

February 23, 2017

Members of the Hastings Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: Proposed 3-Unit Residential Building at 425 Warburton Avenue

To the Members of the Zoning Board of Appeals:

As the Architect representing Tabi Realty LLC, the owner of 425 Warburton Avenue, I am requesting that the Zoning Board of Appeals grant the following variances from the Hastings Zoning Code:

1. Variance from Section 295-72.1E.1a - Front Yard Setback for MR-O Zone

We are requesting a variance for a front yard setback of 0 ft. Keeping the building close to the property line reduces impact on views from neighboring properties to the north and south, and also from uphill properties to the east.

2. Variance for Section 295-72.1E.1b – Rear Yard Setback for MR-O Zone

We are requesting a variance for a rear yard setback of 19.1 ft. to the parking area, which is 10.9 ft. closer to the rear property line than the 30 ft. allowed. We are requesting a rear yard variance in order to meet the parking requirement for 6 cars with a 25-foot turning radius for the exterior parking and at the entrance of the garage. Note that the principal building and decks meet the rear yard setback.

3. Variance from Section 295-72.1E.1c - Side Yard Setback for MR-O Zone

We are requesting a variance for a side yard setback of 7.0 ft. on the south side of the building to the garage level. The first, second and third floors meet the side yard setback of 12.0 ft.

4. Variance from Section 295-40.B(1) - Driveway Slope

We are requesting a variance for a 15% slope at the proposed driveway, in order to allow parking below the townhouses and a lower building height.

5. Variance from Section 295-40.B(2) - Driveway Slope within 30 ft. of Property Line

We are requesting a variance for a 3% slope for 5.6 ft and 15% for 24.4 ft. of the 30 feet required of 3% slope from the property line at the proposed driveway, in order to allow parking below the townhouses and a lower building height.

6. Variance from Section 295-41.A - Driveway Size

We are requesting a variance for a driveway with an area of 1,506 sf., which is 546 sf. over the allowed maximum area of 960 sf, in order to allow parking below the townhouses and a lower building height.

7. Variance for Section 295-29.A - Parking Space Size

We are requesting a variance for reducing the width of the parking space to 8'-6", in order to reduce the size of the garage.

8. Variance for Section 295-20.C(2 & 4) – No Paving in a Required Yard

We are requesting a variance for parking in a required yard, in order to meet the parking requirement for 6 cars with a 25-foot turning radius for the exterior parking and at the entrance of the garage.

I appreciate your understanding of our request for these variances, and look forward to presenting the drawings at the next Zoning Board of Appeals meeting. Thank you for your review of our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read "Christina Griffin". The signature is fluid and cursive, with the first name "Christina" and last name "Griffin" clearly distinguishable.

Christina Griffin AIA LEED AP

cc: Tabi Realty LLC

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Case number: Date of application: 2-23-17

Property owner: Tabi Realty LLC

Property address: 425 Warburton Avenue

Name all streets on which the property is located:

Sheet: 004.070 Block: 52 Lot/Parcel: 10 & 11 Zoning District: MR-O

Applicant: Christina Griffin

Standing of applicant if not owner: Architect

Address: 10 Spring Street, Hastings-on-Hudson, NY 10706

Daytime phone number: 914-478-0799 Fax number:

E-mail address: cg@cgastudio.com

ZBA action requested for (See §295-146B & C :

☐ Use Variance/s;

☒ Area Variance/s;

☐ Interpretation;

☒ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-72.1-E1a	10 ft Front Yard	0.2 ft	0 ft
295-72.1-Ec	12.0 ft Side Yard *	+/-50 ft	7.0 ft to garage / 12.0 ft to upper floors
295-72.1E.1b	30 ft Rear Yard	53.4 ft	19.1 ft to parking area
295-40-B(1)	8% Driveway Slope	16%	15%
295-40-B(2)	3% Driveway Slope	16%	5.6 ft at 3%; 24.4 ft of 30 ft required at 15%
295-20-C (2&4)	w/1.30 ft of Front Property Line		
295-29-A	No paving in a Required Yard	N/A	8.5 ft
295-41-A	9 ft width at Parking Space	NA	19.1 ft to parking area at rear yard
295-41-A	960 SF Max. Driveway Area	N/A	1,506 sf
* See example below:			
295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft	19.5 ft
295-68A	Permitted Principal Use	Single Family Home	Conversion to Dental Office

* SEE SHEET A-1 FOR SIDE YARD CALCULATION DIAGRAMS

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	10 ft	0.2 ft	0 ft
REAR	30 ft	53.4 ft	19.1 ft to parking area / 44.8 ft to decks
SIDE ONE	12.0 ft *(see calculation, Sheet A-1)	+/-50 ft	7.0 ft to garage / 12.0 ft to upper floors
SIDE TWO	17.8 ft *(see calculation, Sheet A-1)	0.3 ft	17.8 ft
TOTAL OF TWO SIDES	29.8 ft	+/- 50.3 ft	24.8 ft

YARD SETBACKS
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	3	3	3
FEET	40 ft	38.0 ft	38.0 ft

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	6,500 sf	7,124 sf	7,124 sf
BLDG. COVERAGE/ % OF LOT AREA	50%	18% (1,245 sf)	44% (3,130 sf)
DEVELOPMENT COVERAGE / % OF LOT AREA	N/A in MR-O district		

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Mult-Family Residential	Multi-Family Residential	Multi-Family Residential

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises: *N/A*

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....			
.....			

- List pending violations on this property if any:
unknown at this time

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this *26th* day
of *Sept.*, 20*16*

Mary Ellen Ballantine
Notary Public



Christine Cullen
Applicant

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation

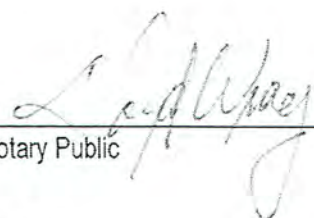


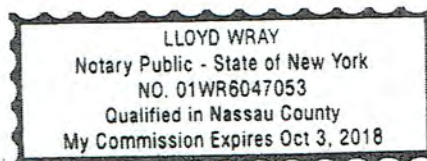
STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : Tabi Realty LLC, being duly sworn, deposes and says that
he/she resides at 2 Francis Drive ^{Muttontown} in the Village of Hastings-on-
^{Nassau}
Hudson in the County of ~~Westchester~~ ^{Nassau}, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as ^{Section} ~~Sheet~~ 004.070 Block 52 and Lot 10 & 11 of the tax map, and that
he/she hereby authorized Christina Griffin Architect, PC to make the annexed
application in his/her behalf and that the statement of fact contained in said application are true.


Owner

SWORN TO BEFORE ME THIS 26 DAY
OF Sept 2016


Notary Public



NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

3-UNIT RESIDENTIAL BUILDING ^{AT} 425 WARBURTON AVENUE

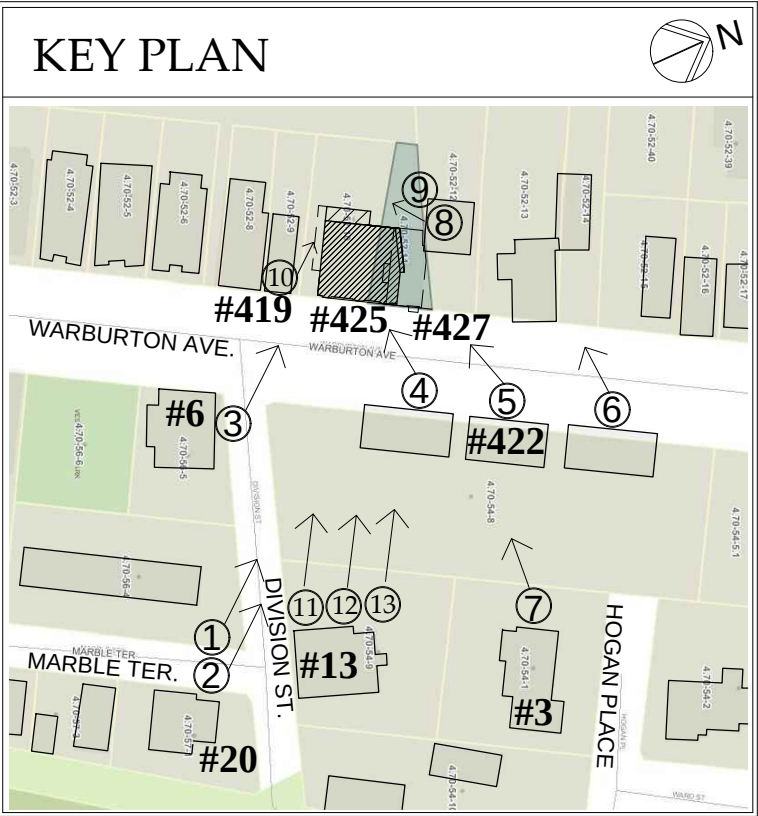
HASTINGS-ON-HUDSON, NY 10706

C H R I S T I N A G R I F F I N A R C H I T E C T P C

10 Spring Street, Hastings-on-Hudson, NY 10706



V I E W P R E S E R V A T I O N S T U D I E S



1
BEFORE VIEW
20 MARBLE TERRACE
First Floor

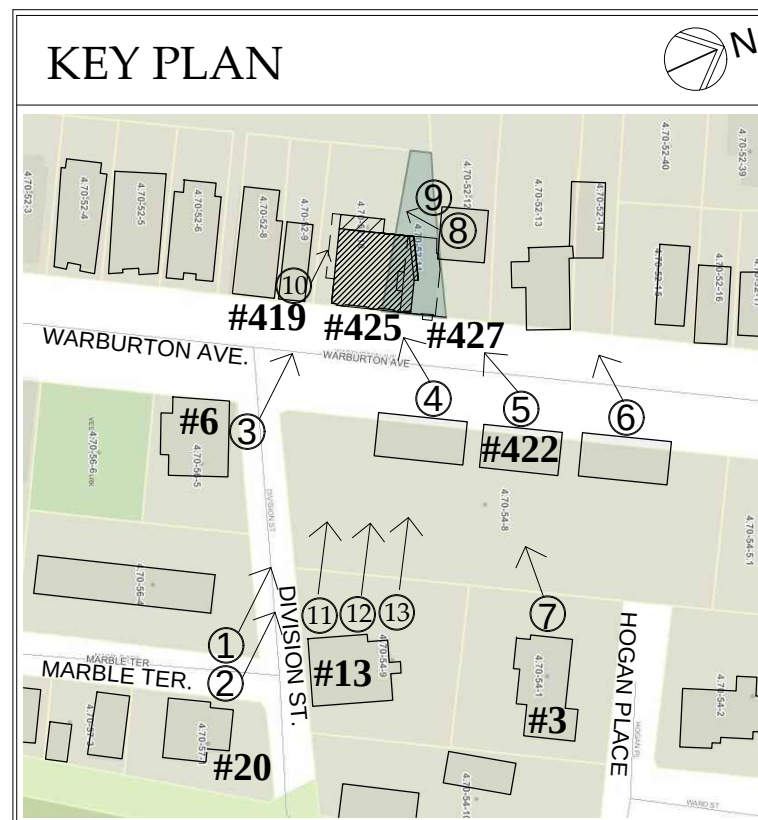
1
AFTER VIEW
20 MARBLE TERRACE
First Floor

Drawing Title	Date	
	PLANNING BOARD SUBMISSION	PLANNING BOARD SUBMISSION
VIEW PRESERVATION	9-22-16	12-19-16

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

VP-1



2
BEFORE VIEW
20 MARBLE TERRACE
Second Floor

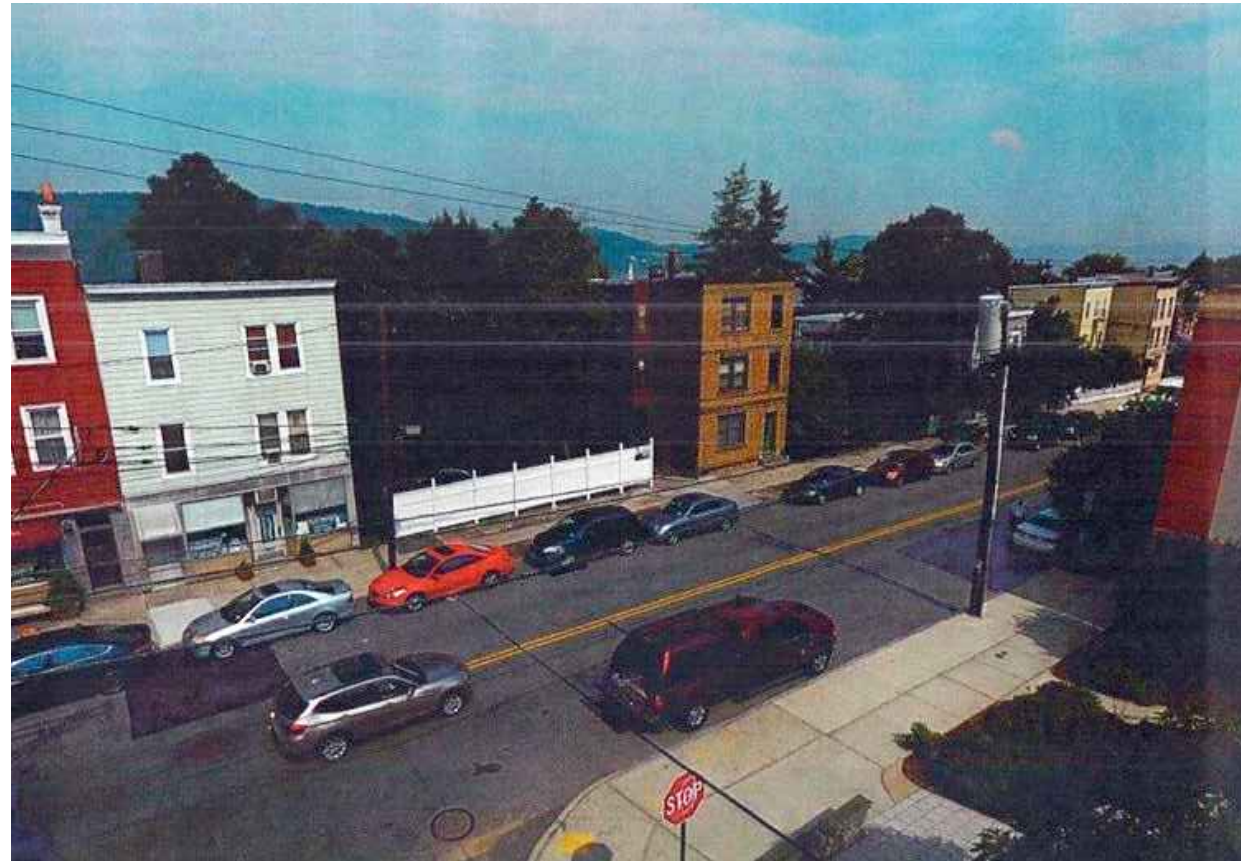
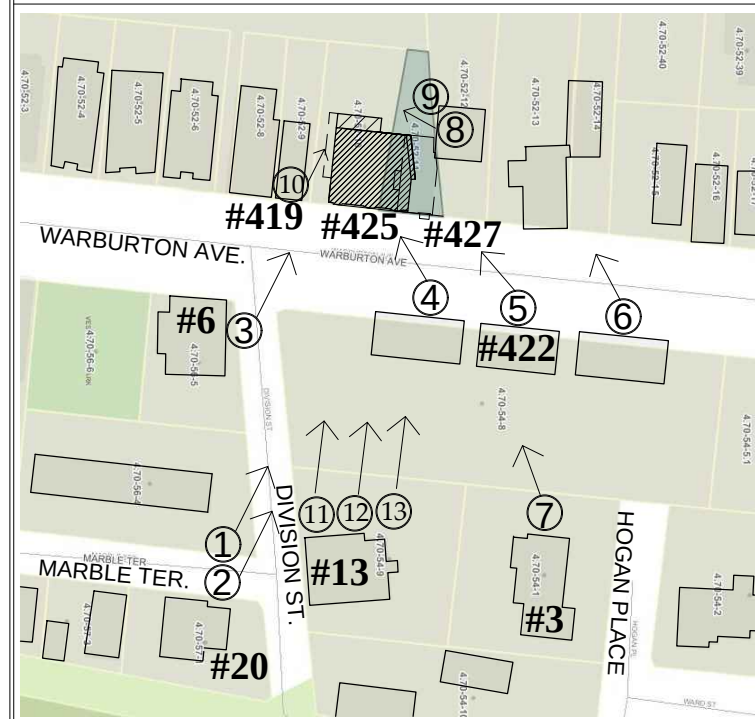
2
AFTER VIEW
20 MARBLE TERRACE
Second Floor

