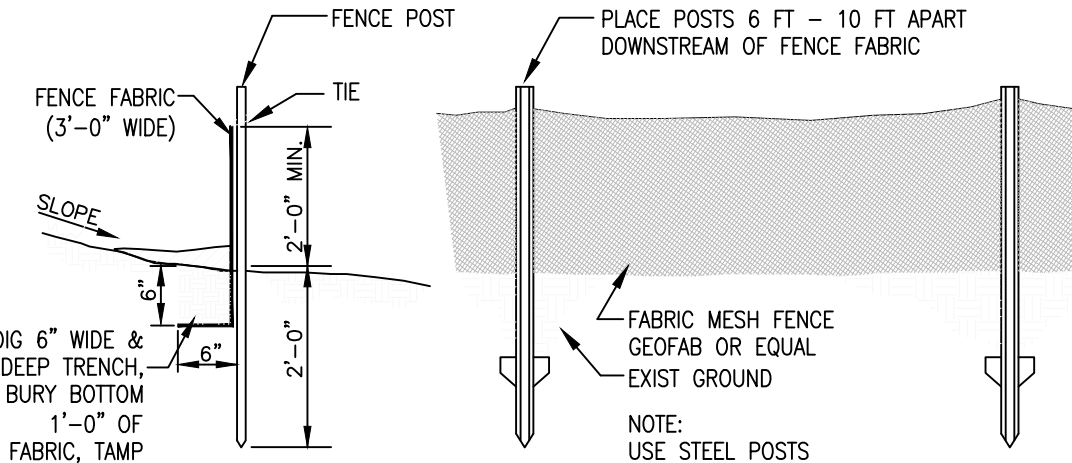


TRAFFIC



INSTALLATION NOTES

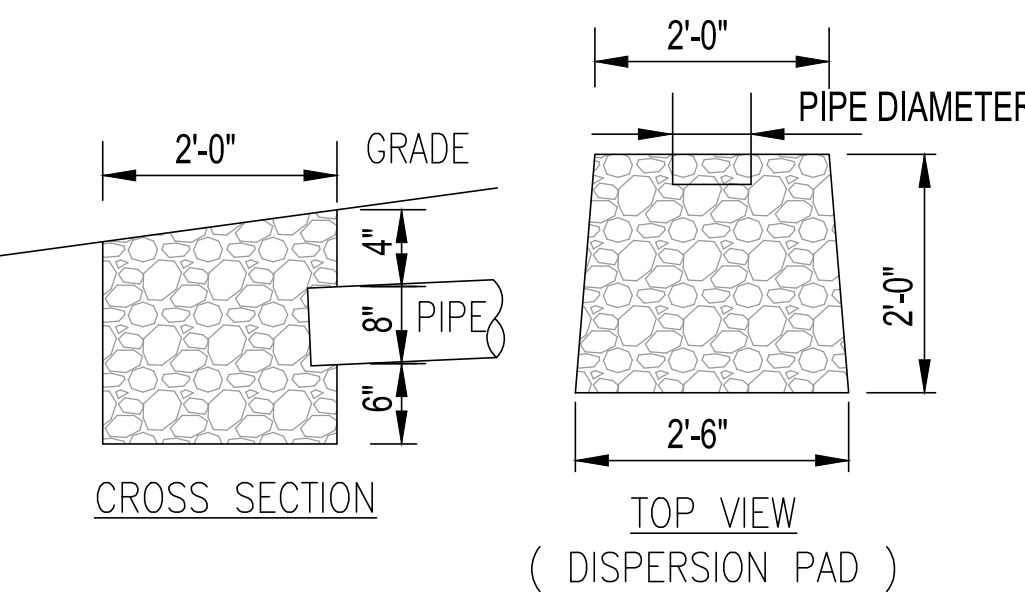
1. EXCAVATE A 4 INCH x 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
5. JOIN SECTIONS AS SHOWN ABOVE.



NOTE:
AT THE COMPLETION OF THE PROJECT AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEEN ASSURED, THE SILT FENCE MUST BE COMPLETELY REMOVED AND THE EMBEDMENT TRENCH RESTORED TO A NATURAL CONDITION

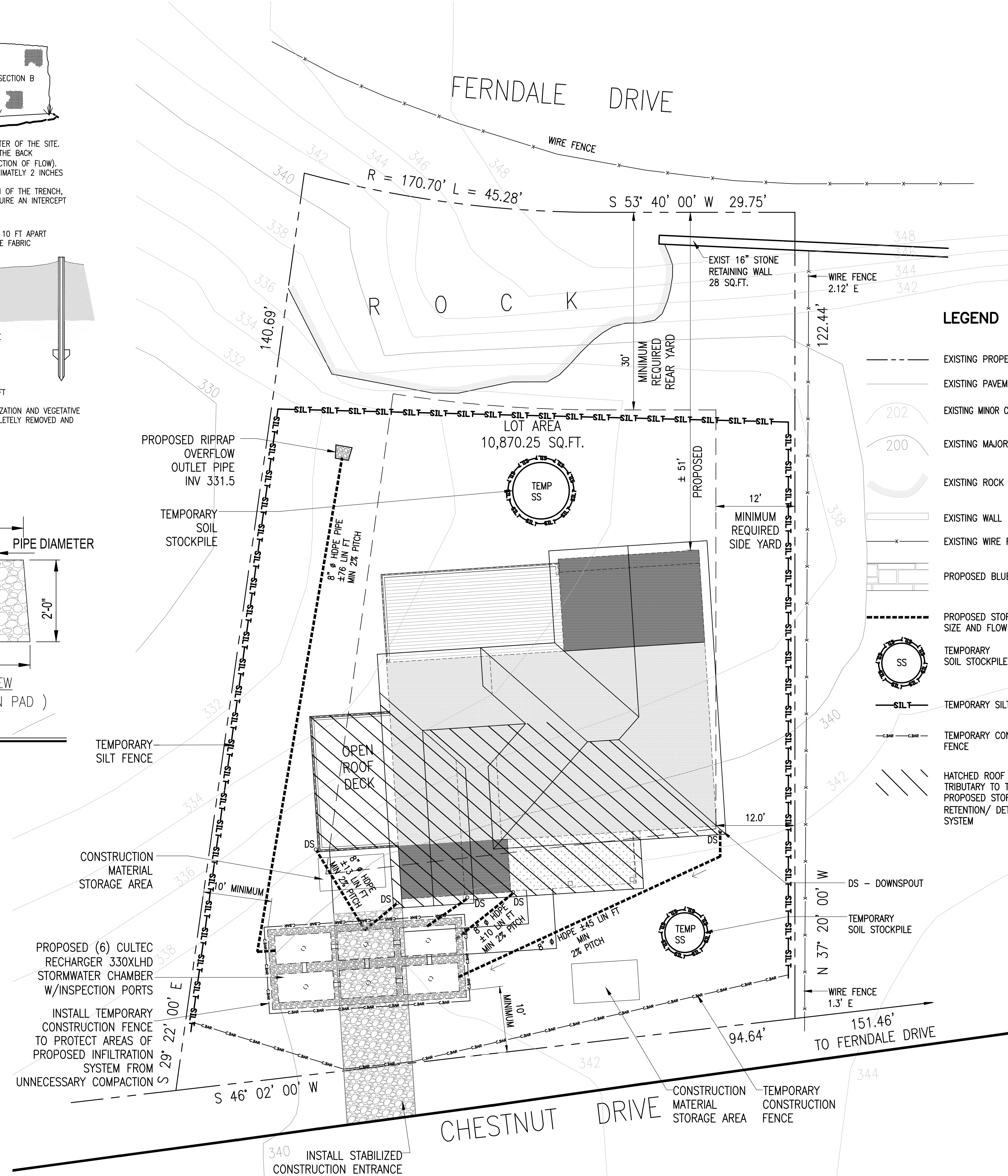
SILT FENCE DETAIL

NOT TO SCALE



RIPRAP DISPERSION PAD

NOT TO SCALE

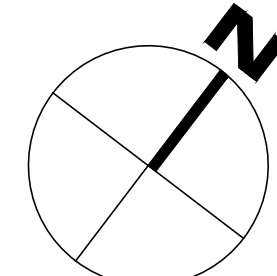


ADDITIONAL ROOF OR DECK AREA

PROPOSED FRONT ADDITION	83
PROPOSED FRONT PORCH	141
ADDITIONAL DECK	164
PROPOSED 2ND FLR CANTILEVER	43
PROPOSED REAR ADDITION	252
SUBTOTAL	683
LESS DECK TO BE REMOVED	- 154

TOTAL ADDITIONAL ROOF
OR DECK AREA 529 SQ.FT.

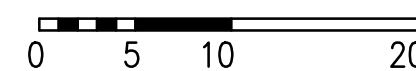
PROPOSED ROOF AREA
TO BE COLLECTED 1,296 SQ.FT.



EROSION CONTROL AND STORM DRAINAGE PLAN

SCALE : 1" = 10'-0"

GRAPHIC SCALE IN FEET

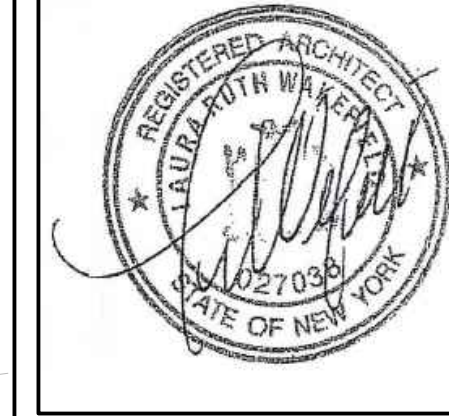


TAX PARCEL ID : 4.40 - 41 .13

ALL SURVEYING INFORMATION ON THIS
DRAWING IS TAKEN FROM A SURVEY
DATED FEBRUARY 23, 2021
PREPARED BY:
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NEW YORK LICENSE 050307
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NEW ROCHELLE, N.Y. 10805
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TEM. FAX. 914 365-1845
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ALL TOPOGRAPHIC INFORMATION ON
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OF GREENBURGH GIS MAPS

TO THE BEST OF MY KNOWLEDGE, BELIEF,
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UNDERSIGNED, THE PLANS AND
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STATE UNIFORM FIRE PREVENTION AND
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CODE CURRENTLY IN EFFECT



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LAND SURVEYOR TO ALTER ANY ITEM IN ANY WAY.

PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: 2103

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

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Phone: (914) 693-5093
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email: arch329@gmail.com

ISSUED / REVISIONS

SHEET TITLE:
**EROSION CONTROL AND
STORM DRAINAGE PLAN
AND DETAILS**

DATE: 09-28-2021	DRAWN BY: SSJ
SCALE: AS NOTED	CHECKED BY: PRS

A-1.1

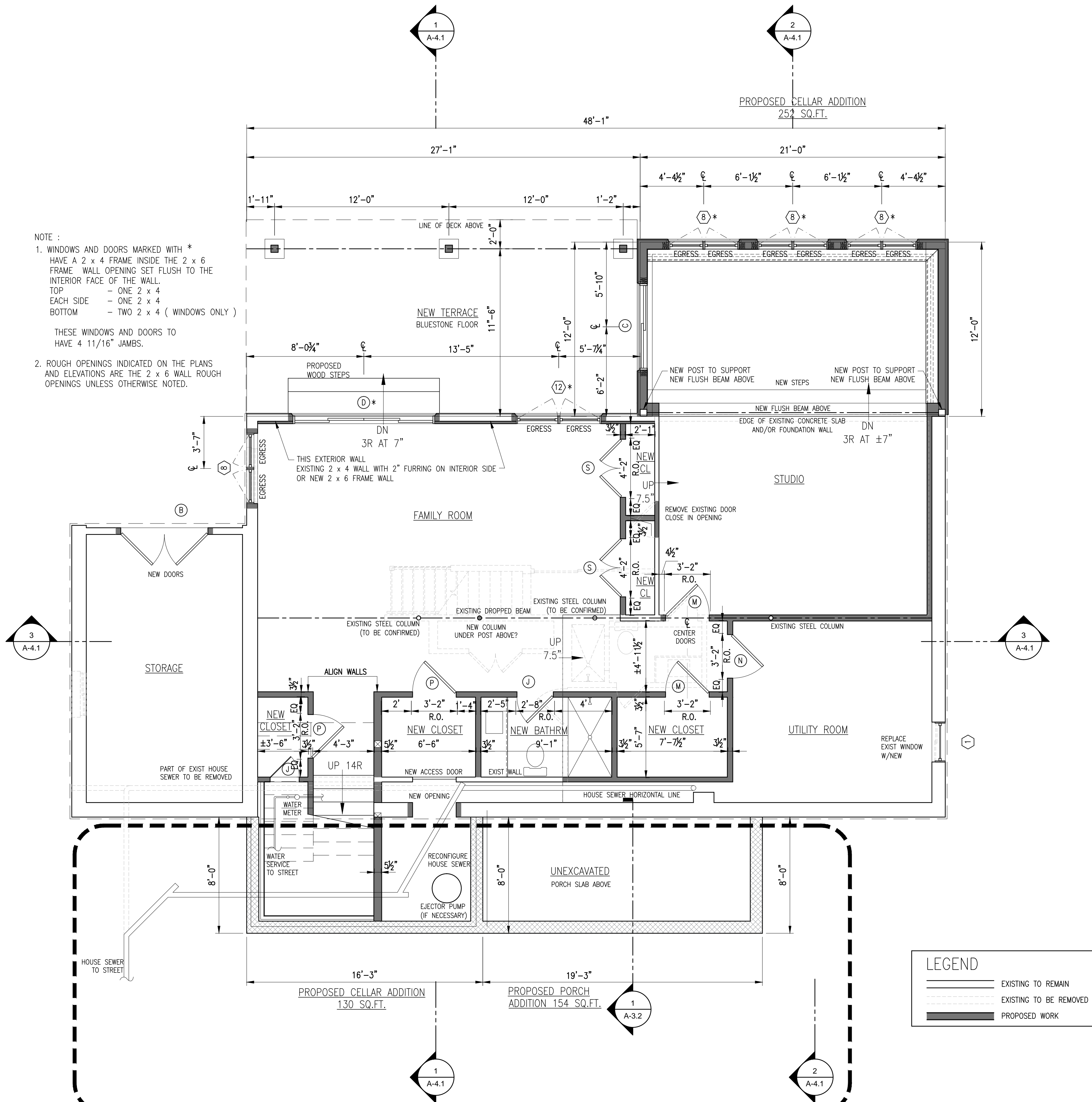
INTERIOR ROOM FINISH SCHEDULE						
MITTON 45 CHESTNUT DRIVE HASTINGS-ON-HUDSON N.Y. 10706						
FLOOR LEVEL	ROOM NAME	FLOOR	BASE	WALLS	CEILING	NOTES
CELLAR	FAMILY ROOM					
	FAMILY ROOM CLOSETS					
	BATHROOM					4 FT HIGH TILE ON WALLS, FULL HGT IN SHOWER
	STUDIO					
	CLOSET UNDER STAIRS					
	CLOSET					
	CLOSET					
	UTILITY ROOM					
	ENTRY					
	ENTRY CLOSET					
FIRST FLOOR	LIVING / DINING					
	BATHROOM					4 FT HIGH TILE ON WALLS, FULL HGT IN SHOWER
	MEDIA ROOM					
	MEDIA ROOM CLOSET					
	KITCHEN					
	PANTRY					
	GARAGE					
	MASTER BEDROOM					
	MASTER WALK-IN CLOSET					
	MASTER CLOSETS					
SECOND FLOOR	MASTER BATHROOM					4 FT HIGH TILE ON WALLS, FULL HGT IN SHOWER
	LAUNDRY ROOM					4 FT HIGH TILE ON WALLS
	BATHROOM #2					4 FT HIGH TILE ON WALLS, FULL HGT IN TUB/SHOWER
	BEDROOM #2					
	BEDROOM #2 CLOSET					
	BEDROOM #3					
	BEDROOM #3 CLOSET					
	HALLWAY					
	HALL CLOSET					
	CATWALK					2 x 6 TONGUE AND GROOVE WOOD PLANKS

