

3-UNIT RESIDENTIAL BUILDING AT 425 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

C H R I S T I N A G R I F F I N A R C H I T E C T P C

1 0 S p r i n g S t r e e t , H a s t i n g s - o n - H u d s o n , N Y 1 0 7 0 6



GENERAL NOTES

- These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- All construction shall comply fully with the Residential Code of NYS, existing building code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires
- All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.
- All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
- Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.
- The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
- Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.
- All dimensions and conditions shown and assumed on the drawings must be verified at site by contractor before ordering any material or doing any work.
- Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
- The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.
- Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.
- The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.
- Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.
- The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.

- The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.
- Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.
- The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.
- New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.
- All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
- Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for

approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions , piping, redesign, and new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.

27. All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.

- Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following:
 - Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.
 - Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.
 - Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.
 - Final cleaning of all chrome and aluminum metal work.

- Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.

29. Finish materials and paint colors shall be reviewed and approved by the homeowner.

- The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.

Energy Notes R-Values & U-Factors
NYS Energy Code
Climate Zone 4

Ceiling	Required	Proposed
Wall	R-38	R-38
Glazing	0.35	0.32
Floor	R-19	R-30

Design Criteria:
5750 Degree Days
15% Maximum Glazing
Certification
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2010 Residential Code of New York State, and the 2010 New York State Energy Conservation Construction code.

Christina Griffin

INSULATION & FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR b	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4	0.35	0.60	38	13
MASS WALL R-VALUE (g)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB R-VALUE & DEPTH (d)	CRAWL SPACE (c) WALL R-VALUE
5/10 (g)	19	10/13 (c)	10, 2FT (d)	10/13 (c)

- R-VALUE ARE MINIMUMS. U-FACTORS. R-19 INSULATION SHALL BE PERMITTED TO BE COMPRESSED INTO 2XB CAVITY.
- THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.
- THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION. THE SECOND TO FRAMING CAVITY INSULATION; EITHER INSULATION MEETS THE REQUIREMENTS.
- R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
- THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE EXTERIOR OF THE MASS WALL.

DESIGN REQUIREMENTS for the 2010 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

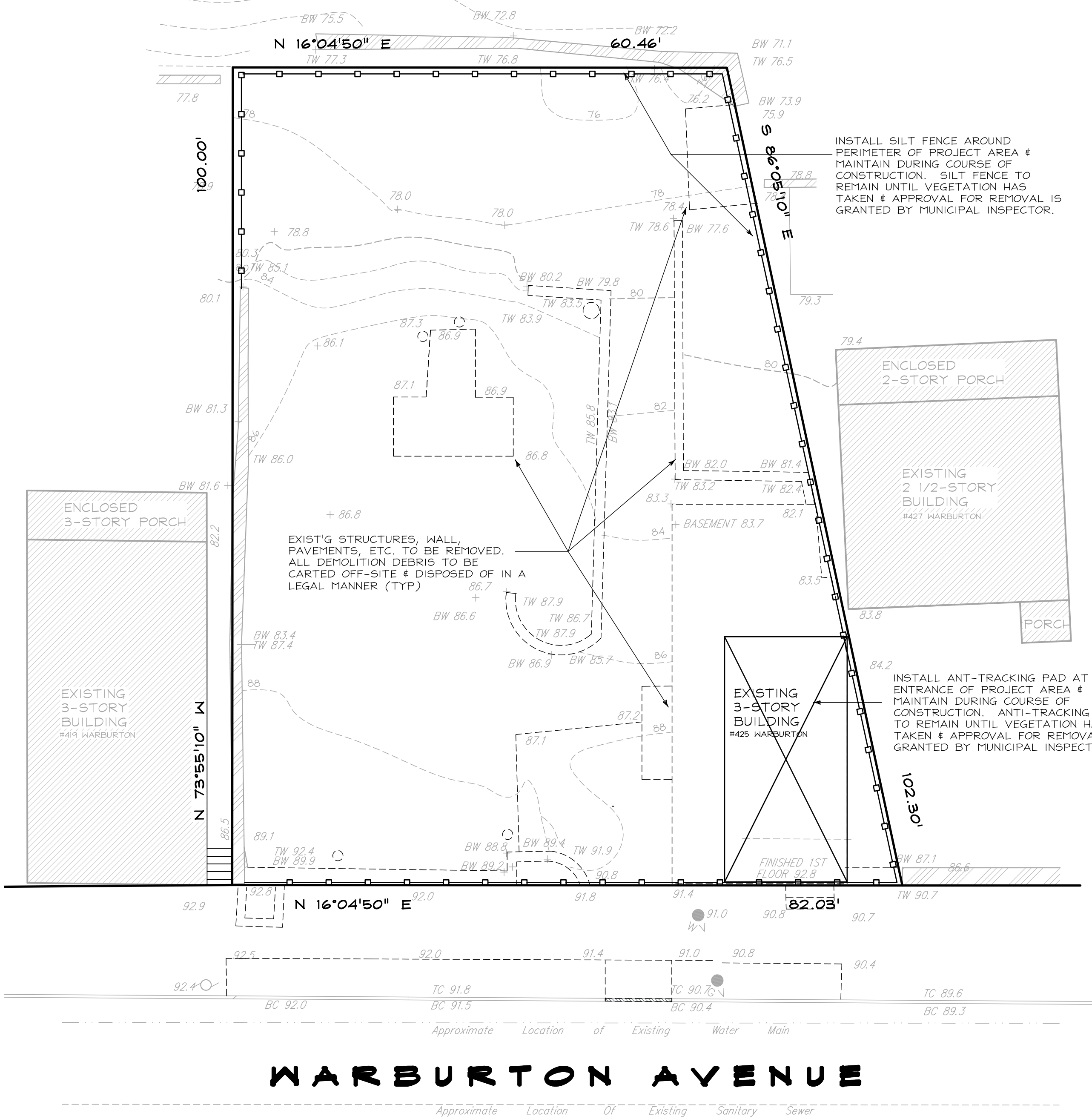
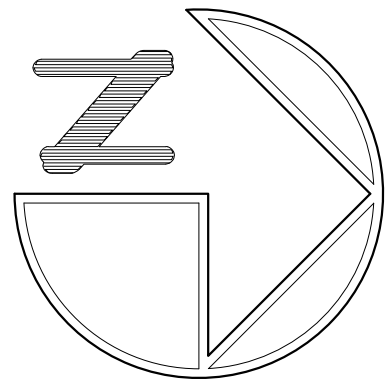
		SUBJECT TO DAMAGE FROM					
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 psf	100-110	C	severe	42" min	medium to heavy	yes	NO

DATES

PLANNING / ZONING BOARD SUBMISSION	09-29-16
REVISED PLANNING BOARD SUBMISSION	11-03-16
REVISED PLANNING BOARD SUBMISSION	12-19-16
REVISED PLANNING BOARD SUBMISSION	02-03-17
ZONING BOARD SUBMISSION	02-23-17
REVISED ZONING BOARD SUBMISSION	05-11-17

LIST of DRAWINGS

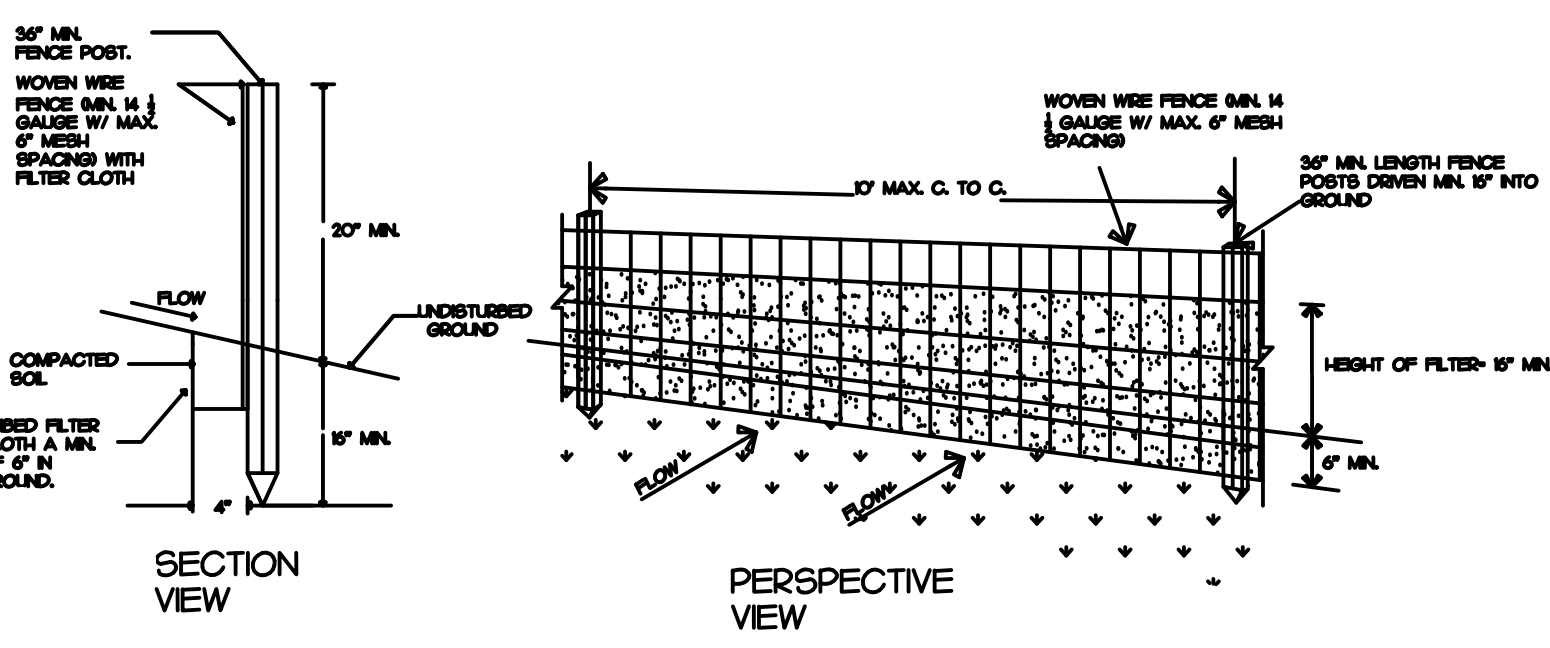
TITLE SHEET	GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS
C-200	SITE LAYOUT PLAN - BY ENGINEER
C-201	SITE GRADING & UTILITY PLAN - BY ENGINEER
S-1	REMOVALS PLAN, SITE PLAN, ZONING DATA
S-2	SECTIONS THROUGH SITE
S-3	ZONING STUDY
S-4	SECTIONS THROUGH SITE
A-1	GARAGE PLAN, SIDE YARD DIAGRAMS
A-2	FIRST FLOOR PLAN
A-3	SECOND AND THIRD FLOOR PLANS
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	EXTERIOR ELEVATIONS
A-7	EXTERIOR ELEVATIONS
VP1 - VP14. VIEW PRESERVATION STUDIES	



EXISTING CONDITIONS & EROSION CONTROL PLAN

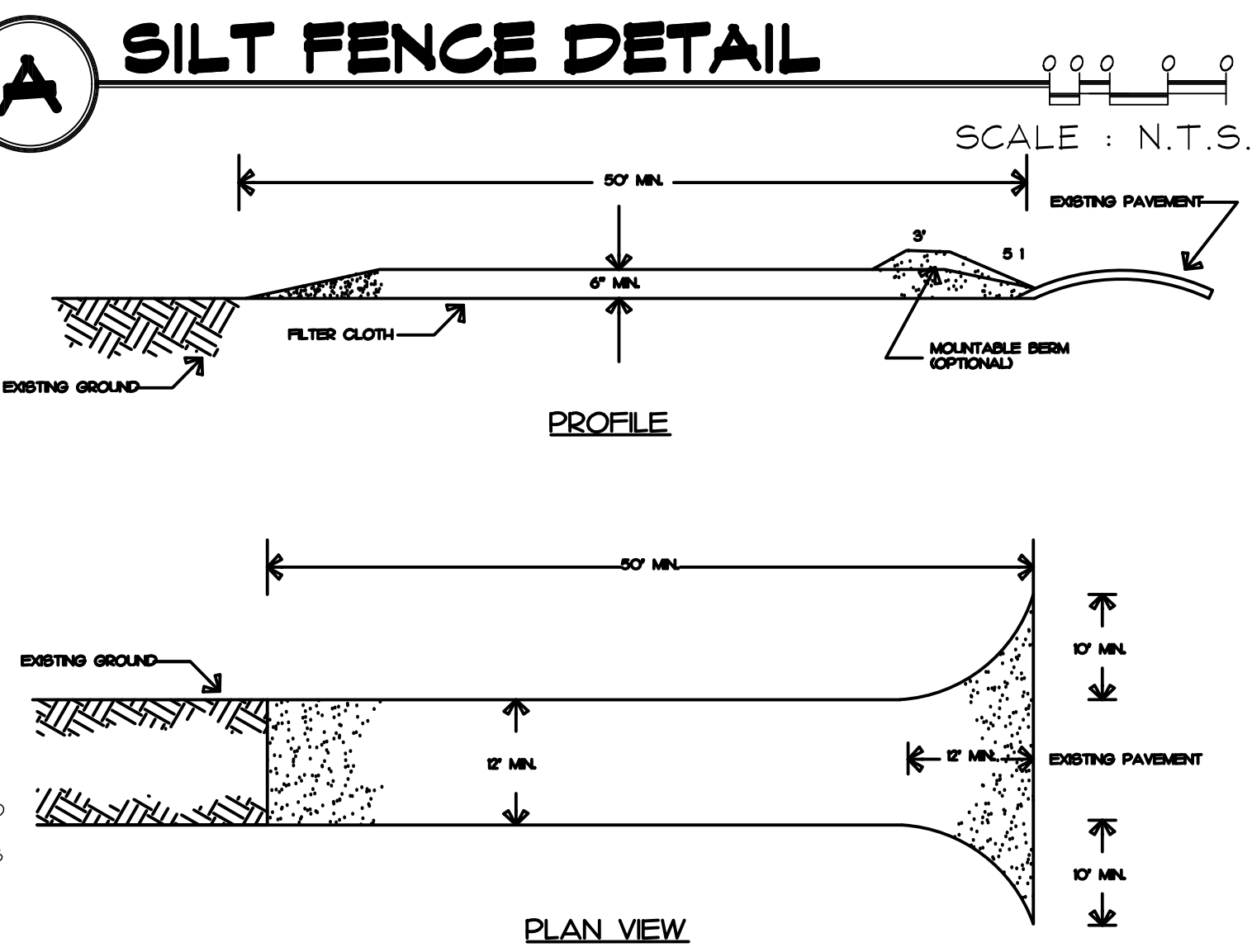
1

SCALE : 1"=10'



CONSTRUCTION SPECIFICATIONS

- 1- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES, POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- 2- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION, FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
- 3- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE LAPPED BY SIX INCHES AND FOLDED, FILTER CLOTH SHALL BE EITHER FILTER X, MRAFI 100X, STABILINKA T400, OR APPROVED EQUIVALENT.
- 4- PREFABRICATED UNITS SHALL BE GEOF AB, ENVROFENCE, OR APPROVED EQUIVALENT.
- 5- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1/4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 30 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE Piped BENEATH THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 4:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



EROSION & SEDIMENT SCHEDULE

MONITORING REQUIREMENTS				MAINTENANCE REQUIREMENTS	
PRACTICE	DAILY	WEEKLY	AFTER RAINFALL	DURING CONSTRUCTION	AFTER CONSTRUCTION
SILT FENCE BARRIER	-	INSPECT	INSPECT	CLEAN/REPLACE	REMOVE
DUST CONTROL	INSPECT	-	INSPECT	MULCHING/SPRAYING WATER	N/A
*VEGETATIVE ESTABLISHMENT	-	INSPECT	INSPECT	WATER/RESEED/RE MULCH	RESEED TO 80% COVERAGE
INLET PROTECTION	-	INSPECT	INSPECT	CLEAN/REPAIR/REPLACE	REMOVE
CONCRETE DRAINAGE STRUCTURES	-	INSPECT	INSPECT	CLEAN SUMPS/REMOVE DEBRIS/REPAIR/REPLACE	CLEAN SUMPS/REMOVE DEBRIS/REPAIR/REPLACE
DRAINAGE PIPES	-	INSPECT	INSPECT	CLEAN/REPAIR	CLEAN/REPAIR
ROAD & PAVEMENT	-	INSPECT	INSPECT	CLEAN	CLEAN

GENERAL NOTES

- (A) GENERAL CONDITIONS :
1. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
 2. ALL WORK AND MATERIALS SHALL CONFORM TO THE TOWN OF GREENBURGH SPECIFICATIONS.
 3. CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR A COMPLETE AND PROPER FUNCTIONING OF THE ENTIRE PROJECT.
 4. CARE SHALL BE TAKEN TO PROTECT THE PROPERTY FROM THE METHODS AND MANNERS OF CONSTRUCTION. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.
 5. THE SITE SHALL BE KEPT CLEAN AT ALL TIMES DURING CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A WEEKLY BASIS AND LEGALLY DISPOSED OF.
 6. CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION (U.F.P.O.) AT 1-800-962-7962 FOR ALL UTILITY MARK OUTS PRIOR TO COMMENCEMENT OF ANY AND ALL WORK.
 7. THE SIZE AND SHAPE OF THE PROPOSED DWELLINGS SHOWN IS FOR PICTORAL USE ONLY. THE ACTUAL SIZE AND SHAPE SHALL BE CORRECTLY REPRESENTED AT THE TIME OF FILING FOR THE BUILDING PERMIT AND SHALL CONFORM TO THE SIZE AS APPROVED BY THIS SUBDIVISION.
 8. THE LIABILITY OF THESE DRAWINGS IS LIMITED TO THE FEE PAID.

(B) CONSTRUCTION DRAWINGS NOTES :

1. ALL WORK AND MATERIALS TO CONFORM TO TOWN OF GREENBURGH SPECIFICATIONS.
2. UPON REQUEST, THE TOWN WATER DEPARTMENT SHALL LOCATE EXISTING WATER MAINS AND SERVICES BUT SHALL NOT GUARANTEE LOCATIONS.
3. PROVIDE DESIGNED RETAINING WALLS ON SLOPES EXCEEDING ONE (1) FOOT VERTICAL AND TWO (2) FEET HORIZONTAL.
4. UNDERGROUND ELECTRIC SHALL BE ENCASED IN RIGID CASING FOR A MINIMUM OF SIX FEET (2-4-2) ACROSS ALL WATER MAINS.
5. THE BUILDER SHALL FURNISH AND INSTALL 6" PERFORATED C.A.P. ENCASED IN CRUSHED STONE IN BACK OF CURB WHEREVER DIRECTED BY THE ENGINEER.
6. THE TOWN HIGHWAY DEPARTMENT SHALL REGULATE AND ORDER WHAT OBSTRUCTIONS MUST BE REMOVED BY BUILDER FOR SIGHT DISTANCE.
7. THE APPLICANT/CONTRACTOR SHALL BE REQUIRED TO COMPLY WITH ALL RULES AND REGULATIONS OF THE TOWN OF GREENBURGH CONSOLIDATED WATER DISTRICT NO. 1
8. THE CONTRACTOR SHALL BE REQUIRED TO BACKFILL UTILITY TRENCHES IN THE PUBLIC RIGHT OF WAY WITH 50 PSI CONTROLLED DENSITY BACKFILL (K-CRETE).
9. THE APPLICANT/CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL/DISPOSAL OF EXISTING SUBSURFACE STRUCTURES (I.E. OIL TANKS, SEPTIC FIELDS, FIELDS, ETC.), THEIR CONTENTS AND ANY REMEDIAL MEASURES THAT MAY BE REQUIRED.
10. IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR TO CALL CODE 53. NO WORK SHALL COMMENCE UNTIL A CODE 53 FIELD MARK OUT HAS BEEN PERFORMED.
11. PRIOR TO OBTAINING A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT RETAINING WALL STABILITY CALCULATIONS TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.

(C) EROSION CONTROL :

1. INSTALL ALL EROSION CONTROL DEVICES AS INDICATED ON DRAWINGS AND IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL, LATEST REVISION.
2. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES DURING COURSE OF CONSTRUCTION.
3. EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL FULL VEGETATION GROWTH HAS OCCURRED AND AS APPROVED BY THE TOWN INSPECTOR.
4. SEEDING AND MULCHING SHALL BE AS FOLLOWS:
TEMPORARY SEEDING & MULCHING
 - 4.1. LIME : 90 LBS./1,000 SQ.FT. GROUND LIMESTONE, FERTILIZER : 4 LBS./1,000 SQ.FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
 - 4.2. SEED : ANNUAL RYEGRASS 40 LBS./ACRE OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - 4.3. MULCH : SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SQ.FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.
5. THE APPLICANT SHALL BE REQUIRED TO CLEAN ROADWAYS AND EXISTING DOWNSTREAM DRAINAGE UTILITIES FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK.
6. ALL PLANS SHOULD FULLY INCORPORATE THE APPROPRIATE RECOMMENDATIONS FROM NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL DATED AUGUST 2001, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR. THE PLAN AND ITS IMPLEMENTATION SHALL BE SUBJECT TO THE APPROVAL OF THE TOWN ENGINEER.
7. ALL STORM WATER CONTROL MEASURES FOR THIS PROJECT ARE TO BE CONSISTENT WITH THE NEW YORK STATE'S STORMWATER DESIGN MANUAL DATED AUGUST 2004, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR.
8. PLANS SHALL NOTE "THE MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION ARE UNDERTAKEN CONSISTENT WITH THE NEW YORK STATE'S STORMWATER DESIGN MANUAL, DATED AUGUST 2004, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR, SATISFACTORY TO THE TOWN."
9. THE APPLICANT SHALL BE REQUIRED TO CLEAN EXISTING DOWNSTREAM AREAS FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK. THE APPLICANT SHALL TAKE SPECIAL CARE TO PREVENT CONSTRUCTION ACTIVITIES FROM IMPACTING DOWNSTREAM WATERCOURSES.

(D) SITE WORK:

1. THE SITE SHALL BE GRADED AS INDICATED ON THE DRAWINGS. ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH THE EXISTING CONTOURS.
2. ALL DISTURBED AREAS WHICH WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY, OR APPROVED EQUAL, AND BOUND AS PER THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
3. FILL MATERIAL SHALL BE CLEAN FILL AND SHALL BE INSTALLED IN 12 INCH LIFTS AND COMPACTED TO 95% OPTIMUM DENSITY.
4. APPROXIMATELY 100 C.Y. OF FILL WILL BE BROUGHT TO THE SITE FOR LANDSCAPING AND GRADING.

PROPERTY INFORMATION & CONSTRUCTION SEQUENCE

GENERAL NOTES:

1. LOCALIZED TOPOGRAPHY AND SELECTED EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON TOPOGRAPHIC MAP PREPARED BY OTHERS.
- NOTE: THE PARTY RESPONSIBLE FOR IMPLEMENTATION OF THE MAINTENANCE SCHEDULE DURING AND AFTER CONSTRUCTION IS:
635 WPR REALTY LLC
635 OLD WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10591
AND/OR THE CURRENT OWNER(S) OF THE SUBJECT PROPERTY.

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE IN GENERAL LOCATIONS INDICATED ON THE PLAN.
2. BEGIN EXCAVATION FOR FOUNDATION OF RETAINING WALL AND CONSTRUCT RETAINING WALL.
3. INSTALL LANDSCAPE WALLS AND STONE STEPS AS SHOWN ON PLAN.
4. INSTALL DRAINAGE STRUCTURES AND PIPES.
5. INSTALL SUBBASE OF PROPOSED DRIVEWAY.
6. UPON COMPLETION OF GRADING OPERATIONS, INSTALL FINISHED DRIVEWAY SURFACES.
7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES CONTAINED ON THIS PAGE.



