

# THOMAS J. CURRO ARCHITECT, PC

Member of the American Institute of Architects

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January 12, 2022

Members of the Zoning Board of Appeals  
Village of Hastings-On-Hudson  
7 Maple Avenue  
Village of Hastings-On-Hudson, NY 10706

Reference: **Whalen Residence**  
**360 Warburton Avenue**

Dear Members of the Zoning Board,

The Whalen residence at 360 Warburton Avenue is a 2 story frame residential building built approximately in 1905. The home consists of two one family dwellings separated by a demising wall. The Whalen's occupy the residence currently known as number 360 which is on the left side of the demising wall. The residence at the right of the demising wall is known as number 358.

In order to accommodate the Whalen's growing family, it is proposed that the bedrooms at the 2<sup>nd</sup> floor be enlarged by horizontally extending the 2<sup>nd</sup> floor over the existing rear one story portion of the home. The first floor will be enlarged as well to allow for a larger more usable kitchen. The rear of the home is proposed to be a 2 story as opposed to a one story. There will be interior alterations at the first floor for new two powder rooms. The views of the Hudson river are not affected by the proposed work, and neither will it have any adverse effect on the adjacent properties.

Thank you,

A handwritten signature in black ink, appearing to be 'T. Curro', with a stylized flourish.

Thomas J. Curro, AIA

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number:..... Date of application: 11/18/2021

Property owner: Timothy Whalen  
Property address: 360 Warburton Avenue  
Name all streets on which the property is located: Warburton Avenue and Croton Aqueduct  
Sheet: 4.100 Block: 94 Lot/Parcel: 19 Zoning District: R 7.5

Applicant: Thomas J. Curro  
Standing of applicant if not owner: Architect  
Address: 32 Harding Parkway Mount Vernon, NY 10552  
Daytime phone number: 914-662-2827 Fax number: .....  
E-mail address: tjcurro@gmail.com

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;  
☐ Interpretation; ☒ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
...295-69(F)(1)(c)...	SIDE YARD 12.0 FT MIN (20.0 FT TOTAL)	...7.25 FT MIN (15.45 FT TOTAL) .....	.....7.25 FT MIN (15.45 FT TOTAL).....
.....295-53.1...	.....FLOOR AREA FAR 0.487 MAX.....	.....0.452.....	.....0.594.....
...295-55 (A).....	PROHIBITION AGAINST EXTENSION OF NONCONFORMITY	.....TWO-FAMILY HOME.....	.....TWO FAMILY HOME.....
.295.69 (F)(a)[2].....	DEVELOPMENTAL COVERAGE 40% MAX	.....50%.....	.....51%.....
.....295-82.....	VIEW PRESERVATION APPROVAL	.....	.....

\*See example below:

...295-68F.1a...	Front Yard Min. 30 ft. deep.....	26.5 ft.....	19.5 ft.....
...295-68A.....	Permitted Principal Use.....	Single Family Home.....	Conversion to Dental Office.....

# VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



## ZONING REQUIREMENTS:

### YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT 295-69(F)(1)(a)	25.0 FT MIN.	15.5 FT	15.5 FT
REAR 295-69(F)(1)(b)	25.0 FT MIN.	40.16 FT	40.16 FT
SIDE ONE 295-69(f)(1)(c)	(1) 12 FT MIN (2) 8.0 FT MIN (20.0 FT TOTAL)	(SIDE 1) 7.25 FT MIN	(SIDE 1) 7.25 FT MIN
SIDE TWO	8.0 FT MIN 20 FT TOTAL	8.20 FT	8.20 FT
TOTAL OF TWO SIDES	20.0 FT MIN.	15.45 FT	15.45 FT

### YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

### BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2-1/2 Stories	2-1/2 Stories	2-1/2 Stories
FEET 295-69(F)(1)(d)[1][b]	35.0 FT Max	31.3 FT	31.3 FT

### LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	7500.0 SF	4891.23 SF	4891.23 SF
*BLDG. COVERAGE/ % OF LOT AREA	30% MAX	27.5%	28.4%
*DEVELOPMENT COVERAGE / % OF LOT AREA	40% MAX	50%	51%

\*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

### OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single-Family	Two-Family	Two-Family

\*\* Single Family, Two Family, Commercial, Mixed Use etc.



# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....	.....	.....	.....
.....	.....	.....	.....

- List pending violations on this property if any:


- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

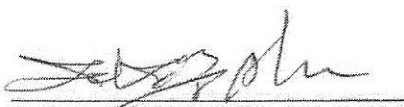
Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

  
Applicant

Sworn to before me this 24 day  
of Nov, 2021

  
Notary Public

AHN TED TAESHIK  
Notary Public, State of New York  
No. 01ANG28095  
Qualified in Westchester County  
Commission Expires 08/05/2025



# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

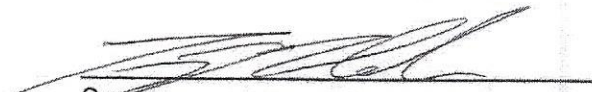
### Application and Procedure for Application for Variance/Interpretation/View Preservation



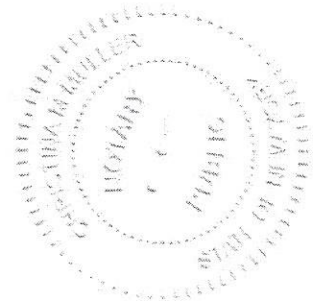
Name : Timothy Whalen, being duly sworn, deposes and says that he/she resides at 360 Warburton Avenue in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.100 Block 94 and Lot 19 of the tax map, and that he/she hereby authorized Thomas J. Curro to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.


STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

*Putnam (on)*

  
Owner

SWORN TO BEFORE ME THIS 22<sup>nd</sup> DAY  
OF November 2021



  
Notary Public



### **NOTICE**

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

ZONING BOARD OF APPEALS  
VILLAGE OF HASTINGS-ON-HUDSON, NY  
Property: 360 Warburton Avenue  
(Sec. Blk. Lot. 4.100-94-19)

We respectfully submit this statement of principal points to your Honorable Board on behalf of the applicant, Timothy Whalen (“Applicant”) pertaining to premises located at 360 Warburton Avenue (“Property”). The Applicant seeks area variances for the Property that is located within an “R7.5” zone arising from extensions/enlargements of existing non-conformities.

This project involves the addition and interior alterations to an existing two-family dwelling structure. The affected area is a proposed rear enlargement at first floor kitchen and new baths at first and second floors as per plans submitted. In addition, this statement is supplemental to the prior documentation submitted to the Board thus far by and on behalf of the Applicant.

Under Section 295-146 of the Village’s Zoning Code, in determining whether to grant an area variance, the Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board of Appeals shall also consider a number of factors as set forth below.

**1) Whether the variances will create an undesirable change in the character of the neighborhood or a detriment to the nearby properties.**

The variances will not create an undesirable change in the character of the neighborhood and will not be a detriment to nearby properties. On the contrary, we respectfully submit that the improvement of the project in the manner proposed by the Applicant will be a welcome and significant investment in the neighborhood, an improvement to the existing structure and thereby improve the overall character and desirability of the area.



The neighboring buildings adjacent to and to the immediate north and south of the Property on the east side of Warburton are a mix of multi-family / multi story residential structures some of which are larger in square footage and footprint than the Property such that the proposed “squaring off” of the rear portion of the Property will not result in a dwelling structure appreciably larger or otherwise out of character with existing dwelling structures adjacent to and in the neighborhood. In addition, the proposed renovation area is wholly-located in the rear of the Property and structure and therefore invisible to the general public and will therefore go unnoticed. In addition, the Property has substantial plantings on its north and south sides which also add screening to the adjacent northerly and southerly properties.

With respect to the four pre-existing non-conforming conditions, namely lot coverage, side setbacks and Floor Area Ratio (“FAR”), the side setback conditions at the Property will not be decreased by the proposed work and these deficiencies will therefore not be enlarged in connection with the proposed work. The lot coverage (40% max required, 50% existing and 51% proposed) represents an increase of 1% from that which currently exists, and the FAR (.487 max permitted, .452 existing and .594 proposed) represents an increase of .042 from that which currently exists. The Applicant respectfully submits that these increases, due to their nature, location, current and to-be continued existence and numerical insignificance will go unnoticed and will not create an undesirable change in the character of the neighborhood or be a detriment to the nearby properties.

**2) Whether the benefit sought by the Applicant can be achieved by some other method, feasible for the Applicant to pursue, other than area variances.**

The benefit sought by the Applicant cannot be achieved by any alternate, more feasible, methods other than the area variances and expansion. After analyzing feasible alternatives, discussions with design representatives over bulk and dimensional concerns, and for the Applicant to maximize the use of the available Property area for the intended purposes, the Applicant could not configure or otherwise relocate or position the proposed improvements. Dictated largely by the existing structure and property usage on all sides, as well as the applicable building code requirements, topography, site conditions and character of the neighborhood, the Applicant explored design and layout possibilities in an attempt to achieve the desired result while at the same time minimizing any adverse impact with respect to these considerations.

### **3) Whether the requested area variances are substantial.**

We respectfully submit that the requested expansion of existing non-conformity under the circumstances of this application are not substantial. Of the 4 existing and non-conforming conditions, 2 of them are existing and will remain unchanged by the proposed work. The remaining 2, namely FAR and lot coverage, are numerically minor and effectually insignificant as already set forth herein.

Should the Board consider the variances to be substantial, the Applicant respectfully submits that they are mitigated and outweighed under the circumstances of this application in that the requested variances, due to their nature and location and associated impacts, if any, and as already explained to the Board, will go unnoticed to the general public, are consistent with prevailing conditions in the immediate area and will have no adverse impact to the general public and the neighboring community.

### **4) Whether the proposed variances will have an adverse effect or impact on environmental conditions in the neighborhood.**

The requested variances, due to their nature, will not have an adverse effect or impact on the environmental conditions of the neighborhood. A review of all the adjacent properties, the surrounding structures and existing Property conditions, reveals that there will be minimal impact to the surrounding areas and that the project will not adversely affect natural environmental characteristics such as water use, pollution, energy use, drainage, run-off and flooding, nor create any noise, light, odor, visual or other nuisance conditions.

### **5) Whether the alleged difficulty was self-created.**

While it is possible that the Applicant had actual or constructive knowledge of the zoning law prior to the acquisition and proposed renovation and reconstruction of the Property, as the Board is well aware, the self-created hardship rule is merely a consideration and does not necessarily bar the granting of a variance. See *Sasso v. Osgood*, 86 N.Y.2d 374, 386, 633 N.Y.S.2d 259 (1995); *Human Dev. Servs., Inc. v. Village of Port Chester Zoning Bd. of Appeals*, 67 N.Y.2d 702, 499 N.Y.S.2d 927 (1986). The ZBA enabling legislation plainly states that self-created hardships are just one of the five (5) factors that a ZBA must consider. In *Human Development Services, Inc. v. Village of Port Chester Zoning Bd. of Appeals*, for example, the Court of Appeals minimized the significance of the self-



created hardship in balancing the relevant factors where “no valid public purpose would be served by” denying the area variance requested. *Human Dev. Servs., Inc.*, 67 N.Y.2d at 707.