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

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Drawing Title	Date
VIEW PRESERVATION	PLANNING BOARD SUBMISSION 5/22/16
	PLANNING BOARD SUBMISSION 12/19/16
Scale:	
AS SHOWN	

VP-2



③
BEFORE VIEW
6 DIVISION STREET
Second Floor



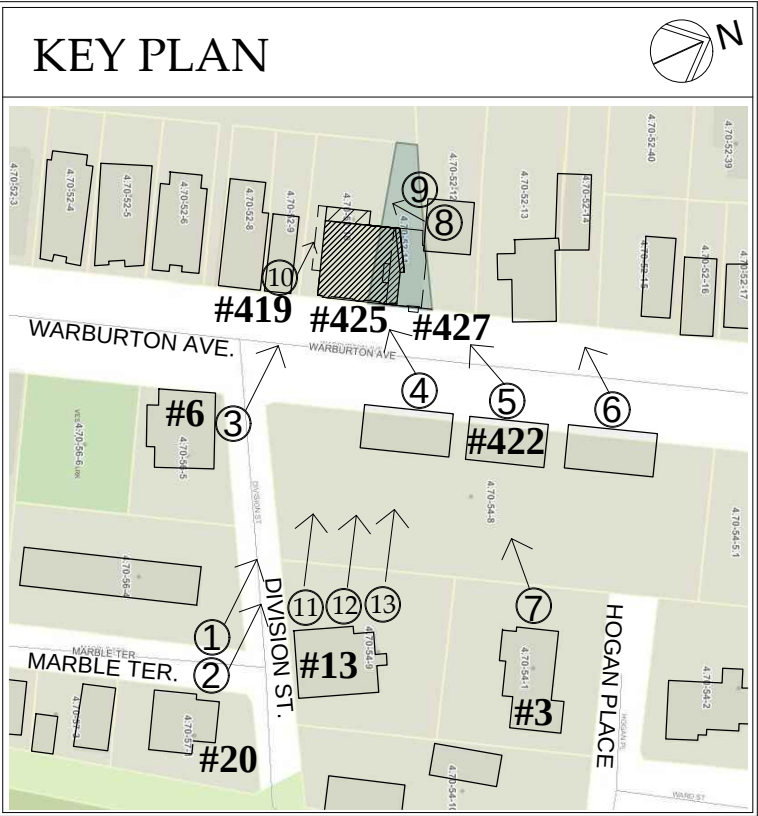
③
AFTER VIEW
6 DIVISION STREET
Second Floor

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
 HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT
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Drawing Title	PLANNING BOARD SUBMISSION	9-22-16
VIEW PRESERVATION	PLANNING BOARD SUBMISSION	12-19-16
Scale:		
AS SHOWN		

VP-3



4
BEFORE VIEW
422 Warburton - South Bldg.
Third Floor



4
AFTER VIEW
422 Warburton - South Bldg.
Third Floor

NEW 3-UNIT RESIDENTIAL BUILDING AT

425 Warburton Avenue

HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT

10 Spring Street
Hastings-on-Hudson, New York, 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Drawing Title

VIEW PRESERVATION
ON Warburton Avenue

Scale

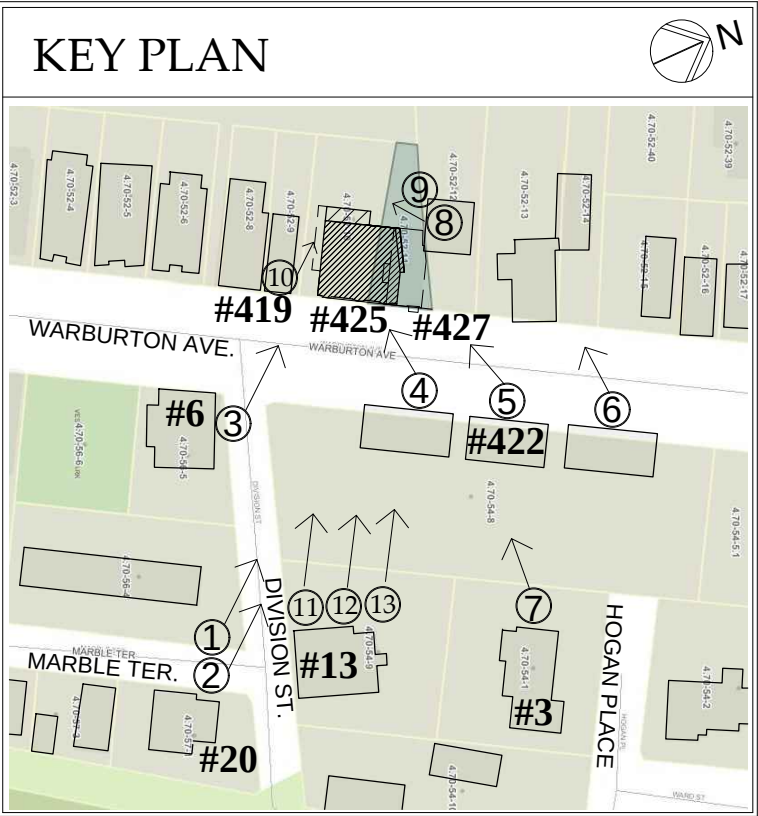
AS SHOWN

Date

PLANNING BOARD SUBMISSION
PLANNING BOARD SUBMISSION

9-22-16
12-19-16

VP-4



5
BEFORE VIEW
422 Warburton - Middle Bldg.
Third Floor



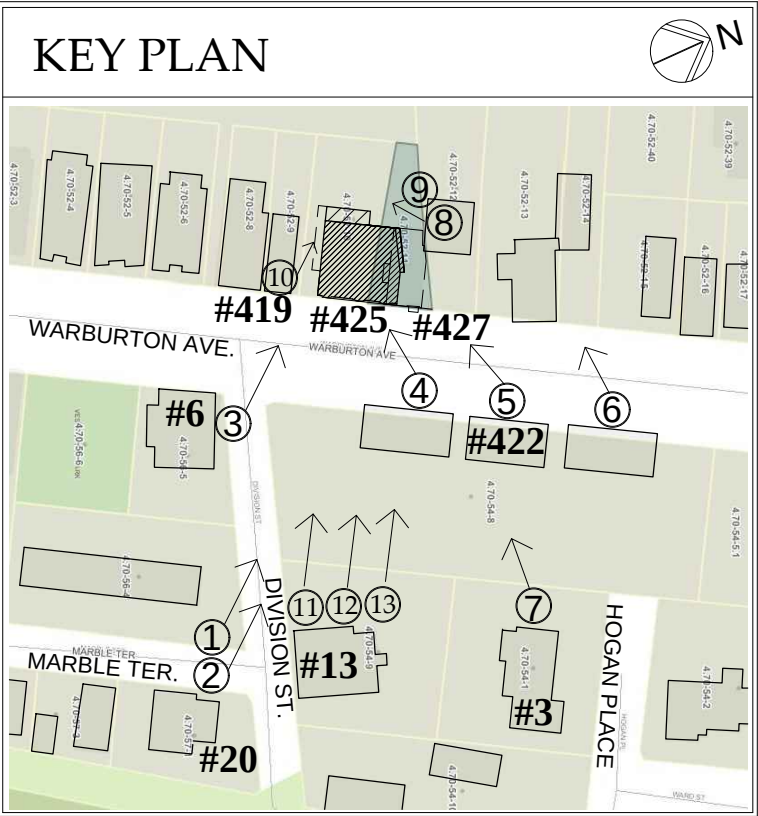
5
AFTER VIEW
422 Warburton - Middle Bldg.
Third Floor

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 Warburton Avenue
Hastings-on-Hudson, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
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www.christinagriffinarchitect.com

Drawing Title	VIEW PRESERVATION	PLANNING BOARD SUBMISSION	9-22-16
		PLANNING BOARD SUBMISSION	12-19-16
Scale:			

VP-5



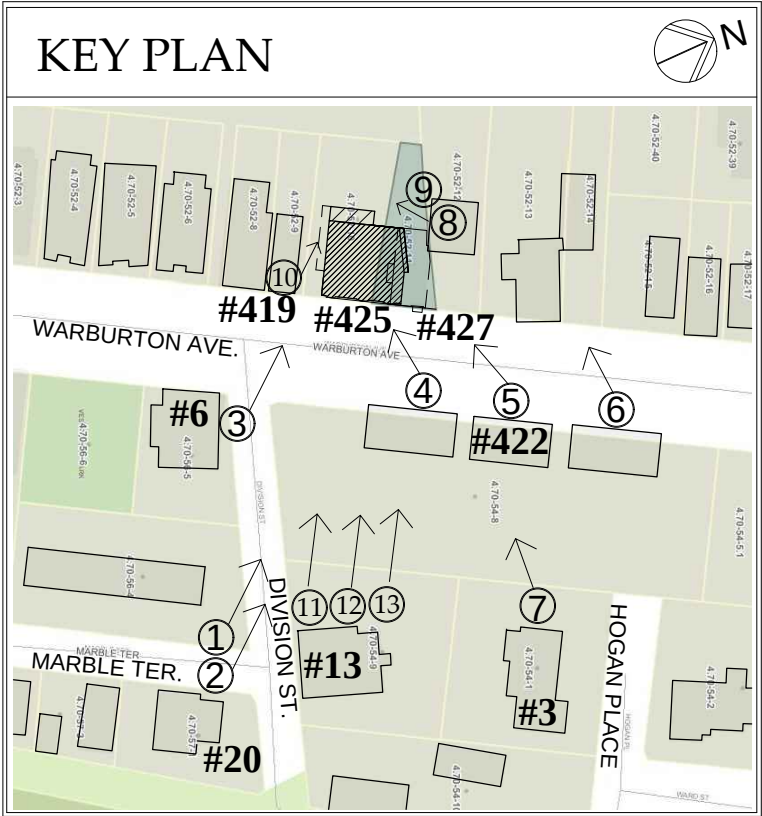
⑥
BEFORE VIEW
422 WARBURTON - NORTH BLDG.
Third Floor

⑥
AFTER VIEW
422 WARBURTON - NORTH BLDG.
Third Floor

Drawing Title VIEW PRESERVATION	Date PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION	CHRISTINA GRIFFIN ARCHITECT PC	
		9-22-16	12-19-16
Scale:		10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 tel 914.478.0066 fax www.christinagriffinarchitect.com	
		AS SHOWN	

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

VP-6



7
BEFORE VIEW
3 HOGAN PLACE

7
AFTER VIEW
3 HOGAN PLACE

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

Christina Griffin Architect PC
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VIEW PRESERVATION