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Portion dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

It is a violation of the New York State Education Law for any person, when acting under the direction of a Licensed Professional Engineer, to offer any form of this drawing and/or related specifications, standards, or information to be made in compliance with the New York State Education Law, the Professional Engineer whose seal appears hereon assumes no responsibility for any such violation or misuse without the consent.

Consultants



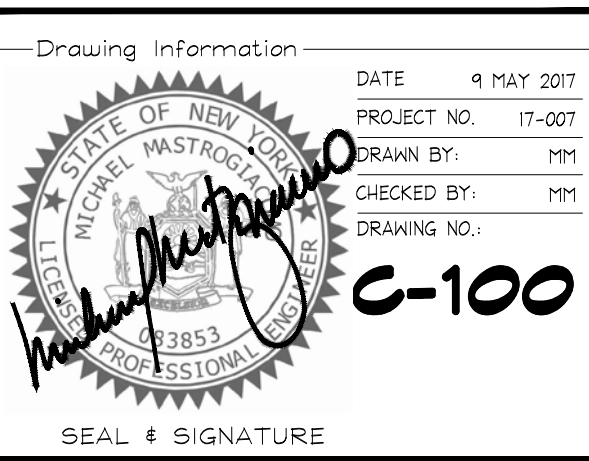
Revision	DATE	DESCRIPTION

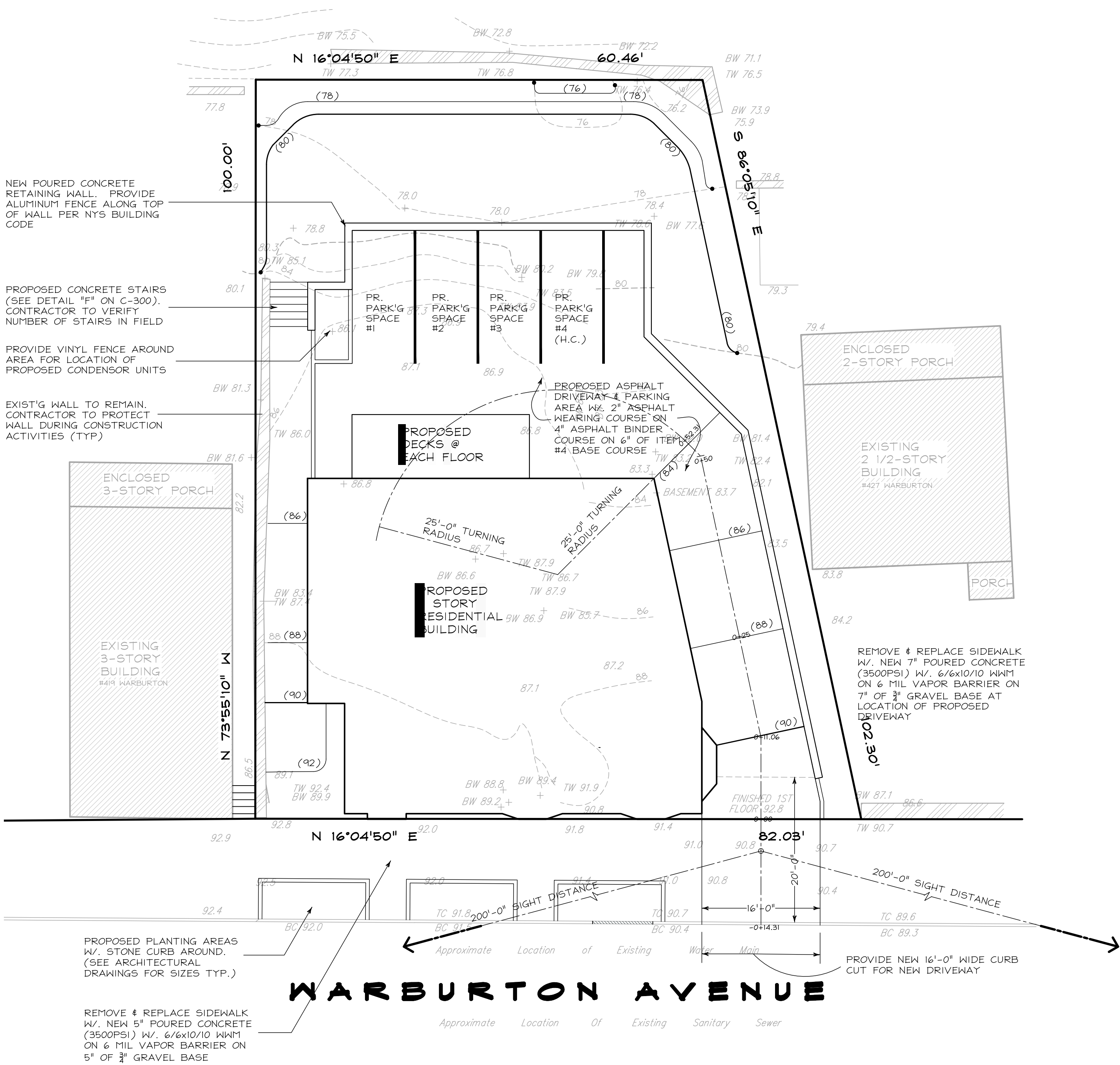


Project
PROPOSED SITE DEVELOPMENT PLANS
LOCATED AT
425 WARBURTON AVENUE
SITUATED IN THE
VILLAGE OF HASTINGS-ON-HUDSON
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK

Tax Assessment Information
PARCEL ID : 470-82-11

Sheet Title
EXISTING CONDITIONS & EROSION CONTROL PLAN





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7. THE SIZE AND SHAPE OF THE PROPOSED DWELLINGS SHOWN IS FOR PICTORIAL USE ONLY. THE ACTUAL SIZE AND SHAPE SHALL BE CORRECTLY REPRESENTED AT THE TIME OF FILING FOR THE BUILDING PERMIT AND SHALL CONFORM TO THE SIZE AS APPROVED BY THIS SUBDIVISION.
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3. PROVIDE DESIGNED RETAINING WALLS ON SLOPES EXCEEDING ONE (1) FOOT VERTICAL AND TWO (2) FEET HORIZONTAL.
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4. SEEDING AND MULCHING SHALL BE AS FOLLOWS:
TEMPORARY SEEDING & MULCHING
 - 4.1. LIME : 90LBS./1,000 SQ.FT. GROUND LIMESTONE, FERTILIZER : 4LBS./1,000 SQ.FT., 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4 INCHES.
 - 4.2. SEED : ANNUAL RYEGRASS 40 LBS./ACRE OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - 4.3. MULCH : SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SQ.FT. TO BE APPLIED ACCORDING TO STANDARD PRACTICES. MULCH SHALL BE SECURED BY APPROVED METHODS.
5. THE APPLICANT SHALL BE REQUIRED TO CLEAN ROADWAYS AND EXISTING DOWNSTREAM DRAINAGE UTILITIES FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK.
6. ALL PLANS SHALL FULLY INCORPORATE THE APPROPRIATE RECOMMENDATIONS FROM NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION'S STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL DATED AUGUST 2001, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR. THE PLAN AND ITS IMPLEMENTATION SHALL BE SUBJECT TO THE APPROVAL OF THE TOWN ENGINEER.
7. ALL STORM WATER CONTROL MEASURES FOR THIS PROJECT ARE TO BE CONSISTENT WITH THE NEW YORK STATE'S STORMWATER DESIGN MANUAL DATED AUGUST 2004, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR.
8. PLANS SHALL NOTE "THE MEASURES FOR THE CONTROL OF EROSION AND SEDIMENTATION ARE UNDERTAKEN CONSISTENT WITH THE NEW YORK STATE'S STORMWATER DESIGN MANUAL, DATED AUGUST 2004, OR THE MOST CURRENT VERSION OR ITS SUCCESSOR, SATISFACTORY TO THE TOWN."
9. THE APPLICANT SHALL BE REQUIRED TO CLEAN EXISTING DOWNSTREAM AREAS FROM ALL SILTATION AND CONSTRUCTION DEBRIS AS REQUIRED, AND UPON COMPLETION OF THE WORK. THE APPLICANT SHALL TAKE SPECIAL CARE TO PREVENT CONSTRUCTION ACTIVITIES FROM IMPACTING DOWNSTREAM WATERCOURSES.

1. THE SITE SHALL BE GRADED AS INDICATED ON THE DRAWINGS. ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH THE EXISTING CONTOURS.
2. ALL DISTURBED AREAS WHICH WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY, OR APPROVED EQUAL, AND BOUND AS PER THE NEW YORK STATE STANDARDS & SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
3. FILL MATERIAL SHALL BE CLEAN FILL AND SHALL BE INSTALLED IN 12 INCH LIFTS AND COMPACTED TO 95% OPTIMUM DENSITY.
4. APPROXIMATELY 100 C.Y. OF FILL WILL BE BROUGHT TO THE SITE FOR LANDSCAPING AND GRADING.

GENERAL NOTES:
1. LOCALIZED TOPOGRAPHY AND SELECTED EXISTING CONDITIONS SHOWN HEREON ARE BASED UPON TOPOGRAPHIC MAP PREPARED BY OTHERS.
NOTWITHSTANDING, THE PARTY RESPONSIBLE FOR IMPLEMENTATION OF THE MAINTENANCE SCHEDULE DURING AND AFTER CONSTRUCTION IS:
635 WPR REALTY LLC
635 OLD WHITE PLAINS ROAD
TARRYTOWN, NEW YORK 10691
AND/OR THE CURRENT OWNER(S) OF THE SUBJECT PROPERTY.

1. INSTALL SILT FENCE IN GENERAL LOCATIONS INDICATED ON THE PLAN.
2. BEGIN EXCAVATION FOR FOUNDATION OF RETAINING WALL AND CONSTRUCT RETAINING WALL.
3. INSTALL LANDSCAPE WALLS AND STONE STEPS AS SHOWN ON PLAN.
4. INSTALL DRAINAGE STRUCTURES AND PIPES.
5. INSTALL SUBBASE OF PROPOSED DRIVEWAY.
6. UPON COMPLETION OF GRADING OPERATIONS, INSTALL FINISHED DRIVEWAY SURFACES.
7. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS AS SOON AS PRACTICAL IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL NOTES CONTAINED ON THIS PAGE.

Consultants

[illegible]

Client
MORRETTI
INC.
DOBBS FERRY, NEW YORK

Project
**PROPOSED SITE
DEVELOPMENT PLANS**
LOCATED AT
425 WARBURTON AVENUE
SITUATED IN THE
VILLAGE OF HASTINGS-ON-HUDSON
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK


Tax Assessment Information
PARCEL ID : 470-52-11

Sheet Title _____
SITE LAYOUT PLAN

Drawing Information

DATE	9 MAY 2017
PROJECT NO.	17-007
DRAWN BY:	MM
CHECKED BY:	MM
DRAWING NO.:	C-200

SEAL & SIGNATURE



083853

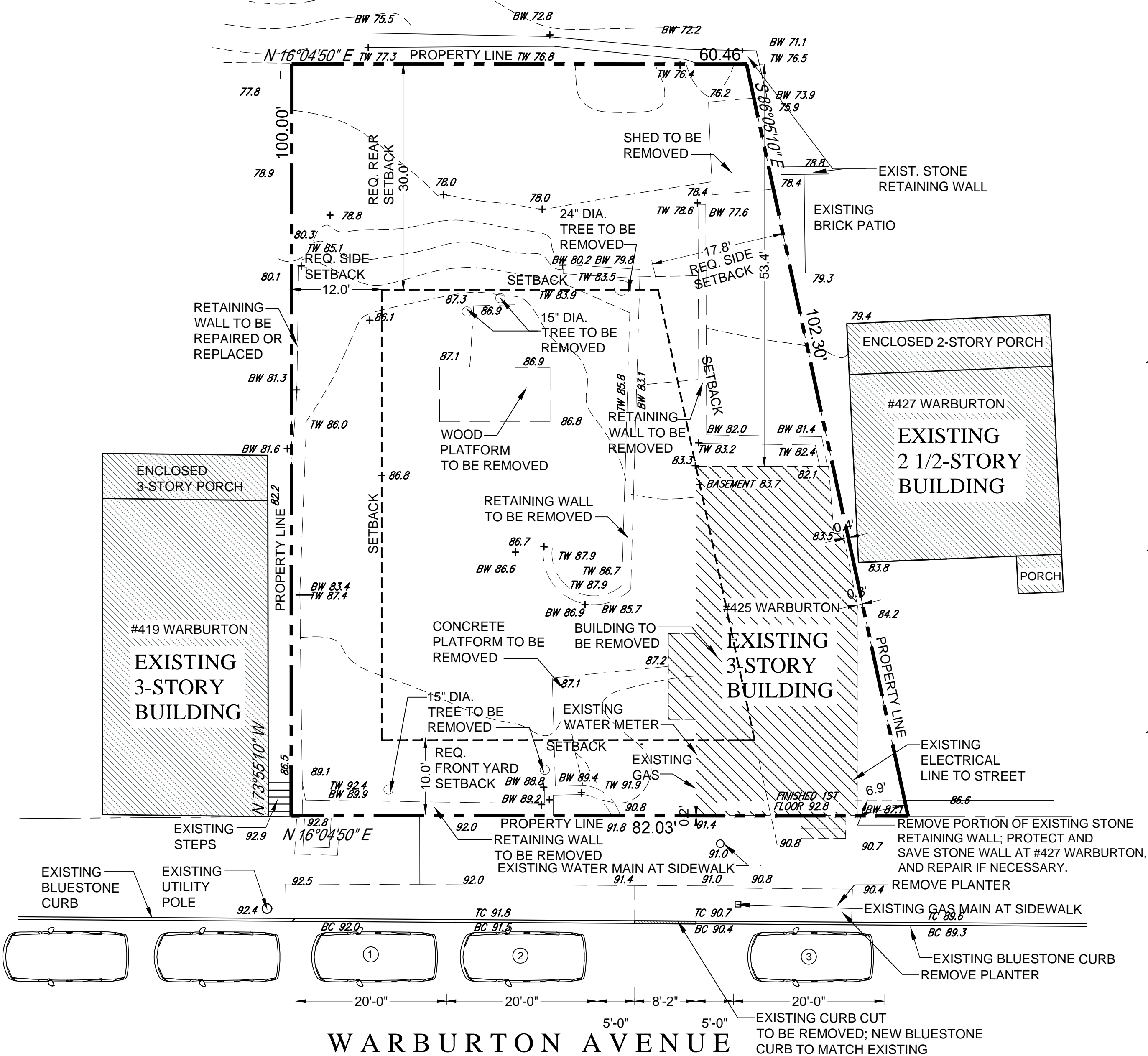
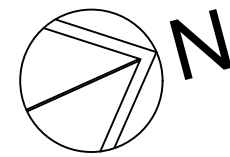
COVERAGE CALCULATIONS	
LOT AREA	7,124 SF / 0.16 AC
WALLS	131 SF
STEPS AT REAR	27 SF
EXTERIOR PARKING (NOT INCL. DRIVEWAY)	713 SF
BUILDING FOOTPRINT (INC. OVERHANG & DECKS)	2,259 SF
BUILDING COVERAGE	3,130 SF / 44%
295-72.1.E3 ALL BUILDINGS AND STRUCTURES ON THE LOT SHALL TOGETHER NOT COVER MORE THAN 50% OF THE AREA OF THE LOT	
*SIDE YARD DIAGRAMS & CALCULATIONS - SEE SHEET A-1	

425 WARBURTON AVENUE, HASTINGS-ON-HUDSON, NY		ZONING DISTRICT: MR-O	
	REQUIRED	EXISTING	PROPOSED
LOT AREA	6,500 SF	7,124 SF	7,124 SF
LOT AREA PER UNIT	6,500 SF (5,000 SF FOR FIRST (2) UNITS + 1,500 SF FOR EACH ADD'L UNIT)	7,124 SF	7,124 SF
TOTAL OF DWELLING UNITS	-	3	3
LOT WIDTH FRONTAGE	50 FT	82.03 FT	82.03 FT
BUILDING COVERAGE	50% MAX	18 % (1,245 SF)	44 % (3,130 SF)
OPEN SPACE	200 SF / BEDROOM X 9 BEDROOMS = 1,800 SF	+/-5,300 SF	1,920 SF
FRONT YARD SETBACK	10 FT	0.2 FT	0 FT
REAR YARD SETBACK	30 FT	53.4 FT	54.3 FT TO BUILDING / 44.8 FT TO DECKS / 19.1 FT TO PARKING
NO PAVING IN REQUIRED YARD	30 FT SETBACK AT REAR YARD	N/A	19.1 FT TO PARKING AREA
SIDE ONE	12.0 FT	12 FT OR 1/2 THE HEIGHT OF THE NEAREST BLDG WALL, WHICHEVER IS GREATER *	+/- 50.0 FT
SIDE TWO	17.8 FT		0.3 FT
BUILDING HEIGHT	3-STORIES / 40 FT	3-STORIES / 38.0 FT	3-STORIES / 38.0 FT
PARKING SPACES	1 1/4 PER STUDIO, 1 1/2 PER 1 BEDRM., 1 3/4 PER 2-BEDRM., 2 PER 3-BEDRM. = 6	3 SPACES	6 SPACES
SIZE OF PARKING SPACES	9 FT WIDE, 18 FT LONG	N/A	8.5 FT WIDE, 18 FT LONG
DRIVEWAY AREA	960 SF	+/- 500 SF	1,506 SF
DRIVEWAY SLOPE AT FRONT OF PROPERTY LINE	MAXIMUM 3% WITHIN 30 FT OF FRONT PROPERTY LINE	16% AT SIDE OF BLDG. (USED AS DRIVEWAY)	5.6 FT AT 3%; 24.4 FT OF 30 FT REQUIRED AT 13%
DRIVEWAY SLOPE	MAXIMUM 8% (UP TO 12% AT DISCRETION OF PLANNING BD.)	16% AT SIDE OF BLDG. (USED AS DRIVEWAY)	13%
DRIVEWAY SETBACK	5.0 FT FROM SIDE PROPERTY LINE	+/-43.0 FT. TO PAVED AREA USED AS DRIVEWAY	5.0 FT



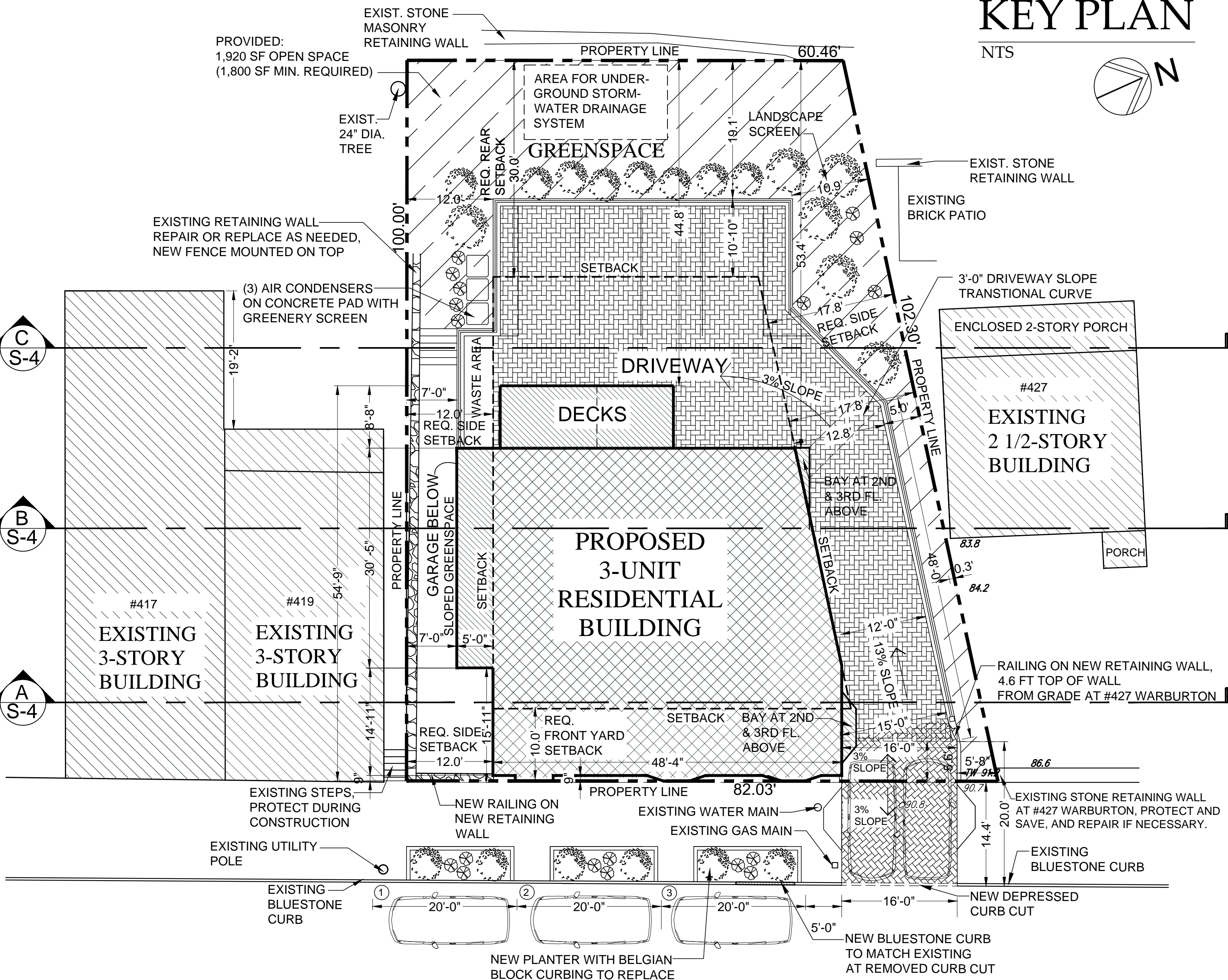
KEY PLAN

NTS



REMOVALS PLAN

SCALE: 3/32" = 1'-0"



SITE PLAN

SCALE: 3/32" = 1'-0"