Additionally, where the grant of the variance would only have a de minimis impact on the surrounding community, the self-created hardship factor may carry less weight. *Raubrogel*, NYLJ Dec 27, 1995, p. 33, Col. 2. Thus, in *Shaughnessy v. Roth*, the ZBA’s decision was vacated notwithstanding the applicant’s self-created hardship, because the ZBA failed to demonstrate “that granting petitioner’s application would have a serious impact on the community.” *Shaunnessy v. Roth*, 204 A.D.2d 3333, 611 N.Y.S.2d 281 (2d Dep’t 1994).

We respectfully submit that under the circumstances of this application and given the nature and type of area variances required and the proposed extension of the existing non-conformity, especially given the condition of the existing Property and associated characteristics, the benefits to the Applicant and the community if the area variances are granted outweigh any detriment to the community and we therefore request that the Zoning Board of Appeals approve this application and issue a negative declaration as to SEQRA.

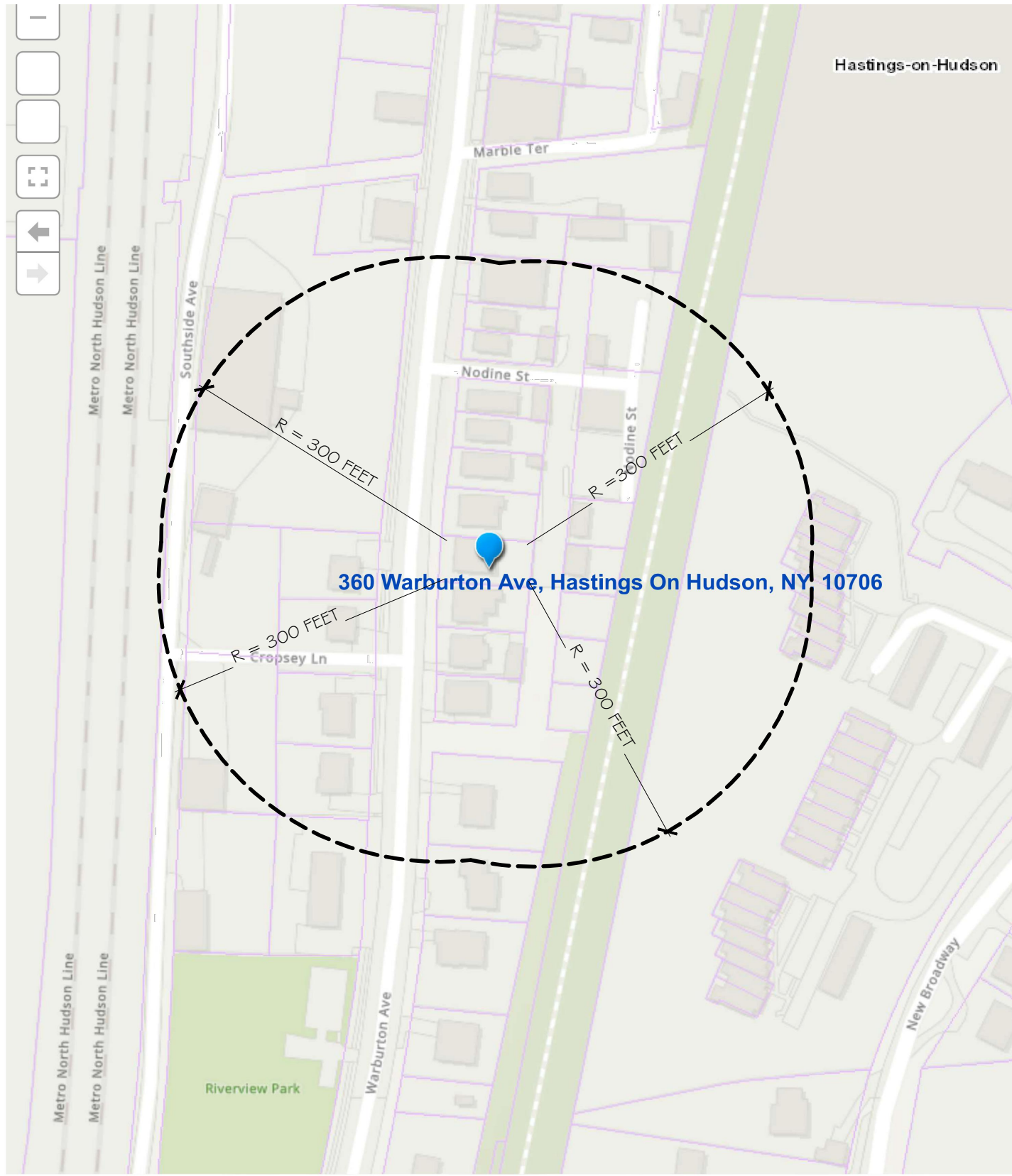
Dated: January 10, 2022



# ADDITIONS AND ALTERATIONS 360 Warburton Avenue Hastings-on-Hudson, NY 10707



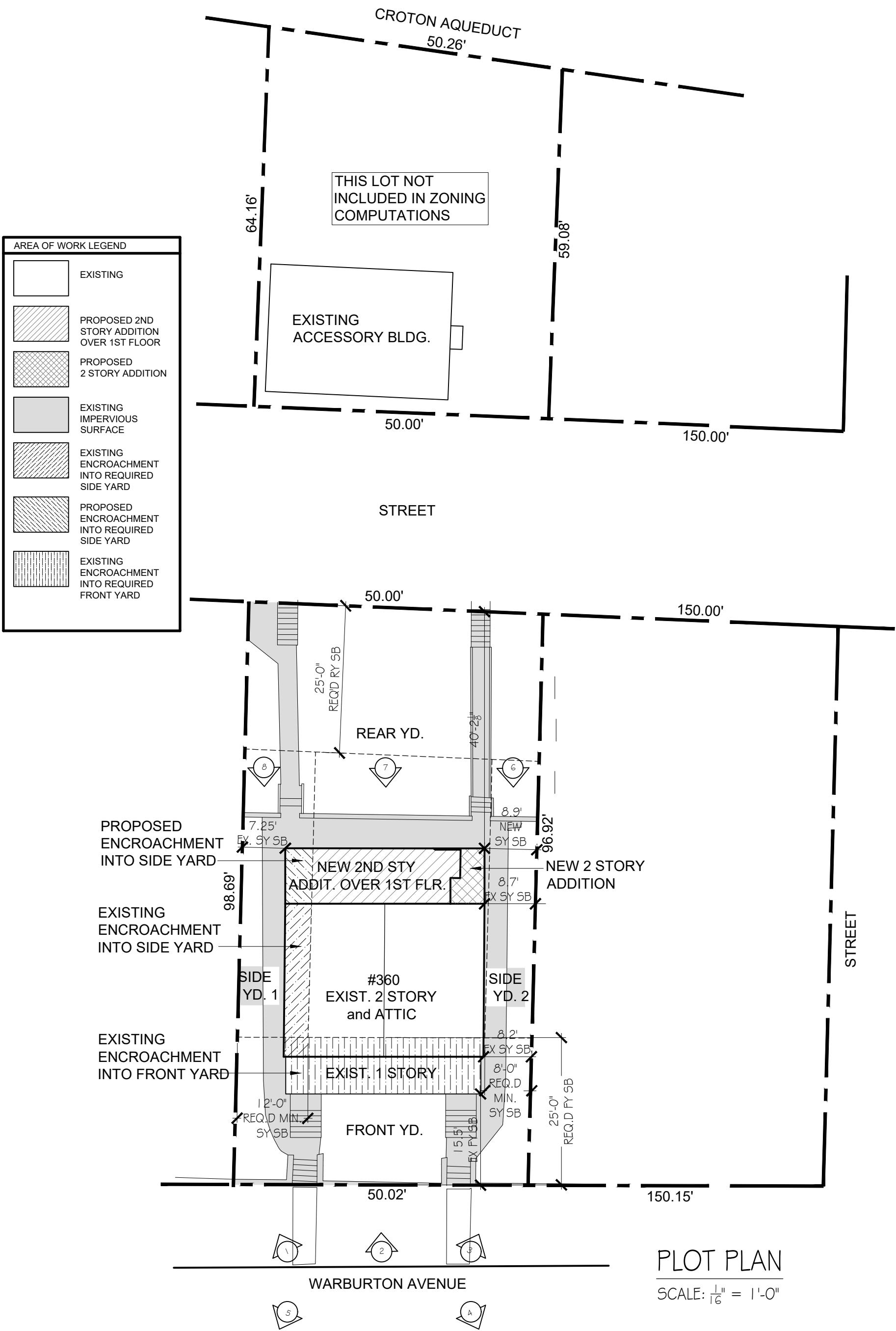
VIEW OF HOME FROM Warburton Avenue



0 100 200ft  
-73.88140-988 Degrees

ZONING INFORMATION				
ZONING DISTRICT: SEC. BLK. LOT.		R7.5 4-100-94-19		
SECTION	REQUIRED	EXISTING	PROPOSED	COMMENTS
LOT AREA	7,500.0 SF	4,891.23 SF	4,891.23 SF	NO CHANGE
YARDS				
FRONT -295-69 (F)(1)(a)	25.0 FT MIN.	15.5 FT	15.5 FT	NO CHANGE
REAR -295-69 (F)(1)(b)	25.0 FT MIN.	40.16 FT	40.16 FT	NO CHANGE
SIDE -295-69 (F)(1)(c)	SIDE YD. 1	(1) 12.0 FT MIN. (2) 8.0 FT MIN 20 FT TOT	7.25 FT (15.45 FT TOTAL)	7.25 FT (15.45 FT TOTAL) 4.75 FT VARIANCE REQUIRED
	SIDE YD. 2	8.0 FT MIN. (20.0 FT TOTAL)	8.20 FT (15.45 FT TOTAL)	8.20 FT (15.45 FT TOTAL) 4.55 FT VARIANCE REQUIRED
HEIGHT				
WALL- 295-69 (F)(1)(d)(1)[a]	23.0 FT MAX.	20.5 FT	20.5 FT	NO CHANGE
ROOF -295-69 (F)(1)(d)(1)[b]	35.0 FT MAX. (2 1/2 STY.)	34.5 FT (2 STY.)	20.5 FT	NO CHANGE
LOT COVERAGE				
BUILDING -295-69 (F)(a)[1]	30 % MAX.	27.5 %	28.4 %	COMPLIES
DEVMT. -295-69 (F)(a)[2]	40 % MAX.	50.0 %	51.0 %	11% VARIANCE REQUIRED
FLOOR AREA				
F.A.R. -295-69 (G)	.487 MAX.	.452	.594	107% VARIANCE REQUIRED
PARKING				
MIN. OFF STREET	2 SPACES/DU	4 SPACES	4 SPACES	COMPLIES
NONCONFORMING USE				
295-55(A) PROHIBITION AGAINST EXTENSION OF NONCONFORMITY EXISTING 2 FAMILY IS A NON CONFORMING USE IN THIS R7.5 SINGLE FAMILY ZONE FOR THE EXTENSION OF THIS NONCONFORMING USE <u>VARIANCE REQUIRED</u>				

DRAWING LIST	
C-001.00	COVER SHEET
EN-001.00	RESCHECK COMPLIANCE CERTIFICATE, COMPLIANCE CHECKLIST AIR SEALING REQUIREMENTS, AND INSULATION REQUIREMENTS
GN-001.00	GENERAL REQUIREMENTS AND FLOOR AREA DIAGRAM
GN-002.00	NOTES
EX-001.00	EXISTING FLOOR PLANS AND EXTERIOR ELEVATIONS
A-001.00	PROPOSED FLOOR PLANS AND SCHEDULES
A-002.00	PROPOSED EXTERIOR ELEVATIONS
A-003.00	BUILDING SECTION AND WALL SEALING SECTION
SCOPE OF WORK	
ADDITION AND INTERIOR ALTERATIONS TO EXISTING DWELLING CONSISTING OF REAR ENLARGEMENT AT 1ST FLOOR KITCHEN, AND NEW BATHS AT 1ST AND 2ND FLOOR. LOTS TO BE COMBINED.	
CODE INFORMATION	
BUILDING CODE CLASSIFICATIONS	
RESIDENTIAL J-3 CONSTRUCTION TYPE - FRAME	
BUILDING CODES USED 2020 RESIDENTIAL CODE OF NEW YORK STATE 2020 PLUMBING CODE OF NEW YORK STATE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE	
VILLAGE OF HASTINGS-ON-HUDSON	



PLOT PLAN  
SCALE: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION	INIT.