NOTE :
1. WINDOWS AND DOORS MARKED WITH *
HAVE A 2 x 4 FRAME INSIDE THE 2 x 6
FRAME WALL OPENING SET FLUSH TO THE
INTERIOR FACE OF THE WALL.
TOP - ONE 2 x 4
EACH SIDE - ONE 2 x 4
BOTTOM - TWO 2 x 4 (WINDOWS ONLY)

THESE WINDOWS AND DOORS TO
HAVE 4 11/16" JAMBS.

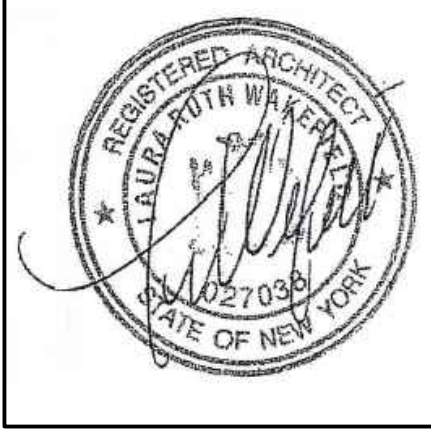
2. ROUGH OPENINGS INDICATED ON THE PLANS
AND ELEVATIONS ARE THE 2 x 6 WALL ROUGH
OPENINGS UNLESS OTHERWISE NOTED.

PHASE TWO:
NOT INCLUDED IN BUILDING PERMIT
PENDING GRANTING OF VARIANCE BY
ZONING BOARD OF APPEALS



PROPOSED CELLAR FLOOR PLAN
SCALE : 1/4" = 1'-0"
GRAPHIC SCALE IN FEET
0 1 2 4 8

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PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

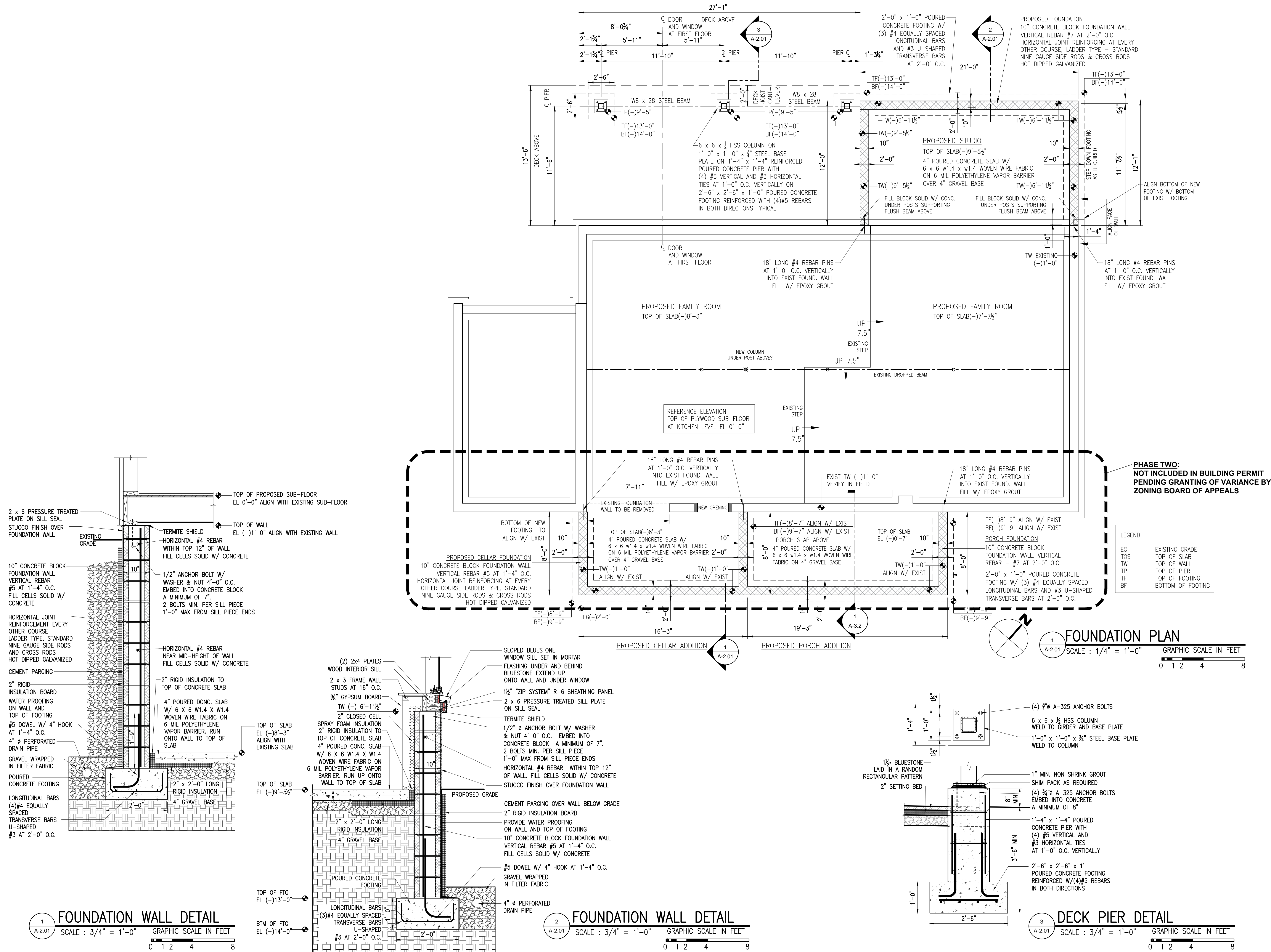
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DEVELOPMENT LTD.

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Fax: (914) 693-5390
email: arch329@gmail.com

SHEET TITLE:
**PROPOSED
CELLAR FLOOR PLAN**

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-2.0



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MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

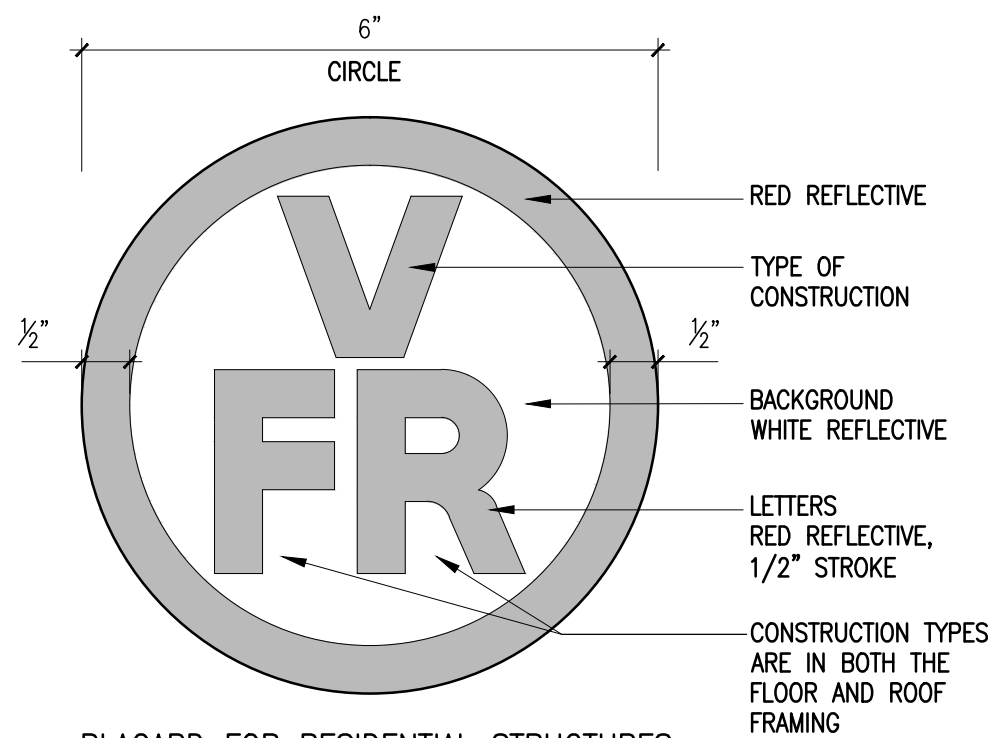
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Fax: (914) 693-5390
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SHEET TITLE:
FOUNDATION PLAN

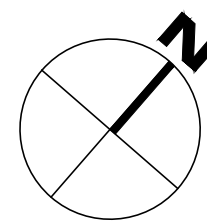
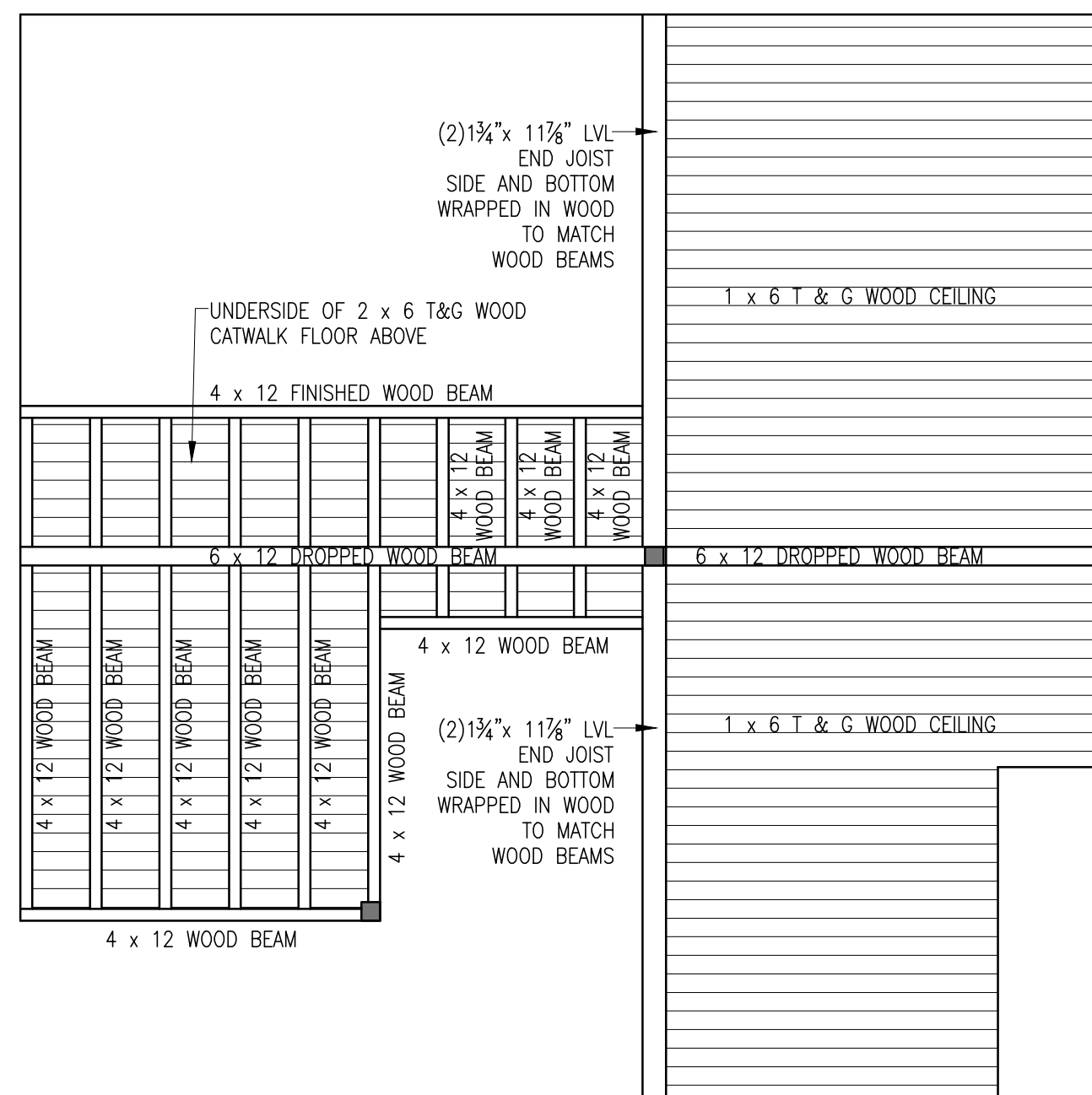
DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-2.01