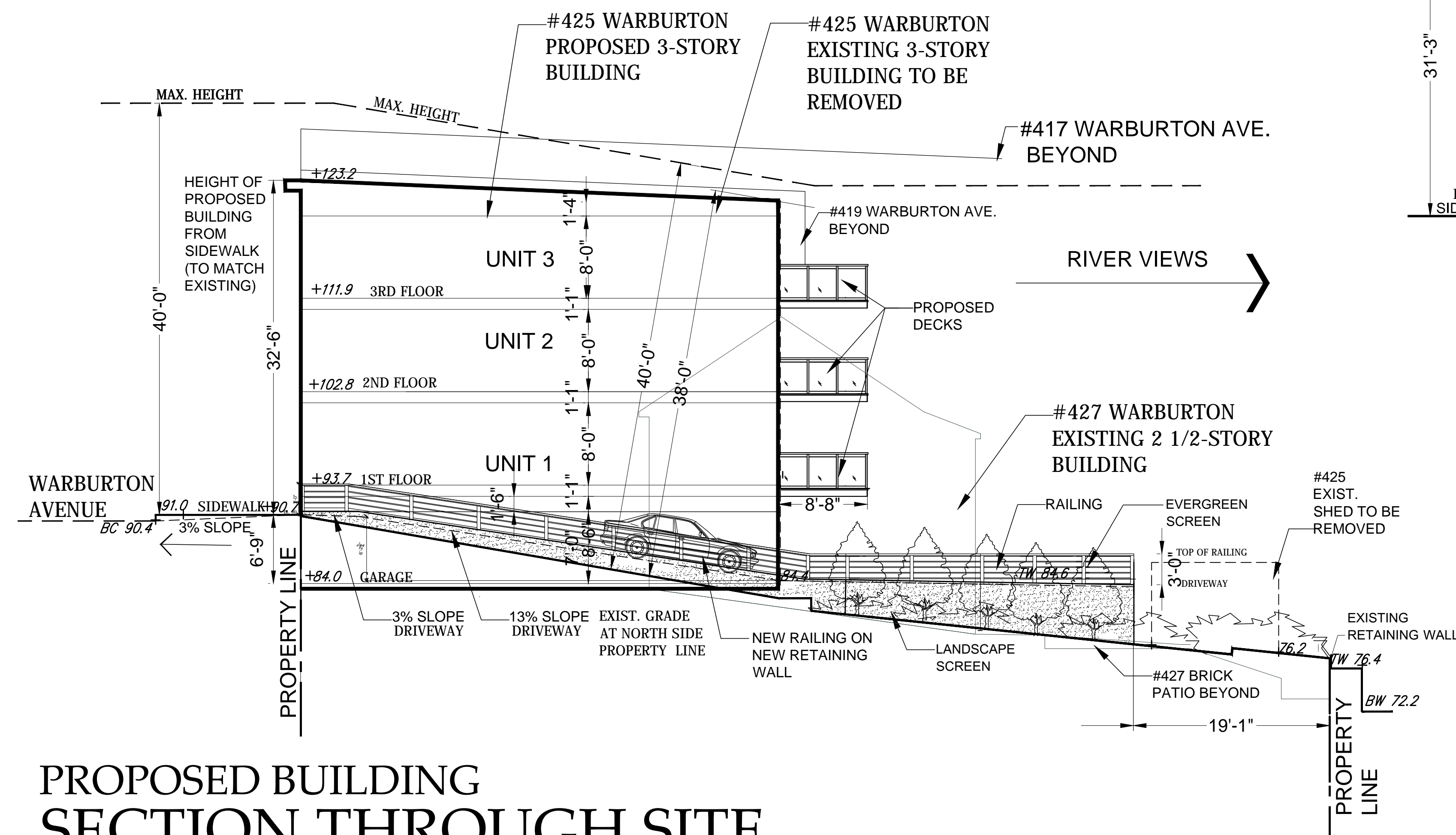
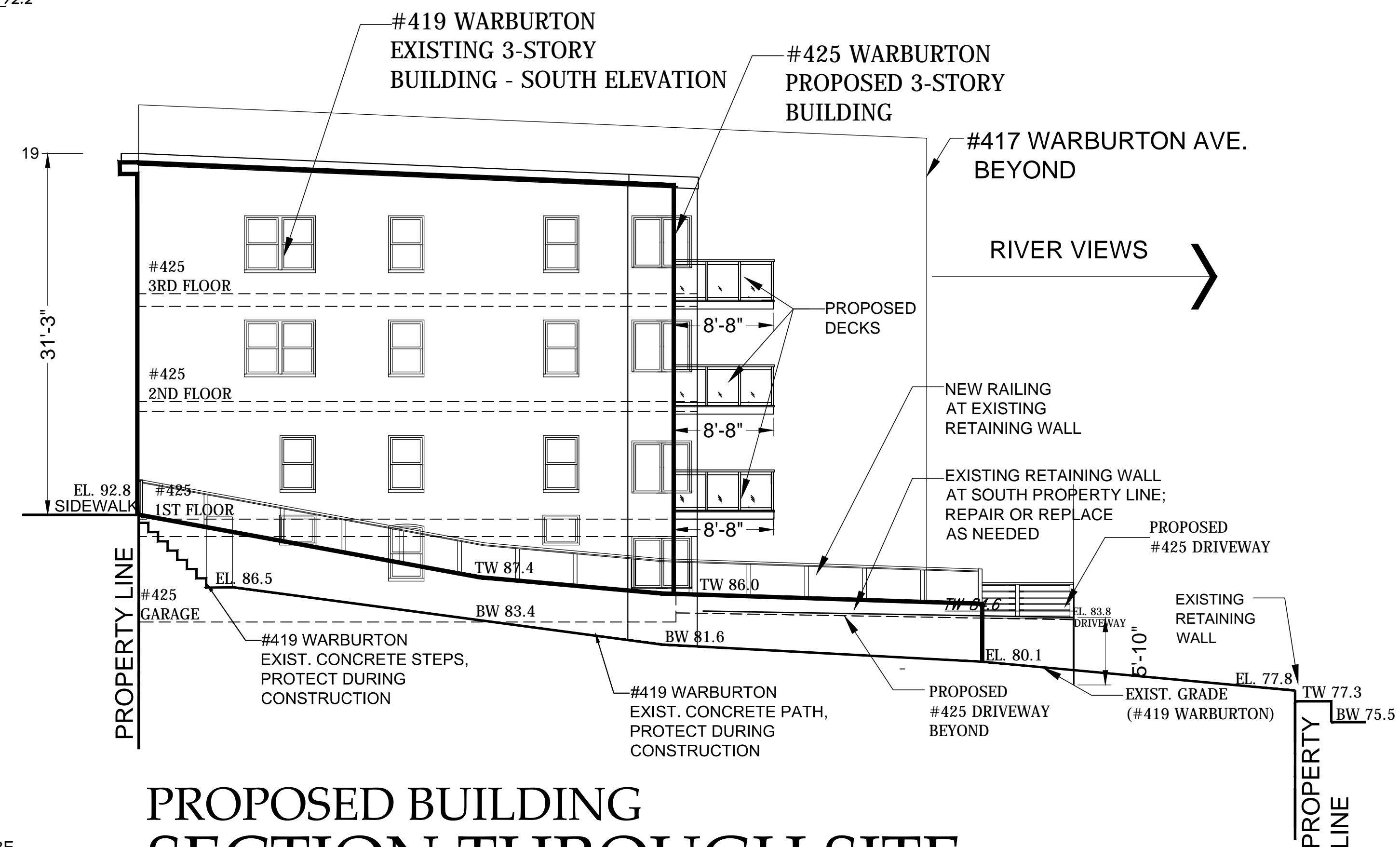
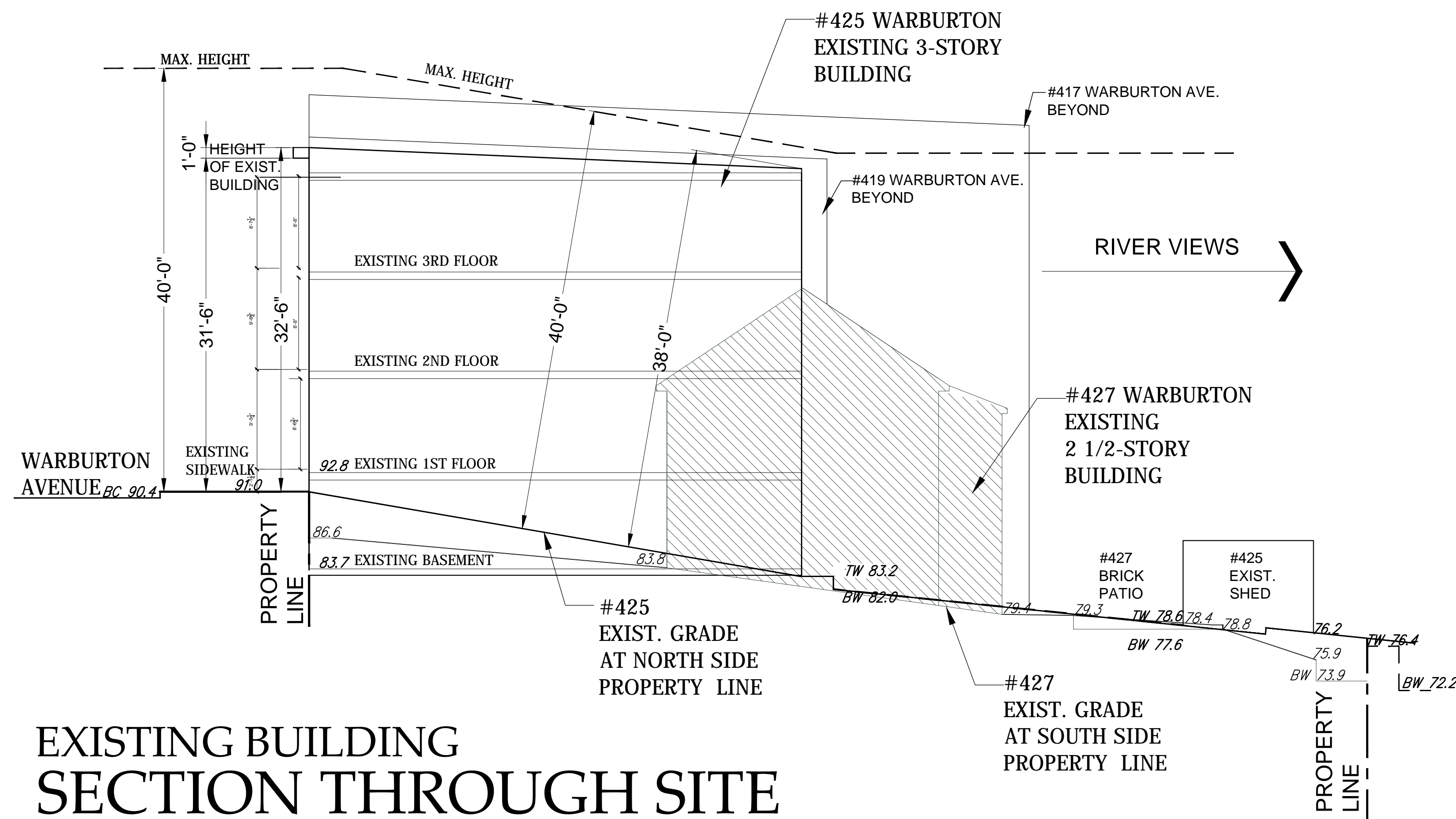
NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC	
10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 tel 914.478.0806 fax www.christinagriffinarchitect.com	
Date	9-29-16
Planning Board Submission	9-29-16
Zoning Board Submission	9-29-16
Planning Board - Alt. Scheme	10-19-16
Planning Board Revisions	11-3-16
Planning Board Revisions	11-3-16
Revisions to Driveway	1-9-17
Revisions to Driveway	2-23-17
Zoning Board Submission	5-11-17

Drawing Title
SITE PLAN
REMOVALS PLAN

Scale:
AS SHOWN

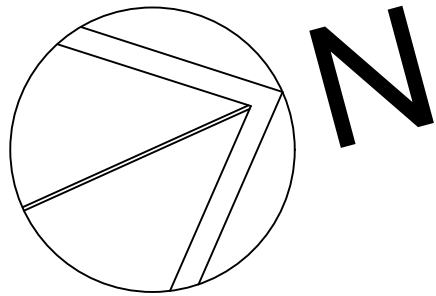
S-1





MAP OF NEIGHBORHOOD - MR-O DISTRICT

NOT TO SCALE



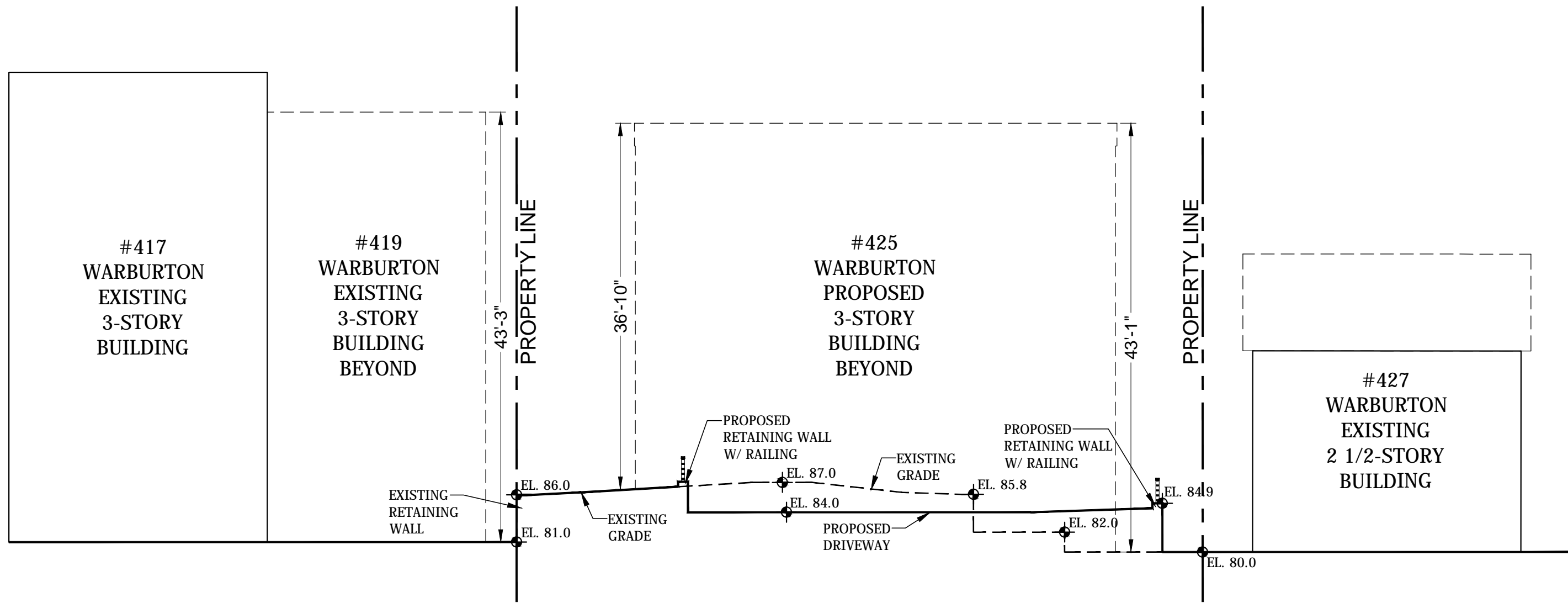
EXAMPLES IN NEIGHBORHOOD OF DRIVEWAY SLOPES OVER 15%		
MAP No.	STREET ADDRESS	DRIVEWAY SLOPE
20	415 WARBURTON AVE.	29%
15	431 WARBURTON AVE.	21%
12	439 WARBURTON AVE.	23%
5	453 WARBURTON AVE.	16%
	7-15 RIDGE STREET *	16%
* MOST SIMILAR TO 15% DRIVEWAY PROPOSED AT 425 WARBURTON		

ZONING DISTRICT: MR-O				
MAP No.	STREET ADDRESS	ZERO LOT LINE AT FRONT YARD	ZERO LOT LINE AT SIDE YARD	NOTES
1	467 WARBURTON AVE.	NO	YES	42% OF THE PROPERTIES IN THE MR-O ZONING DISTRICT HAVE A ZERO FRONT PROPERTY LOT LINE (16 OUT OF 38 TOTAL PROPERTIES)
2	463 WARBURTON AVE.	YES	YES	
3	461 WARBURTON AVE.	YES	YES	
4	457 WARBURTON AVE.	NO	YES	
5	453 WARBURTON AVE.	NO	YES	
6	451 WARBURTON AVE.	NO	YES	
7	449 WARBURTON AVE.	YES	YES	
8	447 WARBURTON AVE.	YES	YES	
9	445 WARBURTON AVE.	NO	YES	
10	443 WARBURTON AVE.	NO	YES	
11	441 WARBURTON AVE.	NO	YES	
12	439 WARBURTON AVE.	YES	YES	
13	437 WARBURTON AVE.	NO	NO	
14	433 WARBURTON AVE.	NO	YES	
15	431 WARBURTON AVE.	YES	YES	
16	427 WARBURTON AVE.	NO	YES	63% OF THE PROPERTIES IN THE MR-O ZONING DISTRICT HAVE A ZERO SIDE PROPERTY LOT LINE (24 OUT OF 38 TOTAL PROPERTIES)
* 17	425 WARBURTON AVE.	YES	YES	
18	419 WARBURTON AVE.	YES	YES	
19	417 WARBURTON AVE.	YES	YES	
20	415 WARBURTON AVE.	NO	NO	
21	411 WARBURTON AVE.	NO	NO	
22	407 WARBURTON AVE.	NO	NO	
23	405 WARBURTON AVE.	NO	NO	
24	395 WARBURTON AVE.	YES	YES	
25	385 WARBURTON AVE.	YES	NO	
26	378 WARBURTON AVE.	NO	NO	
27	380 WARBURTON AVE.	NO	NO	
28	384 WARBURTON AVE.	NO	YES	
29	388 WARBURTON AVE.	NO	YES	
30	390 WARBURTON AVE.	NO	NO	
31	400 WARBURTON AVE.	YES	YES	
32	402 WARBURTON AVE.	YES	NO	
33	406 WARBURTON AVE.	YES	NO	
34	6 DIVISION STREET	YES	NO	
35	422 WARBURTON AVE.	YES	NO	
36	446 WARBURTON AVE.	NO	NO	
37	450 WARBURTON AVE.	NO	YES	
38	460 WARBURTON AVE.	NO	YES	

* APPLICANT

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

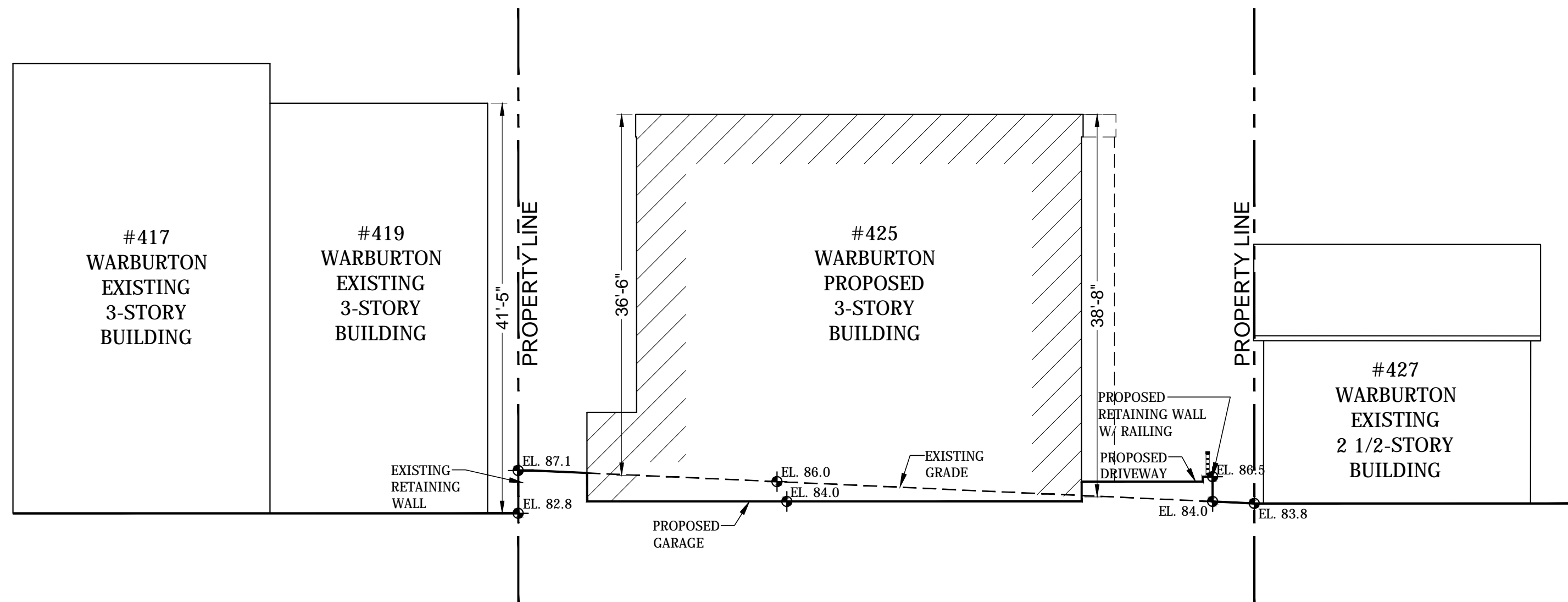
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	ZONING BOARD SUBMISSION	9-23-16
	PLANNING BOARD - ALT. SCHEME	10-19-16
	PLANNING BOARD REVISIONS	11-3-16
	PLANNING BOARD REVISIONS	12-9-16
Date	ZONING BOARD SUBMISSION	2-23-17
	ZONING BOARD SUBMISSION	5-11-17
Christina Griffin Architect PC 10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 tel 914.478.0806 fax www.christinagriffinarchitect.com		
Scale: AS SHOWN		



C
S-4

SITE SECTION

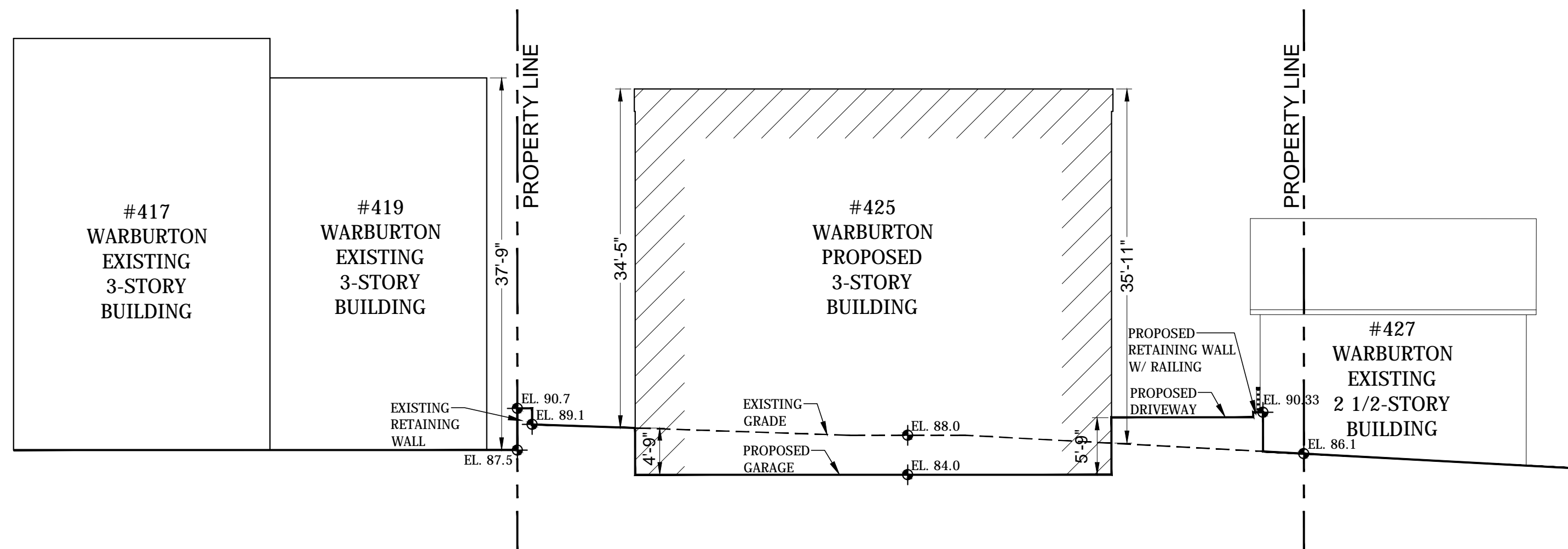
SCALE: 3/32" = 1'-0"



B
S-4

SITE SECTION

SCALE: 3/32" = 1'-0"