REVISION  
PROJECT NAME  
ADDITIONS AND ALTERATIONS TO  
360 Warburton Avenue  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME  
PLOT PLAN, ZONING INFORMATION,  
300 FT RADIUS MAP

SCALE AS NOTED	DATE 7-30-2021	PROJECT No. 21-031	BY TJC
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REGISTERED ARCHITECT THOMAS JOSEPH CURRO 022762 STATE OF NEW YORK	SHEET No.
	C-001.00 DWG. 1 OF 8





Energy Code: **2020 NYStretch - 2018 IECC**  
 Location: **Westchester County, New York**  
 Construction Type: **Single-family**  
 Project Type: **Addition**  
 Climate Zone: **4 (5499 HDD)**  
 Permit Date:  
 Permit Number:

**Designer/Contractor:**  
Thomas Curro  
Thomas J. Curro Architect, PC  
32 Harding Parkway  
Mt. Vernon, New York 10552  
914-662-2827  
tjcurro@gmail.com

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	317	49.0	0.0	0.026	0.026	8	8
Wall: Wood Frame, 16" o.c.	568	21.0	5.0	0.043	0.045	21	22
Window: Vinyl Frame SHGC: 0.40	81			0.270	0.270	22	22
Floor: Slab-On-Grade (Unheated) Insulation depth: 3.0"	15		10.0	0.510	0.480	0	0

Name - Title \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

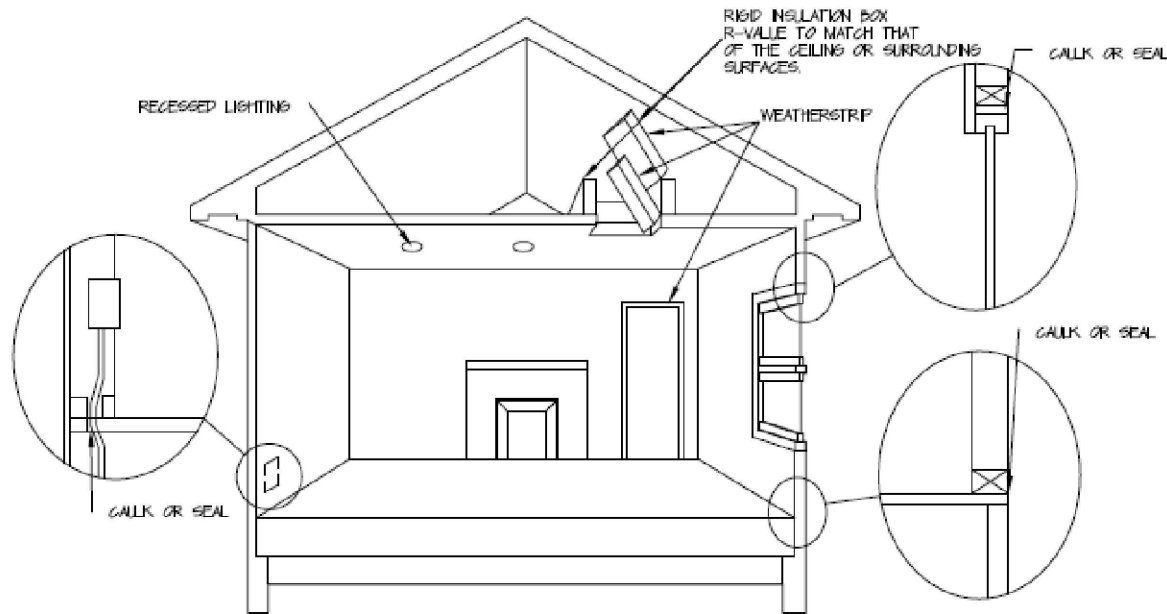
Project Title: 360 WARBURTON AVENUE  
Data filename:

Report date: 10/29/21  
Page 1 of 9

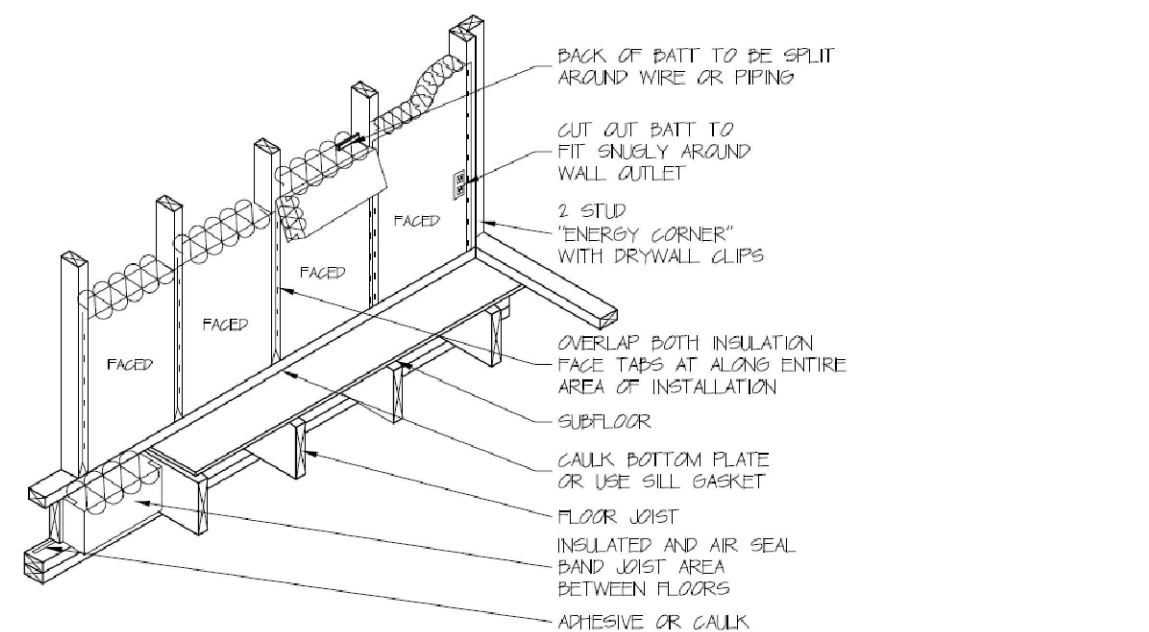
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 OR 13+5	8/13	19	10/13	10, 2FT	10/13
TABLE R402.1.4 EQUIVALENT U-FACTORS										
4A	0.35	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

## ENERGY CODE COMPLIANCE NOTES

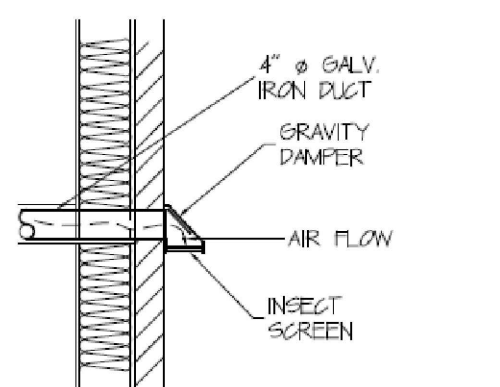
1. A CONTINUOUS AIR BARRIER SHALL BE INSTALLED; SEALING ALL SEAMS, OPENINGS, AND PENETRATIONS OF THE BUILDING AND SHALL BE SEALED WITH CAULKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION.
2. BUILDING ENVELOPE AIR TIGHTNESS SHALL BE ATTAINED TO COMPLY
3. LED LIGHT FIXTURES TO BE PROVIDED



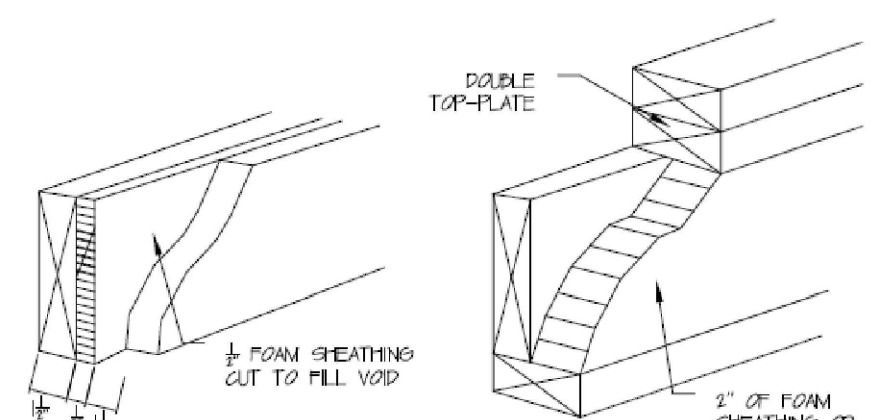
TYPICAL OPENING THAT SHOULD BE SEALED



TYPICAL WALL BATT INSULATIONS  
NO TO SCALE.



DAMPER DETAIL  
NO TO SCALE



INSULATED HEADERS  
NO TO SCALE.