PLACARD FOR RESIDENTIAL STRUCTURES
WITH TRUSS TYPE, PRE-ENGINEERED WOOD
AND TIMBER FRAME CONSTRUCTION

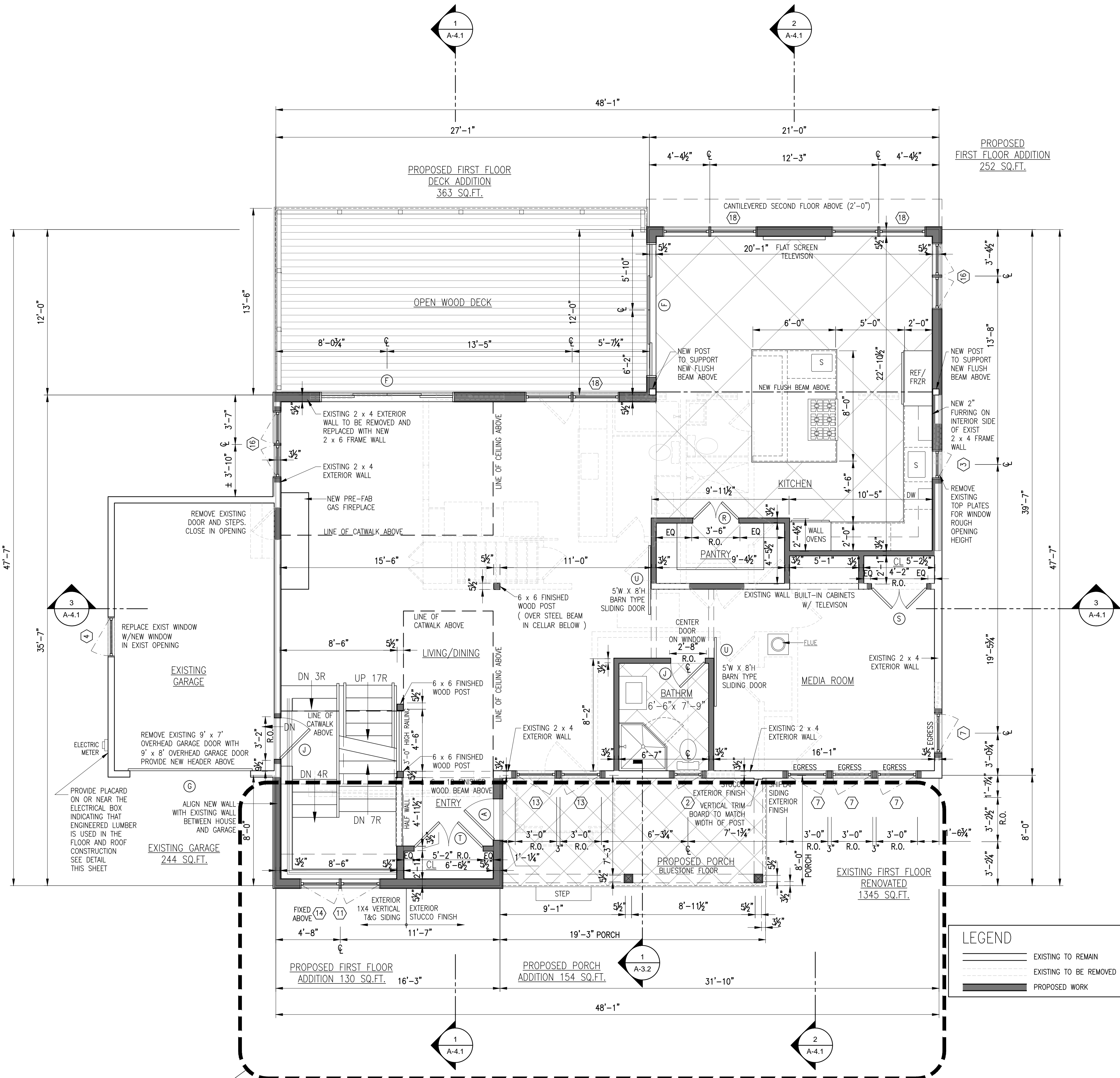
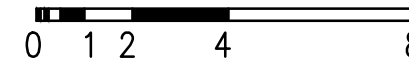
2
A-2.0
PLACARD DETAIL
SCALE : 6" = 1'-0"



LIVING / DINING REFLECTED CEILING PLAN

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET



LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED WORK

PHASE TWO:
NOT INCLUDED IN BUILDING PERMIT
PENDING GRANTING OF VARIANCE BY
ZONING BOARD OF APPEALS

PROPOSED FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET



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PROJECT TITLE:
MITTON RESIDENCE

45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706

PROJECT NO.: 2103

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SHEET TITLE:

**PROPOSED
LOWER LEVEL AND
FIRST FLOOR PLANS**

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-2.1

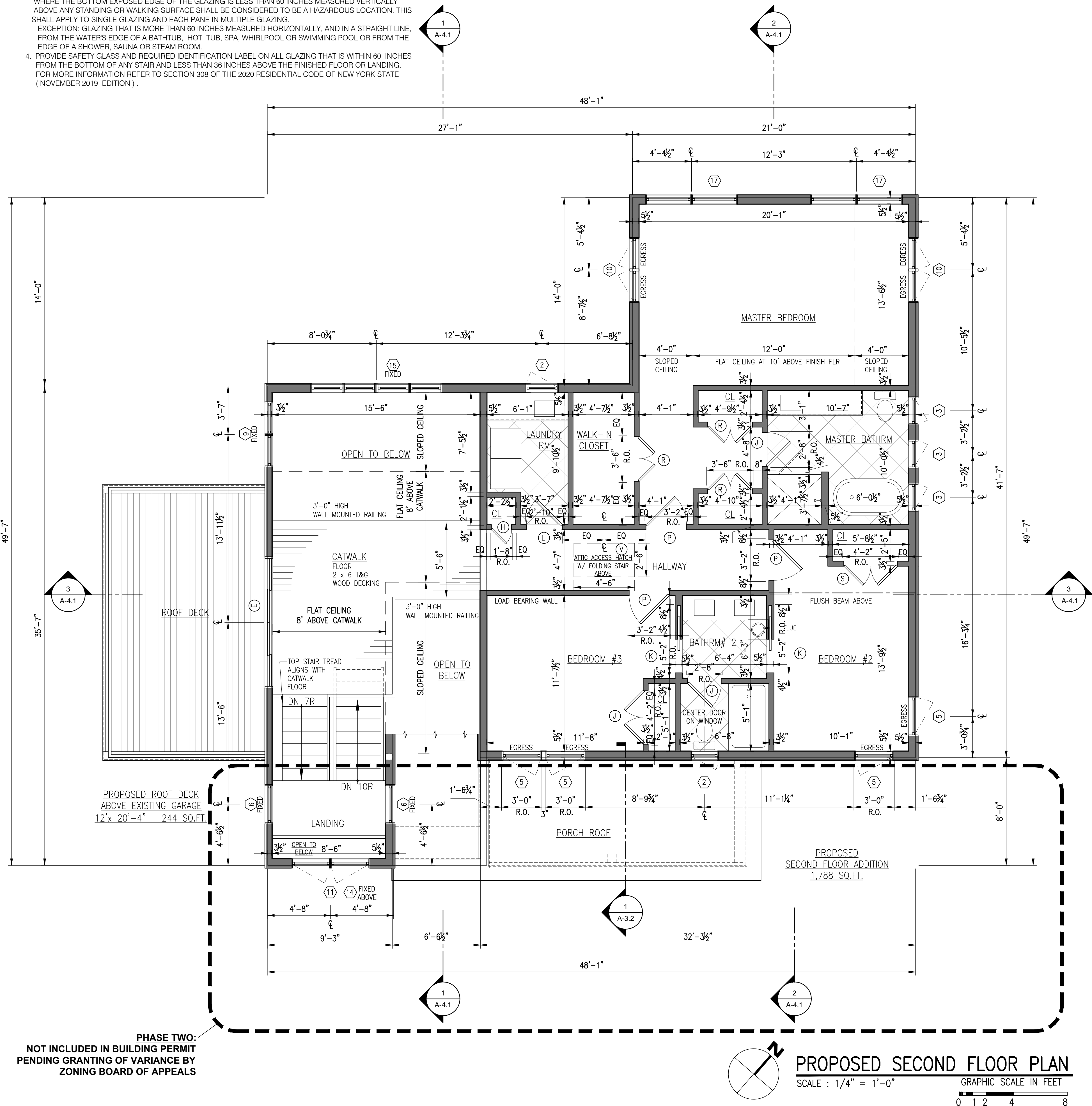
WINDOW SCHEDULEMITTON45 CHESTNUT DRIVE HASTINGS-ON HUDSON, N.Y.10706										
SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	SHGC	GRILLES	NOTES
1	PELLA	CLAD AWNING	CAW 3525	2'-11 3/4" x 2'-1 3/4"	1	INSULATED	0.29	0.27	NONE	
2	PELLA	CLAD CASEMENT	CC 2935	2'-5 3/4" x 2'-11 3/4"	3 (1 L, 2 R)	INSULATED	0.29	0.27	NONE	
3	PELLA	CLAD CASEMENT	CC 2947	2'-5 3/4" x 3'-11 3/4"	4 (3 L, 1 R)	INSULATED	0.29	0.27	NONE	
4	PELLA	CLAD CASEMENT	CC 3535	2'-11 3/4" x 2'-11 3/4"	1 L	INSULATED	0.28	0.27	NONE	
5	PELLA	CLAD CASEMENT	CC 3547	2'-11 3/4" x 3'-11 3/4"	4 (2 L, 2 R)	INSULATED	0.29	0.27	NONE	EGRESS
6	PELLA	CLAD CASEMENT	CC 3547	2'-11 3/4" x 3'-11 3/4"	2 FIXED	INSULATED	0.29	0.31	NONE	
7	PELLA	CLAD CASEMENT	CC 3559	2'-11 3/4" x 4'-11 3/4"	4 (2 L, 2 R)	INSULATED	0.28	0.27	NONE	EGRESS
8	PELLA	CLAD CASEMENT	CC 2959 2W	4'-10 3/4" x 4'-11 3/4"	4 (L, R)	INSULATED	0.29	0.27	NONE	EGRESS
9	PELLA	CLAD CASEMENT	CC 2959 2W	4'-10 3/4" x 4'-11 3/4"	1 FIXED	INSULATED	0.29	0.31	NONE	
10	PELLA	CLAD CASEMENT	CC 2971 2W	4'-10 3/4" x 5'-11 3/4"	2 (L, R)	INSULATED	0.28	0.27	NONE	EGRESS
11	PELLA	CLAD CASEMENT	CC 3547 2 W	5'-10 3/4" x 3'-11 3/4"	2 (L, R)	INSULATED	0.29	0.27	NONE	
12	PELLA	CLAD CASEMENT	CC 3559 2 W	5'-10 3/4" x 4'-11 3/4"	1 (L, R)	INSULATED	0.28	0.27	NONE	EGRESS
13	PELLA	CLAD CASEMENT MULLED CLAD AWNING	CC 3559 MULLED CAW 3525	5'-10 3/4" x 7'-0 3/4"	2 (1 L, 1 R)	INSULATED	0.28 0.29	0.27 0.27	NONE NONE	
14	PELLA	CLAD CASEMENT	CC 3547 2W FIXED	5'-10 3/4" x 3'-11 3/4"	2 FIXED	INSULATED	0.28	0.27	NONE	
15	PELLA	CLAD CASMENT	CC 2959 4W FIXED	9'-8 3/4" x 4'-11 3/4"	1 FIXED	INSULATED	0.28	0.27	NONE	
16	PELLA	CLAD CASEMENT MULLED CLAD AWNING	CC 2959 2W L,R MULLED CAW 2925 2W	4'-10 3/4" x 7'-0 3/4"	2	INSULATED	0.29 0.29	0.27 0.27	NONE NONE	
17	PELLA	CLAD CASEMENT MULLED CLAD AWNING	CC 4147 2W FIXED MULLED CAW 4125 2W	6'-10 3/4" x 6'-0 3/4"	2	INSULATED	0.28 0.29	0.31 0.27	NONE NONE	
18	PELLA	CLAD CASEMENT MULLED CLAD AWNING	CC 4159 2W FIXED MULLED CAW 4125 2W	6'-10 3/4" x 7'-0 3/4"	3	INSULATED	0.28 0.29	0.31 0.27	NONE NONE	
PELLA LIFESTYLE SERIES CLAD										

EGRESS WINDOW:
THESE WINDOWS MEET OR EXCEED THE REQUIREMENTS OF SECTION R310.2.1 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
EGRESS OPENINGS TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.
THE NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24 INCHES.
THE NET CLEAR WIDTH OPENING SHALL NOT BE LESS THAN 20 INCHES.
THE SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