A
S-4

SITE SECTION

SCALE: 3/32" = 1'-0"

NEW 3-UNIT RESIDENTIAL BUILDING AT

425 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street

Hastings-on-Hudson, New York 10706

914.478.0799 tel 914.478.0806 fax

www.christinagriffinarchitect.com

Drawing Title: SECTIONS THROUGH SITE

PLANNING BOARD SUBMISSION: 2-23-17

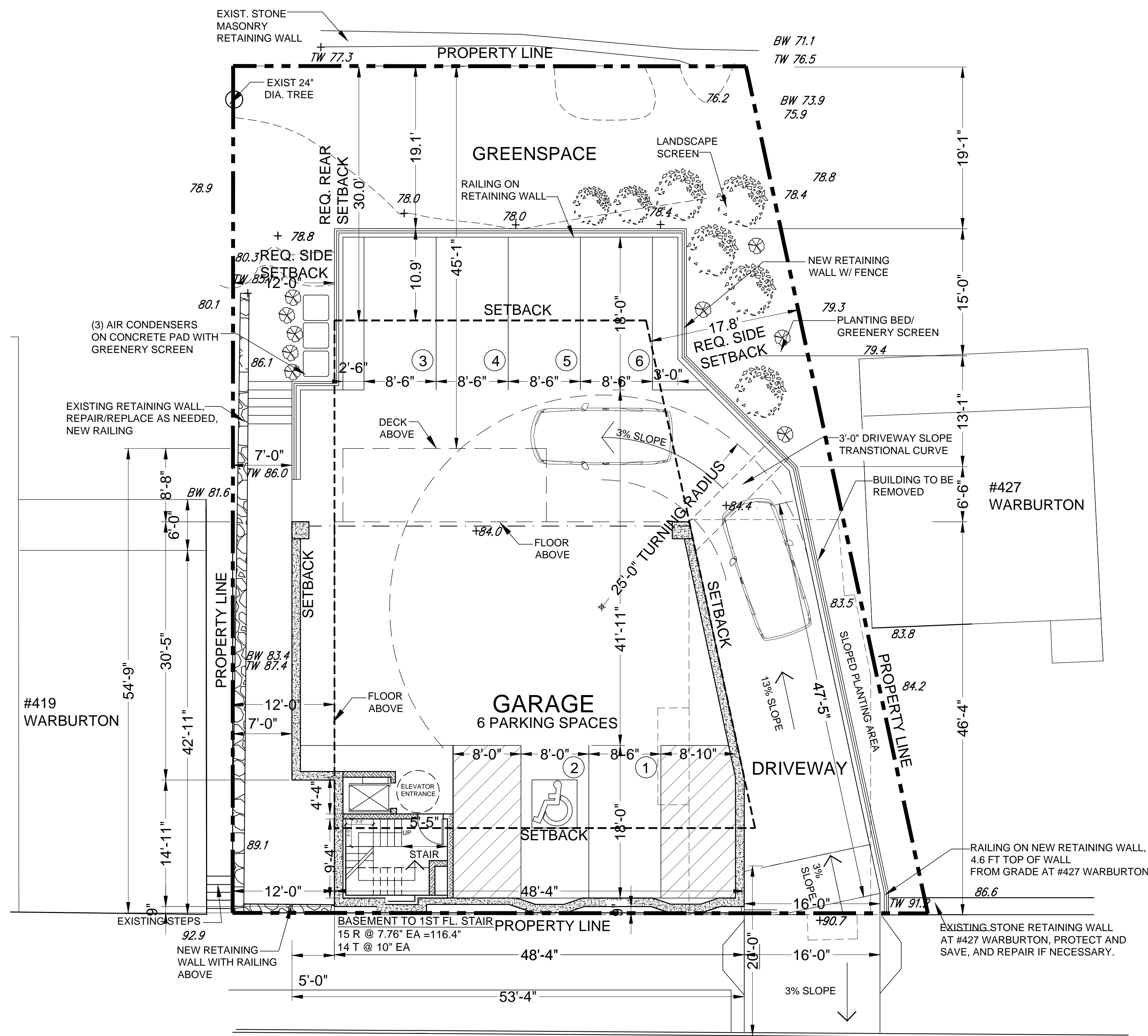
ZONING BOARD SUBMISSION: 2-23-17

ZONING BOARD SUBMISSION: 5-11-17

Date: 5-11-17

Scale: AS SHOWN

S-4



GARAGE PLAN

SCALE: 1/8" = 1'-0"

SIDE 1 YARD CALCULATION (NORTH PROPERTY LINE)

HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY LINE / 2 = SIDE YARD SETBACK (MIN. 12.0')

WALL A: 33.8 AVG HT X 19.0 L = 642
WALL B: 36.9 AVG HT X 27.0 L = 996
TOTAL 1,638
1,638 / 46.0 (TOTAL LENGTH OF WALLS A+B)
= 35.6 FT WALL HT FROM AVG. EXIST. GRADE

35.6 / 2 = 17.8 FT

17.8 FT = REQUIRED SIDE YARD SETBACK

SIDE 2 YARD CALCULATION - GARAGE WALL (SOUTH PROPERTY LINE)

HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY LINE / 2 = SIDE YARD SETBACK (MIN. 12.0')

WALL A: 6.6' AVG HT X 16.8' L = 110.9
WALL B: 4.6' AVG HT X 13.7' L = 63.0
TOTAL 173.9
174 / 30.4 (TOTAL LENGTH OF WALLS A+B)
= 5.7 FT WALL HT FROM AVG. EXIST. GRADE

5.7 / 2 = 2.9 FT

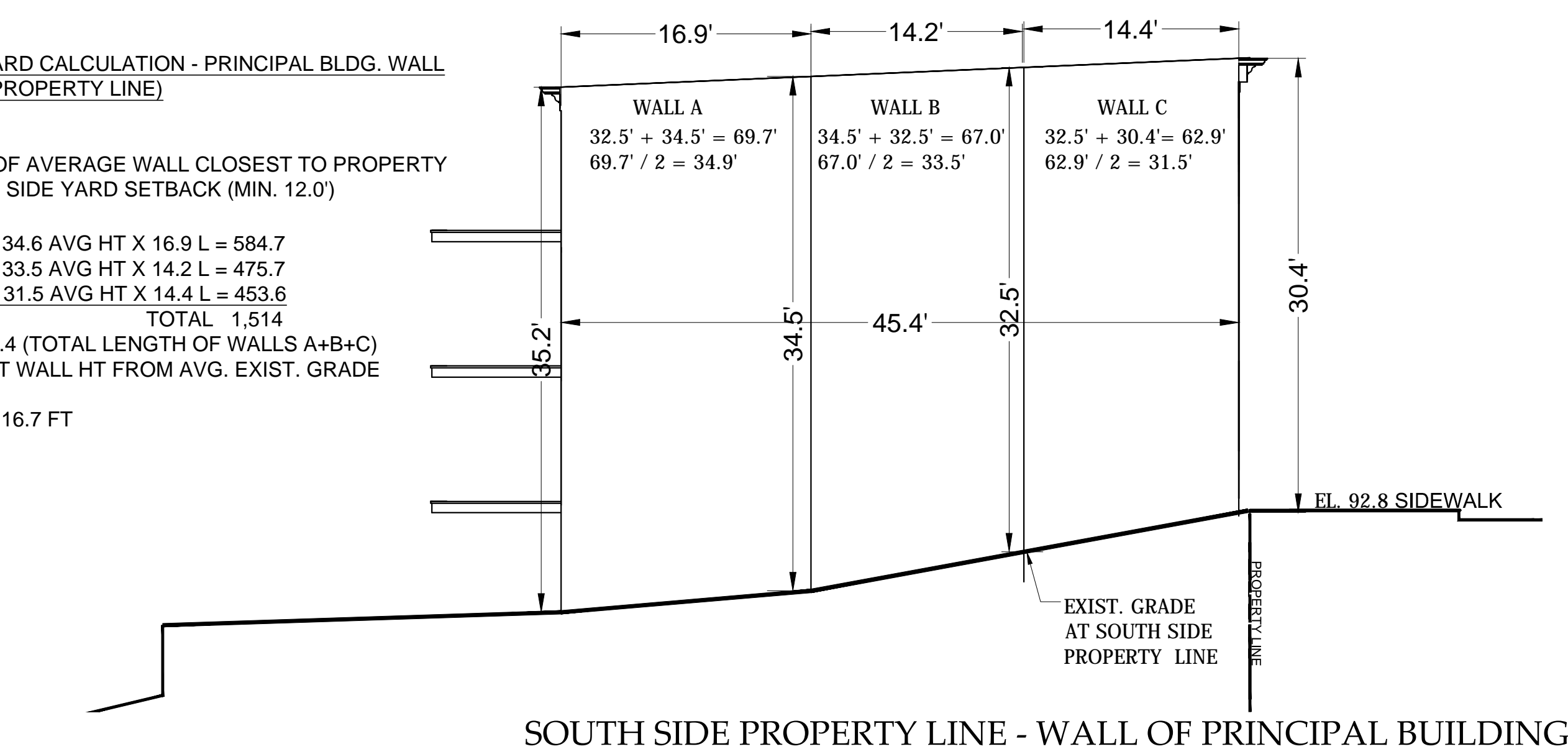
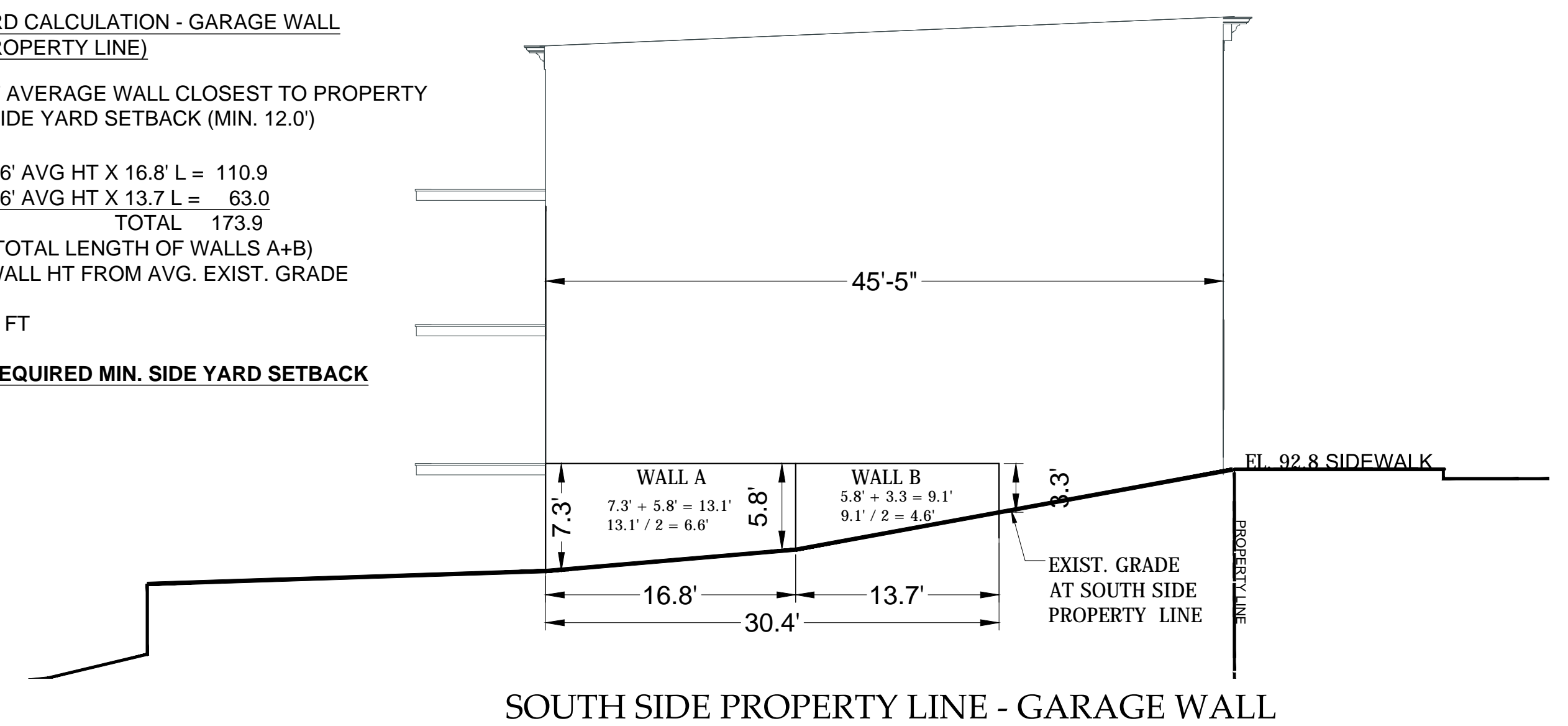
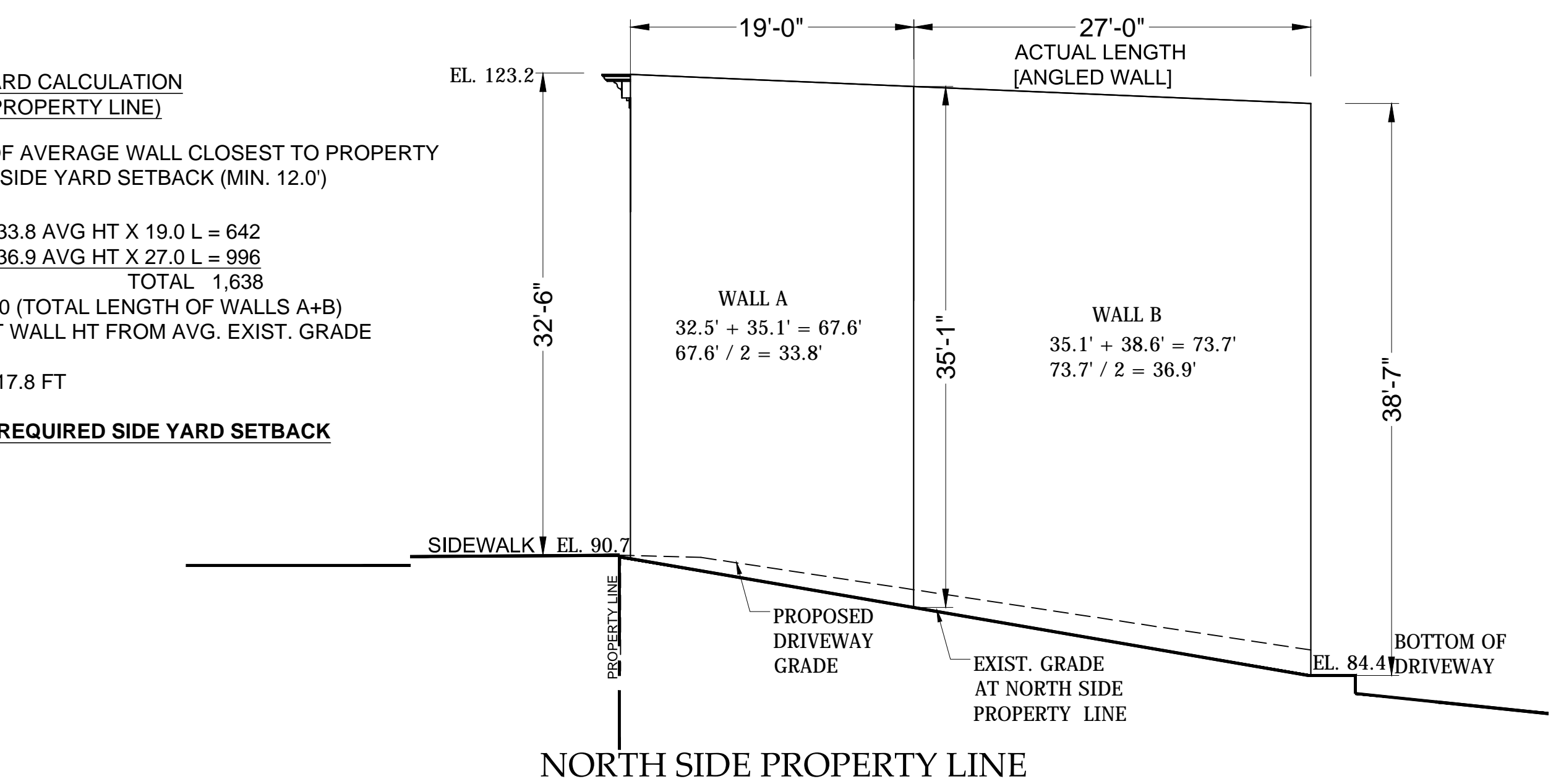
12.0 FT = REQUIRED MIN. SIDE YARD SETBACK

SIDE 2 YARD CALCULATION - PRINCIPAL BLDG. WALL (SOUTH PROPERTY LINE)

HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY LINE / 2 = SIDE YARD SETBACK (MIN. 12.0')

WALL A: 34.6 AVG HT X 16.9 L = 584.7
WALL B: 33.5 AVG HT X 14.2 L = 475.7
WALL C: 31.5 AVG HT X 14.4 L = 453.6
TOTAL 1,514
1,514 / 45.4 (TOTAL LENGTH OF WALLS A+B+C)
= 33.3 FT WALL HT FROM AVG. EXIST. GRADE

33.3 / 2 = 16.7 FT



SIDE YARD CALCULATION DIAGRAMS

SCALE: 1/8" = 1'-0"

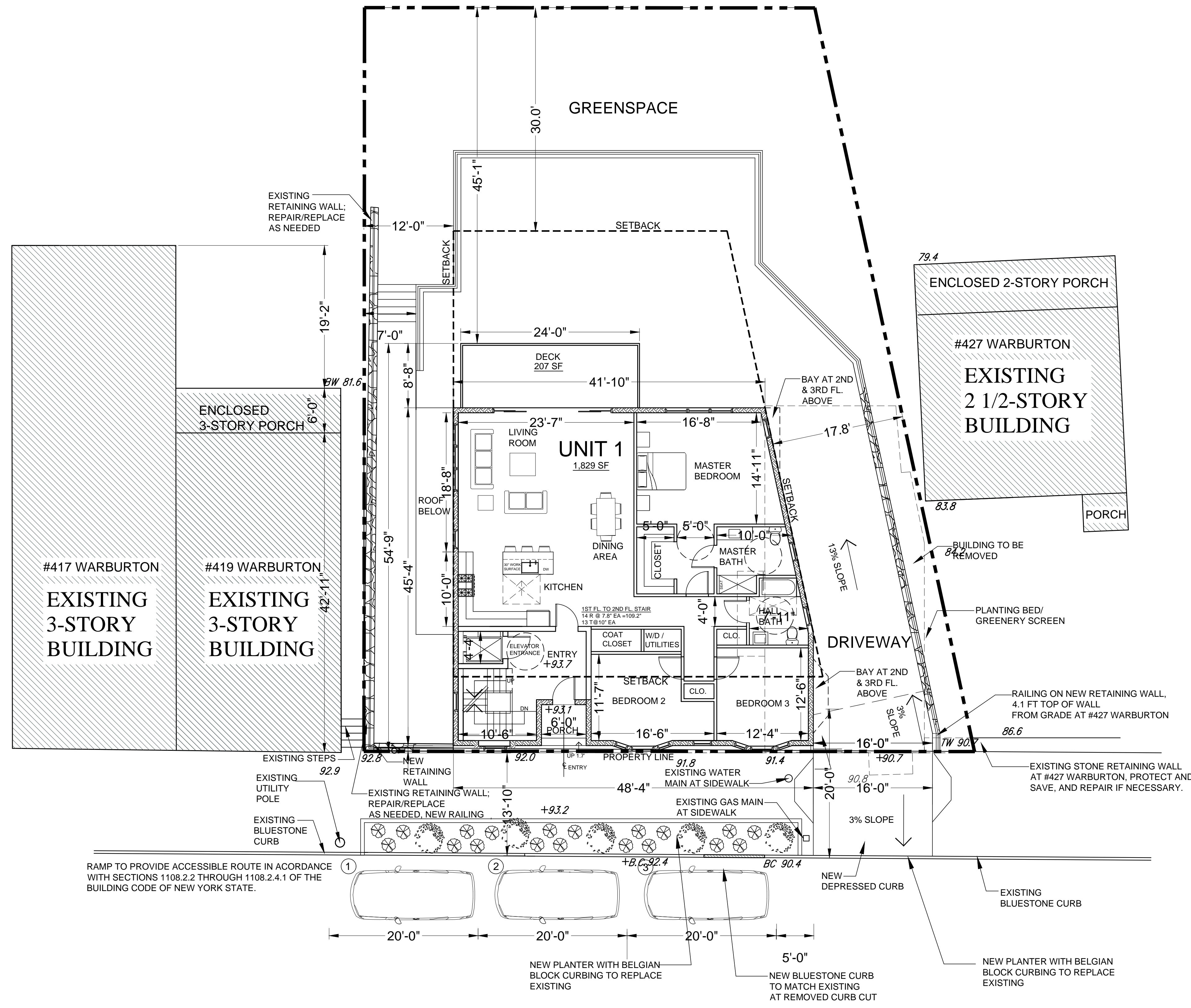
NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street
Hastings-on-Hudson, New York 10706
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Date	Planning Board Submission	9-23-16
Drawing Title	FLOOR PLANS	
Planning Board Submission	9-23-16	
Zoning Board Submission	10-19-16	
Planning Board - Alt. Scheme	11-3-16	
Planning Board Revisions	12-9-16	
Planning Board Submission	2-2-17	
Zoning Board Submission	2-23-17	
Scale:	AS SHOWN	
Zoning Board Submission	5-11-17	

A-1



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR AREA CALCULATIONS		
	FINISHED FLOOR AREA	DECK AREA
UNIT 1	1,829 SF	207 SF
UNIT 2	1,951 SF	207 SF
UNIT 3	1,951 SF	207 SF
TOTAL	5,731 SF	621 SF