N	PROGRESS INSPECTIONS
	PROTECTION OF EXPOSED FOUNDATION INSULATION
	INSULATION PLACEMENT AND R VALUES
	FENESTRATION U-FACTOR AND PRODUCT RATING
	FENESTRATION AIR LEAKAGE
	FENESTRATION AREAS
	AIR SEALING AND INSULATION — VISUAL
	AIR SEALING AND INSULATION — TESTING
	LOADING DECK WEATHER SEALS
	VESTIBULES
	FIREPLACES
	SHUTOFF DAMPERS
	HVAC AND SERVICE WATER HEATING EQUIPMENT
	HVAC AND SERVICE WATER HEATING SYSTEM CONTROLS
	HVAC INSULATION AND SEALING
	DUCT LEAKAGE TESTING
	ELECTRICAL ENERGY CONSUMPTION
	LIGHTING IN DWELLING UNITS
	INTERIOR LIGHTING POWER
	EXTERIOR LIGHTING POWER
	LIGHTING CONTROLS
	ELECTRICAL MOTORS
	MAINTENANCE INFORMATION
	PERMANENT CERTIFICATE
	SOLAR READY REQUIREMENTS

TABLE CA00210 MINIMUM PIPE INSULATION THICKNESS (THICKNESS IN INCHES)									
FLUID OPERATING TEMPERATURE RANGE AND USAGE (DEGREES F)	INSULATION CONDUCTIVITY				NOMINAL PIPE OR TUBE SIZE				
	CONDUCTIVITY BTU-IN (HMT-DEGREES F) <sup>a</sup>		MEAN RATING TEMPERATURE DEGREES F						
					< 1	1 TO 1 1/2	1 1/2 TO 4	4 < 8	> 8
95°	0.01	0.04	150	45	5.0	5.0	5.0	5.0	5.0
251 - 350	0.03	0.02	200	3.0	4.0	4.5	4.5	4.5	4.5
401 - 450	0.11	0.02	160	2.5	2.5	2.5	2.5	3.0	3.0
461 - 500	0.05	0.03	135	1.5	1.5	2.0	2.0	2.0	2.0
505 - 600	0.21	0.03	100	1.0	1.0	1.5	1.5	1.5	1.5
601 - 650	0.21	0.02	75	0.5	0.5	1.0	1.0	1.0	1.0
< 40	0.10	0.06	50	0.5	1.0	1.0	1.0	1.0	1.5

## BATT INSULATION R- VALUE REFERENCE

NOMINAL NUMBER SIZE	CAVITY DEPTH	INSULATION R-VALUES WHEN COMPRESSED IN FRAMING CAVITY														
2 x 12	11 $\frac{1}{4}$ "	37	38	FULL R-VALUE OF PRODUCT												
2 x 10	9 $\frac{1}{4}$ "	32	35												28	
2 x 8	7 $\frac{1}{4}$ "	27	29												25	27
2 x 6	5 $\frac{1}{2}$ "			21	22	20	19	21	18							
2 x 4	3 $\frac{1}{2}$ "						14	15	13					15	13	11
2 x 3	2 $\frac{1}{2}$ "													11	10	8.9
2 x 2	1 $\frac{1}{2}$ "											6.6	6.1	5.7		
2 x 1	$\frac{3}{4}$ "													3.3		
PRODUCT R-VALUE		R-38	R-38C	R-30	R-30C	R-25	R-22	R-21	R-19	R-15	R-13	R-11	R-8			
LABEL THICKNESS		12"	10 $\frac{1}{4}$ "	9 $\frac{1}{2}$ "	8 $\frac{1}{4}$ "	8"	6 $\frac{3}{4}$ "	5 $\frac{1}{2}$ "	6 $\frac{1}{4}$ "	3 $\frac{1}{2}$ "	3 $\frac{1}{2}$ "	3 $\frac{1}{2}$ "	2 $\frac{1}{2}$ "			

NOTE: THE ABOVE INFORMATION SHALL BE USED FOR REFERENCE ONLY. SOME PRODUCTS WILL REACT DIFFERENTLY TO CAVITY INSTALLATION AND COMPRESSION. ACTUAL CAVITY DEPTH TO BE VERIFIED. ACTUAL PRODUCT RATINGS TO BE VERIFIED BY CONTRACTOR.

**TABLE R403.6.1**  
**MECHANICAL VENTILATION SYSTEM FAN EFFICACY**

FAN LOCATION	AIR FLOW RATE MINIMUM	MINIMUM EFFICACY	AIR FLOW RATE MAXIMUM
	(CFM)	(CFM/WATT)	(CFM)
RANGE HOODS	ANY	2.8 CFM/WATT	ANY
IN-LINE FAN	ANY	2.8 CFM/WATT	ANY
BATHROOM, UTILITY ROOM	10	1.4 CFM/WATT	<90
BATHROOM, UTILITY ROOM	90	2.8 CFM/WATT	ANY

THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE NEW YORK CITY MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING AS PER NYCCEC R403.6

**MECHANICAL VENTILATION EXCEPTION:**

WHERE MECHANICAL VENTILATION FANS ARE INTEGRAL TO TESTED AND LISTED HVAC EQUIPMENT, THEY SHALL BE POWERED BY AN ELECTRONICALLY COMMUTATED MOTOR

## ENERGY CODE NOTES

2. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM 2020 ENERGY CONSERVATION AND CONSTRUCTION CODE OF NEW YORK STATE (ECCNYS) R403.1.
3. THERMOSTATS SHALL INCLUDE THE CAPACITY TO SET BACK OR TEMPORARILY OPERATE THE SYSTEM TO MAINTAIN ZONE TEMPERATURES DOWN TO 55 DEGREES F OR UP TO 85 DEGREES F IECC R403.1.1.
4. HEAT PUMPS HAVING SUPPLEMENTARY ELECTRIC-RESISTANCE HEAT SHALL HAVE CONTROLS, EXCEPT DURING DEFROST, PREVENT SUPPLEMENTAL HEAT OPERATION WHEN THE HEAT PUMP COMPRESSOR CAN MEET THE HEATING LOAD ECCNYS R403.1.2.
5. HOT WATER BOILERS THAT SUPPLY HEAT TO THE BUILDING THROUGH ONE-OR TWO-PIPE HEATING SYSTEMS SHALL HAVE AN OUTDOOR SETBACK CONTROL THAT HAVE AN OUTDOOR SETBACK CONTROL THAT LOWERS THE BOILER WATER TEMPERATURE BASED ON THE OUTDOOR TEMPERATURE AS PER R403.2
6. SUPPLY AND RETURN DUCTS IN ATTIC SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3 INCHES DIAMETER AND GREATER THAN R-6 WHERE LESS THAN 3 INCHES IN DIAMETER SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3 INCHES IN DIAMETER OR GREATER AND R-42 WHERE LESS THAN 3 INCHES IN DIAMETER ECCNYS R403.3.1
7. A PERMANENT CERTIFICATION SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND POSTED ON ALL WALLS IN THE SPACE WHERE THE FURNACE IS LOCATED. A UTILITY ROOM OR AN APPROVED LOCATION INSIDE THE BUILDING, WHERE LOCATED ON AN ELECTRICAL PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY TABLE SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS R401.3
8. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT 1.57 PSF PRESSURE DIFFERENTIAL AS PER ECCNYS R402.2.10.
9. SLAB- N-GRADE FLOOR WITH A FLOOR SURFACE LESS THAN 12 INCHES BELOW GRADE SHALL BE INSULATED IN ACCORDANCE WITH TABLE R402.1.2 AS PER ECCNYS R402.2.10.
10. WHERE SECTION R402.1.2 REQUIRES R-49 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF THE UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES AS PER ECCNYS R402.2.1.
11. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING THREE AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 AND REPORTED AT A PRESSURE OF 0.2. INCHES W.G. ( 50 PASCALS). TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
12. NOT LESS THAN 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75 PERCENT OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS. AS PER ECCNYS 404.1
13. FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS
14. HEATING AND COOLING EQUIPMENT HAVE BEEN SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. NEW OR REPLACEMENT HEATING AND COOLING EQUIPMENT SHALL HAVE EFFICACY RATING EQUAL OR GREATER THAN THE MINIMUM REQUIRED BY FEDERAL LAW FOR THE GEOGRAPHIC LOCATION WHERE THE EQUIPMENT IS INSTALLED PER ECCNYS R403.7

## ENERGY NOTES:

I, THOMAS J. CURRO, A LICENSED ARCHITECT "TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE USING CHAPTER R4.



<b>NO.</b>	<b>DATE</b>	<b>DESCRIPTION</b>	<b>INIT.</b>
<b>REVISION</b>			

ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

RESHECK COMPLIANCE CERTIFICATE,  
COMPLIANCE CHECKLIST  
AIR SEALING REQUIREMENTS,  
AND INSULATION REQUIREMENTS

SCALE	DATE	PROJECT No.	BY
<b>AS NOTED</b>	<b>7-30-2021</b>	<b>21-031</b>	<b>TJC</b>

SHEET No.