PLANNING BOARD SUBMISSION
PLANNING BOARD SUBMISSION

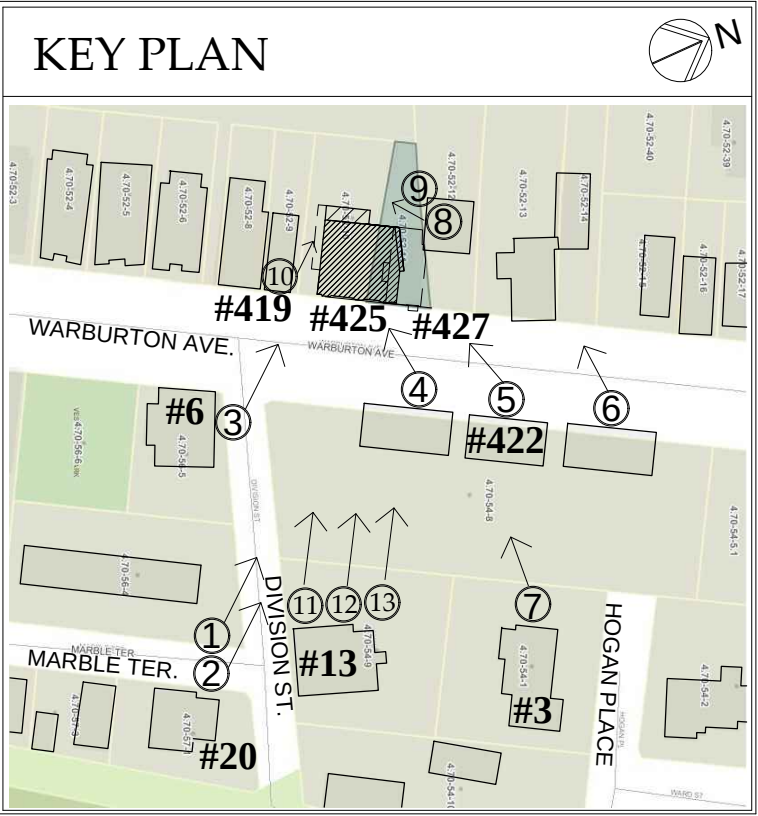
9/23/16
12/19/16

Drawing Title

VIEW PRESERVATION

Scale: AS SHOWN

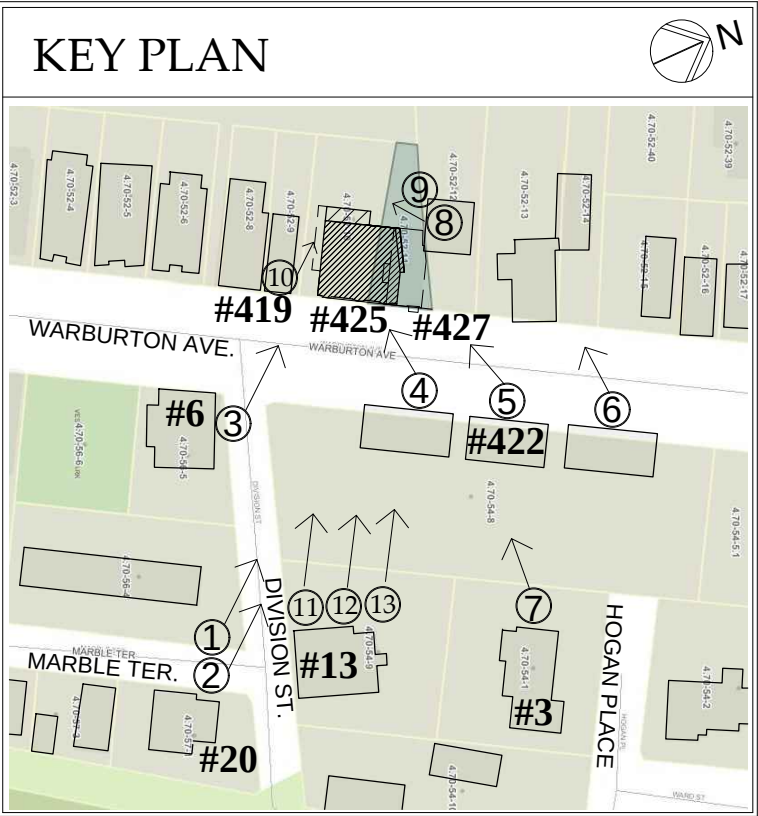
VP-7



8
BEFORE VIEW
427 WARBURTON AVE.
First Floor

8
AFTER VIEW
427 WARBURTON AVE.
First Floor

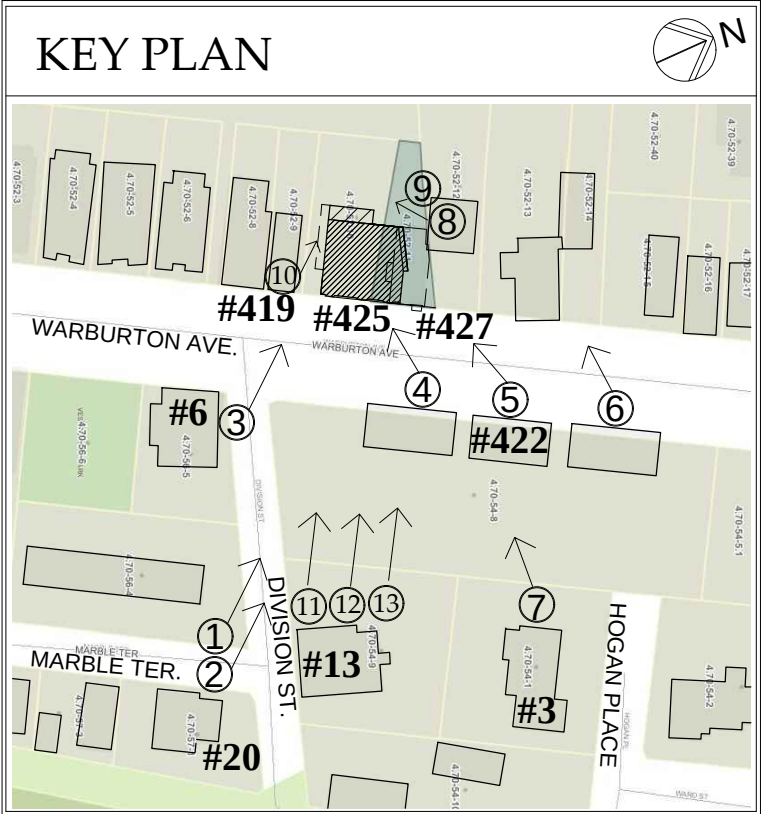




9
BEFORE VIEW
425 WARBURTON AVE.
Second Floor

9
AFTER VIEW
425 WARBURTON AVE.
Second Floor





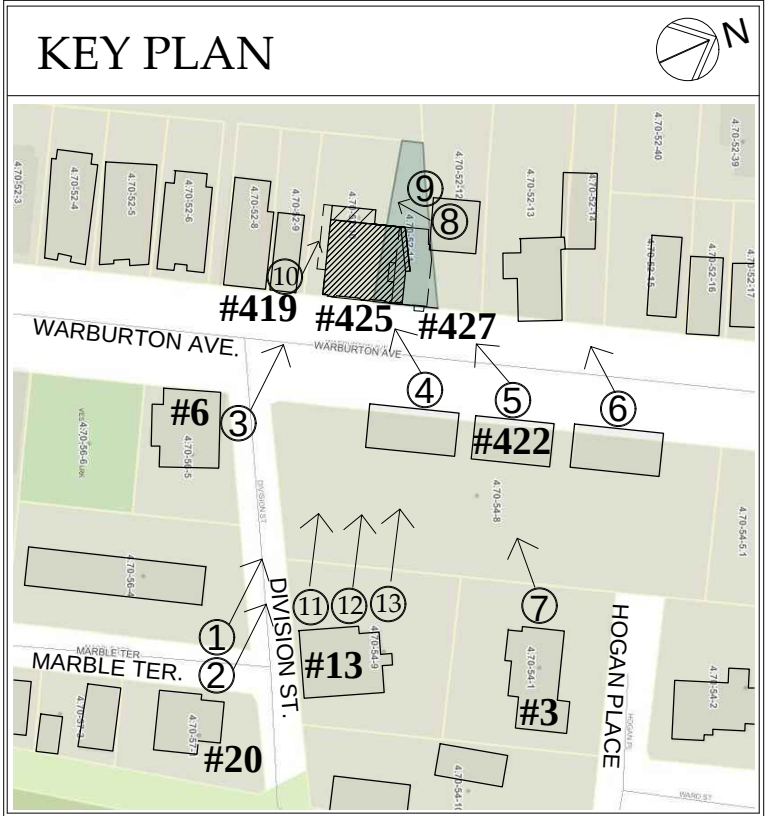
11
BEFORE VIEW
13 DIVISION STREET
From Porch

11
AFTER VIEW
13 DIVISION STREET
From Porch

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

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PLANNING BOARD SUBMISSION 8-29-16
PLANNING BOARD SUBMISSION 12-19-16



12
BEFORE VIEW
13 DIVISION STREET
From Patio



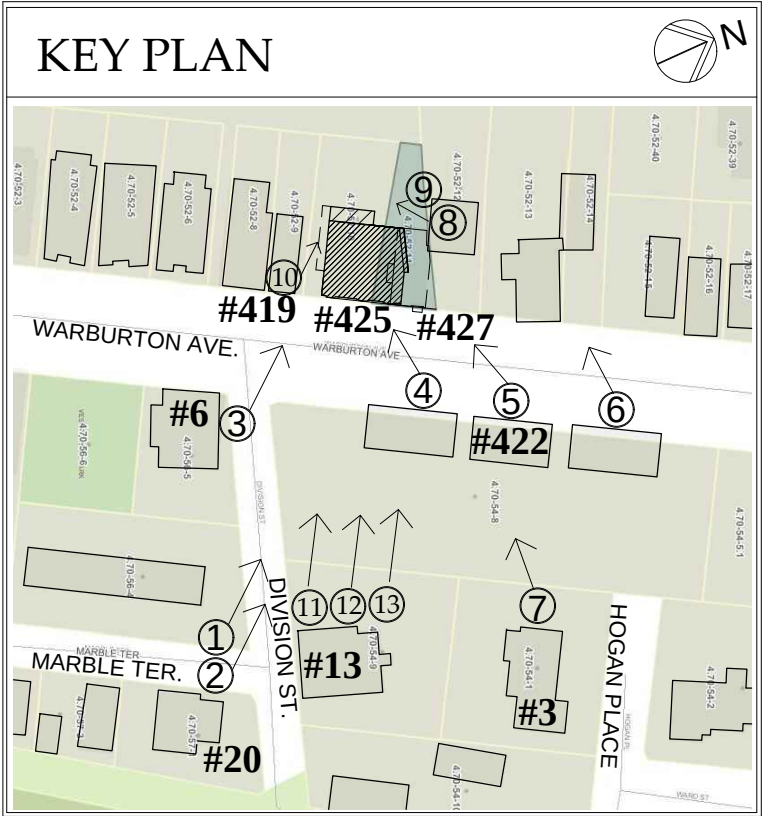
12
AFTER VIEW
13 DIVISION STREET
From Patio

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

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PLANNING BOARD SUBMISSION 9-22-16
PLANNING BOARD SUBMISSION 12-19-16

VP-12



13
BEFORE VIEW
13 DIVISION STREET
From Yard



13
AFTER VIEW
13 DIVISION STREET
From Yard

3-UNIT RESIDENTIAL BUILDING AT 425 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street, Hastings-on-Hudson, NY 10706



GENERAL NOTES

- These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- All construction shall comply fully with the Residential Code of NYS, existing building code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires
- All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.
- All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
- Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.
- The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
- Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.
- All dimensions and conditions shown and assumed on the drawings must be verified at site by contractor before ordering any material or doing any work.
- Contractor is to design and install adequate and in code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
- The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.
- Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.
- The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.
- Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.
- The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.
- The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.
- Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.
- The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.
- New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.
- All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
- Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for

approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions , piping, redesign, and new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.

All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.

Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following:

- Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.
- Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.
- Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.
- Final cleaning of all chrome and aluminum metal work.

Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blackout.

Finish materials and paint colors shall be reviewed and approved by the homeowner.

The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.

Energy Notes R-Values & U-Factors
NYS Energy Code
Climate Zone 4

Ceiling	Required	Proposed
Wall	R-38	R-38
Glazing	R-13	R-18
	0.35	0.32
Floor	R-19	R-30

Design Criteria:
5750 Degree Days
15% Maximum Glazing

Certification

I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2010 Residential Code of New York State, and the 2010 New York State Energy Conservation Construction code.

Christina Griffin

INSULATION & FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR b	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4	0.35	0.60	38	13
MASS WALL R-VALUE (g)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB R-VALUE & DEPTH (d)	CRAWL SPACE (c) WALL R-VALUE
5/10 (g)	19	10/13 (c)	10, 2FT (d)	10/13 (c)

- R-VALUE ARE MINIMUMS. U-FACTORS. R-19 INSULATION SHALL BE PERMITTED TO BE COMPRESSED INTO 2X6 CAVITY.
- THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.
- THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION. THE SECOND TO FRAMING CAVITY INSULATION; EITHER INSULATION MEETS THE REQUIREMENTS.
- R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
- THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE EXTERIOR OF THE MASS WALL.

DESIGN REQUIREMENTS for the 2010 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

		SUBJECT TO DAMAGE FROM					
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 psf	100-110	C	severe	42" min	medium to heavy	yes	NO