NEW 3-UNIT RESIDENTIAL BUILDING AT

425 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

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Date

PLANNING BOARD SUBMISSION 9-23-16

ZONING BOARD SUBMISSION 9-23-16

PLANNING BOARD - ALT. SCHEME 10-19-16

PLANNING BOARD REVISIONS 11-3-16

PLANNING BOARD SUBMISSION 12-9-16

ZONING BOARD SUBMISSION 2-23-17

ZONING BOARD SUBMISSION 5-11-17

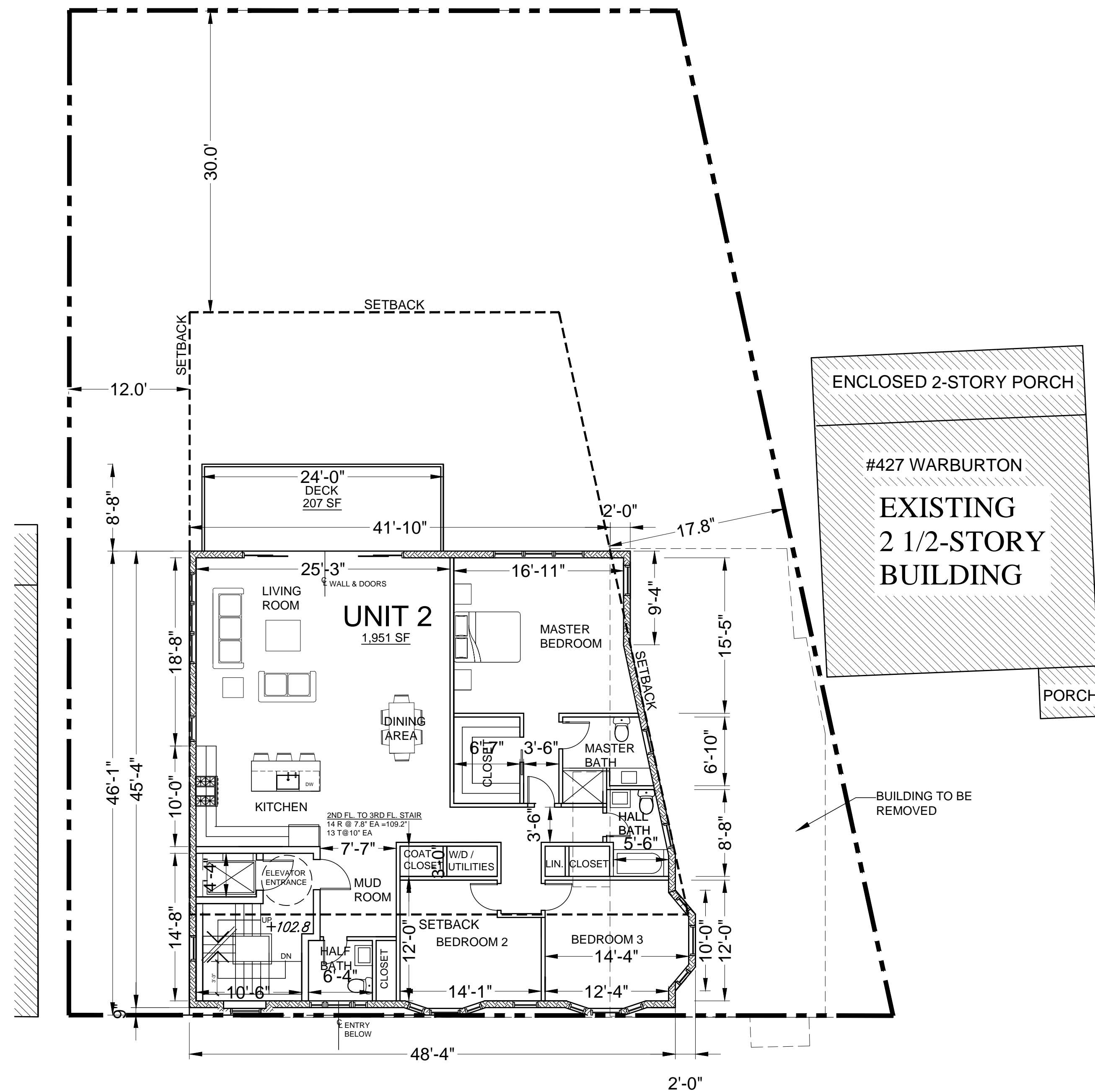
Drawing Title

FLOOR PLANS

Scale

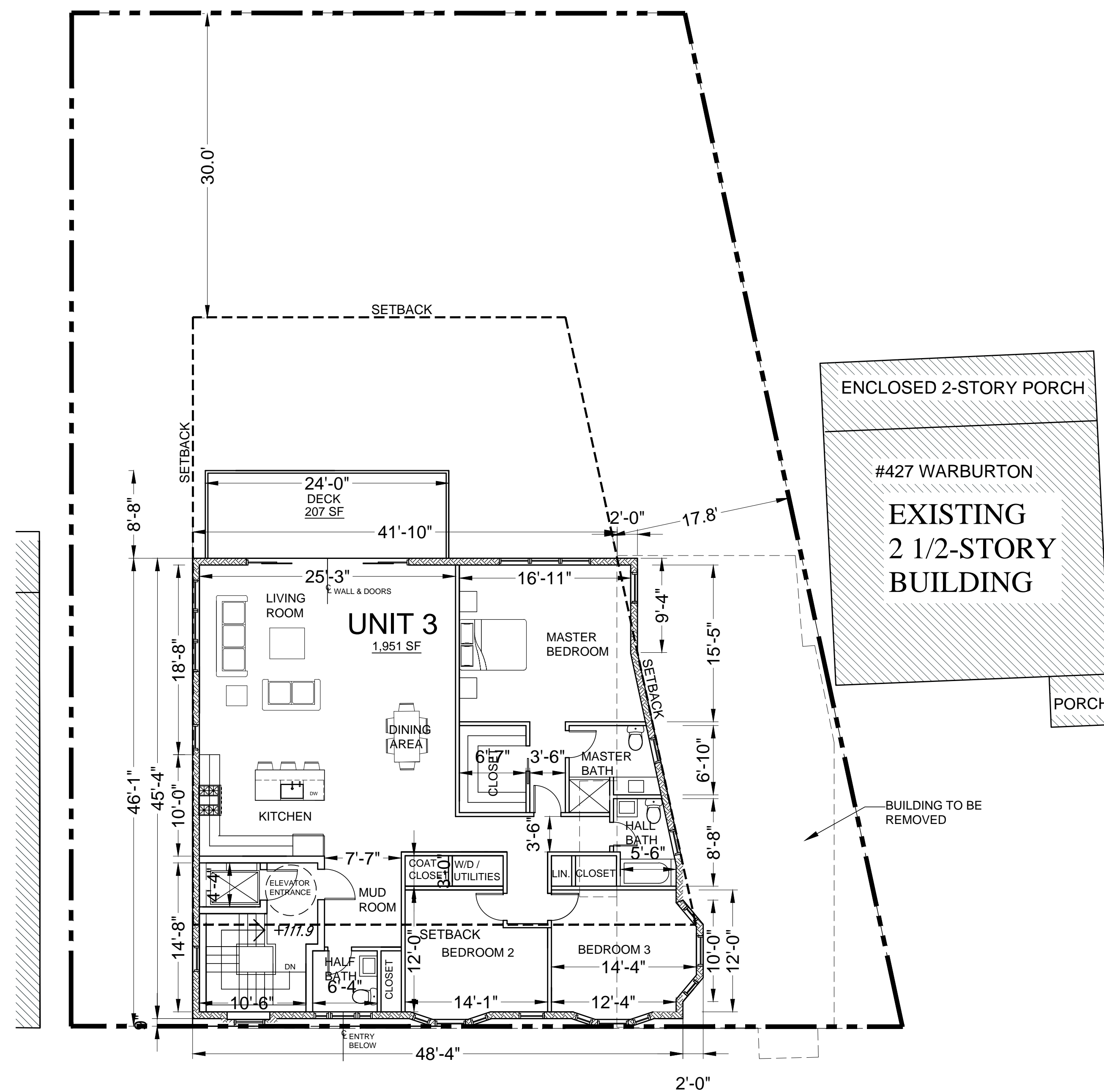
AS SHOWN

A-2



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR AREA CALCULATIONS		
	FINISHED FLOOR AREA	DECK AREA
UNIT 1	1,829 SF	207 SF
UNIT 2	1,951 SF	207 SF
UNIT 3	1,951 SF	207 SF
TOTAL	5,731 SF	621 SF

#419
WARBURTON
EXISTING
3-STORY
BUILDING

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

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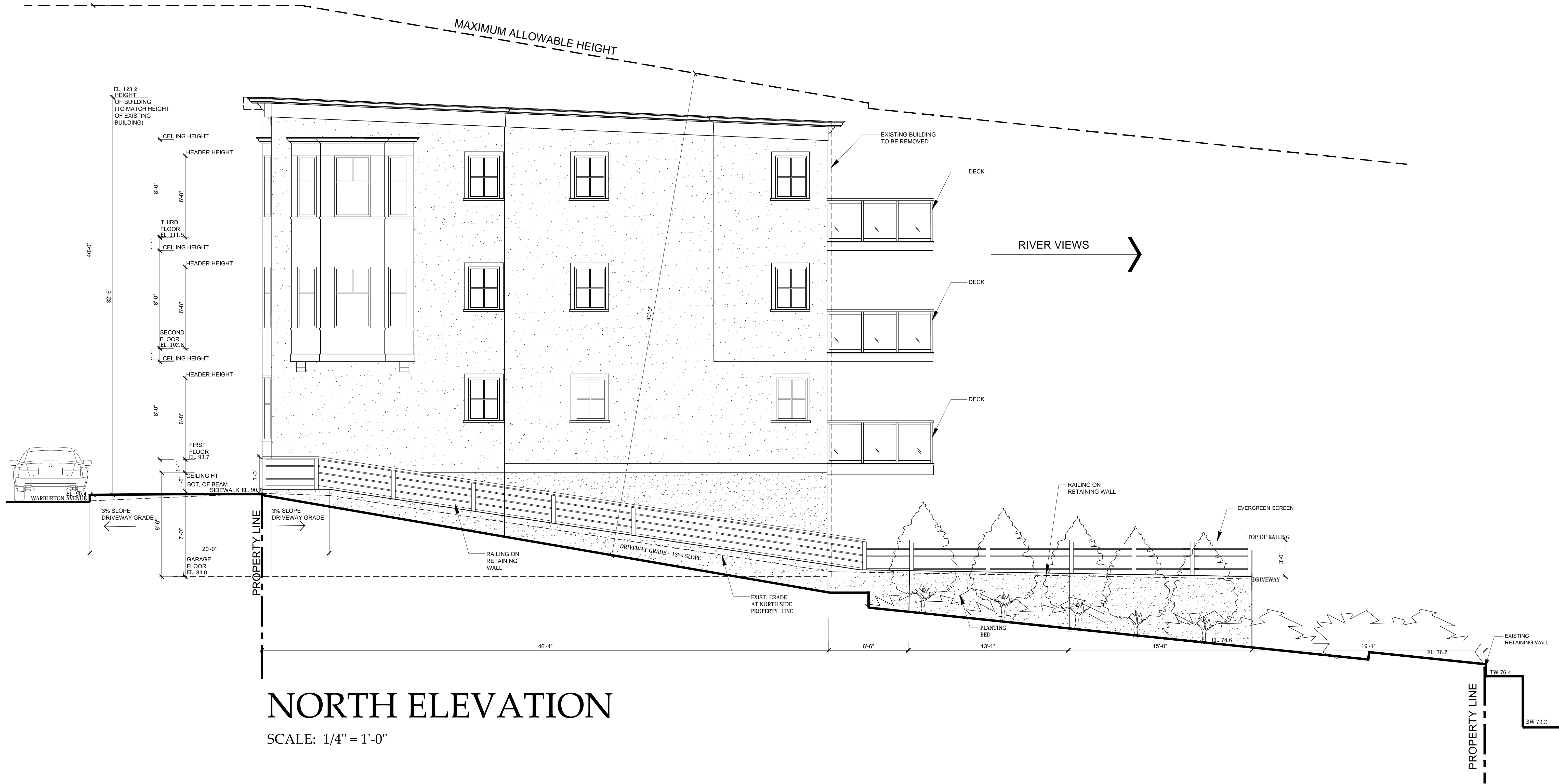
Date	
9-29-16	PLANNING BOARD SUBMISSION
9-29-16	ZONING BOARD SUBMISSION
10-19-16	PLANNING BOARD - ALT. SCHEME
11-3-16	PLANNING BOARD REVISIONS
12-9-16	PLANNING BOARD REVISIONS
2-2-17	PLANNING BOARD SUBMISSION
2-23-17	ZONING BOARD SUBMISSION
5-14-17	ZONING BOARD SUBMISSION

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Scale:
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A-4





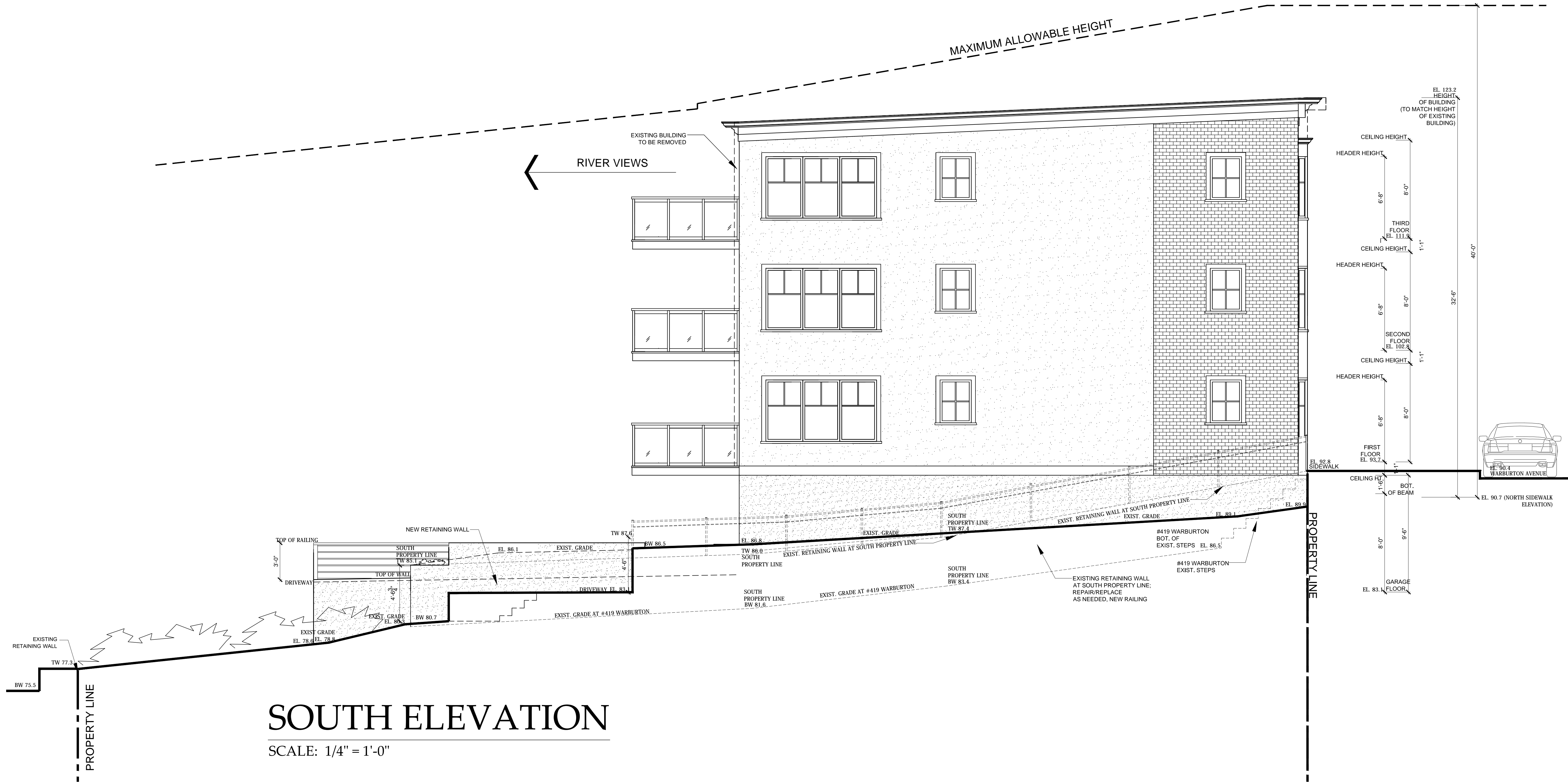
NORTH ELEVATION

SCALE: 1/4" = 1'-0"

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

Drawing Title ELEVATIONS	PLANNING BOARD SUBMISSION	9-23-16
	ZONING BOARD SUBMISSION	9-23-16
	PLANNING BOARD - ALT. SCHEME	10-19-16
	PLANNING BOARD REVISIONS	11-3-16
	PLANNING BOARD REVISIONS	12-9-16
Scale: AS SHOWN	PLANNING BOARD SUBMISSION	2-2-17
	ZONING BOARD SUBMISSION	2-23-17

A-5



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

Christina Griffin Architect PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Date	Submission	Revision
9-23-16	PLANNING BOARD SUBMISSION	9-23-16
9-23-16	ZONING BOARD SUBMISSION	9-23-16
10-19-16	PLANNING BOARD - ALT. SCHEME	10-19-16
11-3-16	PLANNING BOARD REVISIONS	11-3-16
12-9-16	PLANNING BOARD REVISIONS	12-9-16
2-2-17	PLANNING BOARD SUBMISSION	2-2-17
2-23-17	PLANNING BOARD SUBMISSION	2-23-17
5-11-17	ZONING BOARD SUBMISSION	5-11-17

Drawing Title
ELEVATIONS

Scale:
AS SHOWN

May 11, 2017

Members of the Hastings Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: Proposed 3-Unit Residential Building at 425 Warburton Avenue

To the Members of the Zoning Board of Appeals:

As the Architect representing Tabi Realty LLC, the owner of 425 Warburton Avenue, I am submitting the attached revised drawings, dated May 11, 2017, describing a new three-story, three-unit residential building to replace an existing three-family residence, Zoning Board review. Our revised submission consists of the following drawings:

- Letter from Mastrogiacomo Engineering, P.C., dated May 11, 2017.regarding the site layout design analysis
- A-0 Cover Sheet
- C-200 Site Layout Plan – by Mastrogiacomo Engineering
- C-201 Site Grading & Utility Plan – by Mastrogiacomo Engineering
- S-1 Removals Plan, Site Plan, Zoning
- S-2 Sections through the Site
- S-3 Zoning Study
- S-4 Sections through the Site
- A-1 Garage Plan, Side Yard Calculations
- A-2 First Floor Plan
- A-3 Second & Third Floor Plan
- A-4 - A-7 Exterior Elevations
- Drawings showing previous submission to the Planning Board (see 11" x 17" sheets)

I am requesting that the Zoning Board of Appeals grant the following variances from the Hastings Zoning Code:

1. Variance from Section 295-72.1E.1a - Front Yard Setback for MR-O Zone

We are requesting a variance for a front yard setback of 0 ft. Keeping the building close to the property line reduces impact on views from neighboring properties to the north and south, and also from uphill properties to the east.

2. Variance for Section 295-72.1E.1b – Rear Yard Setback for MR-O Zone

We are requesting a variance for a rear yard setback of 19.1 ft. to the parking area, which is 10.9 ft. closer to the rear property line than the 30 ft. allowed. We are requesting a rear yard variance in order to meet the parking requirement for 6 cars with a 25-foot turning radius for the exterior parking and at the entrance of the garage. Note that the principal building and decks meet the rear yard setback.

3. Variance from Section 295-72.1E.1c - Side Yard Setback for MR-O Zone

We are requesting a variance for a side yard setback of 7.0 ft. on the south side of the building to the garage level. The first, second and third floors meet the side yard setback of 12.0 ft.

4. Variance from Section 295-40.B(1) - Driveway Slope

We are requesting a variance for a 13% slope at the proposed driveway, in order to allow parking below the townhouses and a lower building height.

5. Variance from Section 295-40.B(2) - Driveway Slope within 30 ft. of Property Line

We are requesting a variance for a 3% slope for 5.6 ft and 13% for 24.4 ft. of the 30 feet required of 3% slope from the property line at the proposed driveway, in order to allow parking below the townhouses and a lower building height.

6. Variance from Section 295-41.A - Driveway Size

We are requesting a variance for a driveway with an area of 1,506 sf., which is 546 sf. over the allowed maximum area of 960 sf, in order to allow parking below the townhouses and a lower building height.

7. Variance for Section 295-29.A - Parking Space Size

We are requesting a variance for reducing the width of the parking space to 8'-6", in order to reduce the size of the garage.

8. Variance for Section 295-20.C(2 & 4) - No Paving in a Required Yard

We are requesting a variance for parking in a required yard, in order to meet the parking requirement for 6 cars with a 25-foot turning radius for the exterior parking and at the entrance of the garage.

In response to comments made by the Zoning Board at the meeting on March 23, 2017, the following information has been provided:

1. Michael Mastrogiacomo, the civil engineer for the project, prepared a letter to describe his analysis of the site, and to address the driveway slope, traffic circulation and related safety concerns, and layout of the parking spaces, see letter from Mastrogiacomo Engineering, P.C., dated May 11, 2017, attached. Note that the engineer was able to reduce the driveway slope from 15% to 13%, without changing the height of the building, important to impact on view. We also asked the engineer to explore ways to reduce the size of the parking area which is the reason we need to obtain side and rear yard variances. Please see his explanation for why a reduction in the size of the parking area was not feasible.
2. Civil engineering drawings have been submitted to show civil engineering aspects of the project relative to the variances required for the driveway, side yard setback to the garage, and rear yard setback to the parking area. See Drawings C-200 Site Layout Plan, and C-201 Site Grading & Utility Plan, attached.

3. After careful analysis and discussion with the civil engineer, we have exhausted all the possibilities creating on-site parking for three units, without the need for zoning variances. Please note that existing building that will be removed has the same number of residential units as proposed, but has no parking area on-site for the residents. A major benefit of our proposal is to provide parking on the property, reducing the burden on parking spaces for residents on Warburton Avenue.
4. Architectural Drawings, S-1 - S-4, A-1 - A-7, attached, have been revised to coordinate with the civil engineering drawings.
5. We are submitting the previous schemes reviewed by the Planning Board, see Drawings attached, printed on 11" x 17" paper. Note that the original scheme provided a front yard setback. Due to the concern of the impact on view, we met with four neighbors affected by the proposed development. After several months of meetings and exploration of various schemes, options, we concluded that the zero front yard was the only way to avoid a decrease in the view of the river and palisades from neighbors uphill from the property.

Note that the existing building and many neighboring buildings aligns with the front property line. The zero front yard is a pattern characteristic of the neighborhood.

I appreciate your understanding of our request for these variances, and look forward to presenting the drawings at the next Zoning Board of Appeals meeting. Thank you for your review of our proposal.

Sincerely,

A handwritten signature in black ink, reading "Christina Griffin". The signature is fluid and cursive, with the first name "Christina" and last name "Griffin" clearly distinguishable.

Christina Griffin AIA LEED AP

cc: Tabi Realty LLC

11 May 2017

Christina Griffin AIA
Christina Griffin Architect PC
10 Spring Street
Hastings-On-Hudson, New York 10706

Re: Site Layout Design Analysis for
Proposed Three Family Residence at
425 Warburton Avenue, Hastings-On-Hudson, New York

Dear Christina Griffin:

As per your request we have reviewed the original site design prepared by your office and have completed our final site engineering design for the proposed project. We followed your general design but also looked into any possible alternatives to help reduce the amount/size of the variances you are requesting by the municipality. Some aspects in the original design we were able to reduce the impact of the variance, however, other design elements were not able to be reduced due to other factors. Each item is discussed in detail below.

In going thru the grading analysis of the driveway we started with the 15% slope as per your original design. In holding the 20ft deep entrance area at the street side with a 3% slope, we were able to soften the grade of the driveway and reduce the slope to a 13.0% slope. This regarding decreases the amount of the variance being obtained and also creates a safer driveway and ensures that the vehicles entering and exiting the driveway will not "bottom out" at the top area.

The newly graded driveway also provides a safer sight distance as vehicles are exiting the property. With designing a 16'-0" wide by 20'-0" deep area at the curb cut with a 3% slope, vehicles exiting the property sit even with the road pavement which allows for a more affective sight distance both directions therefore creating a safer site condition. This design is a more approvable approach with the Westchester County Department of Public Works and we are very confident that the Westchester County Department of Public Works will approve the design.

The lower area parking area and turning radius was also analyzed to see if the garage area and outdoor parking area can be reduced. We have studied the turning area for vehicles coming down the driveway and turning into the garage area to park. The required 25'-0" turning radius, required by the municipality, properly allow for vehicle entry into the garage with no additional maneuvering required. The lot width constricts the width of the building allowed on the lot and that width was analyzed and was found to not allow a smooth entry with a vehicle. Currently the width of the building proposed allows for safe maneuverability of vehicles into and out of the garage area. Any changes in width, even minimal changes, will constrict proper flow. The depth of the garage was also analyzed to verify if any changes could be made to reduce the variance requested. It was found that in changing the depth of the garage would also make the driveway grade steeper and therefore create a less safe driveway and sight distance issues. The layout of the proposed garage level also dictates the layout of the outdoor parking area which will require a structural retaining wall. The grading at the bottom of the proposed retaining wall was modified to soften the height of the retaining wall from approximately six (6) feet in height down to approximately three (3) feet in height.