EN-001.00



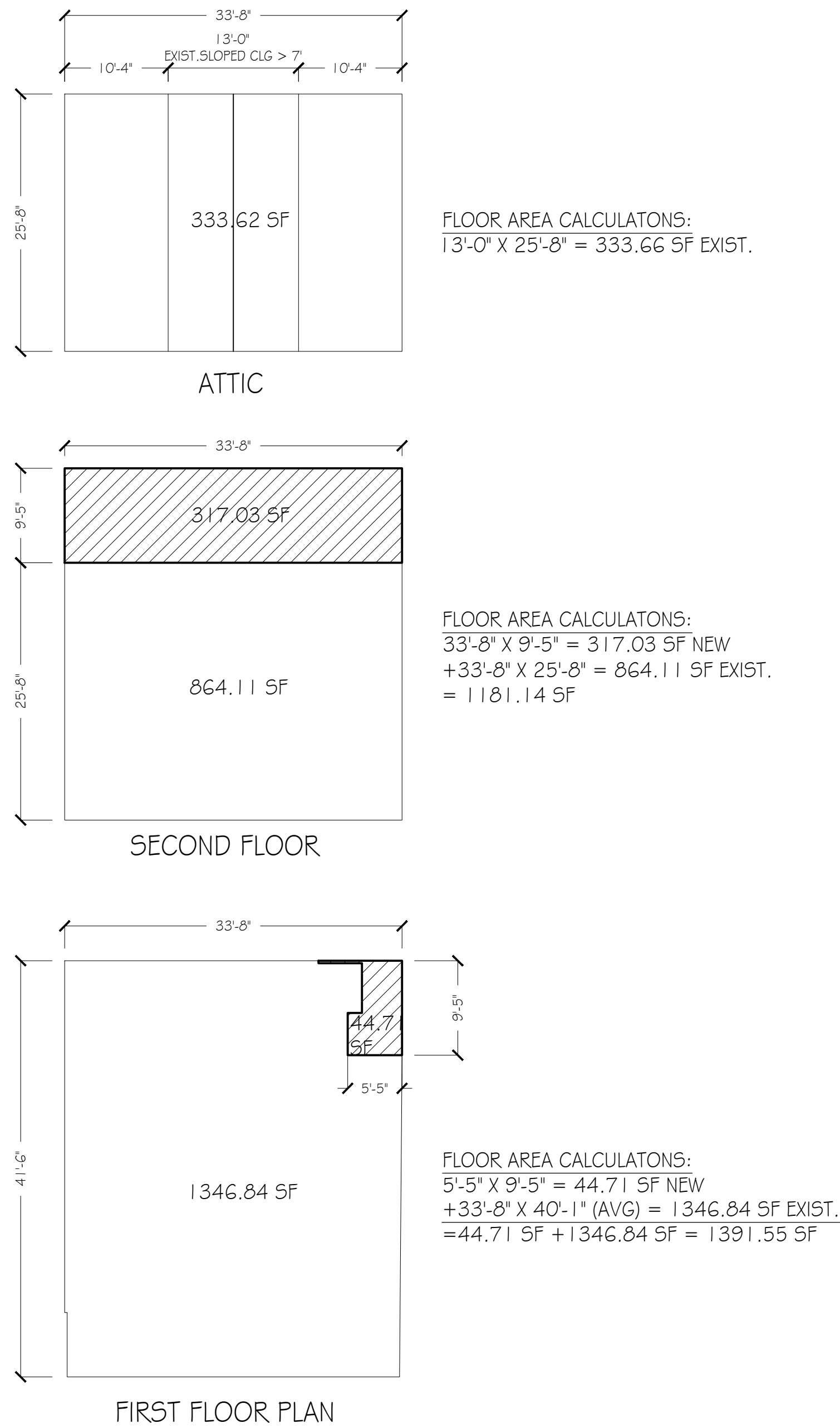
GENERAL REQUIREMENTS

1. GENERAL REQUIREMENTS:
- a. THIS CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR SHALL BE WRITTEN ON AIA FORM #A107, WITH AIA GENERAL CONDITIONS, AIA 201, LATEST EDITION, IN EFFECT AS IF WRITTEN OUT IN FULL. THE SCOPE OF THE WORK SHALL GENERALLY INCLUDE, BUT NOT BE LIMITED TO: NEW KITCHEN CABINETS AND APPLIANCES, NEW BATHROOM PLUMBING FIXTURES AND CABINETS REPLACED IN PLACE, NEW GYPSUM BOARD AND BATT INSULATION AT EXTERIOR WALLS; HEATING AND AIR CONDITIONING EQUIPMENT MODIFICATIONS OR NEW EQUIPMENT AS REQUIRED TO MEET CURRENT STANDARDS AND CODE; AND ALL COMPONENTS. ALTERATIONS TO EXISTING STRUCTURE; REPLACE ALL EXISTING DOORS AND WINDOWS AS NOTED ON DRAWINGS OR DIRECTED IN THE FIELD; REPAIR OF EXISTING STRUCTURE; LEVEL AND PLUMB WALLS AND FLOORS AS REQUIRED, CORRECT ANY STRUCTURAL DEFICIENCIES, PROVIDE HEADERS AT WALL REMOVED IN KITCHEN AND AT 2ND FLOOR BEDROOM; REPAIR OR BRING UP TO CODE ALL ELECTRICAL, ALARM, SECURITY, SAFETY, PLUMBING, AND HYDRO COMPONENTS IF ALTERED OR REQUIRED; NEW GUTTERS AND LEADERS; PRIMING AND PAINTING OF ENTIRE INTERIOR UPON COMPLETION OF CONSTRUCTION.
- b. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES BY TRADESMEN LICENSED IN THE CITY/VILLAGE/TOWN OR MUNICIPALITY WHERE THE WORK IS TO TAKE PLACE, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEMEN OF THE RESPECTIVE TRADES. GENERAL CONTRACTOR, PLUMBER AND ELECTRICIAN TO SUBMIT COPY OF LICENSES TO CITY/VILLAGE/TOWN PRIOR TO START OF ANY WORK AND OBTAIN PERMITS AS REQUIRED BY THE CITY/VILLAGE/TOWN.
- OWNER RETAINS THE RIGHT TO REJECT ANY SUB CONTRACTOR HE DEEMS UNQUALIFIED.
- c. SAMPLES SHALL BE SUPPLIED TO THE ARCHITECT OF ALL MATERIALS PROPOSED FOR SUBSTITUTION OF SPECIFIED MATERIALS AND OF WORKMANSHIP REPRESENTING ARTISTIC TECHNIQUES SPECIFIED BELOW. SHOP DRAWINGS SHALL BE PROVIDED FOR ALL OFF-SITE FABRICATED ITEMS, AND/OR AS SPECIFIED IN SPECIFICATIONS OR ON DRAWINGS.
- d. TEMPORARY FACILITIES FOR PROTECTION OF TOOLS AND EQUIPMENT SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE CONTRACTORS' RESPONSIBILITY DURING THE COURSE OF THIS WORK.
- e. CONTRACTOR SHALL PRESENT THE ADDITION AND ALTERATION OF THE RESIDENCE, EXTERIOR AND INTERIOR, ETC. TO THE OWNER FOR FINAL ACCEPTANCE, CLEAN AND READY FOR OCCUPANCY. ALL GLASS SHALL BE CLEANED AND POLISHED; FLOORS SWEEP BROOM CLEAN; CARPETS VACUUMED; FIXTURES WASHED, WITH ALL LABELS REMOVED, AND EXTERIOR GROUNDS HAND-RAKED FREE OF TRASH AND DEBRIS.
- f. CONTRACTOR SHALL PREPARE AND ERECT A 2" X 4" SIGN LEDDED BY A PROFESSIONAL SIGN PAINTER, IDENTIFYING THE PROJECT, THE ARCHITECT, THE CONTRACTORS, AND THE LENDING AGENCY, TO BE MOUNTED IN THE FRONT YARD IF ACCEPTABLE TO THE OWNER AND VILLAGE CODE.
- g. CONTRACTOR SHALL SUBMIT A SCHEDULE OF VALUES, AS OUTLINED IN ARTICLE 9.2.1 OF THE GENERAL CONDITIONS - AIA 201, ON THE FORM PROVIDED BY THE ARCHITECT IN THE BID DOCUMENT AT THE TIME OF SIGNING THIS CONTRACT.
- h. BOND REQUIREMENTS SHALL BE 100% OF CONTRACT SUM FOR PERFORMANCE, AND MATERIALS AND LABOR IF ACCEPTABLE TO OWNER. VERIFY WITH OWNER PRIOR TO SIGNING OF CONTRACT.
- i. CONTRACTOR SHALL CARRY BUILDERS RISK "ALL RISK" INSURANCE TO COVER THE COST OF THIS WORK AND ALL COVERAGE AS DEFINED IN ARTICLE 11 OF THE GENERAL CONDITIONS AND ELSEWHERE IN THESE DOCUMENTS. ARCHITECT, OWNER, AND MUNICIPALITY SHALL BE NAMED AS ADDITIONALLY INSURED (AS REQUIRED) AND PRESENTED WITH CERTIFICATES OF CONTRACTORS' INSURANCE AND OWNER'S FIRE AND EXTENDED COVERAGE AT THE TIME OF THE SIGNING OF THE CONTRACT. ELECTRICIAN AND PLUMBER TO CARRY THEIR OWN INSURANCES AND PRODUCE PROOF OF SUCH TO OWNER AT THE TIME OF THE SIGNING OF CONTRACT.
- j. RENTAL CHARGES, SAFETY, PROTECTION, SECURITY AND MAINTENANCE OF RENTED EQUIPMENT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- k. THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS AS DEFINED IN ARTICLE 4.16 OF THE GENERAL CONDITIONS. ALL WASTE MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO SUBSTANTIAL COMPLETION AND PRIOR TO FINAL ACCEPTANCE OF THE WORK.
- l. COSTS FOR ALL BUILDING AND EQUIPMENT PERMITS, LANDFILL TAXES, USE TAX, SALES TAX, SECURITY DEPOSITS, AND OTHER CHARGES RELATIVE TO CONSTRUCTION OF THIS PROJECT SHALL BE INCLUDED IN THE CONTRACT PRICE, OR EXCLUDED, BUT NOTED AS SUCH IN THE OWNER/CONTRACTOR'S AGREEMENT.
- m. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY OR HAZARDOUS MATERIAL CONTAINMENT PROCEDURES. SAFETY, CONTAMINANT, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND CONTAMINANT, AND COMPLIANCE WITH ARTICLE 10 OF THE GENERAL CONDITIONS IS, AND SHALL BE, THE CONTRACTOR'S RESPONSIBILITY.
- n. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE PROJECT SITE. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING.
- o. THE GENERAL CONTRACTOR SHALL DELIVER TO THE ARCHITECT UPON COMPLETION OF ALL WORK UNDER THIS CONTRACT ALL WRITTEN GUARANTEES AND WARRANTIES MADE OUT TO THE OWNER. THE CONTRACTOR AND ANY SUBCONTRACTORS HEREBY AGREE THAT ALL MATERIAL AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT ARE IN PERFECT WORKING ORDER AND IN STRICT ACCORDANCE WITH THE CONTRACT AND WILL REMAIN SO FOR AT LEAST A PERIOD OF ONE YEAR FROM THE DATE OF THE FINAL CERTIFICATE OF COMPLIANCE/COMPLETION OR FULL ACCEPTANCE BY THE OWNER, DURING WHICH TIME THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE MATERIAL OR WORKMANSHIP WITHOUT COST TO THE OWNER.
- p. THE GENERAL CONTRACTOR SHALL DELIVER TO THE ARCHITECT UPON COMPLETION OF ALL WORK UNDER THIS CONTRACT COPIES OF ALL WRITTEN SCHEDULES/INSTRUCTIONS FROM THE MUNICIPALITY IN WHICH THE WORK WAS PERFORMED. EXAMPLES: FOOTINGS AND FOUNDATIONS, FRAMING, INSULATION, PLUMBING, AND ELECTRICAL INSPECTIONS; AND CERTIFICATE OF OCCUPANCY OR COMPLIANCE.
- q. AT NO TIME SHALL THE WORK AREA BE WITHOUT ADEQUATE FIRE PROTECTION, CONFORMING TO ALL REQUIREMENTS OF THE OWNER'S INSURANCE CARRIER AS WELL AS ALL VILLAGE/TOWN/CITY AND STATE AGENCIES. NEW SMOKE/CARBON MONOXIDE DETECTORS SHALL BE EMPORARILY/PERMANENTLY INSTALLED AS ONE OF THE FIRST OPERATIONAL ITEMS IN THIS ADDITION/ALTERATION PROJECT AND BE MAINTAINED AND OPERATIONAL THROUGHOUT THE CONSTRUCTION PROCESS.
- r. IF DURING CONSTRUCTION, HAZARDOUS MATERIALS ARE UNCOVERED, AMBROSINO ARCHITECTS, P.C. THEIR CONSULTANTS, THE GENERAL CONTRACTOR OR SUBCONTRACTORS ARE NOT RESPONSIBLE FOR THE PERFORMANCE OF ANY SERVICES IN CONNECTION WITH OR RELATED TO SUCH MATERIALS AND THE OWNER AGREES TO:
- A. RETAIN AN EXPERT OR EXPERTS TO ARRANGE FOR THE PROMPT IDENTIFICATION OF AND/OR REMOVAL OR TREATMENT OF SUCH MATERIALS ON THE PROJECT; AND
- B. INDEMNIFY AND HOLD THOMAS J. CURRO ARCHITECT, P.C. ITS CONSULTANTS, AND GENERAL CONTRACTOR AND HIS SUBCONTRACTORS HARMLESS FROM ANY CLAIMS, INJURIES, OR EXPENSES, INCLUDING THE REASONABLE COUNSEL FEES INCURRED BY AMBROSINO ARCHITECTS, P.C., AND ITS CONSULTANTS AND GENERAL CONTRACTOR AND HIS SUBCONTRACTORS ARISING OUT OF, OR IN ANY WAY RELATED TO, THE EXISTENCE OF SUCH MATERIALS ON THE PROJECT.
- s. BUILDER TO PROVIDE ONE (1) SET OF AS-BUILT DRAWINGS OF ALL TRADES TO THE OWNER AT COMPLETION OF THE PROJECT. FINAL PAYMENT WILL NOT BE MADE UNTIL THIS AND ALL OTHER "COMPLETION OF PROJECT" REQUIREMENTS ARE MET IN FULL.
3. CONCRETE:
- a. CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE ALL CONCRETE WORK SHOWN OR NOTED IN THESE DOCUMENTS. ALL CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARDS. REFERENCE STRUCTURAL SPECIFICATIONS AND NOTES FOR ADDITIONAL INFORMATION. FOOTING AND FOUNDATION DETAILS SHALL BE AS SHOWN ON DRAWINGS OR AS REQUIRED BY CODE, WHICHEVER IS MORE RESTRICTIVE.
- b. SEE STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
5. METALS:
- a. CONTRACTOR SHALL PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO ERECT ALL MISCELLANEOUS IRON AND STEEL AS DETAILED OR NOTED ON THESE DRAWINGS. REFERENCE STRUCTURAL SPECIFICATIONS AND NOTES FOR ADDITIONAL INFORMATION.
- b. STRUCTURAL STEEL SHALL CONFORM TO A.S.T.M. SPEC A 36, EXCEPT PIPE COLUMNS, WHICH SHALL CONFORM TO A.S.T.M.SPEC A 53. PROVIDE STEEL SECTIONS IN SIZES AS NOTED ON DRAWINGS OR AS REQUIRED BY FIELD CONDITIONS.
- c. HAND RAILINGS, STAIR RAILS, AND OTHER MISCELLANEOUS IRON WHERE SPECIFIED ARE TO BE SUPPLIED BY GENERAL CONTRACTOR. ALL NEW COMPONENTS SHALL MEET NEW YORK STATE RESIDENTIAL CODE AND ADA '90 (WITH AMENDMENTS) REQUIREMENTS FOR HEIGHT, SPACING OF BALUSTERS, AND USE.
- d. BEAM CAPS, POST CAPS, FOUNDATION CAPS, SEISMIC CONNECTIONS, AND ALL OTHER FASTENING DEVICES TO BE 22 GA MINIMUM GALVANIZED METAL OR AS PER CODE BY "SIMPSON STRONG TIE", "TECO", OR EQUAL. WHERE PRESSURE TREATED LUMBER IS USED VERIFY FINISH OF CONNECTOR WITH MANUFACTURER (STAINLESS STEEL CONNECTORS SHALL BE USED IN LIEU OF WRITTEN DOCUMENTATION OF COMPATIBILITY BY MANUFACTURER).
- e. PROVIDE SEISMIC/WIND SPEED CONNECTORS WITH SPECIFIED FASTENERS FOR ALL FRAMING CONNECTIONS AS REQUIRED BY NYS RESIDENTIAL BUILDING CODE, SECTION R602.11 OR AS DIRECTED BY ARCHITECT OR VILLAGE/TOWN INSPECTOR.
- f. PROVIDE STEEL REINFORCING BARS AT ALL FOOTINGS AND FOUNDATION WALLS. STEEL HORIZONTAL REINFORC AT MASONRY UNITS, AND WELDED WIRE FABRIC REINFORC AT SLABS AS INDICATED ON PLANS OR AS REQUIRED BY NYS RESIDENTIAL CODE AND ACI STANDARDS FOR RESIDENTIAL CONSTRUCTION.
6. CARPENTRY:
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO FRAME UP, SHEATH, AND TRIM OUT ALL FEATURES OF NEW/AND ALTERATION WORK AS SHOWN OR SPECIFIED IN THESE DOCUMENTS AND AS SPECIFIED IN THE NYS RESIDENTIAL CODE, LATEST EDITION. MATCH EXTERIOR DETAILS OF EXISTING RESIDENCE UNLESS OTHERWISE NOTED. REFERENCE STRUCTURAL DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
- FRAMING LUMBER SHALL BE STRESS-GRADED DOUGLAS FIR, NO. 2 OR BETTER.
- o. JOISTS AND RAFTERS SHALL BE STRESS-GRADED DOUGLAS FIR "NO. 1" OR TRUS-JOISTS (TJ) TO BE AS MANUFACTURED BY TRUS-JOIST/MEYERHAUSER CORPORATION OR PRI'S/LVL'S (LAMINATED