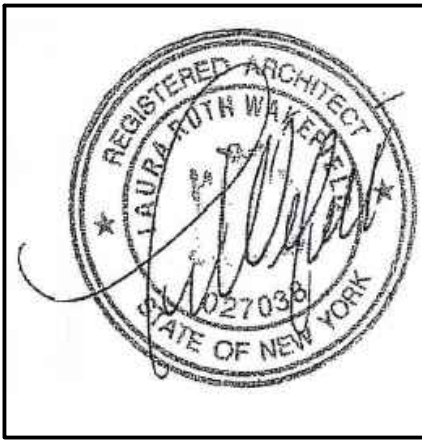
DOOR SCHEDULEMITTON45 CHESTNUT DRIVE HASTINGS-ON HUDSON, N.Y.10706										
EXTERIOR										
SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	SHGC	GRILLES	NOTES
A		SWINGING DOOR	3'-0" x 8'-0"	3'-2 1/2" x 8'-2 1/2"	1	INSULATED				
B		SWINGING DOOR	(2) 3'-0" x 7'-0"	6'-2 1/2" x 7'-2 1/2"	1	INSULATED				
C	PELLA LIFESTYLE	CLAD PATIO SLIDING DR	2 PANEL CPSD 7296 (OX)	6'-0" x 8'-0"	1	INSULATED	0.28	0.28	NONE	
D	PELLA LIFESTYLE	CLAD PATIO SLIDING DR	4 PANEL CPSD 11782 (OXOX)	9'-8 7/8" x 6'-10"	1	INSULATED	0.28	0.28	NONE	
E	PELLA LIFESTYLE	CLAD PATIO SLIDING DR	4 PANEL CPSD 11782 (OXOX)	9'-8 7/8" x 6'-10"	1	INSULATED	0.28	0.28	NONE	
F	PELLA LIFESTYLE	CLAD PATIO SLIDING DR	4 PANEL CPSD 11796 (OXOX)	9'-8 7/8" x 8'-0"	2	INSULATED	0.28	0.27	NONE	
G		OVERHEAD GARAGE DR		8'-0" x 8'-0"	1	INSULATED				

DOOR SCHEDULEMITTON45 CHESTNUT DRIVE HASTINGS-ON HUDSON, N.Y.10706							
INTERIOR							
SYM	MANUF	TYPE	TYPE	SIZE	ROUGH OPENING	QUANTITY	NOTES
H	TRUSTILE	SWINGING DOOR		1'-6" x 6'-8" x 1 3/8"	2'-8" x 6'-10 1/2"	1	
J	TRUSTILE	SWINGING DOOR		2'-6" x 6'-8" x 1 3/8"	2'-8" x 6'-10 1/2"	3	
K	TRUSTILE	POCKET DOOR		2'-6" x 6'-8" x 1 3/8"	5'-2" x 7'-1 1/2"	2	
L	TRUSTILE	SWINGING DOOR		2'-8" x 6'-8" x 1 3/8"	2'-10" x 6'-10 1/2"	1	
M	TRUSTILE	SWINGING DOOR		3'-0" x 6'-6" x 1 3/4"	3'-2" x 6'-8 1/2"	2	
N	TRUSTILE	SWINGING DOOR		3'-0" x 6'-6" x 1 3/4"	3'-2" x 6'-8 1/2"	1	3/4 HOUR FIRE RATED DOOR WITH SELF CLOSING MECHANISM
P	TRUSTILE	SWINGING DOOR		3'-0" x 6'-8" x 1 3/4"	3'-2" x 6'-10 1/2"	5	
Q	TRUSTILE	SWINGING DOOR		3'-0" x 6'-8" x 1 3/4"	3'-2" x 6'-8 1/2"	1	3/4 HOUR FIRE RATED DOOR WITH SELF CLOSING MECHANISM
R	TRUSTILE	SWINGING DOOR		(2) 1'-8" x 6'-8" x 1 3/8"	3'-6" x 6'-10 1/2"	4	
S	TRUSTILE	SWINGING DOOR		(2) 2'-0" x 6'-8" x 1 3/8"	4'-2" x 6'-10 1/2"	5	
T	TRUSTILE	SWINGING DOOR		(2) 2'-0" x 8'-0" x 1 3/8"	4'-2" x 8'-2 1/2"	1	
U	TRUSTILE	BARN TYPE SLID DR		5'-0" x 8'-0" x 1 3/8"		2	
V		ATTIC HATCH		2'-5 1/2" x 4'-5 1/2"	2'-6" x 4'-6"	3	WITH FOLDING STAIRS
INTERIOR DOOR HARDWARE "EMTEK" PRIVACY SET - BATHROOMS AND BEDROOMS PASSAGE SET - SINGLE DOOR CLOSETS DUMMYPAIR - DOUBLE DOOR CLOSETS HINGES TO MATCH HARDWARE FINISH							

- GLAZING NOTES:
1. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 18 INCHES OF ANY FLOOR.
 2. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION AND WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
EXCEPTION: 1. DECORATIVE GLAZING 2. THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER THE DOOR AND GLAZING. 3.WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR STORAGE AREA 3 FEET OR LESS IN DEPTH.
 3. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING IN ALL HAZARDOUS LOCATIONS. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS, AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.
EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES MEASURED HORIZONTALLY, AND IN A STRAIGHT LINE, FROM THE WATERS EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL OR FROM THE EDGE OF A SHOWER, SAUNA OR STEAM ROOM.
 4. PROVIDE SAFETY GLASS AND REQUIRED IDENTIFICATION LABEL ON ALL GLAZING THAT IS WITHIN 60 INCHES FROM THE BOTTOM OF ANY STAIR AND LESS THAN 36 INCHES ABOVE THE FINISHED FLOOR OR LANDING. FOR MORE INFORMATION REFER TO SECTION 308 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (NOVEMBER 2019 EDITION) .



TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



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PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

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email: arch329@gmail.com

SHEET TITLE:
**PROPOSED
SECOND FLOOR PLAN
DOOR AND WINDOW
SCHEDULES**

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-2.2

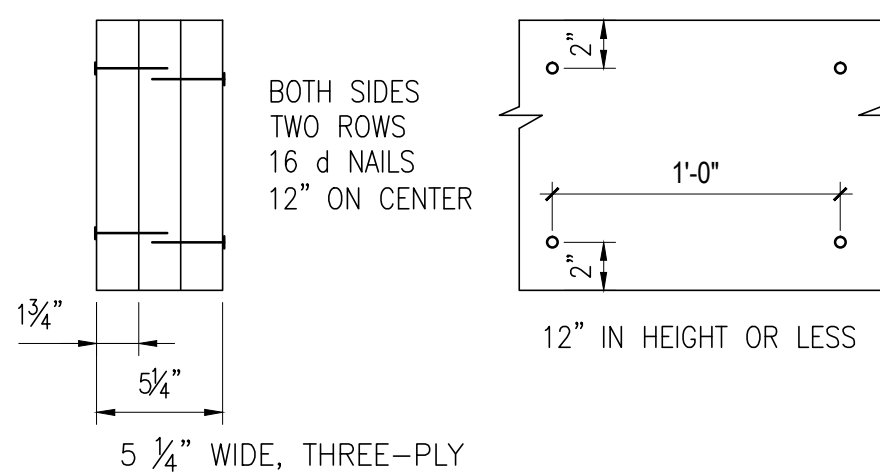
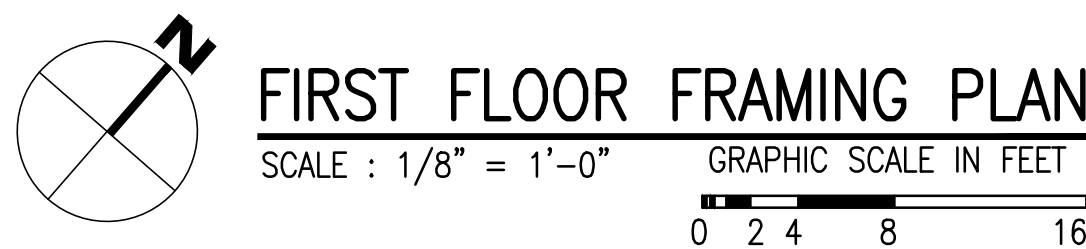
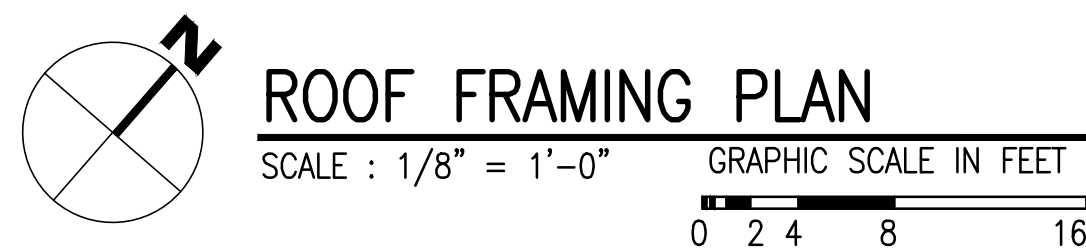
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**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LT.

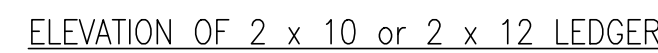
SHEET TITLE:

**PROPOSED
FRAMING PLANS**

A-2.3



BUILT UP BEAMS AND GIRDERS 1 3/4 INCH LVL
THREE ROWS FOR LVL GREATER THAN 12"



NOTE:
ALL FASTENERS AND CONNECTORS SHALL BE
A MATERIAL OR FINISH THAT IS PROTECTED FROM
THE CORROSIVE CHARACTERISTICS OF THE
PRESSURE TREATED MATERIALS USED.
FOR EXAMPLE,FASTENERS IN CONTACT WITH WOOD
TREATED WITH ACQ SHALL BE EITHER STAINLESS
STEEL OR HOT DIPPED GALVANIZED