DATES

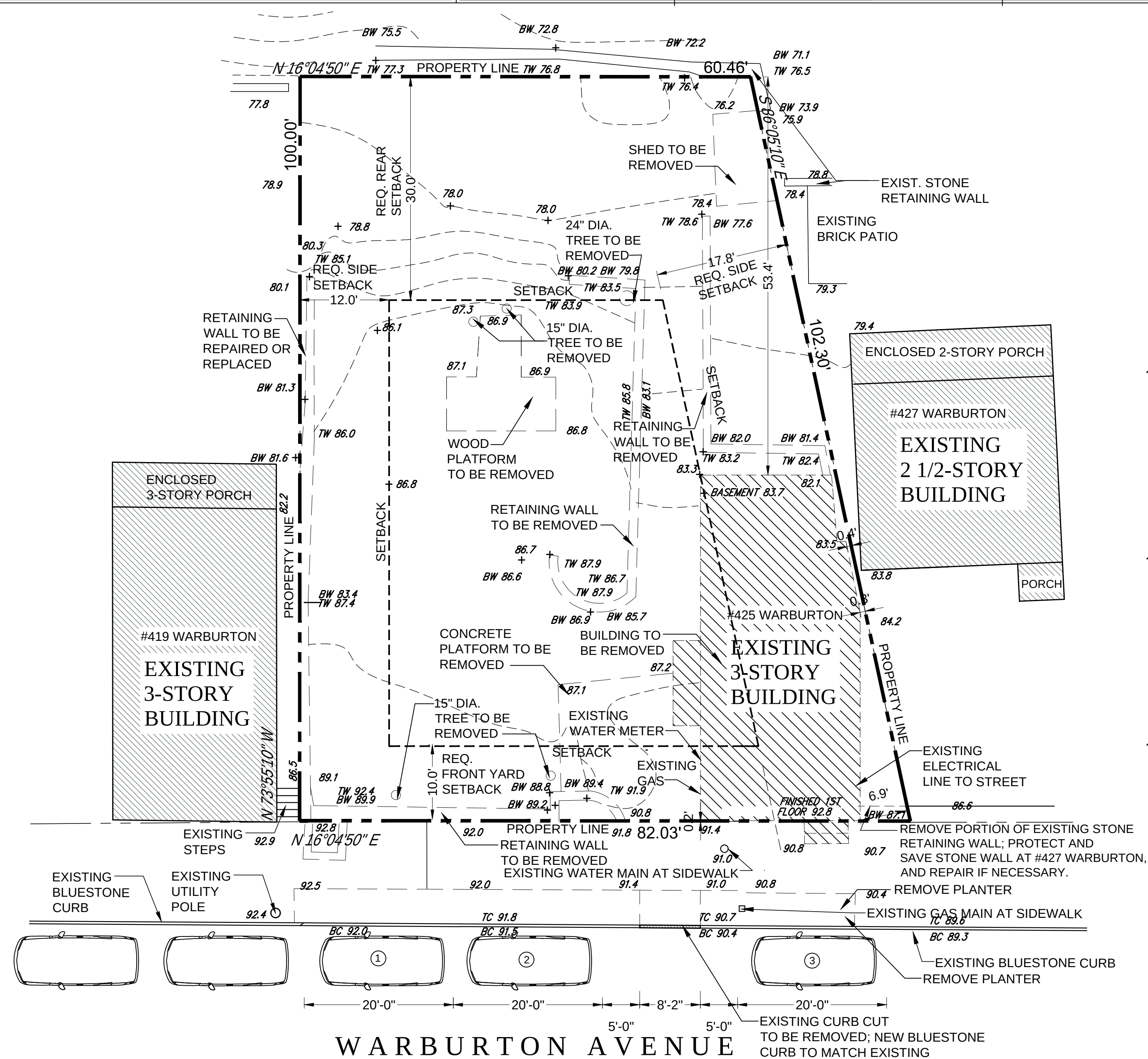
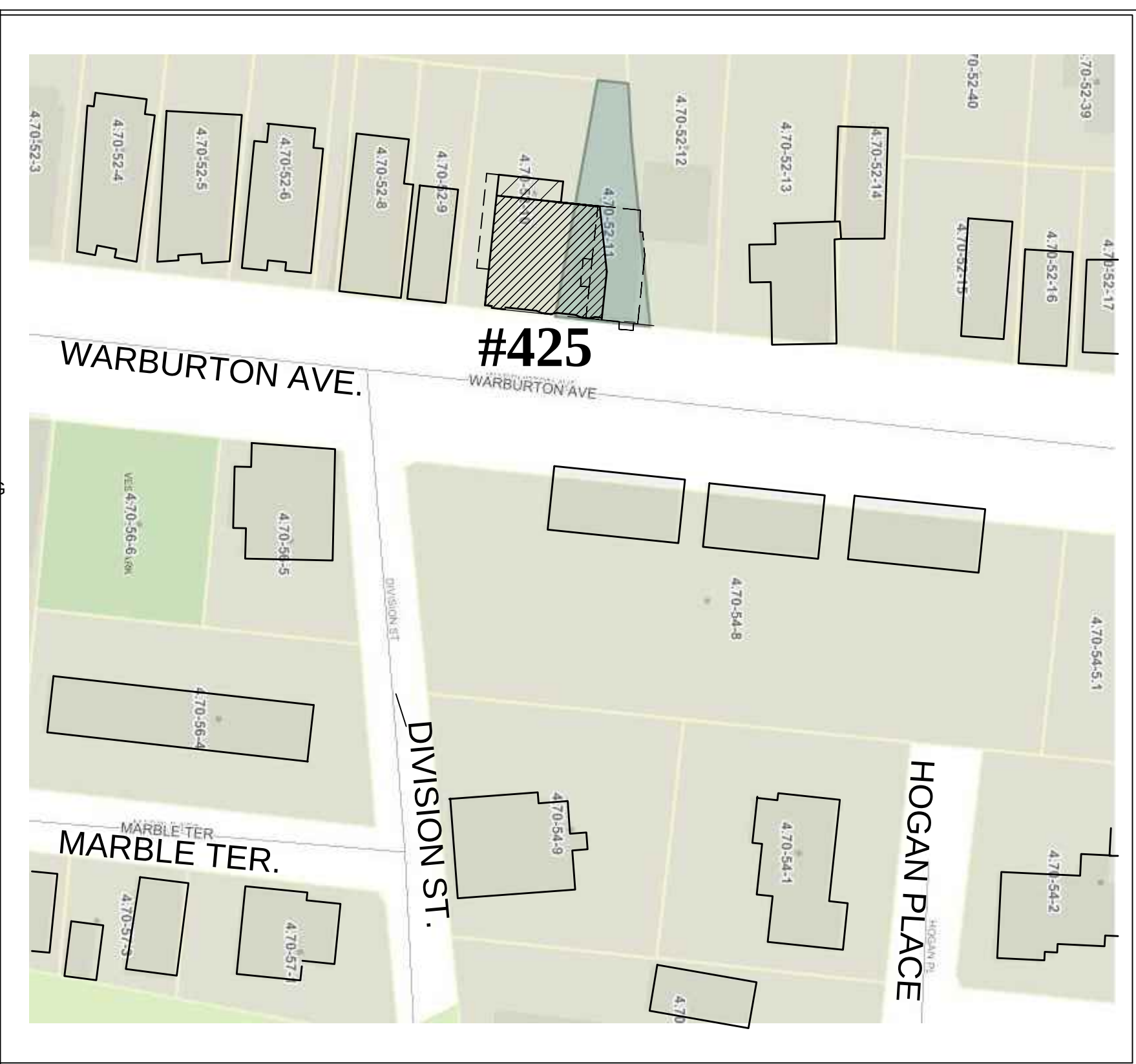
PLANNING / ZONING BOARD SUBMISSION	09-29-16
REVISED PLANNING BOARD SUBMISSION	11-03-16
REVISED PLANNING BOARD SUBMISSION	12-19-16
REVISED PLANNING BOARD SUBMISSION	02-03-17
ZONING BOARD SUBMISSION	02-23-17

LIST of DRAWINGS

TITLE SHEET	GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS
S-1	REMOVALS PLAN, SITE PLAN, ZONING DATA
S-2	SECTIONS THROUGH SITE
S-3	ZONING STUDY
S-4	SECTIONS THROUGH SITE
A-1	GARAGE PLAN, SIDE YARD DIAGRAMS
A-2	FIRST FLOOR PLAN
A-3	SECOND AND THIRD FLOOR PLANS
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS
VP1 - VP14	VIEW PRESERVATION STUDIES

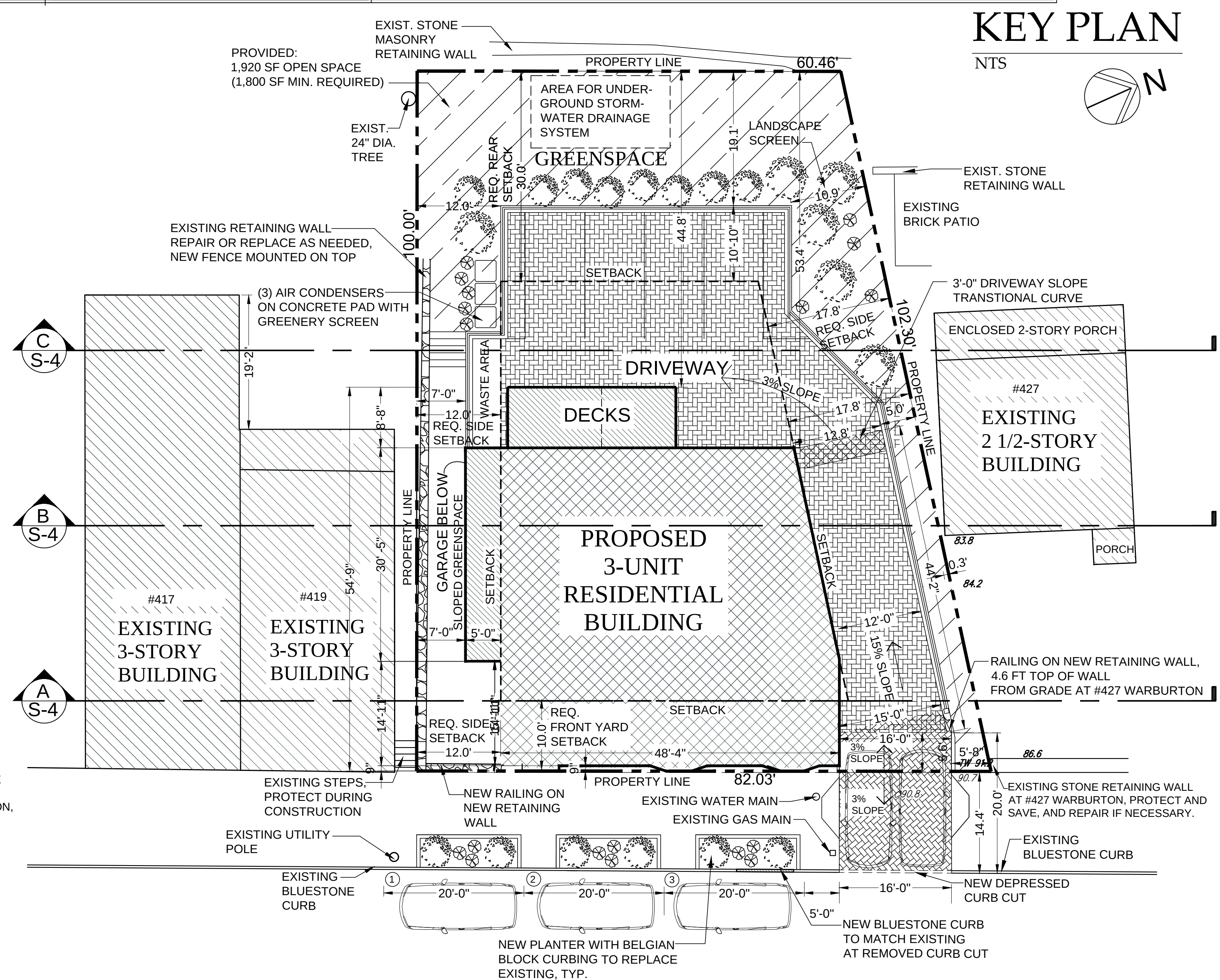
COVERAGE CALCULATIONS	
LOT AREA	7,124 SF / 0.16 AC
WALLS	131 SF
STEPS AT REAR	27 SF
EXTERIOR PARKING (NOT INCL. DRIVEWAY)	713 SF
BUILDING FOOTPRINT (INC. OVERHANG & DECKS)	2,259 SF
<u>BUILDING COVERAGE</u> 295-72.1.E3 ALL BUILDINGS AND STRUCTURES ON THE LOT SHALL TOGETHER NOT COVER MORE THAN 50% OF THE AREA OF THE LOT	3,130 SF / 44%
*SIDE YARD DIAGRAMS & CALCULATIONS - SEE SHEET A-1	

425 Warburton Avenue, Hastings-on-Hudson, NY			Zoning District: MR-O	
	REQUIRED		EXISTING	PROPOSED
LOT AREA	6,500 SF		7,124 SF	7,124 SF
LOT AREA PER UNIT	6,500 SF (5,000 SF FOR FIRST (2) UNITS + 1,500 SF FOR EACH ADD'L UNIT)		7,124 SF	7,124 SF
TOTAL OF DWELLING UNITS	-		3	3
LOT WIDTH FRONTAGE	50 FT		82.03 FT	82.03 FT
BUILDING COVERAGE	50% MAX		18 % (1,245 SF)	44 % (3,130 SF)
OPEN SPACE	200 SF / BEDROOM X 9 BEDROOMS = 1,800 SF		+/-5,300 SF	1,920 SF
FRONT YARD SETBACK	10 FT		0.2 FT	0 FT VARIANCE REQUIRED
REAR YARD SETBACK	30 FT		53.4 FT	54.3 FT TO BUILDING / 44.8 FT TO DECKS / 19.1 FT TO PARKING VARIANCE REQUIRED
NO PAVING IN REQUIRED YARD	30 FT SETBACK AT REAR YARD		N/A	19.1 FT TO PARKING AREA VARIANCE REQUIRED
SIDE ONE	12.0 FT	12 FT OR 1/2 THE HEIGHT OF THE NEAREST BLDG WALL, WHICHEVER IS GREATER *	+/- 50.0 FT	7.0 FT TO GARAGE / 12.0 FT TO UPPER FLOORS VARIANCE REQUIRED
SIDE TWO	17.8 FT		0.3 FT	
BUILDING HEIGHT	3-STORIES / 40 FT		3-STORIES / 38.0 FT	3-STORIES / 38.0 FT
PARKING SPACES	1 1/4 PER STUDIO, 1½ PER 1 BEDRM., 1¾ PER 2-BEDRM., 2 PER 3-BEDRM. = 6		3 SPACES	6 SPACES
SIZE OF PARKING SPACES	9 FT WIDE, 18 FT LONG		N/A	8.5 FT WIDE, 18 FT LONG VARIANCE REQUIRED
DRIVEWAY AREA	960 SF		+/- 500 SF	1,506 SF VARIANCE REQUIRED
DRIVEWAY SLOPE AT FRONT OF PROPERTY LINE	MAXIMUM 3% WITHIN 30 FT OF FRONT PROPERTY LINE		16% AT SIDE OF BLDG. (USED AS DRIVEWAY)	5.6 FT AT 3%; 24.4 FT OF 30 FT REQUIRED AT 15% VARIANCE REQUIRED
DRIVEWAY SLOPE	MAXIMUM 8% (UP TO 12% AT DISCRETION OF PLANNING BD.)		16% AT SIDE OF BLDG. (USED AS DRIVEWAY)	15% VARIANCE REQUIRED
DRIVEWAY SETBACK	5.0 FT FROM SIDE PROPERTY LINE		+/-43.0 FT. TO PAVED AREA USED AS DRIVEWAY	5.0 FT



WARBURTON REMOVALS PLAN

SCALE: $3/32" = 1'-0"$



SITE PLAN

SCALE: 3/32" = 1'-0"

WARBURTON AVENUE

KEY PLAN

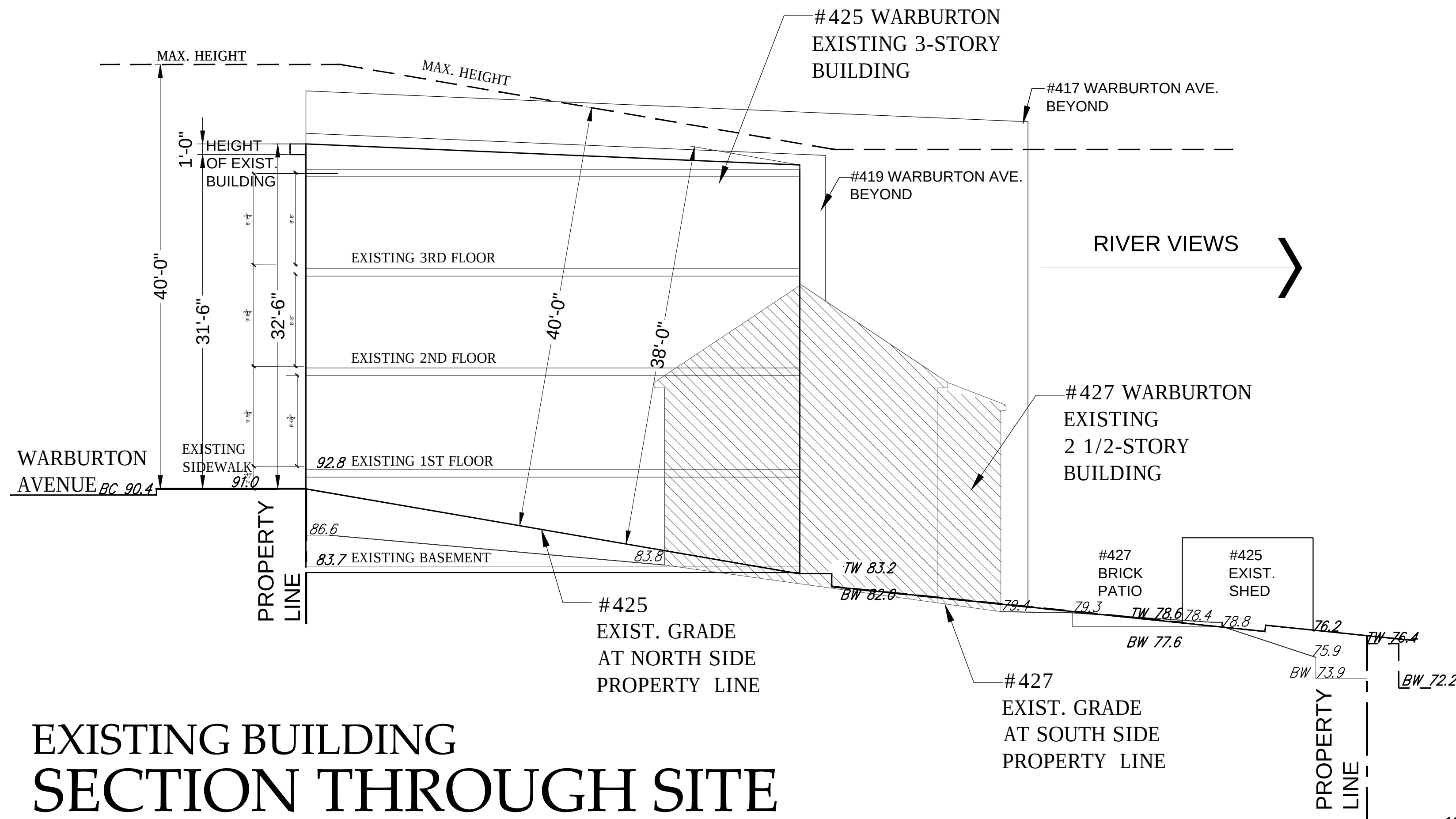
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PLANNING BOARD SUBMISSION	9-29-16
ZONING BOARD SUBMISSION	9-29-16
PLANNING BOARD - ALT. SCHEME	10-19-16
PLANNING BOARD REVISIONS	11-3-16
PLANNING BOARD REVISIONS	12-9-16
REVISIONS TO DRIVEWAY	1-9-17
PLANNING BOARD SUBMISSION	2-2-17
ZONING BOARD SUBMISSION	2-23-17