- VENEER LUMBER) AS MANUFACTURED BY GEORGIA PACIFIC OR EQUAL. MANUFACTURER SHALL SUPPLY ALL ACCESSORIES REQUIRED FOR INSTALLATION. FOLLOW INSTALLATION INSTRUCTIONS OF MANUFACTURER. NEW ROOF RAFTERS SHALL BE SIZED AS NOTED AT 16" ON CENTER. INSTALL 2 X 12 BEAMS AT 48" ON CENTER BETWEEN RAFTERS, TYPICALLY, UNLESS OTHERWISE NOTED.
- b. WOOD BEAMS SHALL BE STRESS-GRADED NO.1, MICROLAMS (ML), LAMINATED VENEER LUMBER (LVL), OR AS INDICATED ON DRAWINGS. SIZES AS SHOWN ON DRAWINGS OR AS REQUIRED BY MANUFACTURER'S LOAD TABLES.
- c. EXTERIOR STUD WALLS SHALL BE 2 X 6 OR 2 X 4 TO MATCH EXISTING UNLESS OTHERWISE NOTED. DOUGLAS FIR STRESS-GRADED STUDS. INTERIOR STUD WALLS TO BE 2 X 4 DOUGLAS FIR STRESS GRADED STUDS. BLOCK ALL PARTITIONS AT MID-HEIGHT WITH SOLID WOOD BLOCKING. ALL DIMENSIONED LUMBER SHALL BE CLEARLY MARKED WITH MANUFACTURERS' GRADING STAMP.
- d. NEW SISTERED FLOOR JOISTS, IF REQUIRED, ARE TO MATCH EXISTING IN DEPTH (VERIFY IF 2 X 8'S OR 2 X 10'S) TO BE FASTENED TO EXISTING FLOOR JOISTS 12" OR 16" ON CENTER (SEE PLANS) WITH 1/2" THRU BOLTS AT 12" ON CENTER, STAGGERED. CROSS BRIDGE ALL FLOOR JOISTS WITH SOLID BLOCKING OR "X" BRIDGING ANY SPAN OVER NINE (9) FEET IN LENGTH.
- e. ALL WORKMANSHIP INCLUDING NAILING, BLOCKING, BRIDGING, ETC., SHALL CONFORM TO THE NEW YORK STATE RESIDENTIAL BUILDING CODE, LATEST EDITION.
- f. PROVIDE 6" X 6", 4" X 6" OR 4" X 4" SOLID POSTS OR (2) 2" X 6" OR (2) 2" X 4" SPIKED AT BEARING POINTS OF ALL DOUBLE FRAMED MEMBERS UNLESS OTHERWISE NOTED AS REQUIRED FOR WALL THICKNESS. ALL NEW STRUCTURAL SUPPORT POSTS SHALL BE CONTINUOUS DOWN TO FOUNDATION WALL AND PRESSURE TREATED (PT) WHEN USED OUTDOORS. SEE STRUCTURAL NOTES AND DETAILS FOR FURTHER INFORMATION.
- g. ALL HEADERS WHERE OPENINGS IN STUD WALLS OCCUR SHALL BE (2) 2" X 12" UNLESS OTHERWISE NOTED. ALL HEADERS TO BE SUPPORTED ON 4" MINIMUM BEARING AT BOTH ENDS. ALL HORIZONTAL SUPPORTING LUMBER (LINTELS, BEAMS, LVL'S) TO HAVE A MINIMUM OF 4" BEARING SURFACE ON EACH END.
- h. PROVIDE (3) 2" X 6" SPIKED AT BEARING POINTS OF ALL TRIPLE FRAMING MEMBERS UNLESS OTHERWISE NOTED.
- i. PROVIDE MID-HEIGHT CONTINUOUS BLOCKING IN ALL BEARING AND NON-BEARING WALLS AND PARTITIONS.
- j. PROVIDE "X" BRIDGING OR SOLID BLOCKING MAXIMUM 8' - 0" ON CENTER AT MID-SPAN OF ALL FLOOR JOISTS SPANNING MORE THAN 9' - 0".
- k. PROVIDE DOUBLE JOISTS UNDER ALL NEW PARTITIONS PARALLEL TO JOIST DIRECTION AND AROUND ALL OPENINGS IN FLOORS, CEILINGS, AND ROOFS (RAFTERS).
- l. WOOD BLOCKING SHALL BE SOLID AND MATCH THE DEPTH OF MAIN MEMBERS. FLOOR FRAMING PLANS (IF PROVIDED) SHOW MEMBERS REQUIRED BY CODES OR GOOD PRACTICE AND BLOCKING IS IN ADDITION TO MEMBERS SHOWN.
- m. FLOOR SHEATHING SHALL BE EXTERIOR GRADE C/D TAG VENEER CORE PLYWOOD MINIMUM OF 3/4" SELECT SPRUCE (FIR), STURD-I-FLOOR BY GEORGIA PACIFIC OR EQUAL. GLUED AND SCREWED TO JOISTS AS PER MANUFACTURER'S FASTENED AND SCHEDULED. MATCH LVL OR EQUAL FLOOR ADJACENT IF APPLICABLE. LEVEL EXISTING FLOOR, IF REQUIRED DUE TO WOOD FRAMING SHRINKAGE OR SETTLING.
- n. PROVIDE 5/8" VENEER PLYWOOD SHEATHING IN LIEU OF GYPSUM BOARD AT ALL WALLS THAT ARE SCHEDULED TO SUPPORT WALL HUNG CABINETS.
- o. PROVIDE 1/2" CEMENTITIOUS BOARD SUBSTRATE FOR ALL NEW WALL AND FLOOR TILE. FOLLOW GUIDELINES OF TILE MANUFACTURER AND TILE COUNCIL OF AMERICA.
7. FINISH CARPENTRY/MILLWORK:
- INTERIOR AND EXTERIOR TRIM AND DETAILS TO MATCH EXISTING UNLESS OTHERWISE NOTED. NEW WOOD LAP SIDING PRODUCT WITH 4" -5" EXPOSURE. NEW WOOD BEVELED SIDING SHALL BE BACK PRIMED, HAVE ALL NAIL/STAPLE HOLES FILLED WITH WOOD FILLER AND THEN FINISHED PAINTED (TWO COATS FOLLOWING PRIME COAT).
- g. WOOD FASCIA TO BE 3/4" PAINT GRADE/PREPRIMED PINE OR COMPOSITE PRODUCT BY AZEK OR EQUAL. BACK & END PRIMED AND SCREWED AT CORNERS.
- b. SOFFITS AND EXTERIOR CEILINGS TO MATCH EXISTING STRUCTURE IN DIMENSION AND DETAIL UNLESS OTHERWISE NOTED. REFERENCE PLANS.
- c. EXTERIOR CORNER BOARDS, FASCIA, AND TRIM TO BE 3/4" X 6" PINE (PAINT GRADE/PREPRIMED) OR COMPOSITE PRODUCT BY AZEK OR EQUAL.
- d. POSTS AND RAILINGS, WHERE REQUIRED, TO BE "PERMAPORCH" BY WORTHINGTON WITH SQUARE BALUSTERS OR WESTERN RED CEDAR BY WOODWAY PRODUCTS OR EQUAL. SEE PLANS.
- e. EXTERIOR ROOF DECKING (SUBSTRATE) TO BE 3/4" C/DX PLYWOOD, IF REQUIRED.
- f. INTERIOR WOOD CASING AND JAMBS TO MATCH EXISTING, UNLESS OTHERWISE NOTED, AND BE CLEAR SELECT HARDWOOD (POPLAR OR EQUAL) FOR PAINT FINISH. VERIFY NEW PROFILES IN THE FIELD WITH OWNER PRIOR TO ORDERING. PROVIDE SAMPLES FOR APPROVAL.
- g. INTERIOR FINISHED TRIM TO BE 3/4" CLEAR SELECT HARDWOOD WHERE REQUIRED. FINISH AS DIRECTED BY OWNER.
- h. WOOD SUBFLOORING TO BE 3/4" C/DX PLYWOOD STURD-I-FLOOR TO RECEIVE 1/2" SOLID HARDWOOD T & G FLOORING, CARPET, OR CERAMIC TILE FLOORING AS PER OWNER'S DIRECTION.
- i. WOOD BASEBOARD TO BE CLEAR SELECT HARDWOOD FOR PAINT FINISH. VERIFY WITH OWNER. PROVIDE SAMPLES. SEE DRAWING DETAILS.
- j. CLOSETS AND OTHER SHELVING TO BE 3/4" BIRCH VENEERED PLYWOOD WITH EDGE BAND.
- k. NEW WOOD BATH CABINETS AND OTHER ARCHITECTURAL BUILT-IN MILLWORK SHALL BE AS PER DRAWINGS, SCHEDULES OR PURCHASED BY OWNER WITH CONTRACTOR TO INSTALL. ABSENCE OF DETAILS OR SCHEDULE REQUIRES THAT OWNER SELECT CABINET DETAILS AS TO TYPE AND STYLE FROM CONTRACTOR'S "CATALOG" FOR ORDERING. IF CABINETS ARE TO BE CUSTOM MADE THEY SHALL CONFORM TO ARCHITECTURAL WOODWORKING INSTITUTE (AWI) STANDARDS FOR "CUSTOM" GRADE. SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW.
- l. ALL NEW INTERIOR WOOD FOR FLOORING, TRIM, ETC. SHALL BE ALLOWED TO ACCLIMATE AT JOB SITE PRIOR TO INSTALLATION AS PER INDUSTRY STANDARD AND MANUFACTURER'S SPECIFICATIONS.
- m. NEW WOOD FINISHED FLOORING TO MATCH EXISTING ADJACENT, UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- n. ALLOW ALL NEW WOOD FOR INTERIOR FINISHES TO BE ACCLIMATED TO INTERIOR ENVIRONMENT TO REACH MOISTURE CONTENT OF NEW OR EXISTING INTERIOR PRIOR TO INSTALLATION.
8. THERMAL AND MOISTURE PROTECTION/ROOFING:
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT TO INSTALL INSULATION, ROOF AND WATER-PROOFING AS DETAILED OR SPECIFIED IN THESE DOCUMENTS.
- a. BATT OR FOAM BOARD INSULATION TO BE R=19 OR R=21 IN ALL NEW OR RECONSTRUCTED WALLS. R = 11 IN ALL NEW AND EXISTING UNINSULATED 2 X 4 WALLS, R=38 IN ALL NEW ROOF/CEILINGS AND WHERE ACHIEVABLE DUE TO EXISTING LUMBER DIMENSIONS, R=10 UNDER CONCRETE SLAB FLOOR IN CRAWL SPACE OR ALONG BASEMENT PERIMETER WALLS, AND UNDER INTERIOR SPACE. NEW AND EXISTING INTERIOR PARTITIONS TO RECEIVE SOUND ATTENUATION BATTS. WHERE EXISTING 2 X 4 CONSTRUCTION IS OPEN, IT IS TO BE INSULATED WITH INSULATION TO COMPLETELY FILL CAVITY. REFERENCE DRAWINGS AND NYS ENERGY ANALYSIS FOR ADDITIONAL INFORMATION.
- b. FIRE RATED SEALANT SHALL BE USED AT ALL PENETRATIONS THROUGH PARTITIONS OR WALLS, AND CEILINGS. FIRE STOPS SHALL BE USED BETWEEN DEMISING WALLS IF REQUIRED.
- c. NEW GUTTERS AND LEADERS TO BE MINIMUM 16 OZ. COPPER OR FINISHED ALUMINUM TO MATCH EXISTING.
9. DOORS, WINDOWS AND GLASS:
- CONTRACTOR SHALL SUPPLY, RELOCATE AND INSTALL ALL DOORS, WINDOWS AND GLAZING AS DETAILED, SCHEDULED, AND/OR SPECIFIED IN THESE DOCUMENTS. SUBMIT SAMPLES OR SHOP DRAWINGS TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ORDERING.
- DOORS: ALL NEW DOORS TO BE MORGAN, ANDERSEN "A" SERIES, OR EQUAL, SOLID CORE, AND EQUIPPED WITH HARDWARE AS SELECTED BY OWNER, AND SHALL BE SEALED, TOP, BOTTOM, AND ALL SIDES AS DEFINED IN SECTION 9, AND SHALL BE OPERATING SNUG AND SMOOTH. PROVIDE WEATHER STRIPPING WHERE REQUIRED AT EXTERIOR DOORS.
- a. INTERIOR DOORS TO BE SOLID HARDWOOD WITH WOOD FRAMES AND WOOD TRIM BY MORGAN, SIMPSON OR EQUAL. MATCH EXISTING OR OWNER TO SELECT STYLE FROM MANUFACTURER'S STANDARD PRODUCT LINE.
- b. CLOSET DOORS TO BE SOLID HARDWOOD BY MORGAN, SIMPSON OR EQUAL TO MATCH EXISTING.
- c. SUGGESTED HARDWARE TO BE "BALDWIN COLLECTION" OR EQUAL IN POLISHED BRASS FINISH OR AS SELECTED BY OWNER TO MATCH EXISTING. ALL HARDWARE FINISH ON DOOR TO MATCH, THAT IS, LOCK/LATCH/SET FINISH TO MATCH FINISH OF HINGES, ETC.
- INTERIOR LATCHSETS AND LOCKSETS WITH LEVER HANDLES #5460 IN FINISH AS SELECTED BY OWNER.
  - PASSAGE SETS FOR CLOSETS AND OTHER DOORS.
  - HINGES: 4" X 4" SQUARE EGGED HINGES IN FINISH AS SELECTED BY OWNER. ONE AND ONE HALF PAIR PER DOOR. HINGES, PASSAGE/LOOK SETS, AND LEVER HANDLES TO MATCH IN WHATEVER FINISH IS SELECTED.
- NOTE: OWNER TO PURCHASE ALL EXPOSED DECORATIVE HARDWARE FOR DOORS AS REQUIRED. INSTALLATION BY CONTRACTOR. WINDOW HARDWARE TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD PRODUCT LINE BUT PURCHASED BY CONTRACTOR AS PART OF WINDOW PACKAGE.
- WINDOWS:
- ALL NEW AND REPLACEMENT WINDOWS TO MATCH EXISTING CREAM TYPE OR CLOSELY AS POSSIBLE UNLESS OTHERWISE