In conclusion, it appears that the overall site layout as per your original proposal contains the proper flow and alignment designs to maintain a safe living condition once the project is constructed. Some grading changes proposed by our office will compliment your design and fully make vehicle entry and maneuverability safe for occupants of the proposed residence.

If you have any questions, or if you need any additional information, please do not hesitate to call me at (914) 920-6372. I can also be reached via electronic mail at michaelm@masengpc.com.

Sincerely,

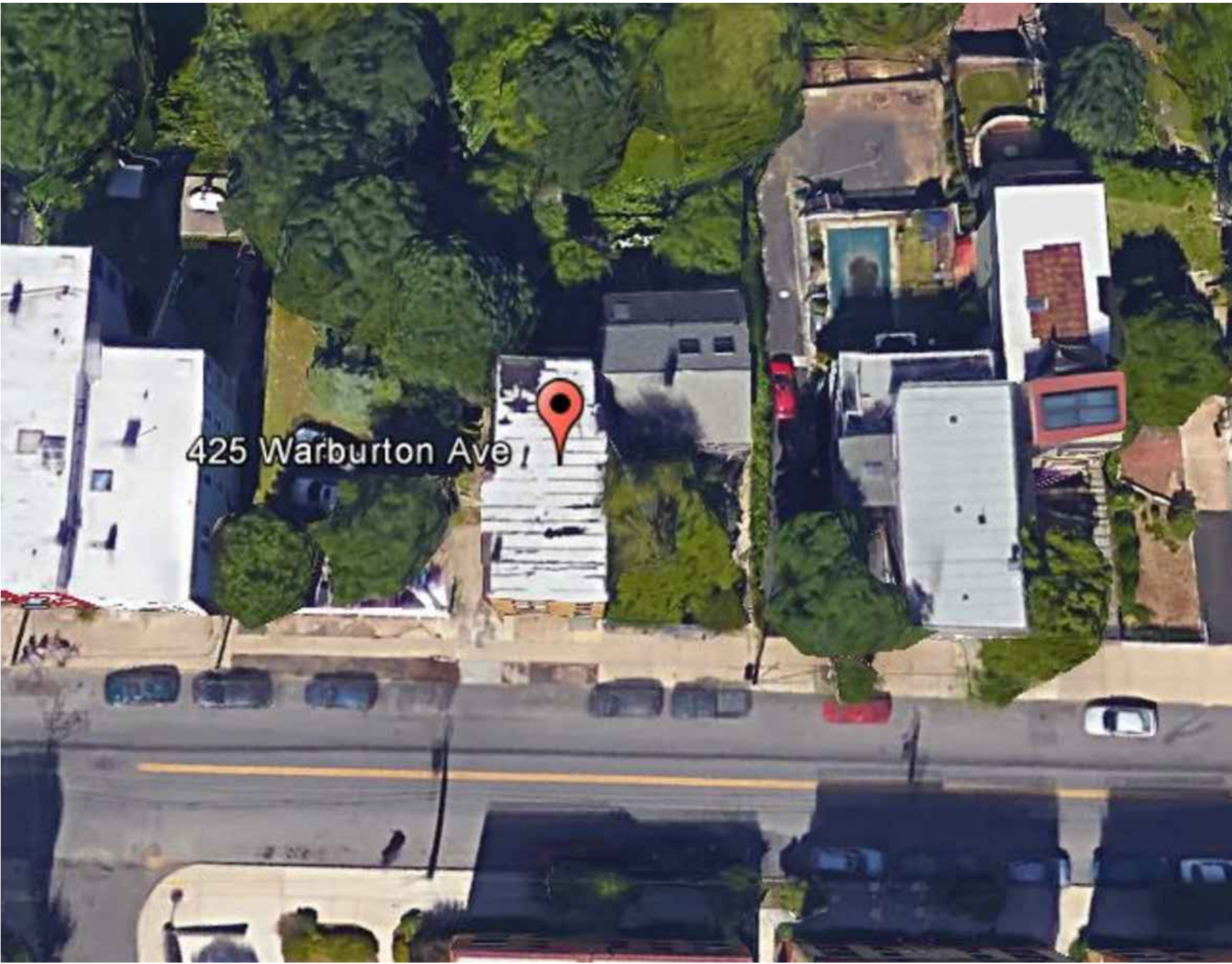

Michael Mastrogiacomo, P.E.



COVERAGE CALCULATIONS	
LOT AREA	7,124 SF / 0.16 AC
WALLS	119 SF
STEPS AT REAR	35 SF
PARKING / WASTE AREA	376 SF
BUILDING FOOTPRINT (WITH FRONT STEPS & WALK)	2,467 SF
BUILDING COVERAGE	2,997 SF / 42%
295-72.1.E3 ALL BUILDINGS AND STRUCTURES ON THE LOT SHALL TOGETHER NOT COVER MORE THAN 50% OF THE AREA OF THE LOT	
*SIDE YARD CALCULATION HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY LINE / 2	
SIDE 1 (NORTH ELEVATION) WALL A: 34.1 AVG HT X 30.8 L = 1,050.3 WALL B: 31.8 AVG HT X 11.3 L = 359.3 WALL C: 7.5 AVG HT X 3.0 L = 22.5 TOTAL 1,432.1	
SIDE 1 (SOUTH ELEVATION) WALL A: 38.3 AVG HT X 15.0 L = 589.5 WALL B: 36.0 AVG HT X 11.3 L = 406.8 WALL C: 12.7 AVG HT X 3.0 L = 38.1 TOTAL 1,034.4	
1,432.1 / 45.1 (TOTAL LENGTH OF WALLS A,B,C) = 31.8 FT WALL HT FROM AVG. EXIST. GRADE	
31.8 / 2 = 15.9 FT (REQUIRED SIDE YARD SETBACK)	

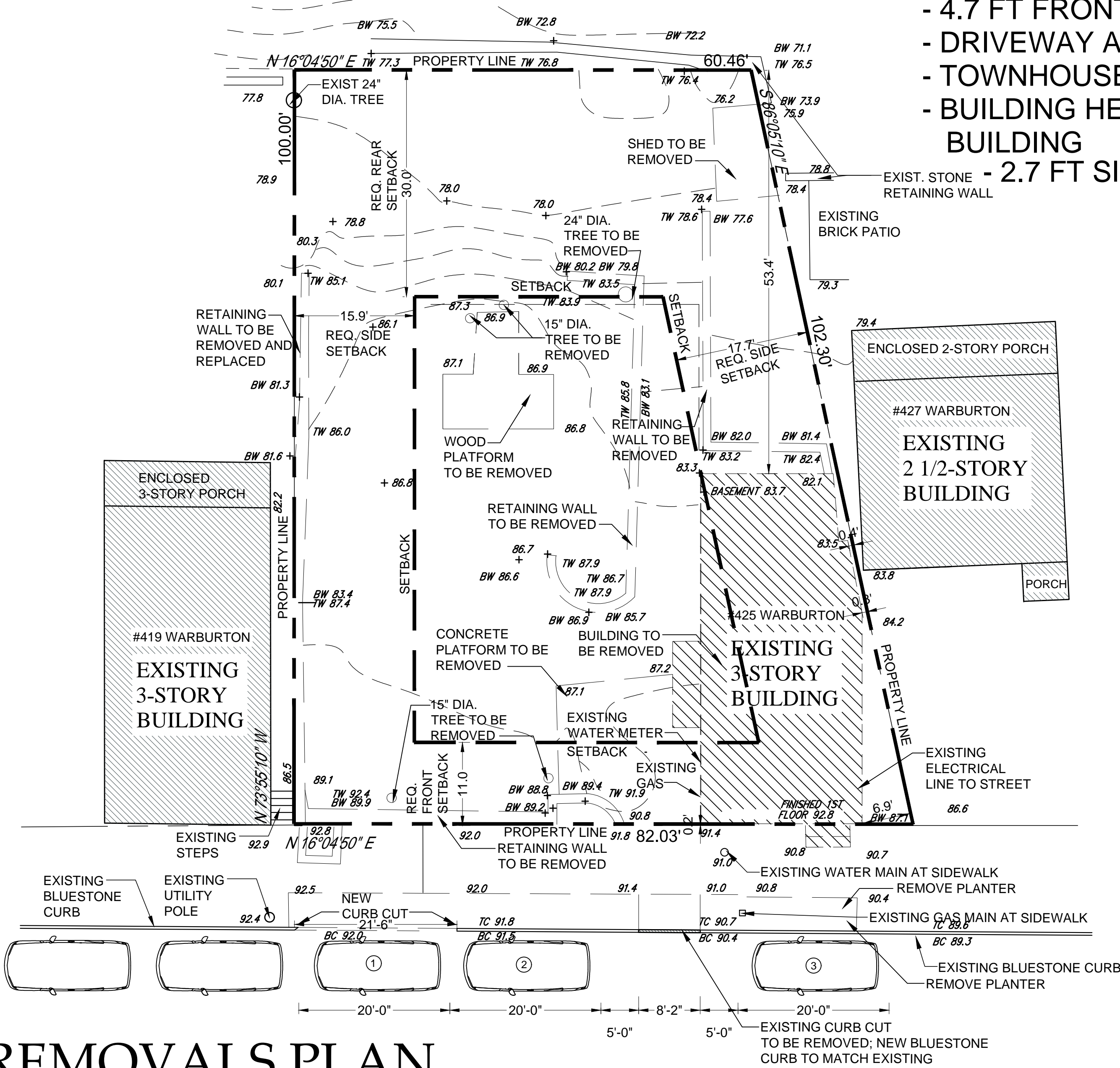
TABLE OF ZONING DATA	
REQUIRED	
LOT AREA	6,500 SF
LOT AREA PER UNIT	6,500 SF (5,000 SF FOR FIRST (2) UNITS + 1,500 SF FOR EACH ADD'L UNIT)
TOTAL OF DWELLING UNITS	-
LOT WIDTH FRONTAGE	50 FT
BUILDING COVERAGE	50% MAX
OPEN SPACE	-
FRONT YARD SETBACK	11 FT (10 FT + 1 FT FOR EVERY 10 FT OF BLDG. WIDTH OVER 50 FT)
REAR YARD SETBACK	30 FT
SIDE ONE	15.9 FT
SIDE TWO	17.7 FT
BUILDING HEIGHT	3-STORIES / 40 FT
PARKING SPACES	1 1/4 PER STUDIO, 1 1/2 PER 1 BEDRM., 1 3/4 PER 2-BEDRM., 2 PER 3-BEDRM. = 6
SIZE OF PARKING SPACES	9 FT WIDE, 18 FT LONG
DRIVEWAY AREA	960 SF
DRIVEWAY SLOPE AT FRONT OF PROPERTY LINE	MAXIMUM 3% WITHIN 30 FT OF FRONT PROPERTY LINE OR 50 FT OF CENTER OF STREET
DRIVEWAY SLOPE	MAXIMUM 8% (UP TO 12% AT DISCRETION OF PLANNING BD.)
DRIVEWAY SETBACK	5.0 FT FROM SIDE PROPERTY LINE

ZONING DISTRICT: MR-O	
EXISTING	
LOT AREA	7,124 SF
LOT AREA PER UNIT	7,124 SF
TOTAL OF DWELLING UNITS	3
LOT WIDTH FRONTAGE	82.03 FT
BUILDING COVERAGE	18 % (1,245 SF)
OPEN SPACE	+/-5,300 SF
FRONT YARD SETBACK	0.2 FT
REAR YARD SETBACK	53.4 FT
SIDE ONE	+/- 50.0 FT
SIDE TWO	0.3 FT
BUILDING HEIGHT	3-STORIES / 38.0 FT
PARKING SPACES	3 SPACES
SIZE OF PARKING SPACES	N/A
DRIVEWAY AREA	+/- 500 SF
DRIVEWAY SLOPE AT FRONT OF PROPERTY LINE	16% AT SIDE OF BLDG. (USED AS DRIVEWAY)
DRIVEWAY SLOPE	16% AT SIDE OF BLDG. (USED AS DRIVEWAY)
DRIVEWAY SETBACK	+/-43.0 FT. TO PAVED AREA USED AS DRIVEWAY



ORIGINAL PLANNING BOARD SUBMISSION - 9/29/16

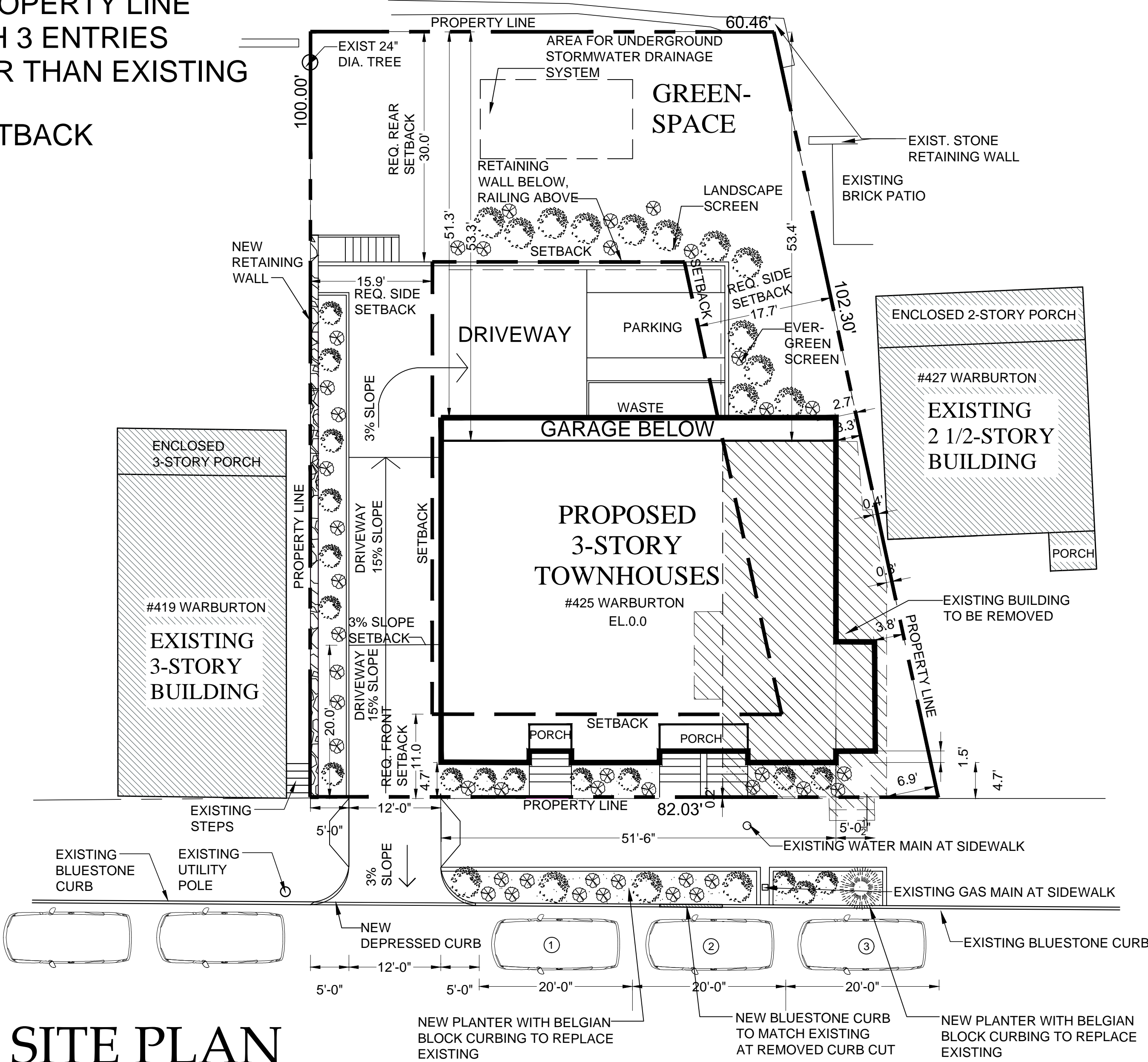
- 4.7 FT FRONT YARD SETBACK
- DRIVEWAY AT SOUTH PROPERTY LINE
- TOWNHOUSE UNITS WITH 3 ENTRIES
- BUILDING HEIGHT HIGHER THAN EXISTING BUILDING
- 2.7 FT SIDE YARD SETBACK



REMOVALS PLAN

SCALE: 3/32" = 1'-0"

WARBURTON AVENUE



SITE PLAN

SCALE: 3/32" = 1'-0"

WARBURTON AVENUE

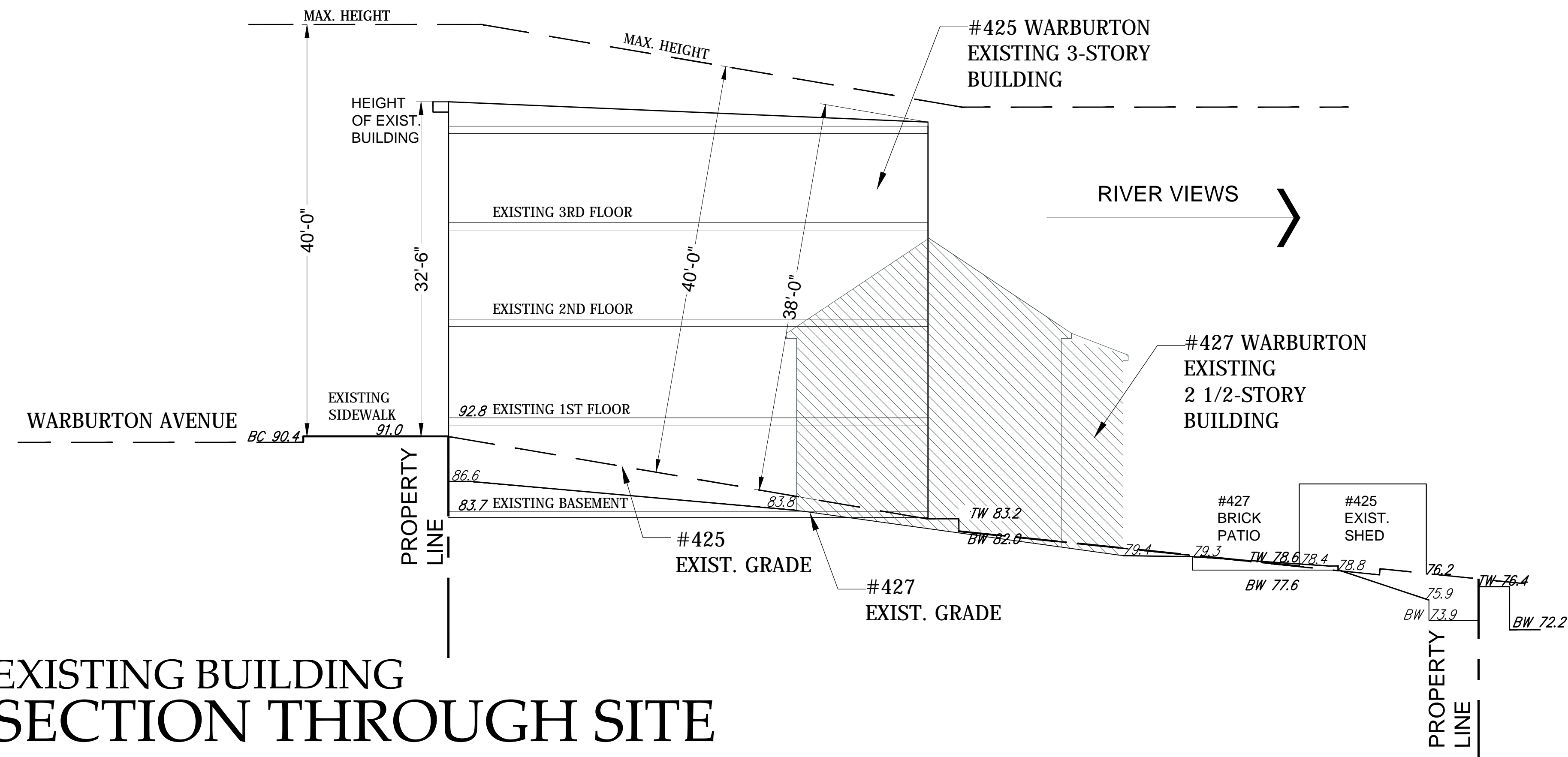
NEW TOWNHOUSES AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

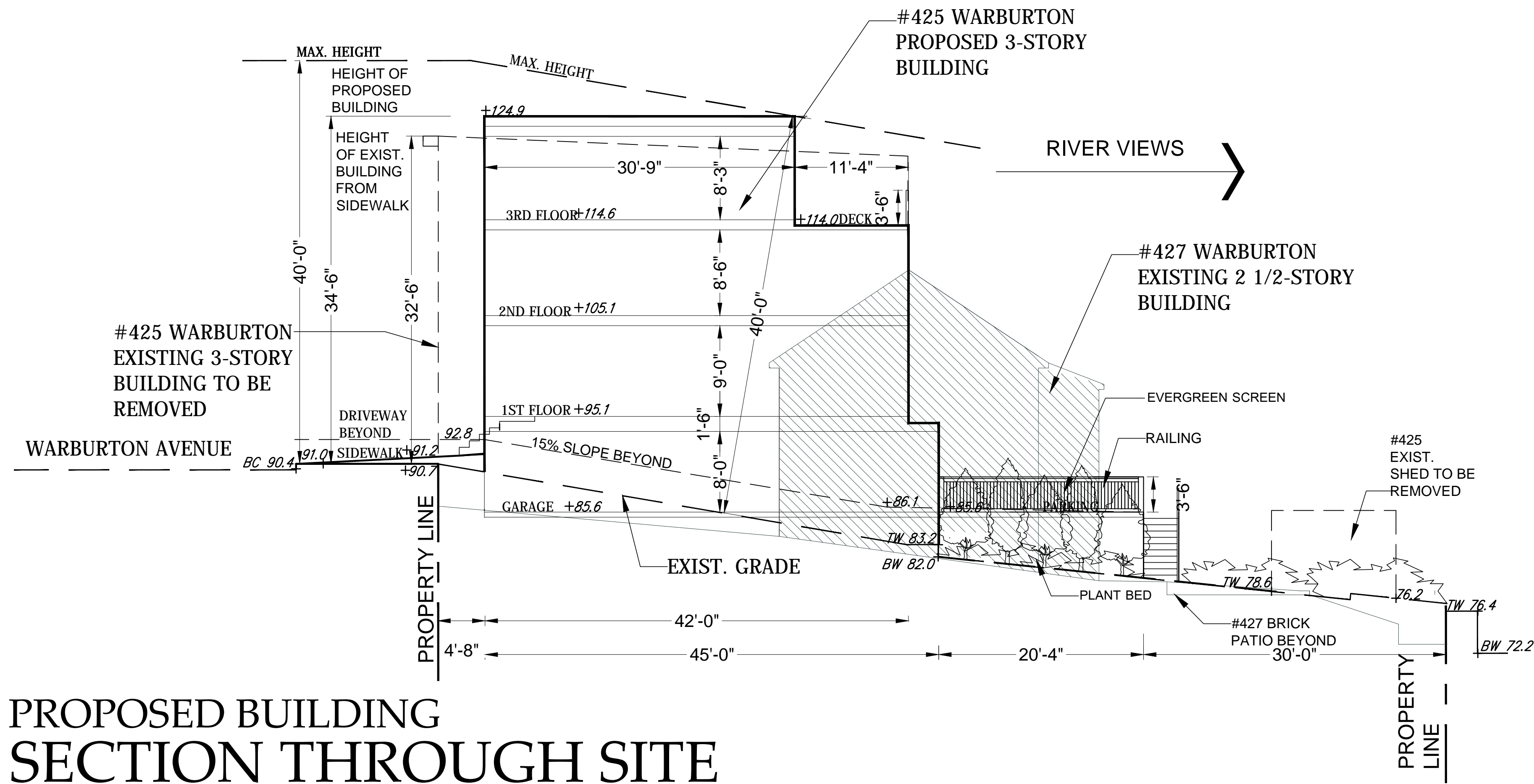
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PLANNING BOARD PRE SUBMISSION	9-29-16
PLANNING BOARD SUBMISSION	9-29-16
ZONING BOARD SUBMISSION	9-29-16
Drawing Title	REMOVALS PLAN
Scale	AS SHOWN