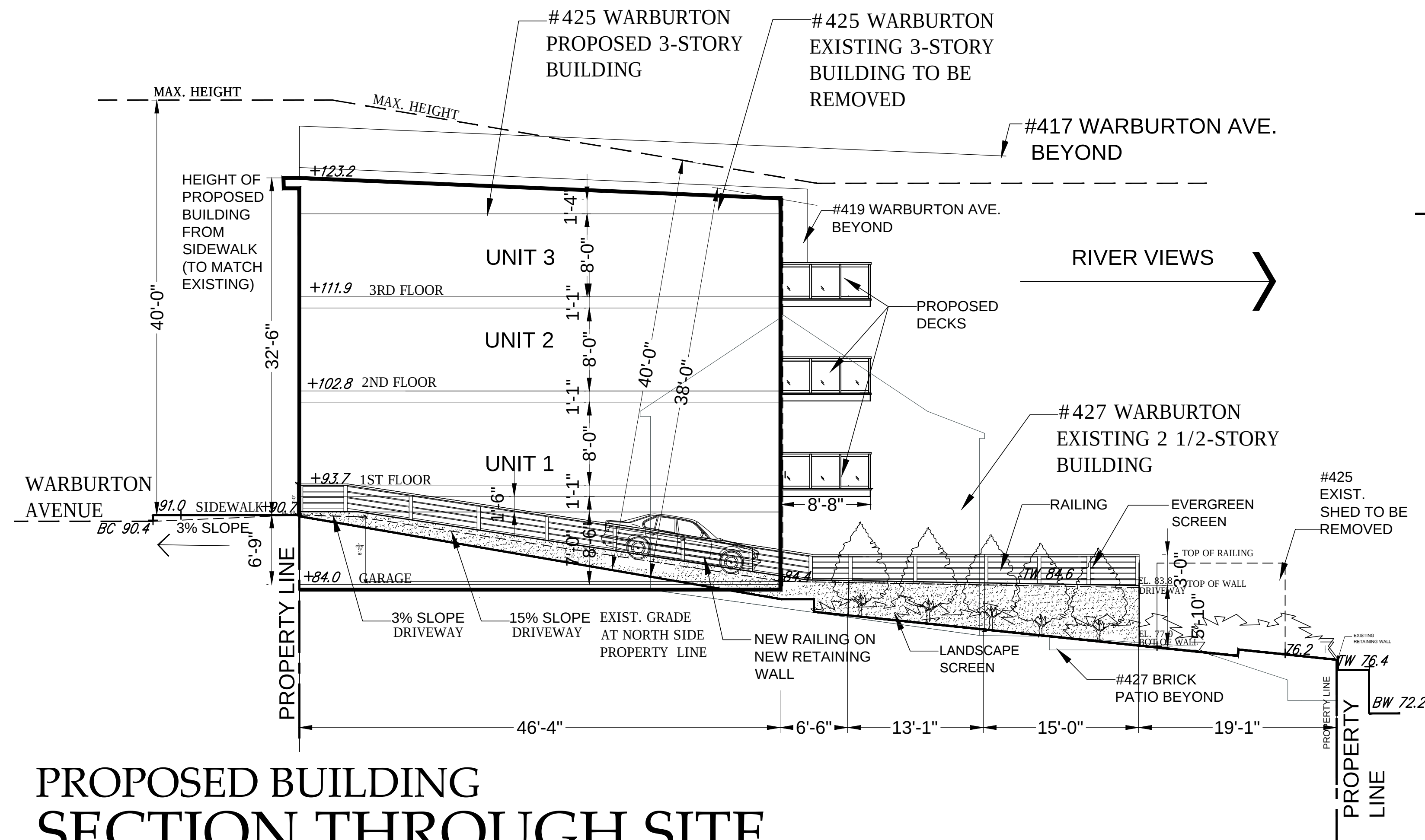
AS SHOWN

S-1



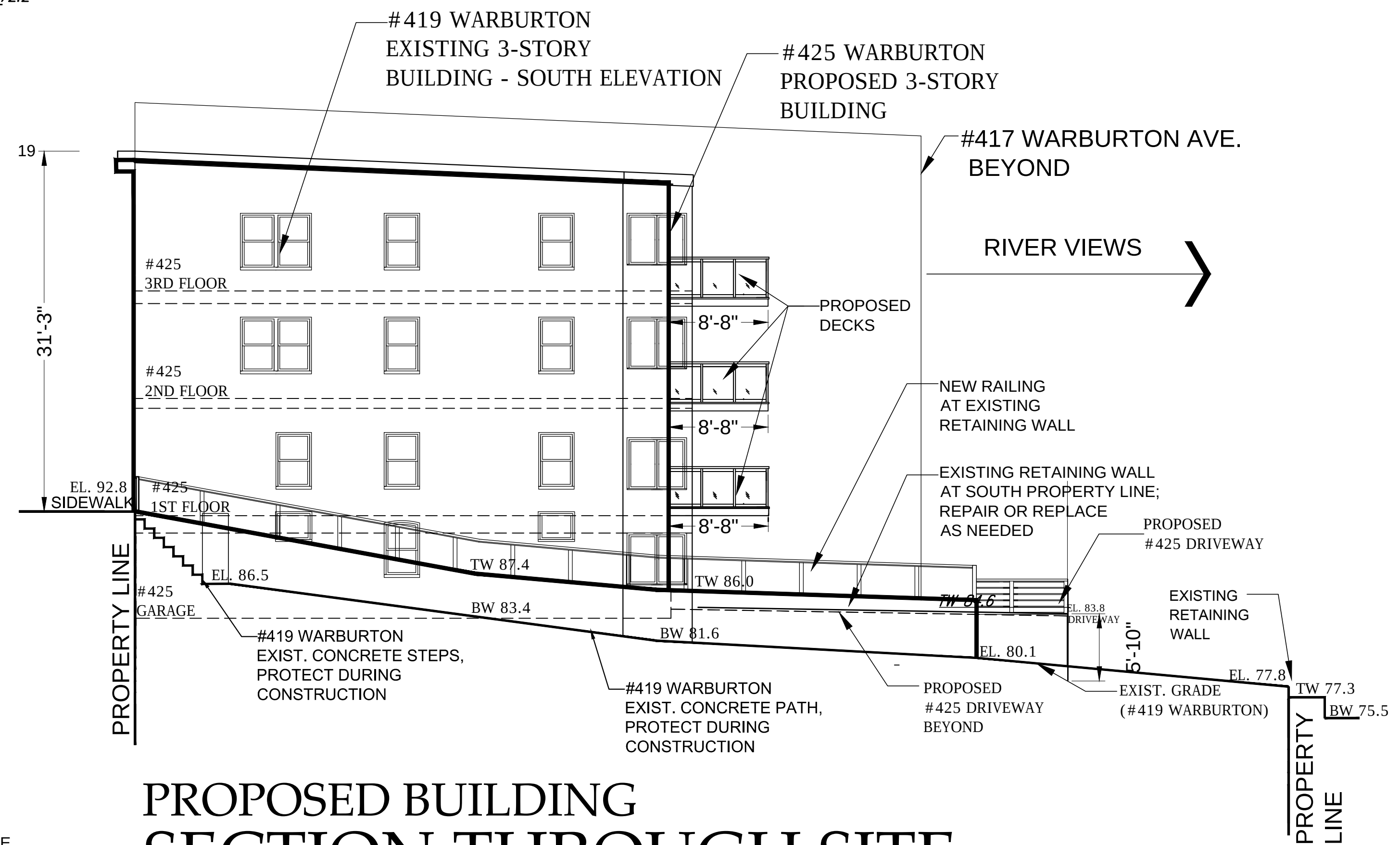
EXISTING BUILDING
SECTION THROUGH SITE
AT NORTH PROPERTY LINE

SCALE: 1/8" = 1'-0"



PROPOSED BUILDING
SECTION THROUGH SITE
AT NORTH PROPERTY LINE

SCALE: 1/8" = 1'-0"



PROPOSED BUILDING
SECTION THROUGH SITE
AT SOUTH PROPERTY LINE

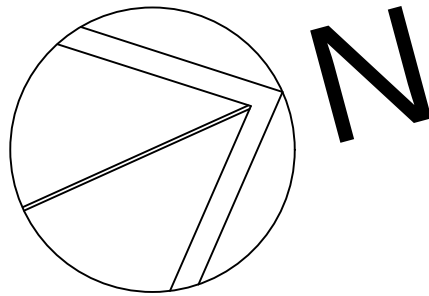
SCALE: 1/8" = 1'-0"

Date Planning Title SECTIONS THROUGH SITE Scale: AS SHOWN	CHRISTINA GRIFFIN ARCHITECT PC 10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 tel 914.478.0806 fax www.christinagriffinarchitect.com
	PLANNING BOARD SUBMISSION 9-23-16
	ZONING BOARD SUBMISSION 9-23-16
	PLANNING BOARD - ALT. SCHEME 10-19-16
	PLANNING BOARD REVISIONS 11-3-16
	PLANNING BOARD SUBMISSION 12-9-16
	ZONING BOARD SUBMISSION 2-2-17



MAP OF NEIGHBORHOOD - MR-O DISTRICT

NOT TO SCALE



ZONING DISTRICT: MR-O				
MAP No.	STREET ADDRESS	ZERO LOT LINE AT FRONT YARD	ZERO LOT LINE AT SIDE YARD	NOTES
1	467 Warburton Ave.	NO	YES	42% OF THE PROPERTIES IN THE MR-O ZONING DISTRICT HAVE A ZERO FRONT PROPERTY LOT LINE (16 OUT OF 38 TOTAL PROPERTIES)
2	463 Warburton Ave.	YES	YES	
3	461 Warburton Ave.	YES	YES	
4	457 Warburton Ave.	NO	YES	
5	453 Warburton Ave.	NO	YES	
6	451 Warburton Ave.	NO	YES	
7	449 Warburton Ave.	YES	YES	
8	447 Warburton Ave.	YES	YES	
9	445 Warburton Ave.	NO	YES	
10	443 Warburton Ave.	NO	YES	
11	441 Warburton Ave.	NO	YES	
12	439 Warburton Ave.	YES	YES	
13	437 Warburton Ave.	NO	NO	
14	433 Warburton Ave.	NO	YES	
15	431 Warburton Ave.	YES	YES	
16	427 Warburton Ave.	NO	YES	
* 17	425 Warburton Ave.	YES	YES	63% OF THE PROPERTIES IN THE MR-O ZONING DISTRICT HAVE A ZERO SIDE PROPERTY LOT LINE (24 OUT OF 38 TOTAL PROPERTIES)
18	419 Warburton Ave.	YES	YES	
19	417 Warburton Ave.	YES	YES	
20	415 Warburton Ave.	NO	NO	
21	411 Warburton Ave.	NO	NO	
22	407 Warburton Ave.	NO	NO	
23	405 Warburton Ave.	NO	NO	
24	395 Warburton Ave.	YES	YES	
25	385 Warburton Ave.	YES	NO	
26	378 Warburton Ave.	NO	NO	
27	380 Warburton Ave.	NO	NO	
28	384 Warburton Ave.	NO	YES	
29	388 Warburton Ave.	NO	YES	
30	390 Warburton Ave.	NO	NO	
31	400 Warburton Ave.	YES	YES	
32	402 Warburton Ave.	YES	NO	
33	406 Warburton Ave.	YES	NO	
34	6 Division Street	YES	NO	
35	422 Warburton Ave.	YES	NO	
36	446 Warburton Ave.	NO	NO	
37	450 Warburton Ave.	NO	YES	
38	460 Warburton Ave.	NO	YES	* APPLICANT

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 Warburton Avenue
Hastings-on-Hudson, NY 10706