- NOTED AND TO BE CAULKED AND WEATHER-STRIPPED, SEALED ON ALL EDGES AND SURFACES AS DEFINED IN SECTION 9, AND SHALL BE OPERATING SNUG AND SMOOTH, AND BE WEATERTIGHT. SUBMIT SAMPLES OR SHOP DRAWINGS TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ORDERING.
- a. NEW OPERATING WINDOWS TO MATCH EXISTING TO BE ALUMINUM OR VINYL CLAD WOOD WITH WOOD INTERIORS BY ANDERSEN, PELLA, MARVIN OR EQUAL WITH INSULATING, LOW E II GLASS WITH ARGON. WOOD TRIM TO BE AS SELECTED BY OWNER UNLESS OTHERWISE NOTED. ON DRAWINGS: NEW ANDERSEN "A" SERIES DOUBLE HUNG, TILT-WASH, AWNING, CASEMENT WINDOWS, AND WOOD AND GLASS DOORS, OR TO REPLACE EXISTING UNLESS AS NOTED ON DRAWINGS. SIMULATED DIVIDED LIGHTS (SDL) TO BE "TRADITIONAL" STYLE TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER AND REVIEW SAMPLE BEFORE ORDERING. GLAZING TO BE ARGON FILLED, LOW "E" INSULATING TYPE WITH U = .35 MINIMUM. SAFETY TYPE GLAZING WHERE REQUIRED BY NYS CODE OR INDICATED ON DRAWINGS. PROVIDE FULL INSECT SCREENS AT ALL NEW WINDOWS. WOOD SCREEN SURROUND WITH ALUMINUM EXTERIOR AND BRIGHT ALUMINUM OR "INVISIBLE" TYPE WIRE SCREENING.
- b. WINDOW EXTERIOR AND INTERIOR TRIM, JAMBS, AND CASINGS TO BE WOOD TO MATCH EXISTING IN SIZE, WOOD SPECIES, AND DETAIL UNLESS OTHERWISE NOTED. VERIFY INTERIOR PAINT FINISH WITH OWNER IN THE FIELD; EXTERIOR FINISH TO BE ALUMINUM/VINYL CLADDING IN COLOR TO MATCH EXISTING (WHITE). VERIFY ALL COLORS AND FINISHES WITH OWNER PRIOR TO ORDERING.
- c. EXTERIOR GLAZING TO BE 1" HIGH PERFORMANCE INSULATING TYPE IN ALL FIXED FRAMES AND OPERATING UNITS, OR AS SUPPLIED WITH WINDOW WITH FULL TWENTY YEAR WARRANTY FROM MANUFACTURER FOR WINDOW COMPONENTS AND GLAZING.
- d. WINDOW HARDWARE AS SELECTED BY OWNER.
- e. INTERIOR GLAZING AND MIRRORS TO BE 3/16" FLOAT GLASS.
- f. PROVIDE SAFETY TEMPERED GLASS AT WINDOWS WHERE REQUIRED BY NYS CODE AND AT NEW TUB/SHOWER LOCATION IF APPLICABLE, AND WHERE BOTTOM OF GLAZING IS LESS THAN 60" ABOVE ANY STANDING OR WALKING SURFACE. REFER TO NYS RESIDENTIAL CODE.
- g. NEW SKYLIGHTS, IF REQUIRED, BY VELUX, ALUMINUM AND WOOD FRAME, DECK MOUNTED, "NO LEAK" VENTILATING TYPE, MANUAL VENTING WITH ALL FLASHINGS, FASTENERS, BLACKOUT BUNDS, INSECT SCREENS, AND ALL ACCESSORIES FOR A COMPLETE INSTALLATION. MODEL W06 OR EQUAL. VERIFY SIZE IN FIELD PRIOR TO PLACING ORDER. EXTERIOR ALUMINUM FINISH TO MATCH ADJACENT ROOF SHINGLES.
10. FINISHES:
- a. DRYWALL TO BE 1/2" OR 5/8" THICK, PAPERLESS, MOLD RESISTANT "GP DENSEARMOR" OR EQUAL. TAPED, FILLED, AND SANDED SMOOTH. FIRE CODE "C" DRYWALL AS REQUIRED. CEILING OVER HEAT PRODUCING EQUIPMENT, AS REQUIRED, SHALL BE 5/8" THICK ON CEILINGS AND 5/8" THICK ON WALLS, TAPED, FILLED AND SANDED SMOOTH. MOISTURE RESISTANT GREEN/PURPLE BOARD TO BE USED AT WALLS OF BATHROOMS ONLY, IF APPLICABLE. CEILINGS AND SOFFITS TO BE 5/8" STANDARD BOARD UNLESS NAILING IS ON 12" CENTERS AND NOT 16" CENTERS. VERIFY WITH MANUFACTURER.
- b. DRYWALL TEXTURE TO BE SMOOTH ON WALLS TO MATCH EXISTING AND SMOOTH ON CEILINGS UNLESS OTHERWISE NOTED.
- d. WALL COVERING TO BE BY OWNER.
- e. CARPET AND INSTALLATION BY OWNER. CARPET TO BE RESIDENTIAL QUALITY, NYLON CUT PILE BY SHAW, MOHAWK, OR EQUAL WITH CUSHION (HEIGHT TO BE DETERMINED). FOLLOW CARPET AND RUG INSTITUTE (CRI) STANDARDS AND PROCEDURES FOR HANDLING, STORING, ACCUMULATING, AND INSTALLING CARPETING.
- f. NEW WOOD FLOORING TO MATCH EXISTING OR BE 1/2" X 2 1/4" SOLID, T & G UNFINISHED HARDWOOD OAK STRIP UNLESS OTHERWISE NOTED. PREPARATION, STORAGE, AND INSTALLATION SHALL COMPLY WITH INSTALLATION GUIDELINES OF THE NATIONAL WOOD FLOORING ASSOCIATION.
- g. BATHROOMS: CERAMIC TILE OR PORCELAIN OR STONE TILE LAD IN THINSET MORTAR BED (TILE TO BE SELECTED BY OWNER). NEW HOT WATER OR ELECTRIC RADIANT HEAT FLOOR SYSTEM UNDER TILE BY UNHEAT OR EQUAL IF REQUIRED (VERIFY WITH OWNER). FOLLOW PROCEDURES OF TILE COUNCIL OF AMERICA, LATEST EDITION, FOR ALL TILE WORK INCLUDING PREPARATION OF SUBFLOOR, STORAGE OF MATERIAL, LAYING OF TILE, AND GROUTING AND FINISHING OF TILE.
- h. STONE AND/ OR SOLID SURFACE COUNTERTOPS AS REQUIRED TO BE SELECTED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR, UNLESS OTHERWISE DIRECTED. VERIFY WITH OWNER.
- i. ALL PAINTING AND VARNISH SHALL BE A THREE (3) COAT JOB OF THE HIGHEST QUALITY WORKMANSHIP FREE OF RUNS AND SAGS, AND WITH STRAIGHT EDGES. WHERE PAINTING OCCURS OVER EXISTING WORK, ONE OPAQUE WHITE COAT SHALL PRECEDE TWO COATS OF COLOR. ALL STAIN SHALL BE ONE COAT. ALL WOOD TO BE BACK PRIMED. INTERIOR PAINT TO BE BENJAMIN MOORE. COLOR: "LINEN WHITE" EGGSHELL FINISH FOR WALLS, "WHITE", FLAT FOR CEILINGS AND SOFFITS, AND "LINEN WHITE", SATIN FINISH FOR TRIM AND MOLDINGS. UNLESS SPECIFIED DIFFERENTLY ON FINISH SCHEDULE OR BY OWNER. VERIFY ALL COLOR SELECTIONS WITH OWNER PRIOR TO ORDERING.
- j. EXTERIOR WOOD OR PVC SIDING, TRIM, CORNER BOARDS, SOFFITS, POSTS, AND RAILINGS SHALL BE PAINTED, IF REQUIRED USING SAME THREE COAT PROCESS WITH EXTERIOR LATEX OR ALKID PAINT BY BENJAMIN MOORE OR EQUAL, OR IF NOT A WOOD PRODUCT, AS REQUIRED BY PVC PRODUCT MANUFACTURER.
- k. EXTERIOR WOOD FASCIA TO BE PAINTED.
- l. EXTERIOR WINDOWS AND DOORS AND MISCELLANEOUS TRIM TO BE PAINTED AS REQUIRED UNLESS OTHERWISE NOTED. INTERIOR OF WINDOWS TO BE PAINTED UNLESS TRANSPARENT FINISH SELECTED.
- m. INTERIOR WALLS AND CEILINGS TO BE PAINTED INCLUDING DECORATIVE TRIM AND MOLDINGS.
- n. INTERIOR SHELVING TO RECEIVE TRANSPARENT FINISH.
- o. INTERIOR DOORS TO BE PAINTED. FINISH SEALED TOP, BOTTOM, AND ALL SIDES.
- p. WOOD STRIP FLOORING, NEW OR REUSED (IF NOT PREFINISHED) TO RECEIVE LATEX POLYURETHANE FINISH, SATIN SHEEN. SUBMIT SAMPLE FOR APPROVAL.
- q. WOOD KITCHEN CABINETS AND MILLWORK TO BE PURCHASED AND INSTALLED BY GENERAL CONTRACTOR AND TO BE CUSTOM FABRICATED OR BY "BROCHRAFT" OR EQUAL. ANY ADDITIONAL CABINETS NOT PURCHASED BY OWNER TO BE WOOD, FINISHED WITH TRANSPARENT FINISH AS SELECTED BY OWNER. FOLLOW CONSTRUCTION AND FINISHING GUIDELINES OF ARCHITECTURAL WOODWORKING INSTITUTE (AWI), "CUSTOM GRADE". SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. VERIFY ALL CABINET SELECTIONS WITH OWNER AND SUBMIT SAMPLES FOR APPROVAL PRIOR TO ORDERING.
- r. INTERIOR WOOD CASINGS, MOLDINGS, CROWN MOLDINGS AND TRIM TO BE SOLID WOOD TO RECEIVE PAINTED FINISH. (FINGER JOINED WOOD IS ACCEPTABLE FOR OPAQUE FINISH. VERIFY WITH OWNER.)
11. SPECIALTY ITEMS:
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO INSTALL THE SPECIALTY ITEMS, SHOWN, NOTED, OR SPECIFIED IN THESE DOCUMENTS.
- a. HARDWARE TO BE INSTALLED BY C.C. SEE "DOOR" SECTION ABOVE.
- b. WALL OR CEILING ACCESS PANELS, AS REQUIRED TO ACCESS VALVES OR OTHER EQUIPMENT TO BE SIZED AS REQUIRED FOR ACCESS AND REPAIR AND BE OF THE REQUESTED TYPE BY GESCO OR EQUAL.
- C. NEW PREFABRICATED, DIRECT VENT, GAS FIRPLACE TO BE AS SELECTED BY OWNER. FURNISHED AND INSTALLED BY GENERAL CONTRACTOR TO MEET REQUIREMENTS OF MANUFACTURER, LOCAL MUNICIPALITY, UTILITY COMPANY, AND NYS CODE
12. EQUIPMENT:
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO INSTALL EQUIPMENT SHOWN, NOTED OR SPECIFIED IN THESE DOCUMENTS.
- a. FURNISH AND INSTALL NEW HARDWIRED OR WIRELESS AND INTERCONNECTED SMOKE AND CARBON MONOXIDE DETECTORS AS SHOWN ON DRAWINGS OR AS REQUIRED BY NYS CODE OR TOWN OF HASTINGS-ON-HUDSON VILLAGE CODE. TAKES PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS IN THIS REGARD ONLY IF TOWN CODE IS STRICTER THAN DRAWINGS AND SPECIFICATIONS.
- b. ALL NEW APPLIANCES/FIXTURES TO BE PURCHASED BY OWNER AND INSTALLED (OR INSTALLATION COORDINATED) BY BUILDER, UNLESS OTHERWISE NOTED.
- PLUMBING:
- A. INSTALL DOMESTIC HOT AND COLD WATER SUPPLY PIPING FOR ADDITIONS AND ALTERATION AS SHOWN OR REQUIRED. COPPER TUBING, TYPE L WITH MASTER CONTROL VALVES AND SHUT OFF VALVES AT EACH APPLIANCE OR FIXTURE. CROSS LINKED POLYETHYLENE "PEX" PIPING MAY BE USED IF ACCEPTABLE BY TOWN CODE. VERIFY WITH OWNER. FOLLOW INSTRUCTIONS OF MANUFACTURER FOR STORAGE, PREPARATION, AND INSTALLATION.
- b. ALL PLUMBING FIXTURES AND APPLIANCES TO BE INSTALLED IN UNWARRANTED CONDITION, AND PROTECTED TO COMPLETION OF WORK. VERIFY WITH OWNER THE MANUFACTURER, TYPE, AND STYLE FOR ALL NEW FIXTURES AND APPLIANCES OR COORDINATE REUSE OF EXISTING FIXTURES AND APPLIANCES AS REQUIRED.
- c. INSULATE ALL NEW AND EXISTING SUPPLY AND WASTE PIPING IN AREA OF NEW WORK. PROVIDE HEAT TRACE WIRING WHERE POSSIBILITY OF FREEZING TEMPERATURES MAY OCCUR. USE HEAT TRACE WIRING AT EXTERIOR AREAS IF REQUIRED DUE TO WATER PENETRATION.
- d. SEE PLUMBING NOTES FOR ADDITIONAL INFORMATION.