S-1



EXISTING BUILDING
SECTION THROUGH SITE

SCALE: 1/8" = 1'-0"

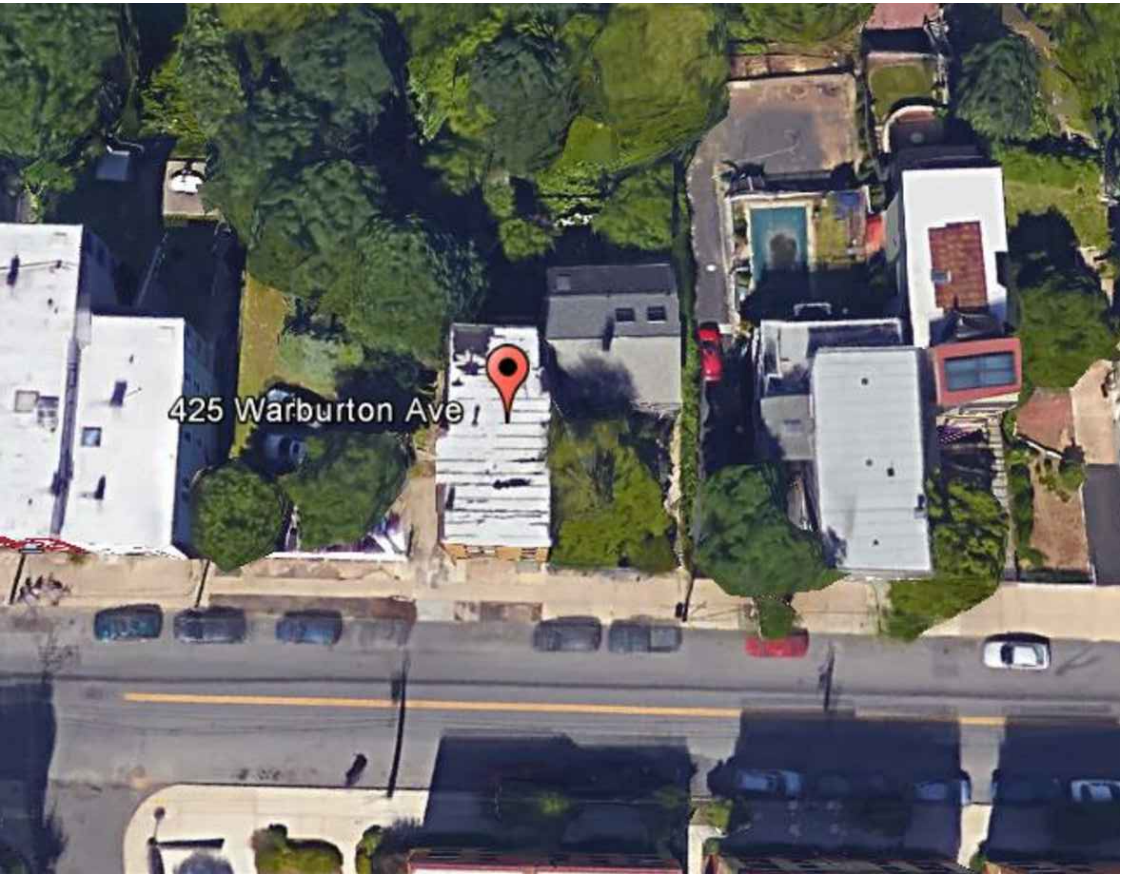


PROPOSED BUILDING
SECTION THROUGH SITE

SCALE: 1/8" = 1'-0"

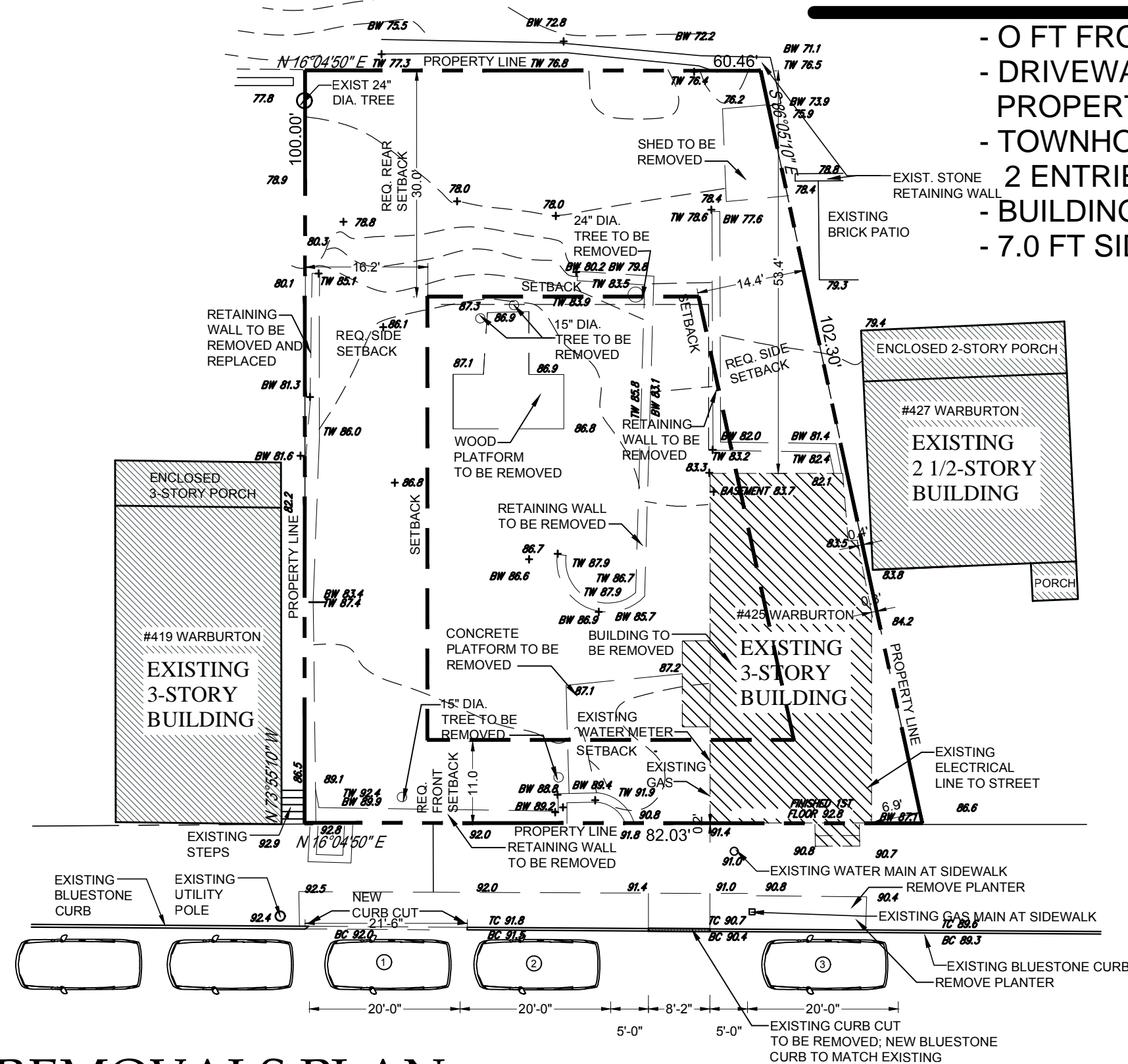
COVERAGE CALCULATIONS	
LOT AREA	7,124 SF / 0.16 AC
WALLS	191 SF
STEPS AT REAR	36 SF
BUILDING FOOTPRINT	2,521 SF
BUILDING COVERAGE	2,748 SF / 39%
295-72.1.E3 ALL BUILDINGS AND STRUCTURES ON THE LOT SHALL TOGETHER NOT COVER MORE THAN 50% OF THE AREA OF THE LOT	
*SIDE YARD CALCULATION HEIGHT OF AVERAGE WALL CLOSEST TO PROPERTY LINE / 2	
SIDE 1 (SOUTH PROPERTY LINE) WALL A: 33.1 AVG HT X 35.4 L = 1,172 WALL B: 24.3 AVG HT X 10 L = 243 WALL C: 7 AVG HT X 8.8 L = 60 TOTAL: 1,475 1,475 / 45.4 (TOTAL LENGTH OF WALLS A,B,C) = 32.5 FT WALL HT FROM AVG. EXIST. GRADE 32.5 / 2 = 16.2 FT (REQUIRED SIDE YARD SETBACK)	
SIDE 2 (NORTH PROPERTY LINE) WALL A: 34.5 AVG HT X 19.1 L = 659 WALL B: 37.5 AVG HT X 16 L = 611 WALL C: 28.0 AVG HT X 10 L = 280 TOTAL: 1,550 1,550 / 54.1 (TOTAL LENGTH OF WALLS A,B,C) = 28.7 FT WALL HT FROM AVG. EXIST. GRADE 28.7 / 2 = 14.4 FT (REQUIRED SIDE YARD SETBACK)	

TABLE OF ZONING DATA		ZONING DISTRICT: MR-O	
	REQUIRED	EXISTING	PROPOSED
LOT AREA	6,500 SF	7,124 SF	7,124 SF
LOT AREA PER UNIT	6,500 SF (5,000 SF FOR FIRST (2) UNITS + 1,500 SF FOR EACH ADD'L UNIT)	7,124 SF	7,124 SF
TOTAL OF DWELLING UNITS	-	3	3
LOT WIDTH FRONTAGE	50 FT	82.03 FT	82.03 FT
BUILDING COVERAGE	50% MAX	18 % (1,245 SF)	39 % (2,748 SF)
OPEN SPACE	-	+/-5,300 SF	+/-2,814 SF
FRONT YARD SETBACK	11 FT (10 FT + 1 FT FOR EVERY 10 FT OF BLDG. WIDTH OVER 50 FT)	0.2 FT	0 FT <u>VARIANCE REQUIRED</u>
REAR YARD SETBACK	30 FT	53.4 FT	54.3 FT TO BUILDING
SIDE ONE	16.2 FT	12 FT OR 1/2 THE HEIGHT OF THE NEAREST BLDG WALL, WHICHEVER IS GREATER *	+/- 50.0 FT <u>VARIANCE REQUIRED</u>
SIDE TWO	14.4 FT	0.3 FT	17.0 FT
BUILDING HEIGHT	3-STORIES / 40 FT	3-STORIES / 38.0 FT	3-STORIES / 40.0 FT
PARKING SPACES	1 1/4 PER STUDIO, 1 1/2 PER 1 BEDRM., 1 3/4 PER 2-BEDRM., 2 PER 3-BEDRM. = 6	3 SPACES	6 SPACES
SIZE OF PARKING SPACES	9 FT WIDE, 18 FT LONG	N/A	8.5 FT WIDE, 18 FT LONG <u>VARIANCE REQUIRED</u>
DRIVEWAY AREA	960 SF	+/- 500 SF	1,557 SF <u>VARIANCE REQUIRED</u>
DRIVEWAY SLOPE AT FRONT OF PROPERTY LINE	MAXIMUM 3% WITHIN 30 FT OF FRONT PROPERTY LINE OR 50 FT OF CENTER OF STREET	16% AT SIDE OF BLDG. (USED AS DRIVEWAY)	15% <u>VARIANCE REQUIRED</u>
DRIVEWAY SLOPE	MAXIMUM 8% (UP TO 12% AT DISCRETION OF PLANNING BD.)	16% AT SIDE OF BLDG. (USED AS DRIVEWAY)	15% <u>VARIANCE REQUIRED</u>
DRIVEWAY SETBACK	5.0 FT FROM SIDE PROPERTY LINE	+/-43.0 FT. TO PAVED AREA USED AS DRIVEWAY	5.0 FT



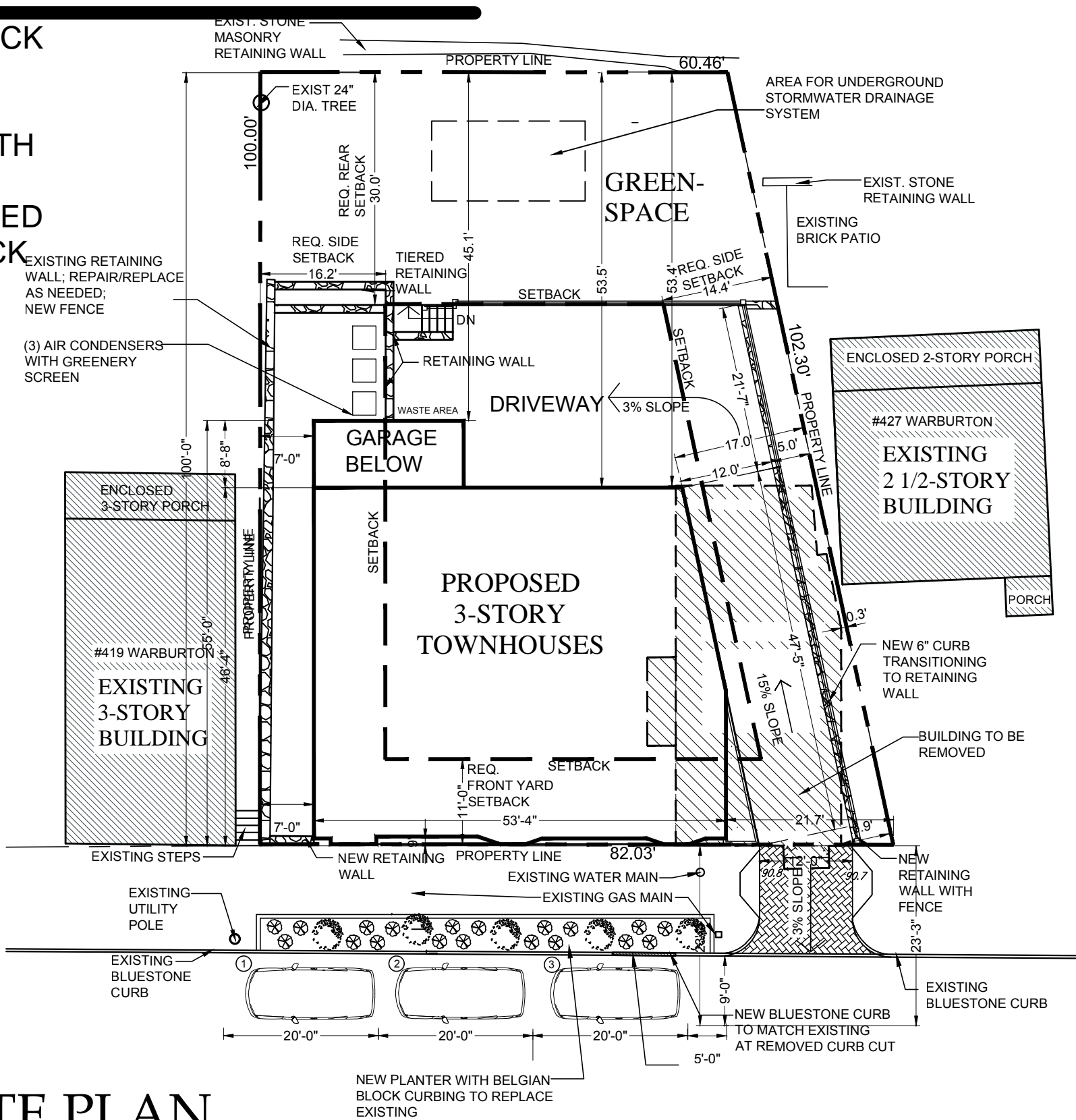
REVISED PLANNING BOARD SUBMISSION - 11/5/16

- 0 FT FRONT YARD SETBACK
- DRIVEWAY AT NORTH PROPERTY LINE
- TOWNHOUSE LAYOUT WITH 2 ENTRIES
- BUILDING HEIGHT REDUCED
- 7.0 FT SIDE YARD SETBACK



REMOVALS PLAN
SCALE: 3/32" = 1'-0"

WARBURTON AVENUE



SITE PLAN
SCALE: 3/32" = 1'-0"

WARBURTON AVENUE

NEW TOWNHOUSES AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

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Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.8805 fax
www.christinagriffinarchitect.com

Date: 11-3-16
PLANNING BOARD PRE SUBMISSION: 7-7-16
PLANNING BOARD SUBMISSION: 9-29-16
ZONING BOARD SUBMISSION: 9-29-16
PLANNING BOARD - ALT. SCHEME: 10-19-16
PLANNING BOARD REVISIONS: 11-3-16

Drawing Title: SITE PLAN
REMOVALS PLAN
Scale: AS SHOWN

S-1



SCALE: $1/8" = 1'-0"$



SCALE: 1/8" = 1'-0"

NEW TOWNHOUSES AT

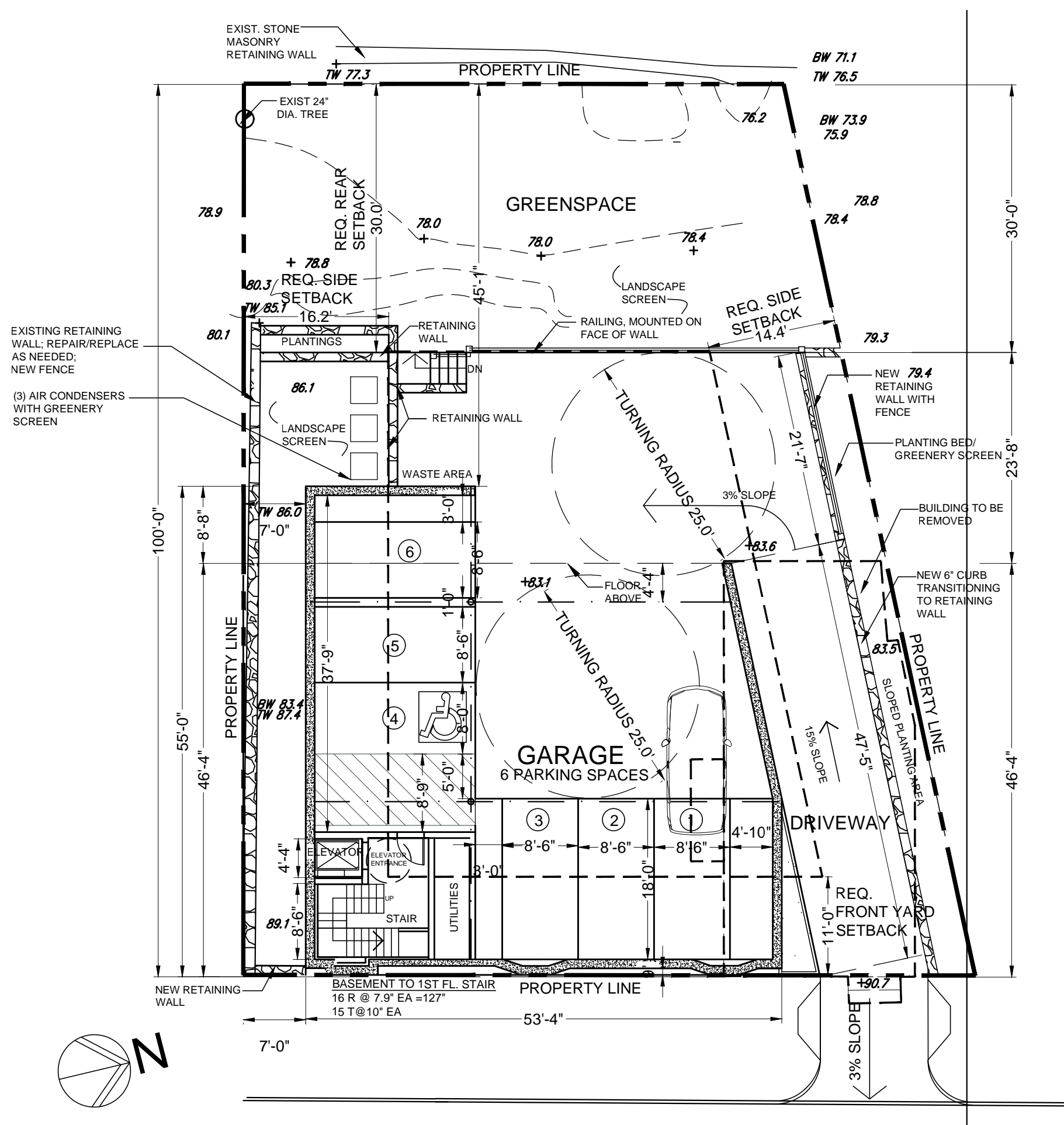
CHRISTINA GRIFFIN ARCHITECT PC

PLANNING BOARD SUBMISSION	9-29-16
ZONING BOARD SUBMISSION	9-29-16

Drawing Title

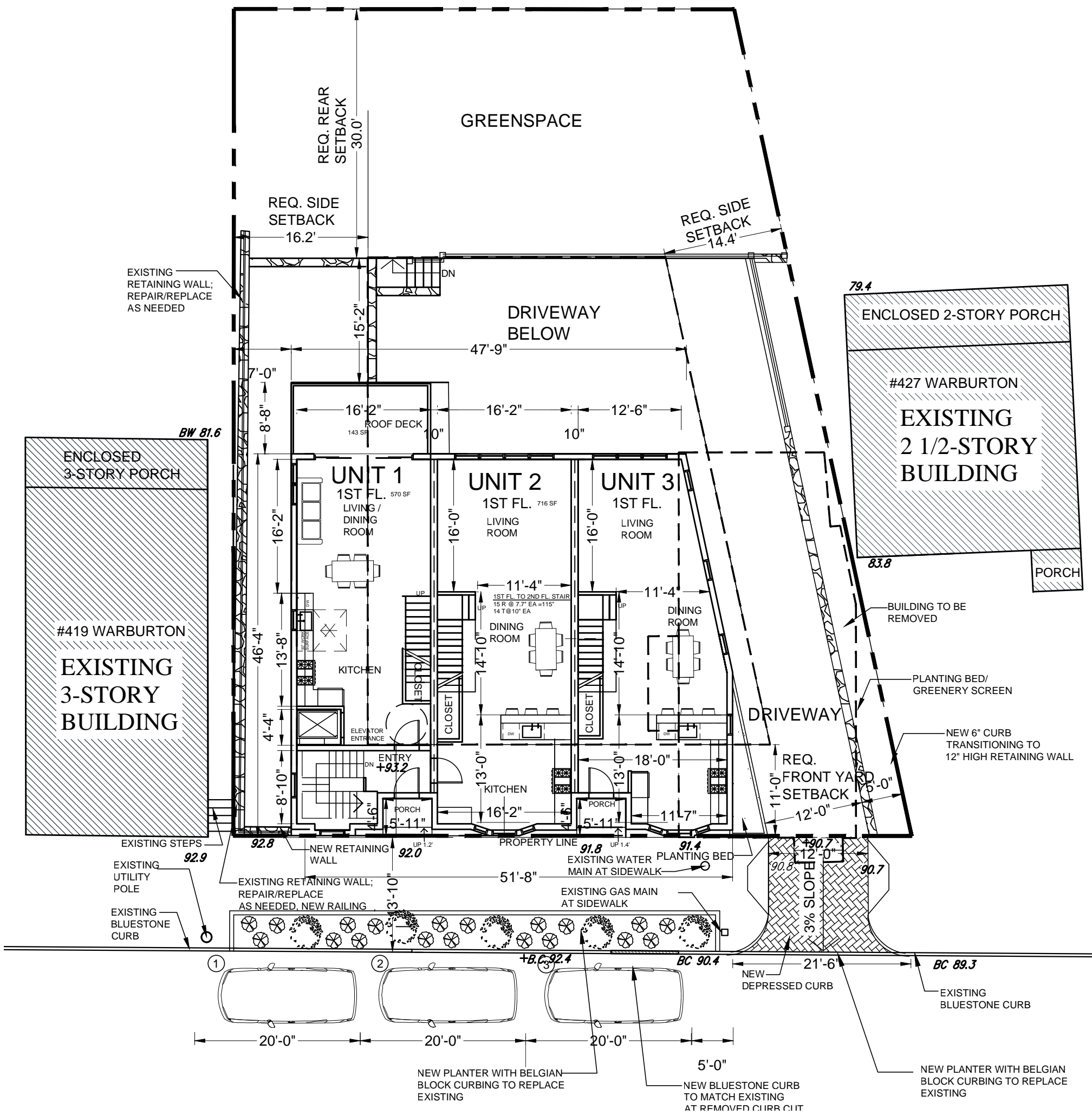
S-2

REVISED PLANNING BOARD SUBMISSION - 11/5/16



GARAGE PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR AREA CALCULATIONS	
UNIT 1	1,840 SF
UNIT 2	1,986 SF
UNIT 3	2,016 SF
COMMON AREA (HALL / STAIR)	118 SF
TOTAL FINISHED FLOOR AREA	5,960 SF