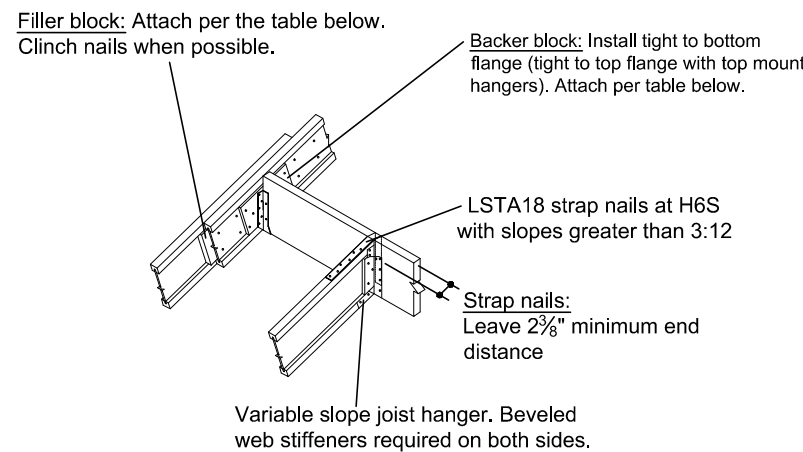
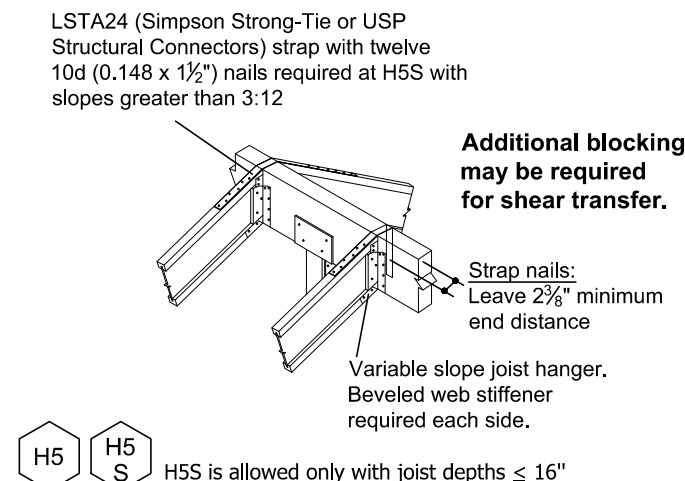
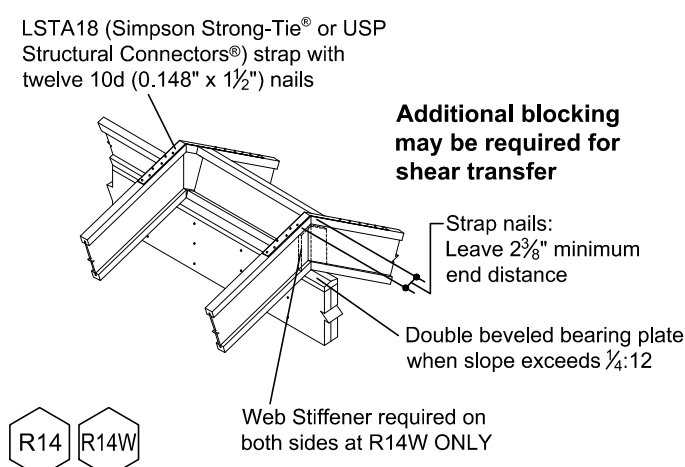
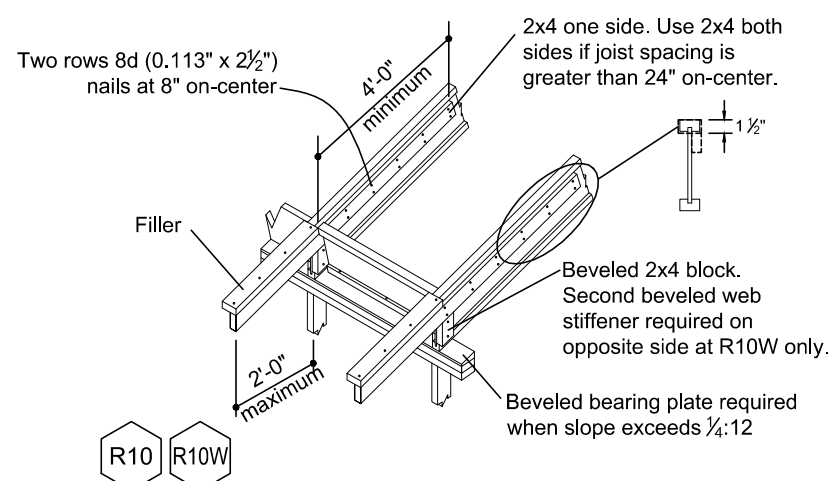
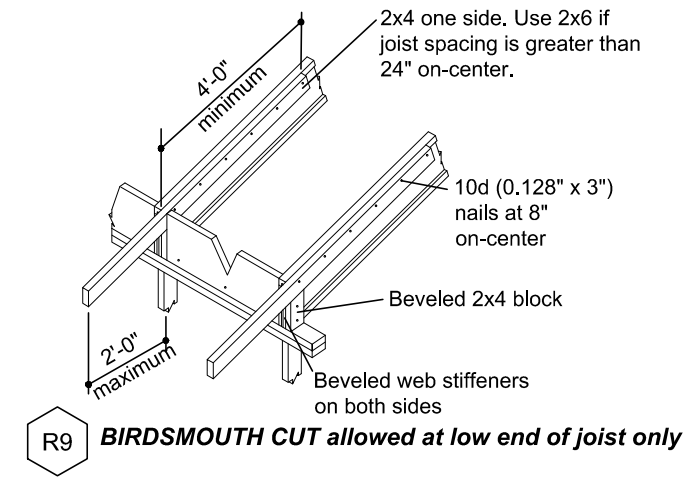
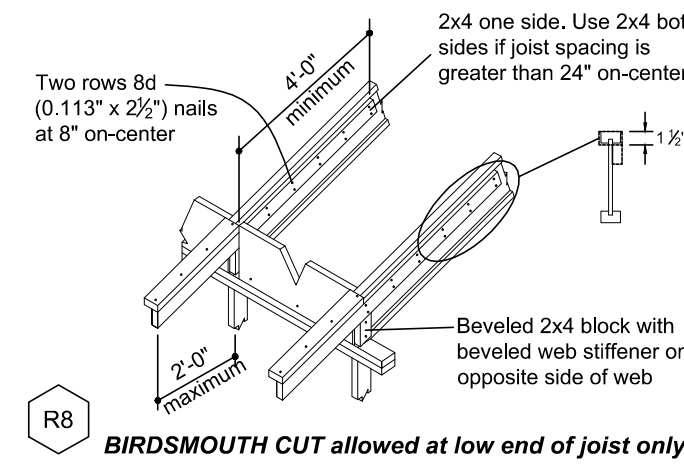
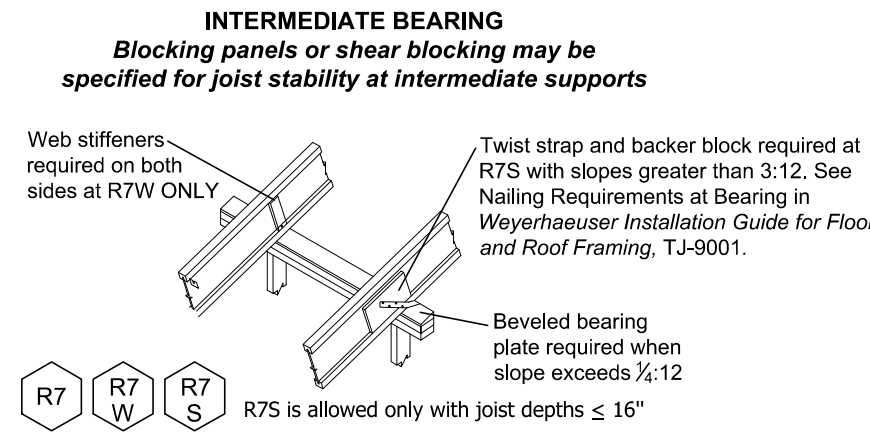
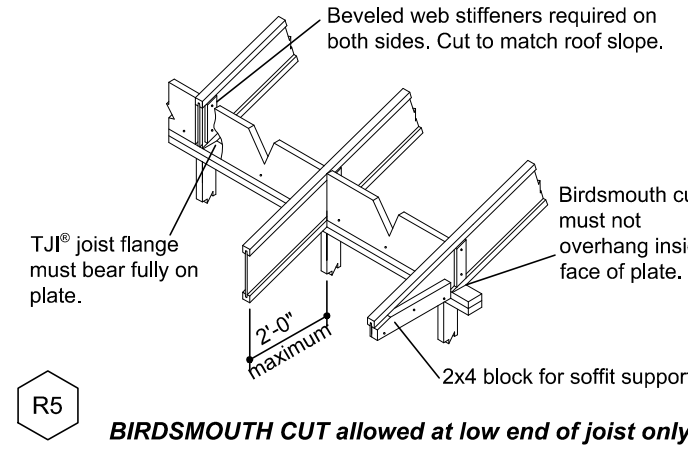
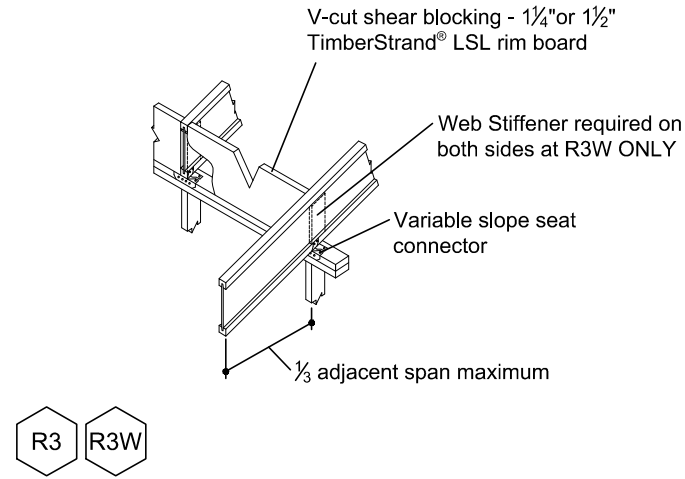
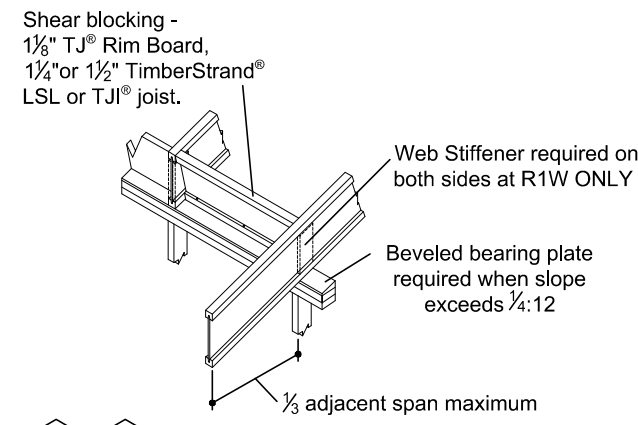


ROOF DETAILS

General Notes

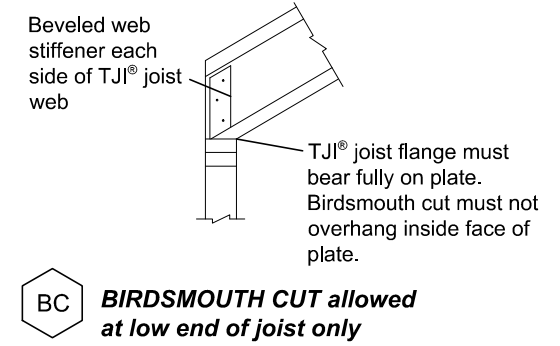
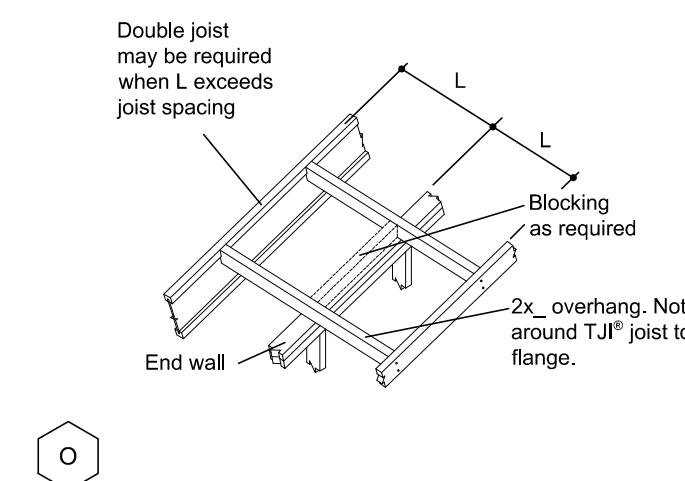
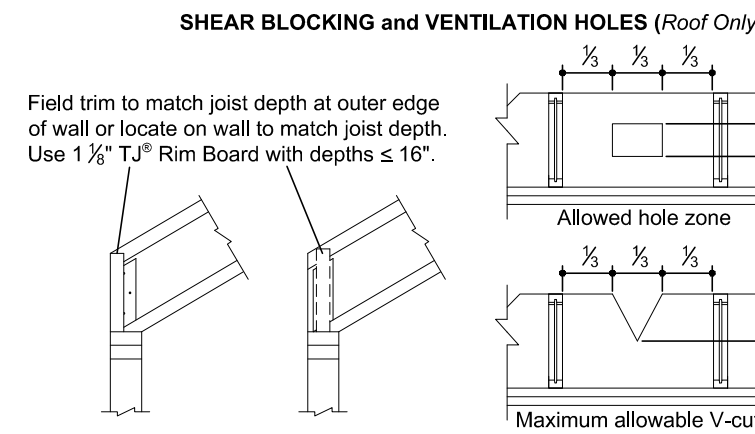
Unless otherwise noted, all details are valid to a maximum slope of 12:12. Joists > 16" have a maximum slope of 3:12.

Web stiffeners are required with all 22" and 24" joists and when the sides of the hanger do not laterally support at least $\frac{1}{2}$ " of the TJI® joist top flange. Also see framing plan.



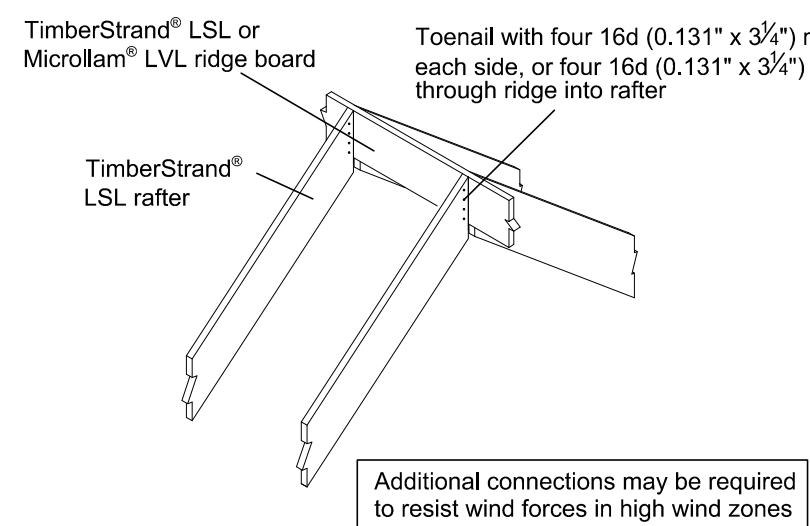
TJI® Depth, D	TJI® Flange Width	Block Type	Size	Nail Quantity
9 1/2" <Ds 16"	less than 3 1/2"	Filler	10d(0.128" x 3")	10
		Backer	10d(0.128" x 3")	10
	3 1/2"	Filler	16d(0.135" x 3 1/2")	10 - each side
		Backer	10d(0.128" x 3")	10
16" <Ds 20"	less than 3 1/2"	Filler	10d(0.128" x 3")	15
		Backer	10d(0.135" x 3 1/2")	15
	3 1/2"	Filler	10d(0.128" x 3")	15
		Backer	10d(0.135" x 3 1/2")	25 - each side
20" <Ds 24"	3 1/2"	Backer	10d(0.128" x 3")	15

H6S is allowed only with joist depths ≤ 16".
For filler and backer block sizes see Weyerhaeuser TJI® Joist Specifier's Guide, TJ-4000



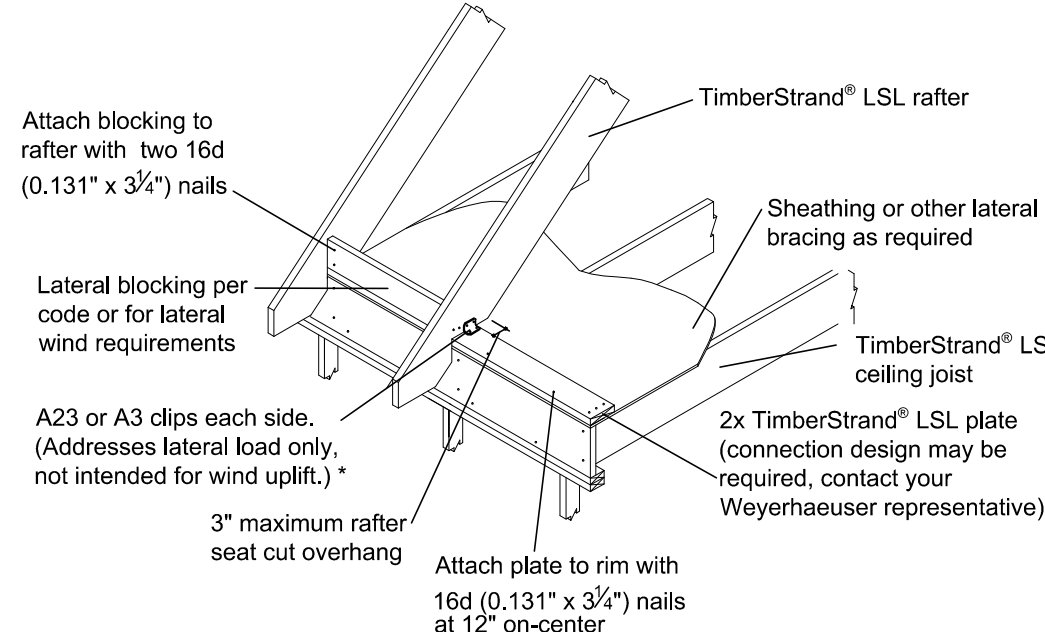
ROOF FRAMING DETAILS

Ridge Connection



Minimum Ridge Board Depth			
Rafter Size	Rafter Pitch		
	4:12 to 9:12	10:12 to 11:12	12:12
2x6	2x8	2x10	2x10
2x8	2x10	2x12	2x12
2x10	14"	14"	14"
2x12	14"	16"	16"