Christina Griffin Architect PC

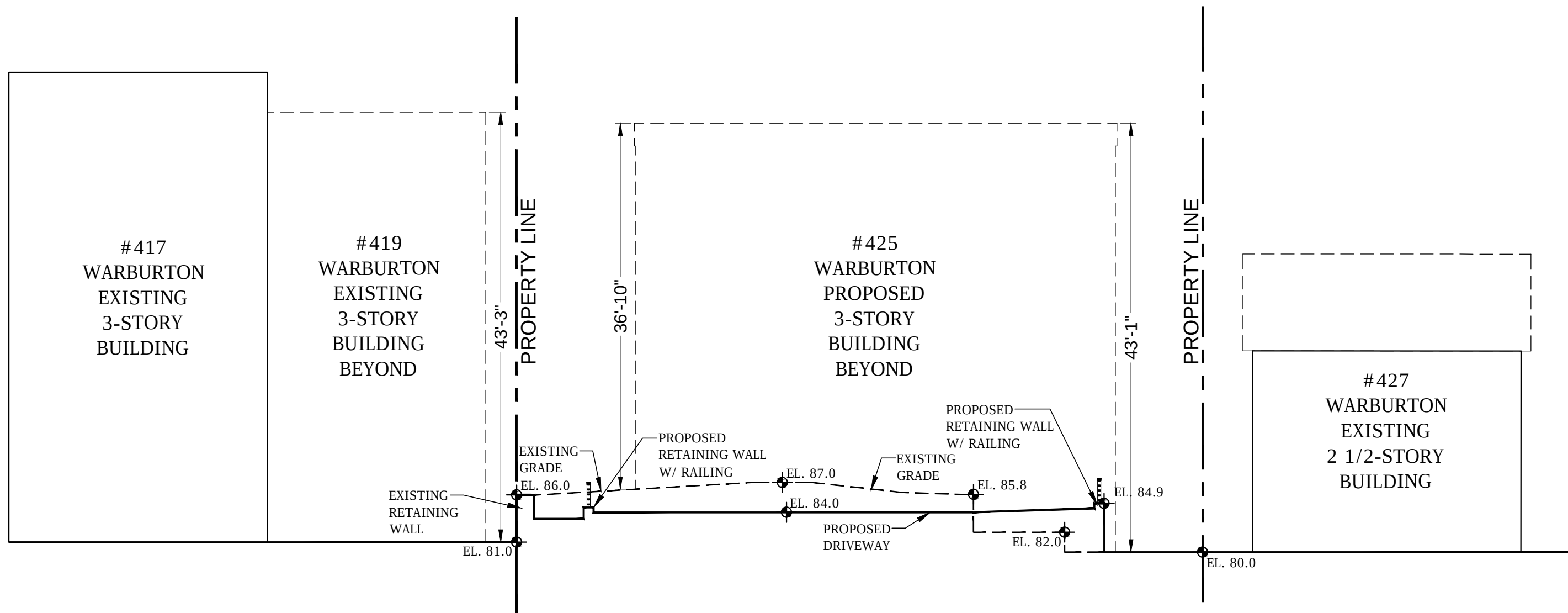
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Drawing Title
ZONING STUDY

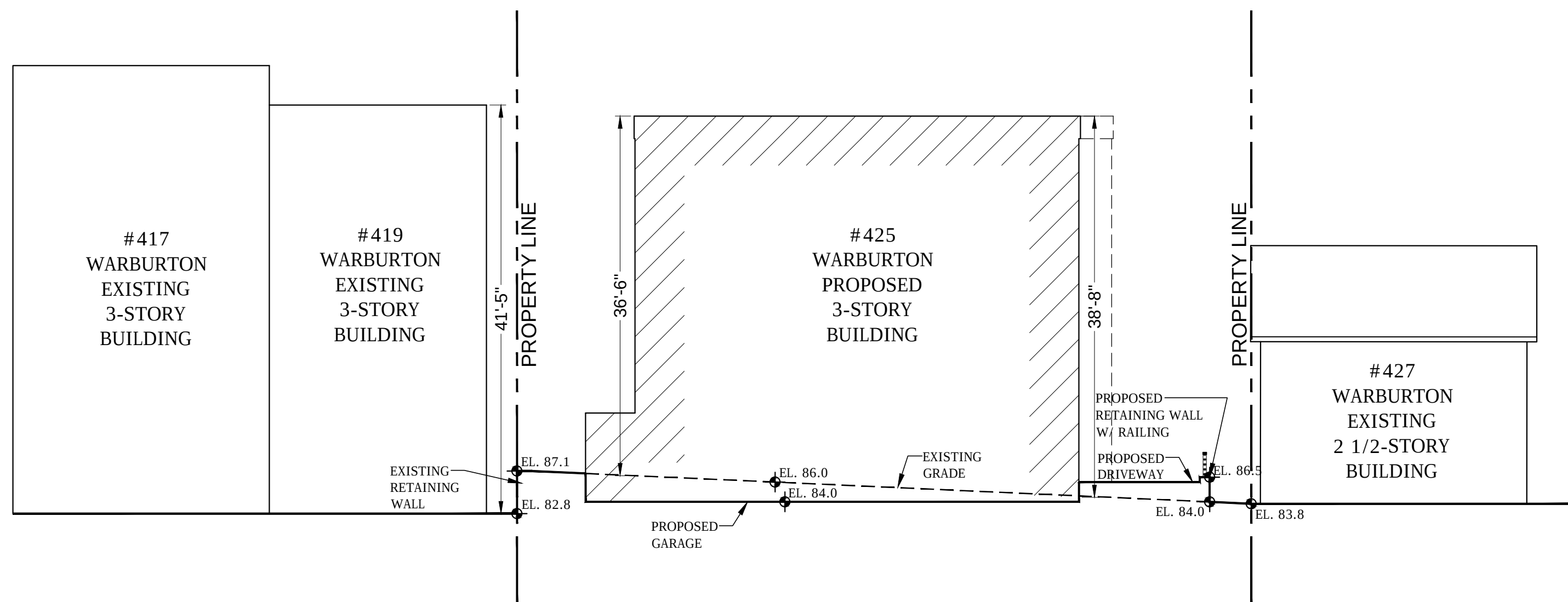
PLANING BOARD SUBMISSION
ZONING BOARD SUBMISSION
PLANING BOARD - ALT. SCHEME
PLANING BOARD REVISIONS
ZONING BOARD SUBMISSION

9-23-16
9-23-16
10-19-16
11-3-16
12-9-16
2-23-17

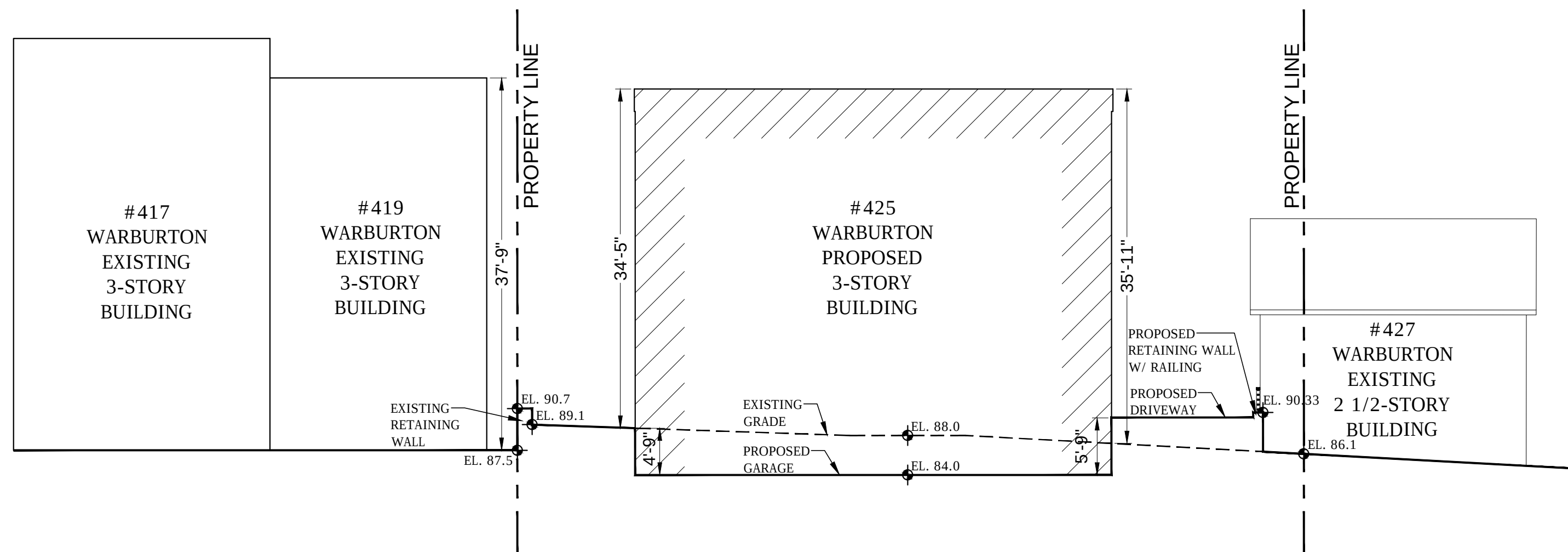
Scale:
AS SHOWN



C
S-4
SITE SECTION
SCALE: 3/32" = 1'-0"



B
S-4
SITE SECTION
SCALE: 3/32" = 1'-0"



A
S-4
SITE SECTION
SCALE: 3/32" = 1'-0"

NEW 3-UNIT RESIDENTIAL BUILDING AT
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Date: _____
PLANNING BOARD SUBMISSION: 2-2-17
ZONING BOARD SUBMISSION: 2-23-17

Drawing Title: SECTIONS THROUGH SITE
Scale: AS SHOWN

S-4

GARAGE PLAN

SCALE: 1/8" = 1'-0"

SIDE 1 YARD CALCULATION
(NORTH PROPERTY LINE)

HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY
LINE / 2 = SIDE YARD SETBACK (MIN. 12.0')

WALL A: 33.8 AVG HT X 19.0 L = 642
WALL B: 36.9 AVG HT X 27.0 L = 996
TOTAL 1,638

1,638 / 46.0 (TOTAL LENGTH OF WALLS A+B)
= 35.6 FT WALL HT FROM AVG. EXIST. GRADE

35.6 / 2 = 17.8 FT

17.8 FT = REQUIRED SIDE YARD SETBACK

SIDE 2 YARD CALCULATION - GARAGE WALL
(SOUTH PROPERTY LINE)

HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY
LINE / 2 = SIDE YARD SETBACK (MIN. 12.0')