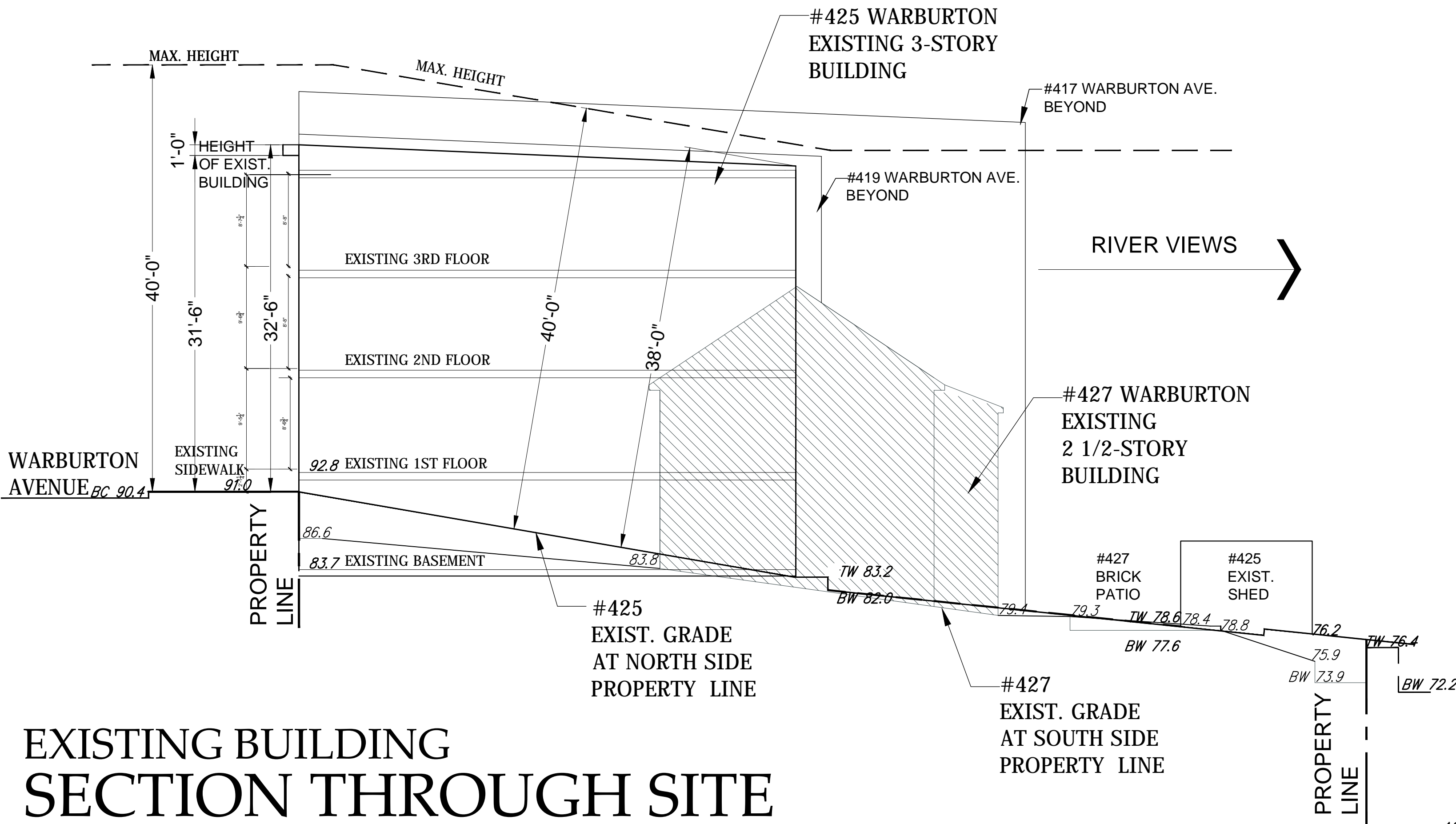
NEW TOWNHOUSES AT
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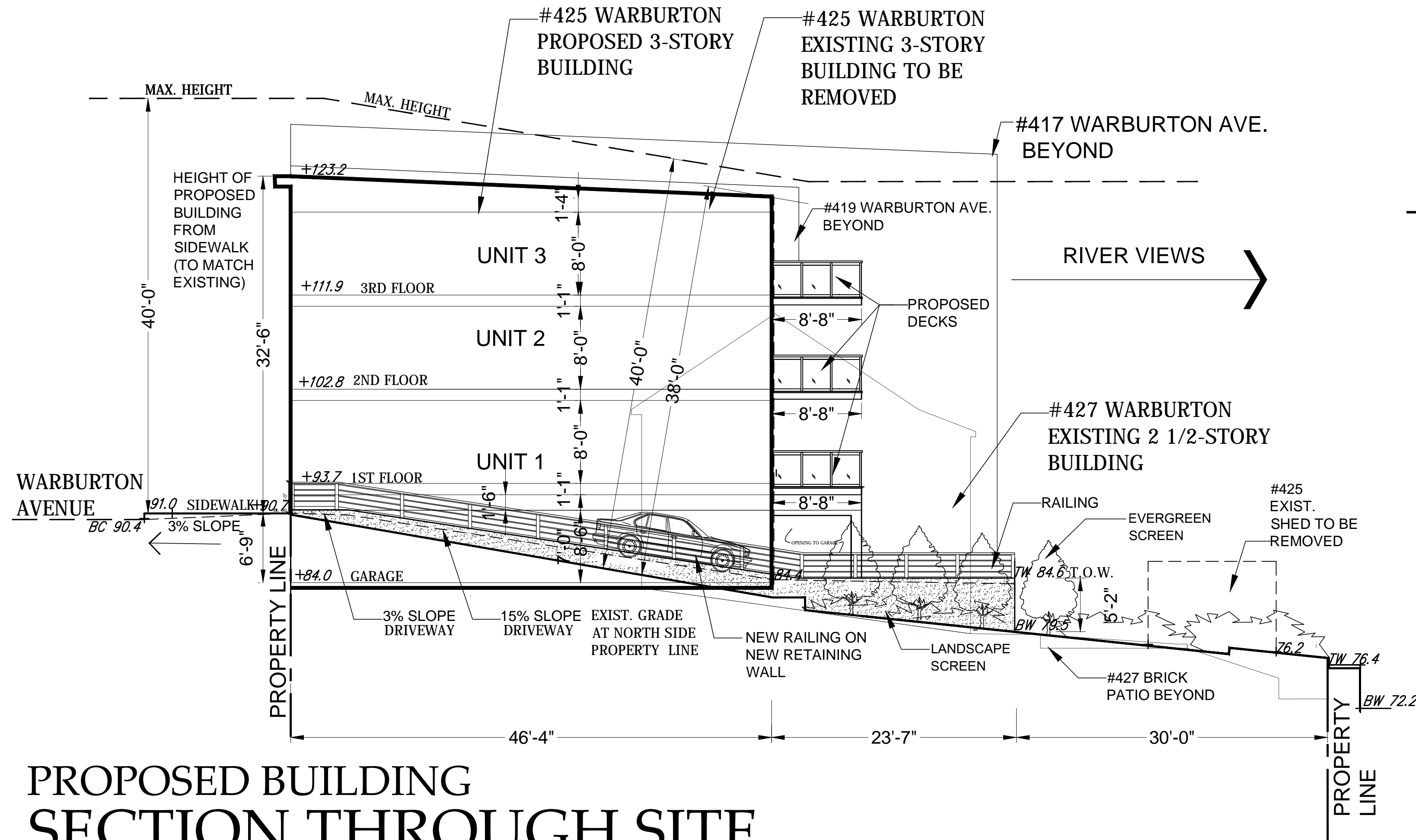
Date	9-29-16
PLANNING BOARD SUBMISSION	9-29-16
ZONING BOARD SUBMISSION	10-19-16
PLANNING BOARD - ALT. SCHEME	11-3-16
PLANNING BOARD REVISIONS	

Drawing Title
FLOOR PLANS
Scale
AS SHOWN

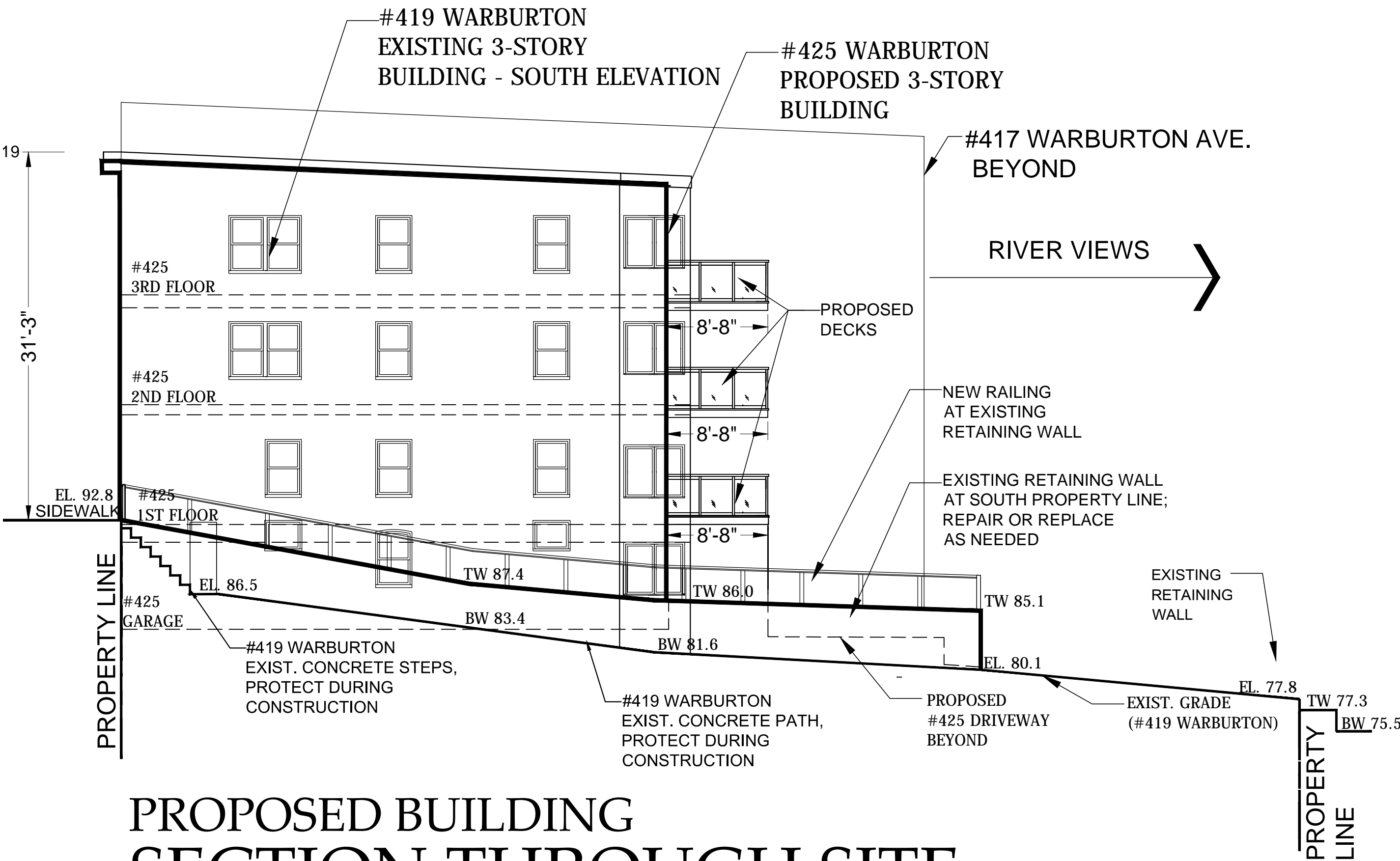
A-1



EXISTING BUILDING
SECTION THROUGH SITE
AT NORTH PROPERTY LINE
SCALE: 1/8" = 1'-0"



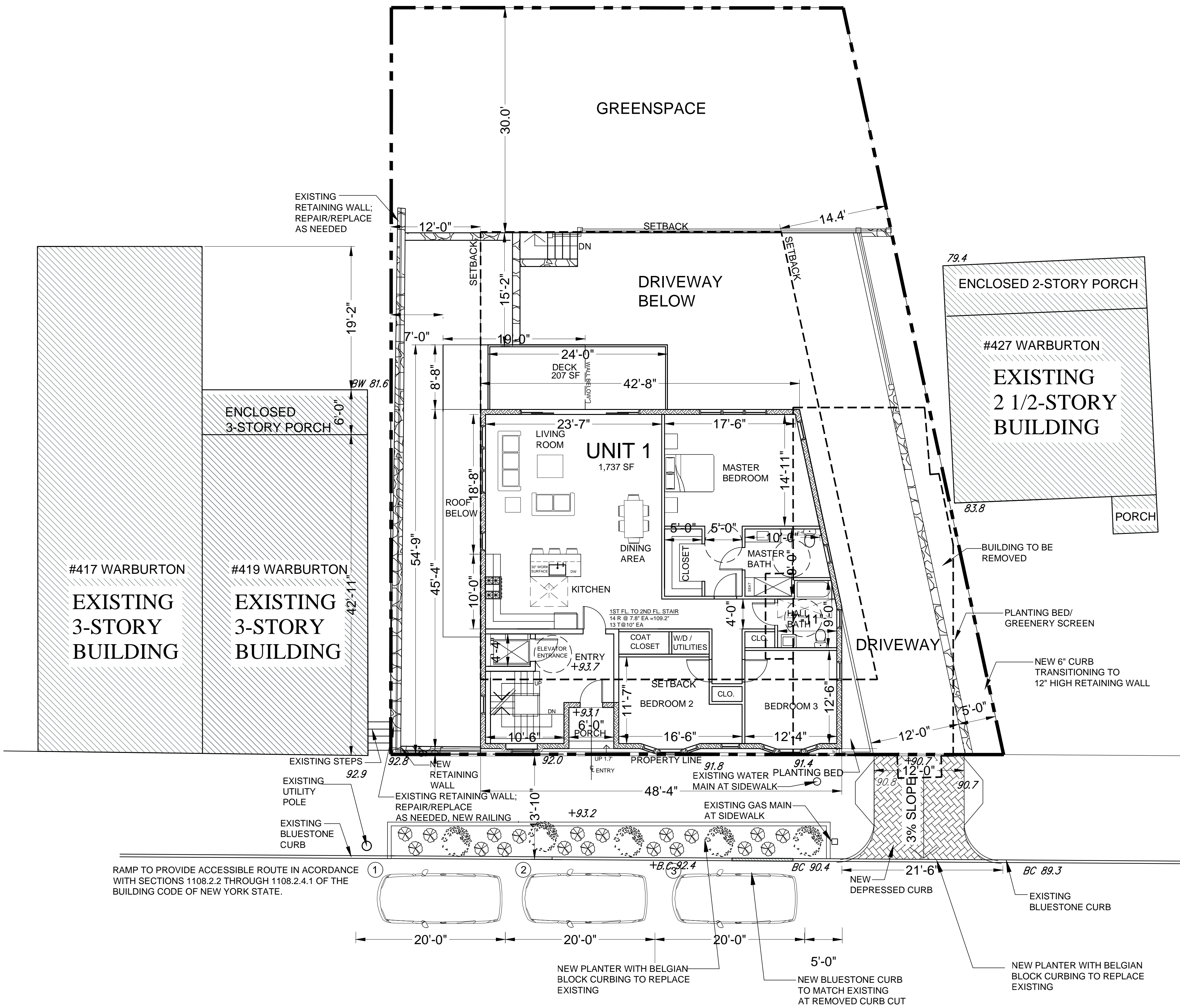
PROPOSED BUILDING
SECTION THROUGH SITE
AT NORTH PROPERTY LINE
SCALE: 1/8" = 1'-0"



PROPOSED BUILDING
SECTION THROUGH SITE
AT SOUTH PROPERTY LINE
SCALE: 1/8" = 1'-0"

Date	PLANNING BOARD SUBMISSION	9-23-16
	ZONING BOARD SUBMISSION	9-23-16
	PLANNING BOARD - ALT. SCHEME	10-19-16
	PLANNING BOARD REVISIONS	11-3-16
Drawing Title	SECTIONS THROUGH SITE	12-9-16
	THROUGH SITE	
Scale:		AS SHOWN

CHRISTINA GRIFFIN ARCHITECT PC
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Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

FLOOR AREA CALCULATIONS

UNIT 1	1,737 SF
UNIT 2	1,891 SF
UNIT 3	1,891 SF
COMMON AREA (HALL / STAIR)	540 SF
TOTAL FINISHED FLOOR AREA	6,059 SF

NEW 3-UNIT RESIDENTIAL BUILDING AT
425 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

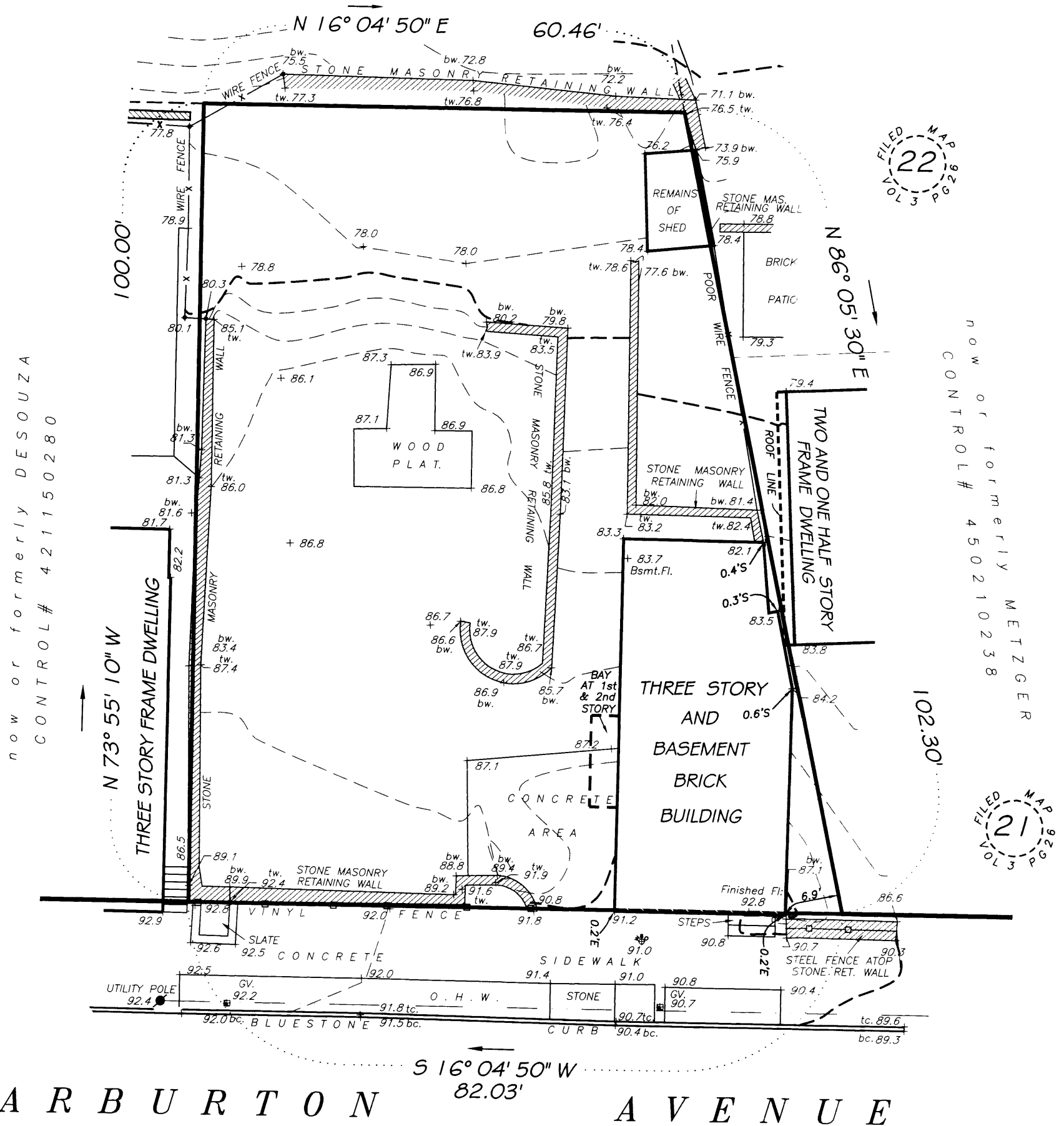
CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Date	9-23-16
PLANNING BOARD SUBMISSION	9-23-16
ZONING BOARD SUBMISSION	9-23-16
PLANNING BOARD - ALT. SCHEME	10-19-16
PLANNING BOARD REVISIONS	11-3-16
PLANNING BOARD REVISIONS	12-9-16

Drawing Title
FLOOR PLANS

Scale:
AS SHOWN

A-2



- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF GREENBURGH - VILLAGE OF HASTINGS ON HUDSON SECTION;004.070 BLOCK;52 LOT; 10 & 11 STREET ADDRESS: 425 WARBURTON AVENUE PROPERTY AREA: 7,124 Sq.Ft. - 0.1635 ACRE
- THE PREMISES SHOWN HEREON DESCRIBED IN DEED, AND RECORDED IN THE WESTCHESTER COUNTY CLERK'S OFFICE - DIVISION OF LAND RECORDS, UNDER LIBER 9895 PAGE 206
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ELEVATIONS SHOWN HEREON BASED ON DATUM USED BY THE VILLAGE OF HASTINGS-ON-HUDSON. (HUDSON 154 MONUMENT ELEV. 14.35')
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: JEFF MORETTI

Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Phone 845-628-5857
Mahopac N.Y. 10541 Fax 845-621-0013

E. J. Link
ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542

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