Heel Connection (Platform)

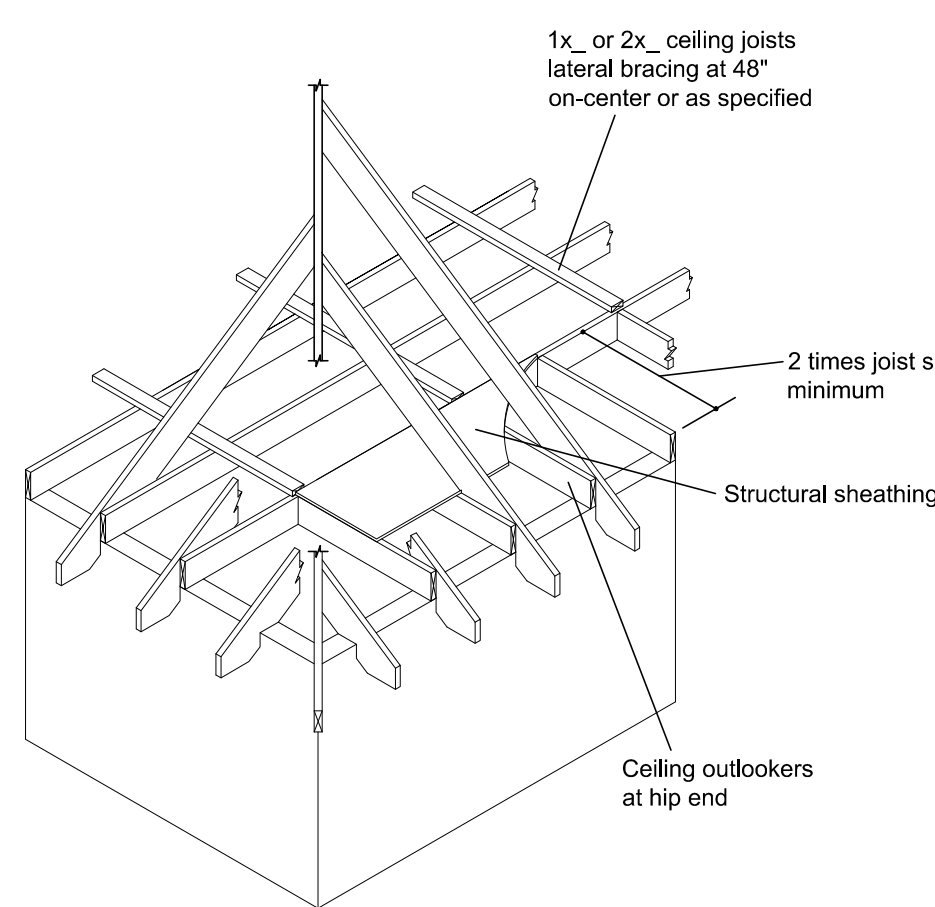


* Angle Clips

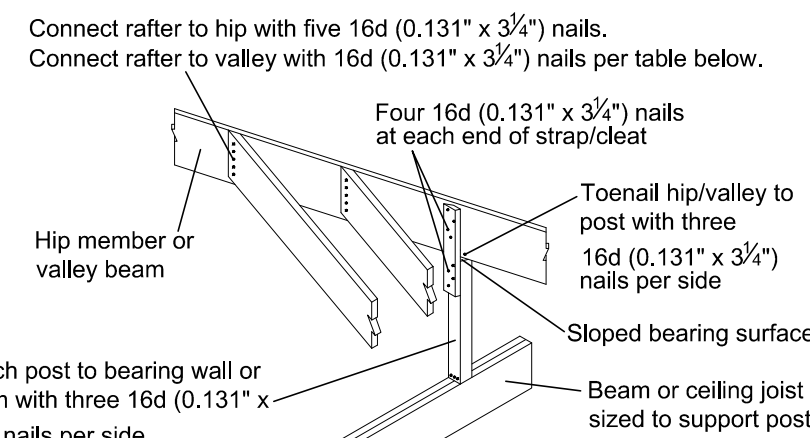
Hanger Type	Clip	Nailing
Simpson Strong Tie®	A23	10d x 1 1/2"
	A3	10d x 1 1/2"
USP Structural Connectors®	A3	10d x 1 1/2"

Rafter Connection for Thrust:
• For lap connection nail quantity requirements, see Rafter Span and Heel Connection Tables in Weyerhaeuser Roof System Design Guide, TJ-9005.
- If fewer than 8 nails are required, use only one A23 or A3 clip, each side.
- If 8-15 nails required, use two A23 or A3 clips, each side.

Outlooker Detail



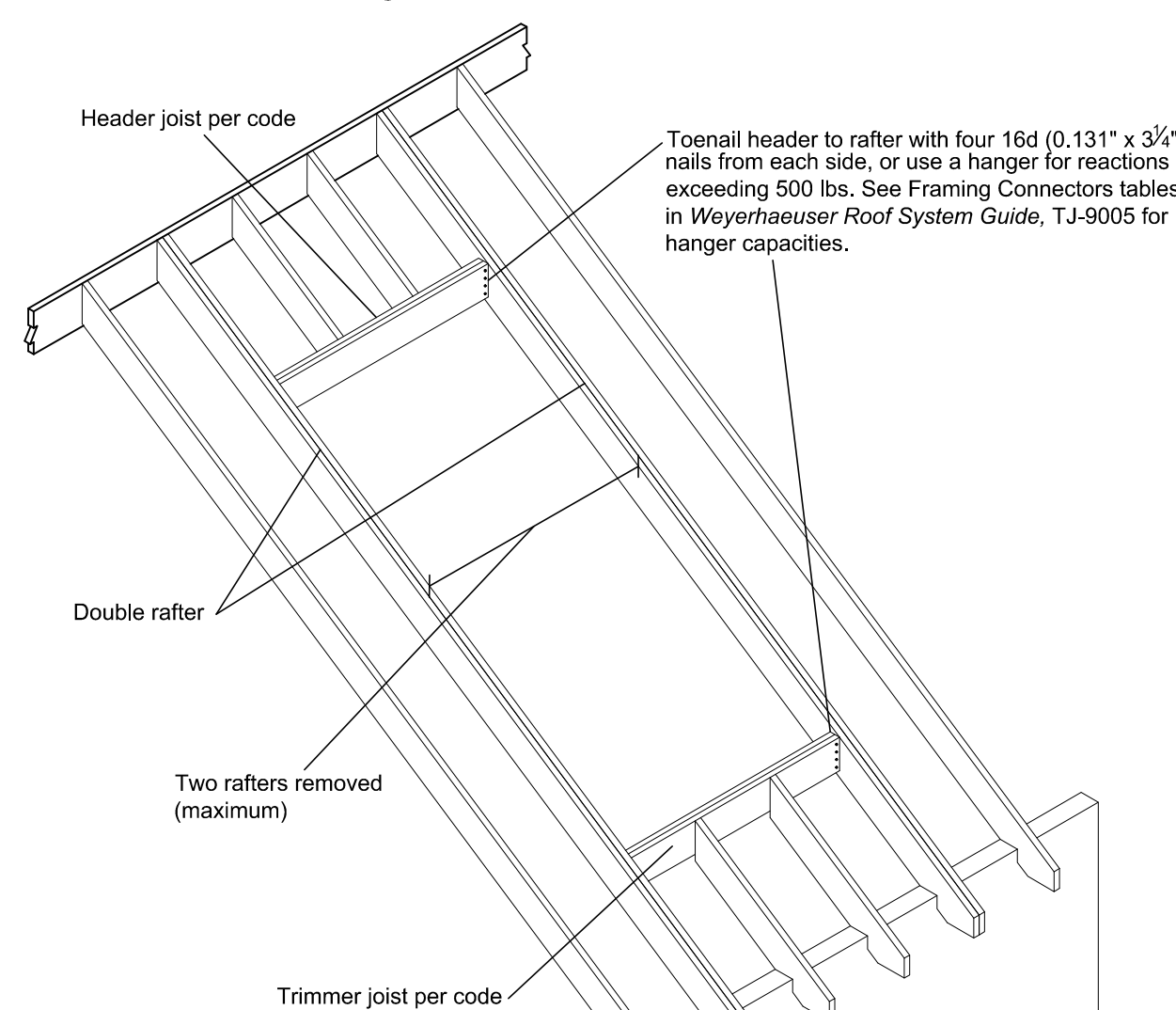
Hip/Valley Intermediate Support



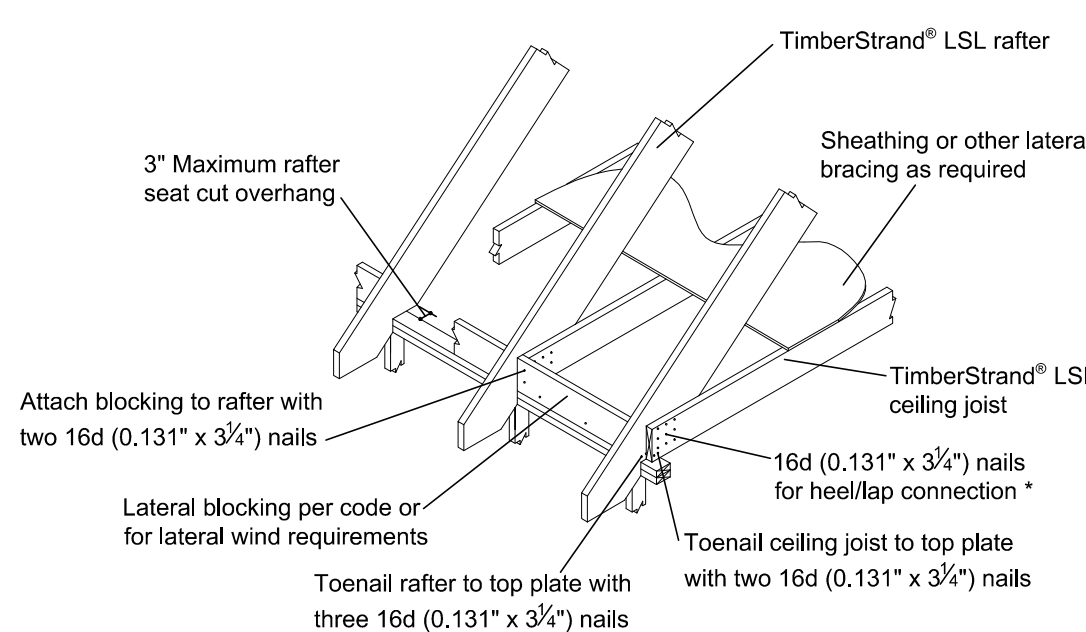
Rafter - to - Valley Connection				
Rafter On-Center Spacing	Rafter Span	Roof Snow Load		
		30 LL + 15 DL	50 LL + 15 DL	80 LL + 15 DL
		Number of 16d (0.131" x 3 1/2") nails required		
16"	6'	5	5	5
	12'	5	6	8
	18'	6	9	12
	24'	8	12	*
24"	6'	5	5	7
	12'	6	8	11
	18'	9	13	*
	24'	12	*	*

* Contact your Weyerhaeuser representative for additional connection information.