WALL A: 6.6' AVG HT X 16.8' L = 110.9
WALL B: 4.6' AVG HT X 13.7' L = 63.0
TOTAL 173.9

174 / 30.4 (TOTAL LENGTH OF WALLS A+B)
= 5.7 FT WALL HT FROM AVG. EXIST. GRADE

5.7 / 2 = 2.9 FT

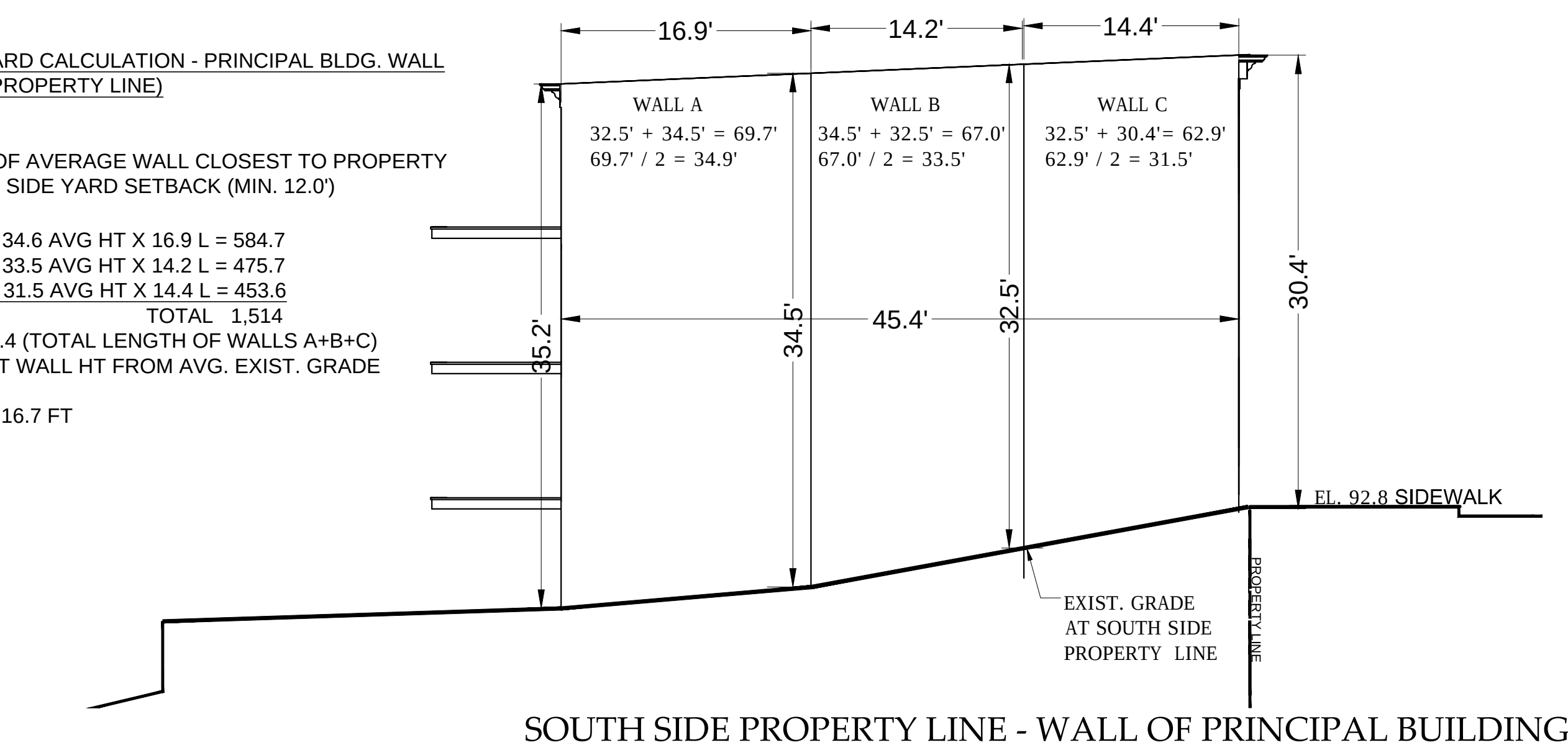
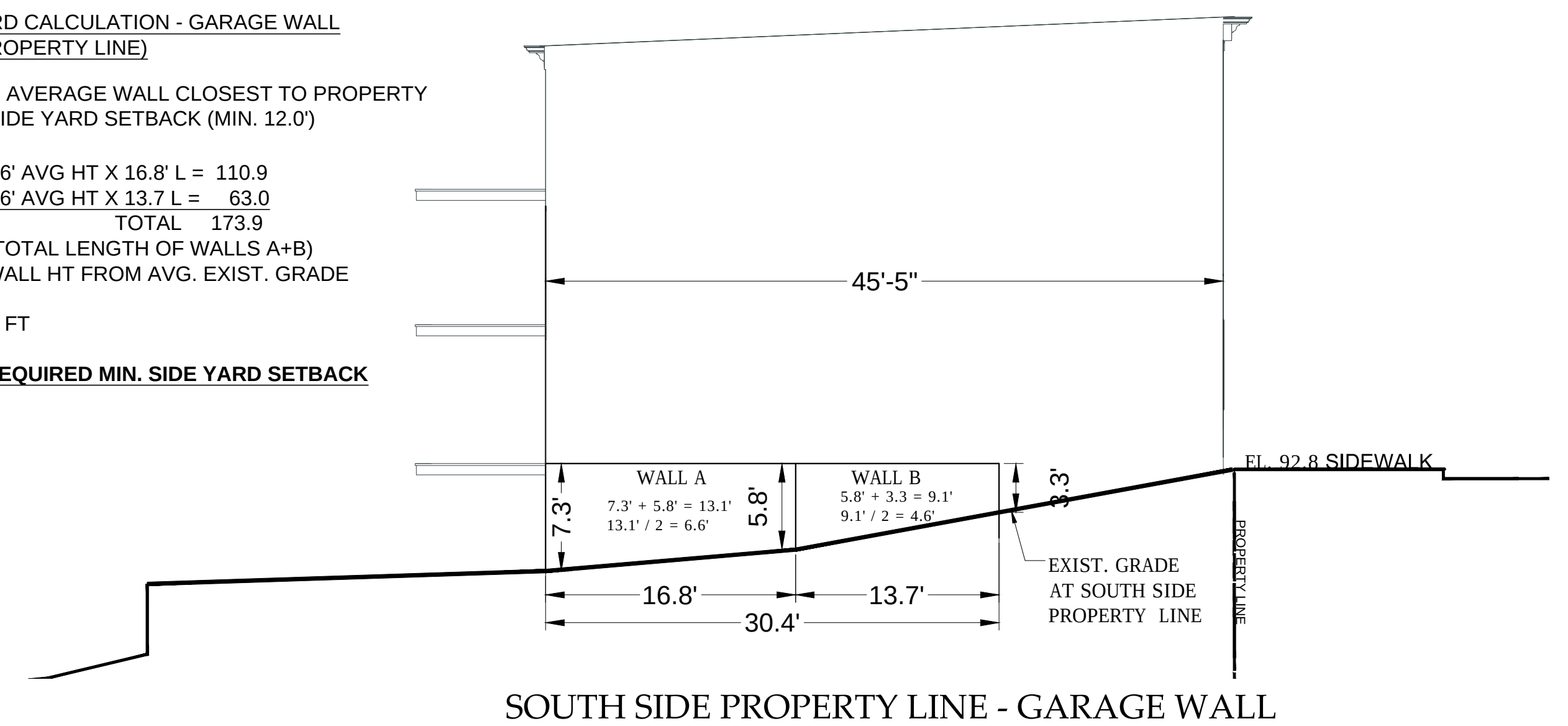
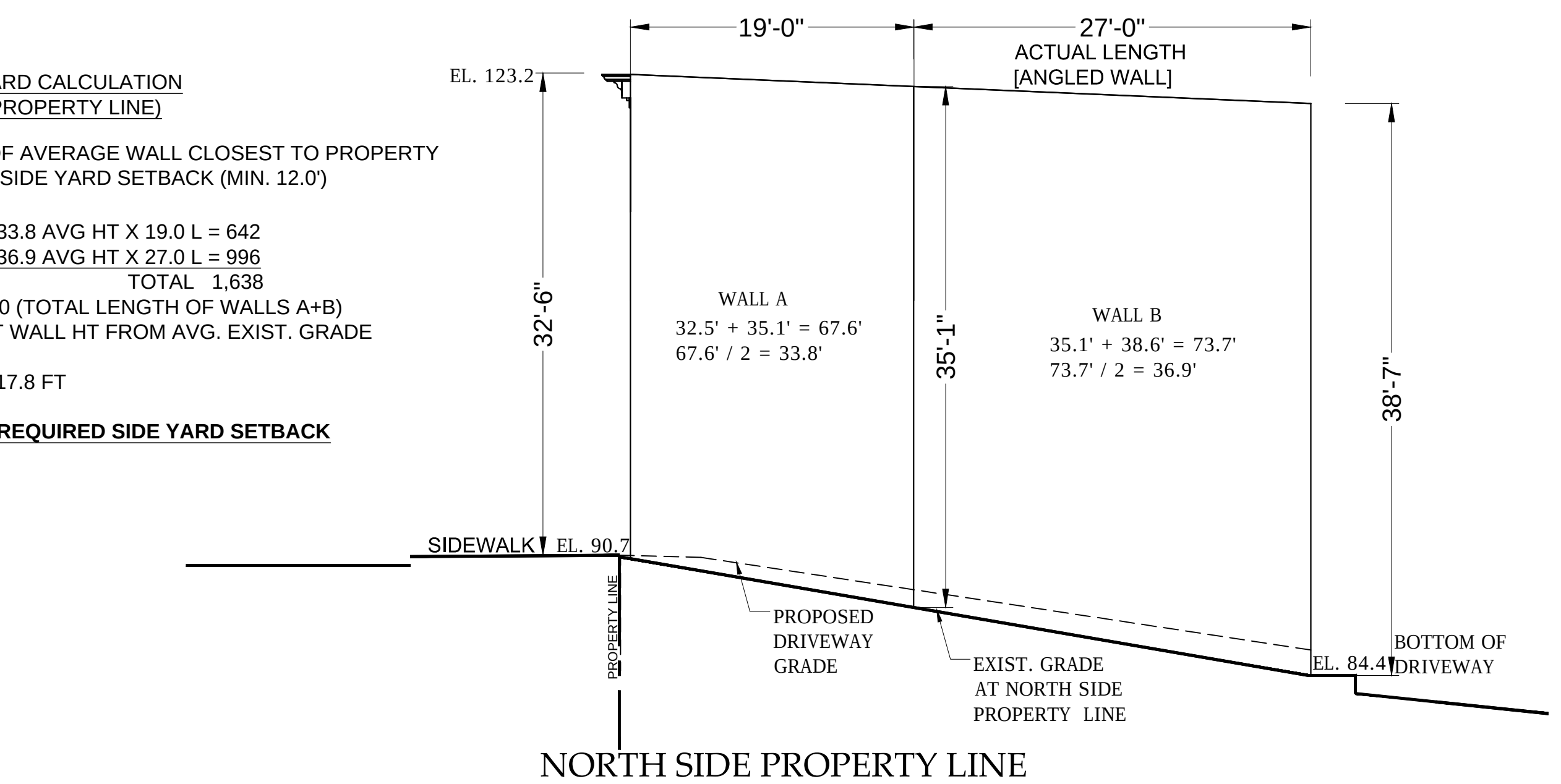
12.0 FT = REQUIRED MIN. SIDE YARD SETBACK

**SIDE 2 YARD CALCULATION - PRINCIPAL BLDG. WALL
(SOUTH PROPERTY LINE)**

HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY
LINE / 2 = SIDE YARD SETBACK (MIN. 12.0')

WALL A: 34.6 AVG HT X 16.9 L =	584.7	
WALL B: 33.5 AVG HT X 14.2 L =	475.7	
WALL C: 31.5 AVG HT X 14.4 L =	453.6	
	TOTAL	1,514
1,514 / 45.4 (TOTAL LENGTH OF WALLS A+B+C)		
= 33.3 FT WALL HT FROM AVG. EXIST. GRADE		

33.3 / 2 = 16.7 FT



SIDE YARD CALCULATION DIAGRAMS

SCALE: 1/8" = 1'-0"

NEW 3-UNIT RESIDENTIAL BUILDING AT

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HASTINGS-ON-HUDSON, NY 10706

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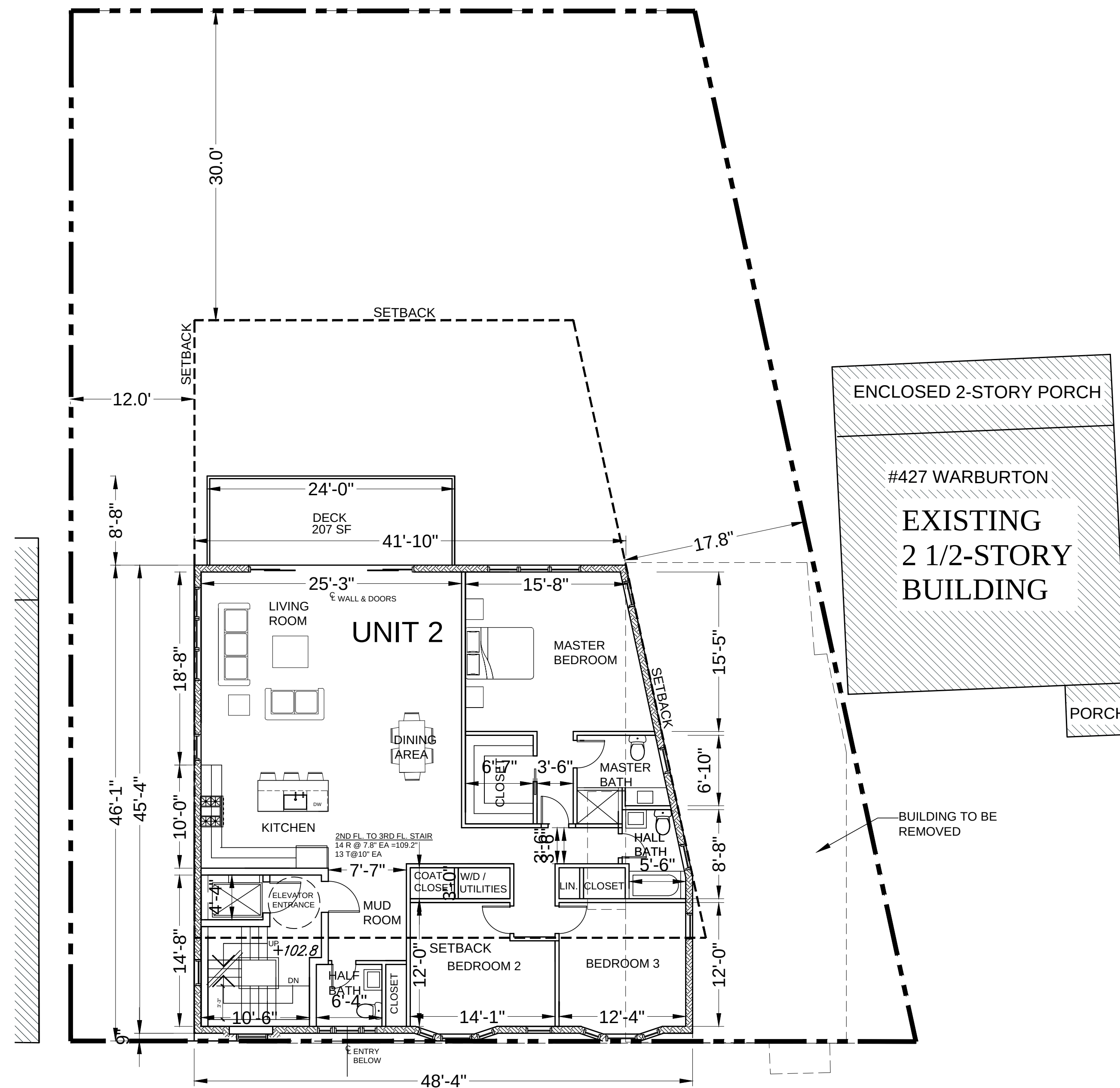
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Planning Title	Floor	Plans
PLANNING BOARD SUBMISSION	9-29-16	
ZONING BOARD SUBMISSION	9-29-16	
PLANNING BOARD - ALT. SCHEME	10-19-16	
PLANNING BOARD REVISIONS	11-3-16	
PLANNING BOARD REVISIONS	12-9-16	
PLANNING BOARD SUBMISSION	2-2-17	
ZONING BOARD SUBMISSION	2-23-17	

Submit: _____
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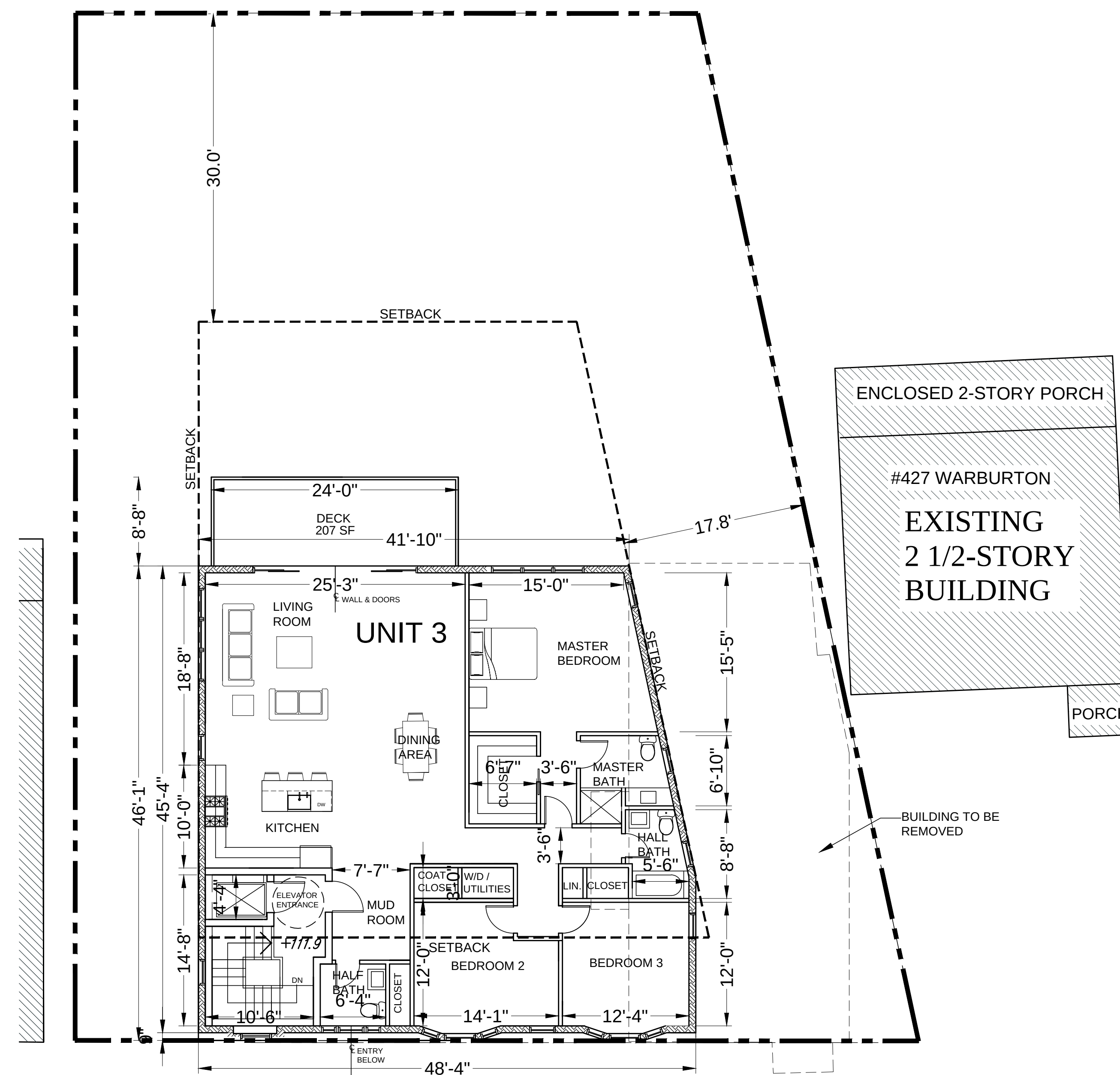
AS SHOWN

A-1



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

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Date	9-23-16
PLANNING BOARD SUBMISSION	9-23-16
ZONING BOARD SUBMISSION	9-23-16
PLANNING BOARD - ALT. SCHEME	10-19-16
PLANNING BOARD REVISIONS	11-3-16
PLANNING BOARD REVISIONS	12-9-16
PLANNING BOARD SUBMISSION	2-2-17
ZONING BOARD SUBMISSION	2-23-17

Drawing Title
 FLOOR PLANS
 Scale:
 AS SHOWN

A-3

NEW 3-UNIT RESIDENTIAL BUILDING AT
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EAST ELEVATION

SCALE: 1/4" = 1'-0"

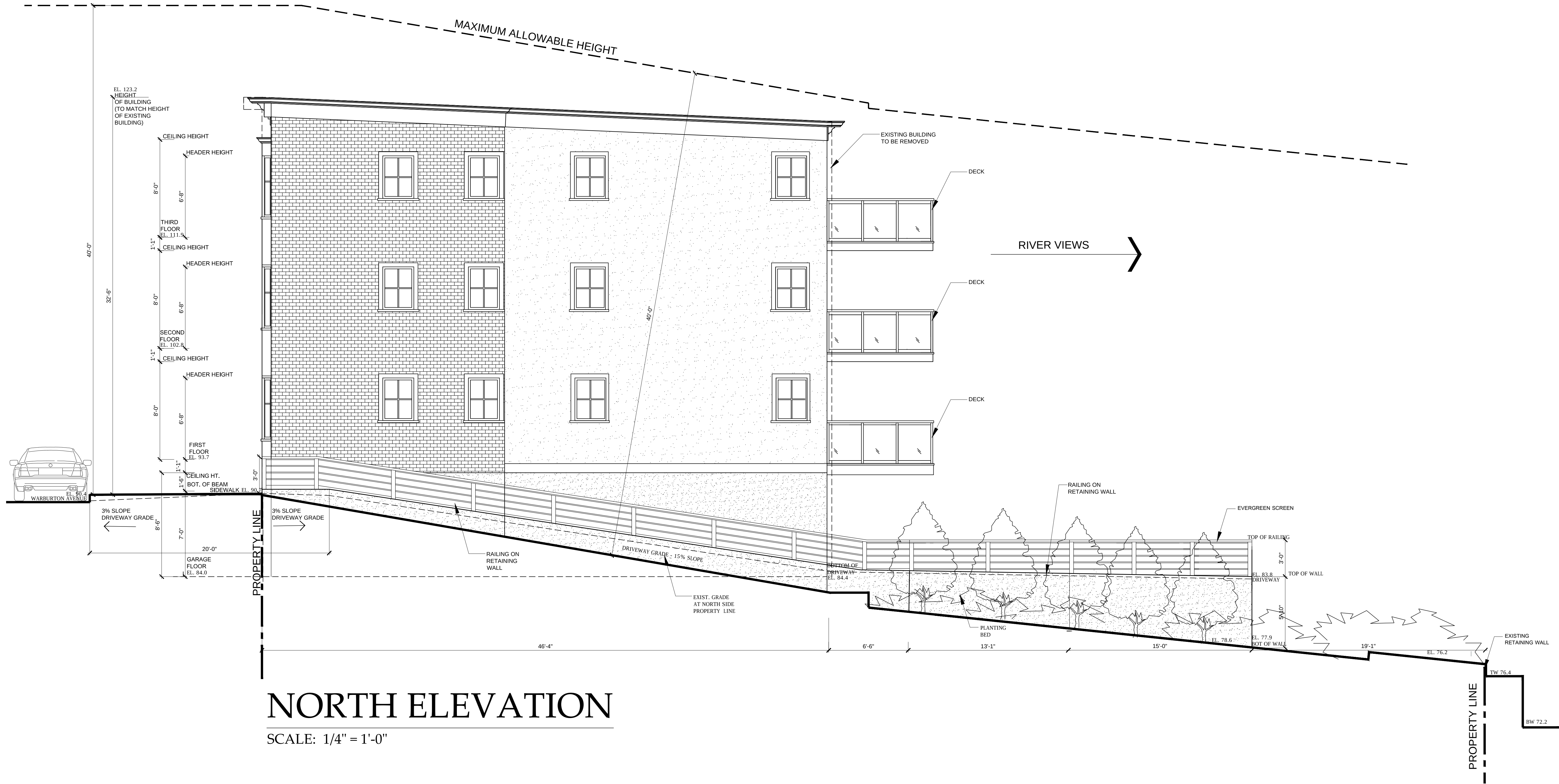
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PLANNING BOARD SUBMISSION	9-23-16
ZONING BOARD SUBMISSION	9-23-16
PLANNING BOARD - ALT. SCHEME	10-19-16
PLANNING BOARD REVISIONS	11-3-16
PLANNING BOARD REVISIONS	12-9-16
PLANNING BOARD SUBMISSION	2-2-17
ZONING BOARD SUBMISSION	2-23-17

Drawing Title
ELEVATIONS
Date
Scale:
AS SHOWN

A-4



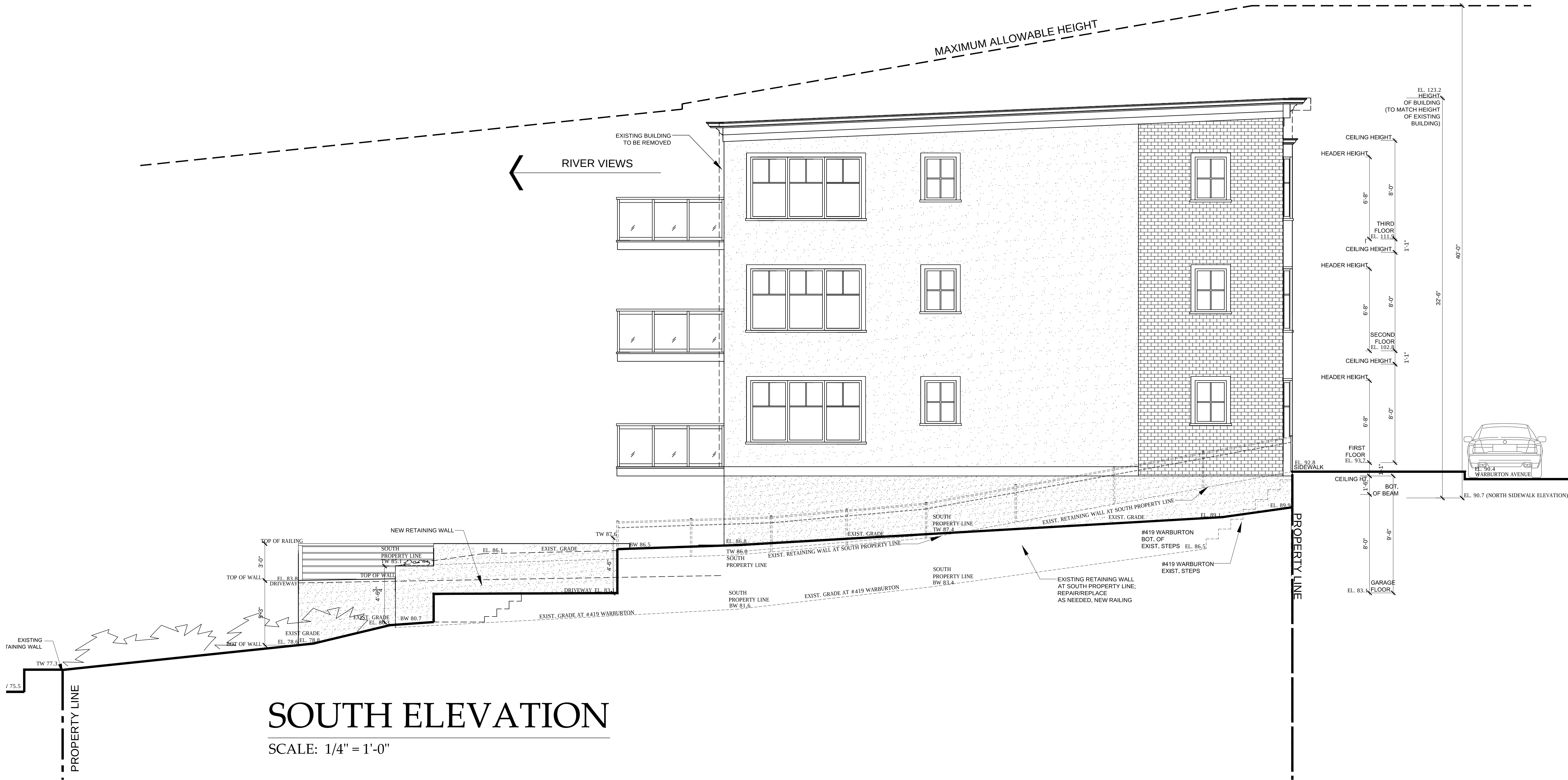
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

Drawing Title ELEVATIONS	PLANNING BOARD SUBMISSION	9-23-16
	ZONING BOARD SUBMISSION	9-23-16
	PLANNING BOARD - ALT. SCHEME	10-19-16
	PLANNING BOARD REVISIONS	11-3-16
	PLANNING BOARD REVISIONS	12-9-16
Scale: AS SHOWN	PLANNING BOARD SUBMISSION	2-2-17
	ZONING BOARD SUBMISSION	2-23-17

A-5



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

NEW 3-UNIT RESIDENTIAL BUILDING AT
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Drawing Title ELEVATIONS	Date	
	PLANNING BOARD SUBMISSION	9-23-16
	ZONING BOARD SUBMISSION	9-23-16
	PLANNING BOARD - ALT. SCHEME	10-19-16
	PLANNING BOARD REVISIONS	11-3-16
Scale: AS SHOWN	PLANNING BOARD REVISIONS	12-9-16
	PLANNING BOARD SUBMISSION	2-2-17
	ZONING BOARD SUBMISSION	2-23-17

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Drawing Title	ELEVATIONS
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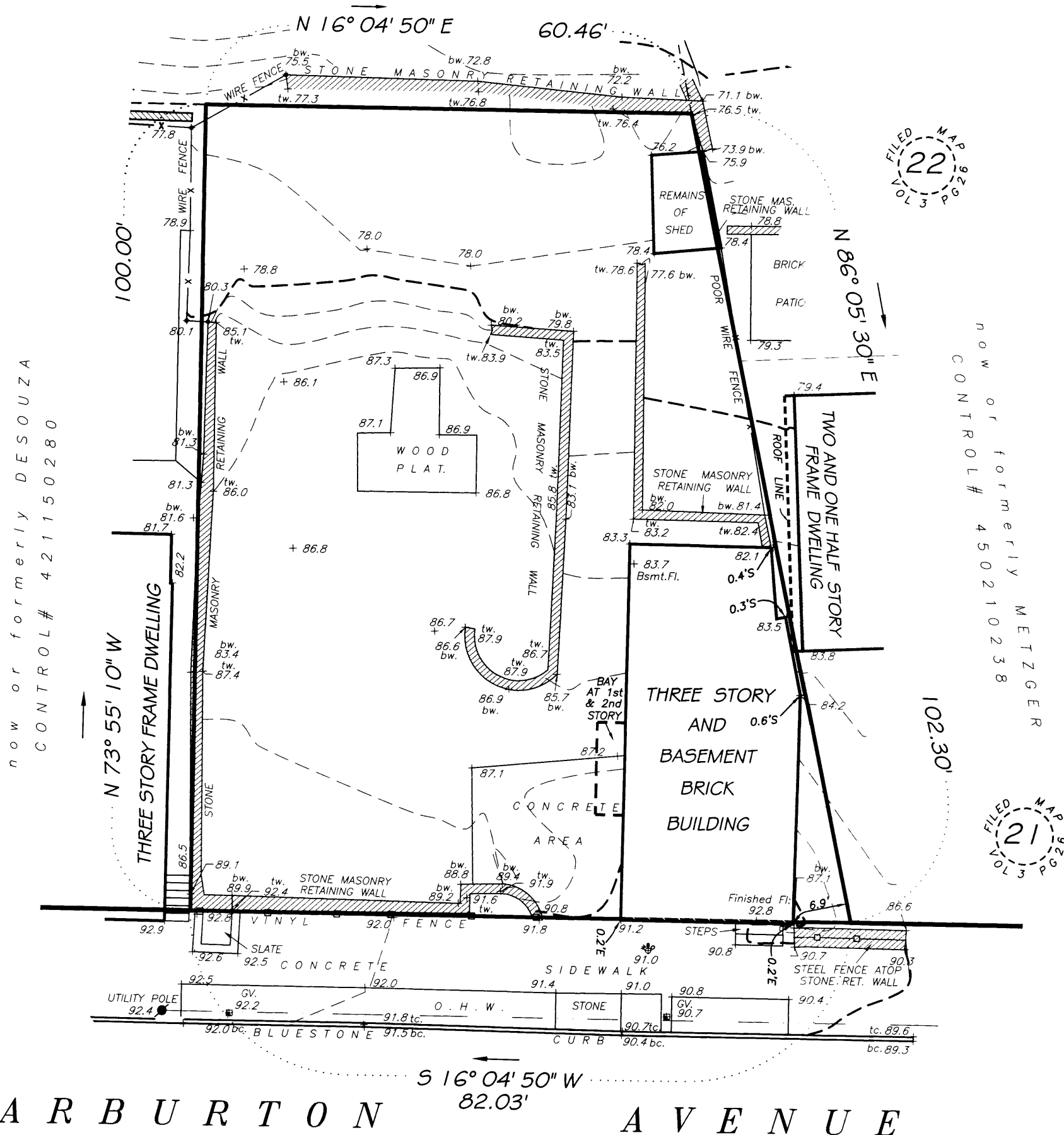
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Scale:
AS SHOWN

A-7

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706



- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF GREENBURGH - VILLAGE OF HASTINGS ON HUDSON SECTION;004.070 BLOCK;52 LOT; 10 & 11 STREET ADDRESS: 425 WARBURTON AVENUE PROPERTY AREA: 7,124 Sq.Ft. - 0.1635 ACRE
- THE PREMISES SHOWN HEREON DESCRIBED IN DEED, AND RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE - DIVISION OF LAND RECORDS, UNDER LIBER 9895 PAGE 206
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ELEVATIONS SHOWN HEREON BASED ON DATUM USED BY THE VILLAGE OF HASTINGS-ON-HUDSON. (HUDSON 154 MONUMENT ELEV. 14.35')
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: JEFF MORETTI

Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Phone 845-628-5857
Mahopac N.Y. 10541 Fax 845-621-0013

ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542

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