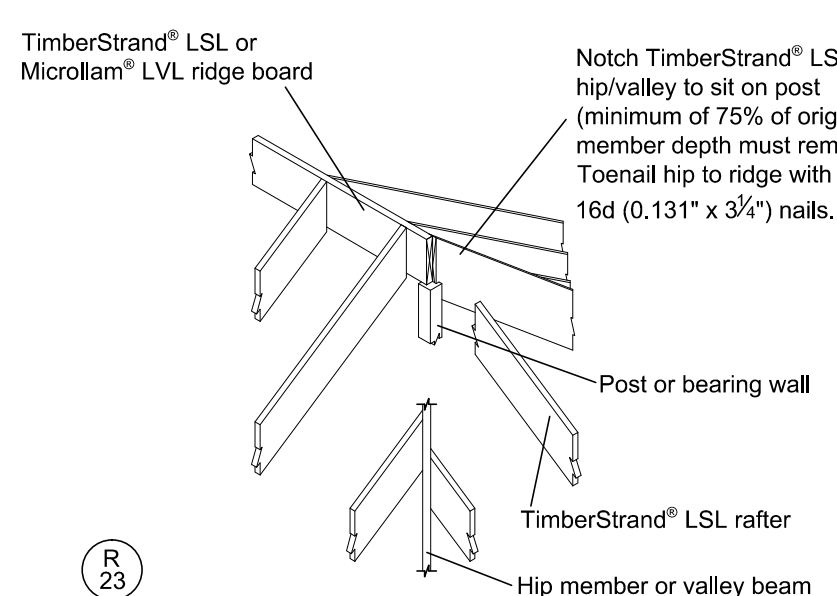
Dormer Framing



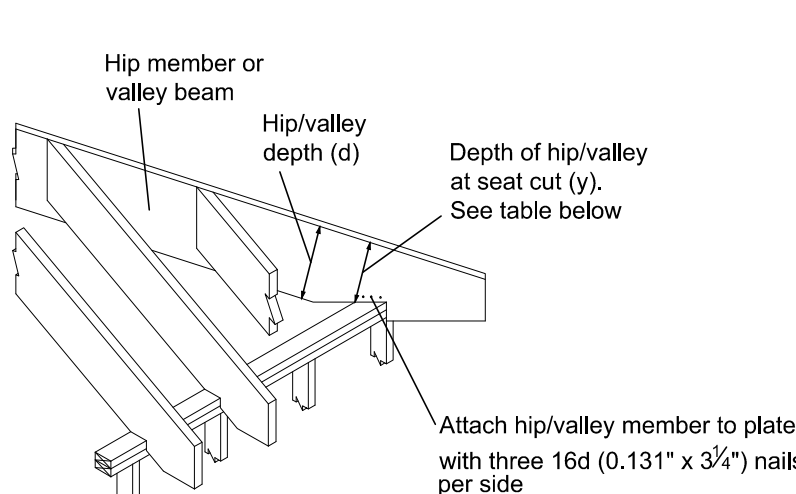
Heel Connection (Lap)



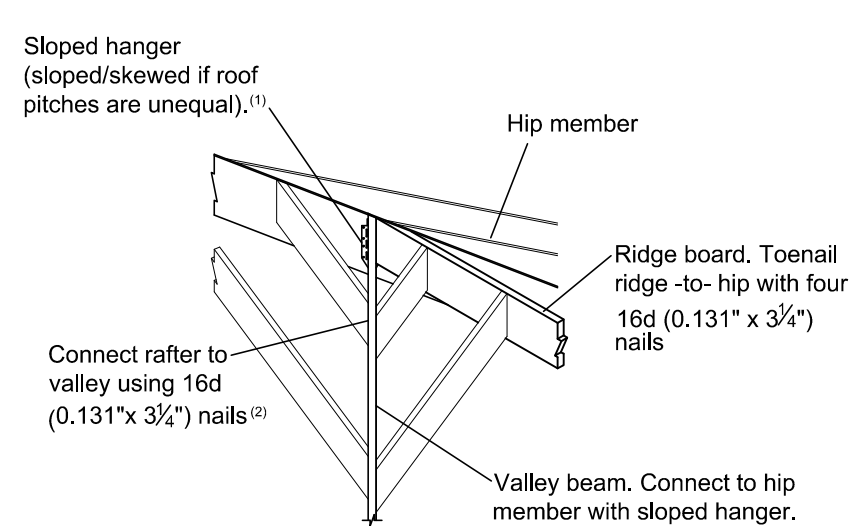
Hip/Ridge/Valley/ Post Detail



Hip/Valley Low End



Valley 4-to-Hip Connection



Contact your Weyerhaeuser representative for sizing of a hip or valley with a point load.
(1) See Framing Connectors in Weyerhaeuser Roof System Guide, TJ-9005 for hanger capacities.
(2) See Rafter 4-to-Valley Connection table in Detail R26 above.

Hip/Valley Depth		
Minimum Percentage of Original Hip/Valley Depth Required		
Member Type	TimberStrand® LSL	MicroLam® LVL
Hip Member	30%	50%
Valley Beam	60%	90%

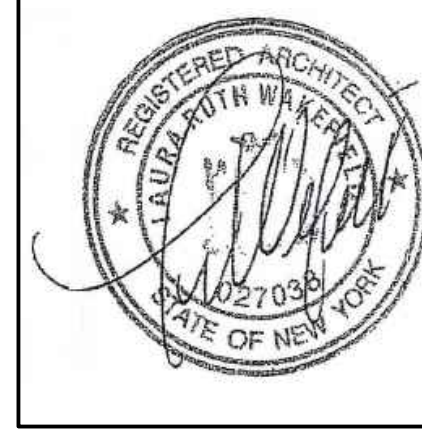
Calculate percentage as y/d x 100



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October 2017 Revider TJ-4014

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No. 27038

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MITTON RESIDENCE

45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706

PROJECT NO.: 2103

GOTHAM DESIGN

AND COMMUNITY DEVELOPMENT LTD.

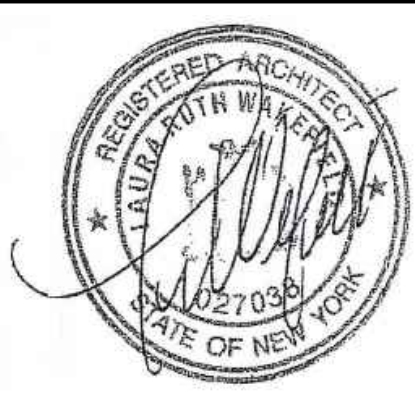
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Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

SHEET TITLE: I-JOIST ROOF FRAMING DETAILS

DATE: 07-15-2021	DRAWN BY: SSJ
SCALE: AS NOTED	CHECKED BY: PRS

A-2.5

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PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

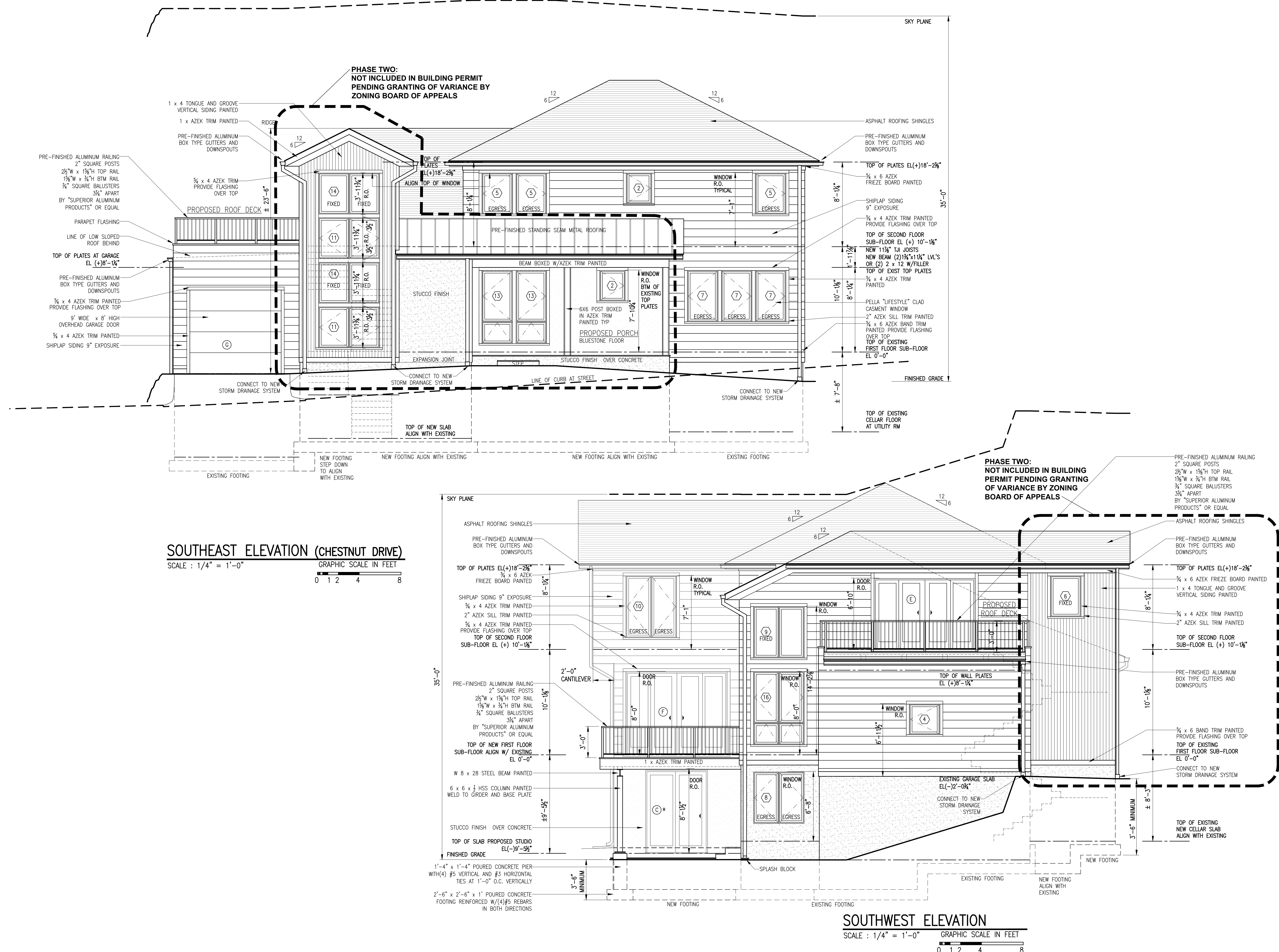
GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

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SHEET TITLE:
**PROPOSED
SOUTHEAST AND
SOUTHWEST
ELEVATIONS**

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-3.1



A circular professional seal for Laura Ruth Wacker, a Registered Architect in the State of New York. The seal contains the text "REGISTERED ARCHITECT", "LAURA RUTH WACKER", "No. 027038", and "STATE OF NEW YORK". The seal is stamped over a signature.

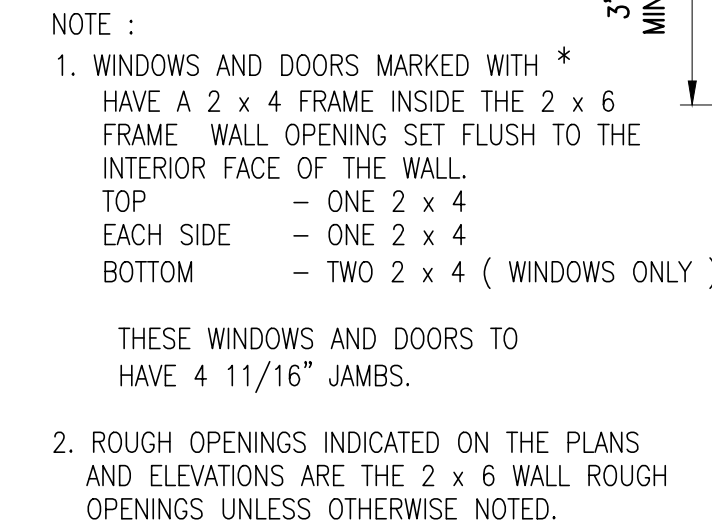
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PROJECT TITLE: MITT
45 CHES
HASTING
PROJECT NO. 2

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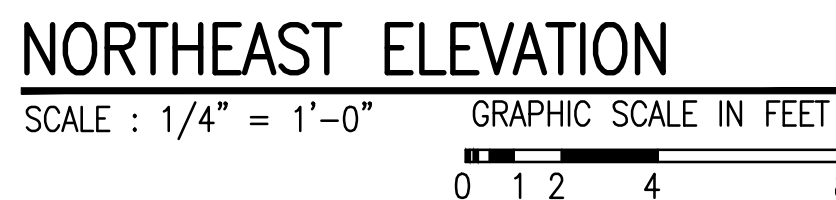
PROPOSED NORTHWEST AND NORTHEAST ELEVATIONS

A-3.2



NORTHWEST ELEVATION
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET
0 1 2 4

PHASE TWO:
NOT INCLUDED IN BUILDING PERMIT
PENDING GRANTING OF VARIANCE BY
ZONING BOARD OF APPEALS



**PHASE TWO:
NOT INCLUDED IN BUILDING PERMIT
PENDING GRANTING OF VARIANCE BY
ZONING BOARD OF APPEALS**

ASPHALT ROOFING SHINGLES
PRE-FINISHED ALUMINUM BOX TYPE GUTTERS AND DOWNSPOUTS
1/4 x 6 AZEK FRIEZE BOARD PAINTED
1 x 4 T & G VERTICAL SIDING PAINTED
1/4 x 4 AZEK TRIM PAINTED
2" AZEK SILL TRIM PAINTED
PRE-FINISHED STANDING SEAM METAL ROOFING
TOP OF PLATES, EL(+)-8'-10 1/4"
8'-10 1/4"
TOP OF EXISTING FIRST FLOOR SUB-FLOOR, EL 0'-0"
1 A-4.2
NEW CELLAR
PROPOSED CELLAR ADDITION
16'-3"x 8' 130 SQ.FT.
2 A-4.2
ASPHALT ROOFING SHINGLES
12
6
5 A-4.2
8 A-4.2
12
6
15'-3"
TOP OF PLATES
9 FIXED
15 FIXED
15
3'-0" HIGH WALL MOUNTED RAILING
6x12 FINISHED WOOD BEAM
CATWALK
8'-0"
LIVING ROOM
GAS FIREPLACE
TOP OF SUB-FLR
NEW 2 x 10 P.T. DECK JOISTS AT 16" O.C.
NEW TERRACE
PROPOSED WOOD STEPS
3'-6" MINIMUM
7 A-4.2
F
D
EXIST. 2 x 10 FLOOR JOISTS AT 16" O.C.
EXIST. 2 x 10 FLOOR JOISTS AT 16" O.C.
NEW 2 x 10 FLOOR JOISTS AT 16" O.C.
NEW CLOSET
EXISTING CELLAR
FAMILY ROOM
EXISTING STEEL BEAM AND COLUMNS
CL
ENTRY
HALF WALL PAINTED GYP. BRD
STAR LANDING
6x12 FIN. WD BM
STANDING SEAM METAL ROOF

[illegible]

LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
DOBBS FERRY, NY 10522
TEL: 914 693 6165
N.Y.S STATE LICENSE
No. 27038

WARNING :
IT IS A VIOLATION OF THE NEW YORK STATE
EDUCATIONAL LAW ARTICLE 145 SECTION 7209
FOR ANY PERSON, UNLESS HE OR SHE IS
ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ARCHITECT , ENGINEER OR
LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY

PROJECT TITLE: **MITTON RESIDENCE**
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

**GOTHAM
DESIGN**
AND COMMUNITY
DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

SHEET TITLE:

**PROPOSED
BUILDING SECTIONS**

DATE: 07-15-2021	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-4.1

Left Section Details:

- PRE-FINISHED ALUMINUM RAILING
- 2" SQUARE POSTS
- 2½"W x 1½"H TOP RAIL
- 1½"W x ¾"H BTM RAIL
- ¾" SQUARE BALUSTERS
- 3¼" APART
- BY "SUPERIOR ALUMINUM PRODUCTS" OR EQUAL
- PARAPET FLASHING
- 2 x 8
- (2) 2 x 4
- ICE AND WATER SHIELD
- (2) 1¾" x 9½" LVL
- SINGLE PLY MEMBRANE ROOFING
- TAPERED RIGID INSULATION
- NEW 2 x 12 ROOF JOISTS AT 16" O.C.
- NEW (2) 2 x 4 TOP PLATES
- SPRAY FOAM INSULATION R-49
- 5/8" GYPSUM BOARD ON WALLS AND CEILING
- EXISTING GARAGE 2 x 4 FRAME WALL

Right Section Details:

- PELLA CLAD PATIO SLIDING DOOR
- ADJUSTABLE PEDESTAL BY BISON OR APPROVED EQUAL ON SLIP SHEET
- SINGLE PLY MEMBRANE ROOFING
- TAPERED RIGID INSULATION
- 5/4 x 6 DECKING
- ATTACHED 2 x6 DUCK BOARD W/ CONCEALED FASTENERS AND STAINLESS STEEL SCREWS
- GUTTER AND DOWNSPOUTS
- NEW 2 x 12 RIM JOIST
- NEW (2) 2 x 4 TOP PLATES
- 2 x 12 ROOF JOISTS AT 16" O.C.
- SPRAY FOAM INSULATION R-49
- 5/8" GYPSUM BOARD ON WALLS AND CEILING
- EXISTING GARAGE 2 x 4 FRAME WALLS
- CATWALK

Roof Deck Detail Section

1
A-4.1 SCALE : 3/4" = 1'-0"

GRAPHIC SCALE IN FEET

0 1 2 4 8

[illegible]

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT



LAURA WAKEFIELD
ARCHITECT
329 BROADWAY
DOBBS FERRY, NY 10522
TEL: 914 693 6165
N.Y.S. STATE LICENSE
No. 27038

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PROJECT TITLE:
MITTON RESIDENCE
45 CHESTNUT DRIVE
HASTINGS-ON-HUDSON, N.Y. 10706
PROJECT NO.: **2103**

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AND COMMUNITY DEVELOPMENT LTD.

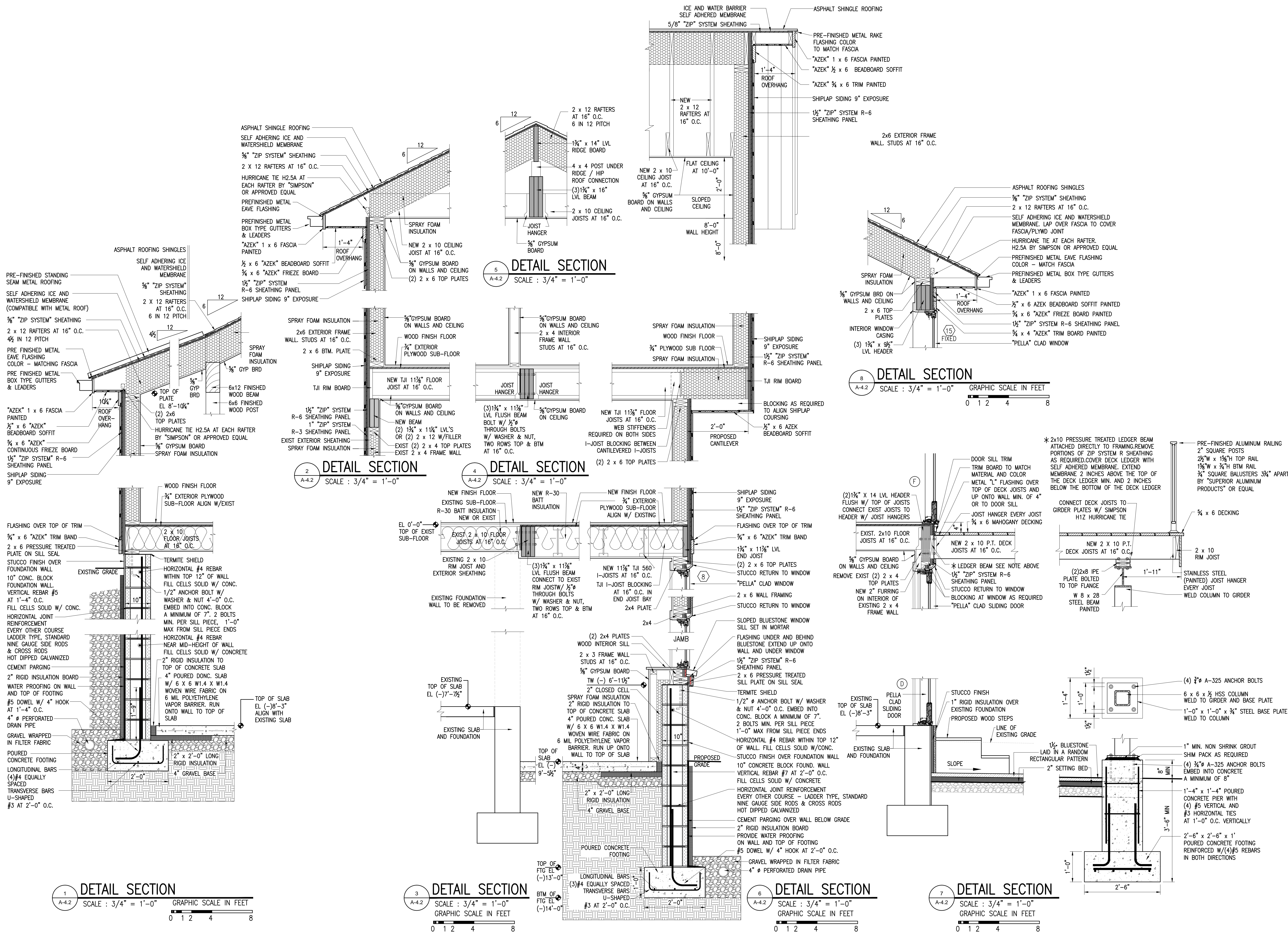
329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

SHEET TITLE:
**PROPOSED
DETAIL SECTIONS**

DATE:
07-15-2021
SCALE:
AS NOTED

DRAWN BY:
SSJ
CHECKED BY:
PRS

A-4.2



7021 0350 0002 2912 6776

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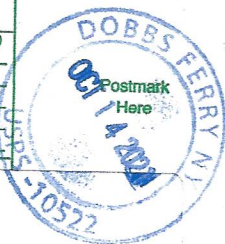
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WILLIAMS DANIEL S
WESTRICH ASHLEY B
17 CIRCLE DR
HASTINGS ON HUDSON, NY 10706

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REIMER, JOSHUA
KAPLAN, HANNAH F.
25 CHESTNUT DR
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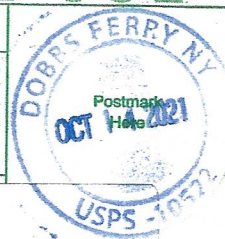
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SOEIRO, LOREN
STARR, KATHLEEN
50 CHESTNUT DR
HASTINGS ON HUDSON, NY 10706

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City,



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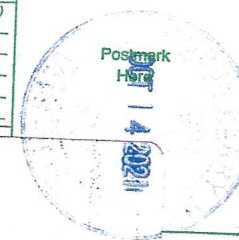
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LUETTERS, NORMAN
LUETTERS, ROSE
21 CHESTNUT DR
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City,



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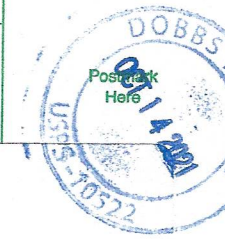
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REZMOVITS, JASON
REZMOVITS, SARAH
25 CIRCLE DR
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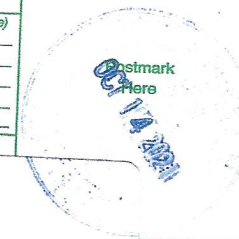
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KARELL, RYAN
KARELL, BRENDA
48 CHESTNUT DR
HASTINGS ON HUDSON, NY 10706

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City,



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18 FLORAL DR
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\$ KALS TRUST, STEPHEN ANDRE
138 CIRCLE DR
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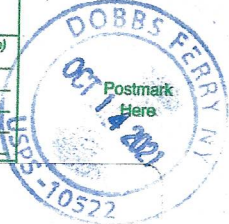
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\$ HEYWARD, JODY GAYLIN
SMITH, ELLEN GAYLIN
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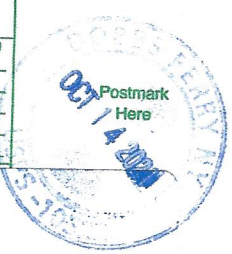
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Sent GOLD, SHERI
31 SCENIC DR
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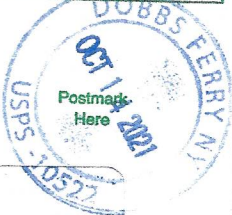
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60 FERNDAL DR
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\$ SMITH, RAY
Sent SMITH, BETH
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Total GATES, PAUL
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Total P DIRKSEN, RICHARD W.
Sent To DIRKSEN, JENNIFER B.
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Total P GLASS, CHARLES F. JR.
Sent To DONAHUE, MEGHANN E.
136 CIRCLE DR
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Street

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Total DUBE, JONATHAN
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24 CHESTNUT DR
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Street

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Total P KAPLAN, JAMES
Sent To CUMBUS, KAREN
105 CIRCLE DR
HASTINGS ON HUDSON, NY 10706

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<input type="checkbox"/> Adult Signature Required	\$
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Postage

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Total

\$

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Street

City, St.

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20 HOLLYWOOD DR
HASTINGS ON HUDSON, NY 10706

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Total

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City, State, ZIP

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HANG, SONG
63 FERNDAL DR
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<input type="checkbox"/> Adult Signature Required	\$
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Postage

\$

Total

\$

Sent To

Street

City, State, ZIP

APEL, DAVID E.
APEL, CAROLINE
29 FERNDAL DR
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<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

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Total

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Sent To

Street

City, State, ZIP

VANAMEE, NORMAN
VANAMEE, STEPHANIE
15 CIRCLE DR
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$

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Total

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SCRANTON, MARY FARREL
30 CHESTNUT DR
HASTINGS ON HUDSON, NY 10706

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<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

\$

Total

\$

Sent To

Street

City, State, ZIP

WEART, LARA K.
GALLOWAY, PAUL B.
100 CIRCLE DR
HASTINGS ON HUDSON, NY 10706

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7020 3160 0001 8959 4735

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Total SHORE, EILEEN M
FREEDMAN, STEPHEN
30 SCENIC DR
HASTINGS ON HUDSON, NY 10706

City, State, ZIP+4®

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

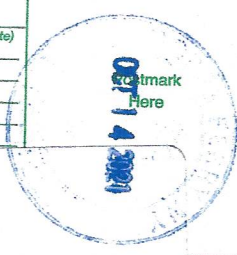
Postage

Total REITZ, HARALD
REITZ, CHRISTIANE
60 CHESTNUT DR
HASTINGS ON HUDSON, NY 10706

City, State, ZIP+4®

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

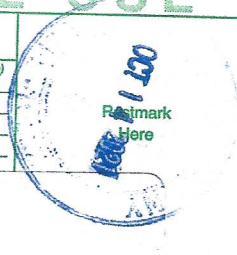
Postage

Total MORRISON, JOHN
AMAKAWA, LIA
17 CHESTNUT DRIVEWAY
HASTINGS ON HUDSON, NY 10706

City, State, ZIP+4®

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Total MCDERMOTT, NATASHA
MCDERMOTT, JOHN
32 FERNDALE DR
HASTINGS ON HUDSON, NY 10706

City, State, ZIP+4®

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Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

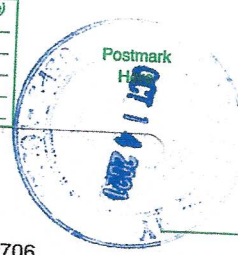
Postage

Total PAERELS, FREDERIK B
PAERELS, CELIA H
19 CIRCLE DR
HASTINGS ON HUDSON, NY 10706

City, State, ZIP+4®

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<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

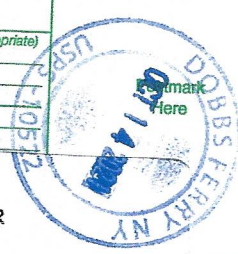
Postage

Total MELAMED TRUST, ELEANOR
96 CIRCLE DR
HASTINGS ON HUDSON, NY 10706

City, State, ZIP+4®

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Extra Services & Fees (check box, add fee as appropriate)

- | | | |
|--|----|--|
| <input type="checkbox"/> Return Receipt (hardcopy) | \$ | |
| <input type="checkbox"/> Return Receipt (electronic) | \$ | |
| <input type="checkbox"/> Certified Mail Restricted Delivery | \$ | |
| <input type="checkbox"/> Adult Signature Required | \$ | |
| <input type="checkbox"/> Adult Signature Restricted Delivery | \$ | |

Postmark
Here

OCT 14 2021

For

\$

To

\$

St

St

St

St

St

St

KASARSKIS, ANDREW
1 SCENIC DR
HASTINGS ON HUDSON, NY 10706

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