FLOOR AREA DIAGRAMS



TOTAL FLOOR AREA CALCULATIONS:

FLOOR	EXISTING	NEW	TOTAL
FIRST FLOOR	1346.84	44.71	1391.55
SECOND FLOOR	864.11	317.03	1181.14
ATTIC	333.62	0	333.62
TOTAL FLOOR AREA	2,544.87	361.74	2,906.21




NO.	DATE	DESCRIPTION	INIT.

REVISION

PROJECT NAME

ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME  
GENERAL REQUIREMENTS  
AND FLOOR AREA DIAGRAM

SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

SHEET No.





GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE RULES AND REGULATIONS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE VILLAGE OF HASTINGS-ON-HUDSON.
2. THE GENERAL CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR THE PERFORMANCE OF THIS WORK AND PAY ALL FEES IN CONNECTION THEREWITH.
3. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE GENERAL CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL CORRECT ANY AND ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
4. THE GENERAL CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND SHALL REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
5. THE GENERAL CONTRACTOR SHALL VISIT THE BUILDING(S) AND THE SITE OF THE PROPOSED WORK PRIOR TO THE CONTRACT SIGNING TO EXAMINE THE CONDITIONS OF THE SITE AND BUILDING(S). HE SHALL STUDY THE SITE AND BUILDING(S) COMPARING THEIR CONDITION TO THE INTENT OF THE CONTRACT DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING SEVEN (7) CALENDAR DAYS IN ADVANCE OF THE CONTRACT SIGNING OF ALL DISCREPANCIES OR QUALIFICATIONS WHICH MAY ARISE.
6. FLOOR, WALLS AND CEILING SURFACES SHALL BE PATCHED AND REPAIRED AS REQUIRED BEFORE APPLYING ANY FINISHED MATERIALS.
7. ALL FINISHED RISERS, BOTH HORIZONTAL AND VERTICAL, SHALL BE CORNER BEADED OR OTHERWISE TRIMMED WITH METAL.
8. ALL ALUMINUM SHALL BE INCOMBUSTIBLE ALLOY NO. 6063-T5.
9. ALL ELECTRICAL WORK SHALL CONFORM TO THE PROVISIONS OF THE NATIONAL ELECTRICAL CODES.
10. FIRE STOPPING SHALL COMPLY WITH THE PROVISIONS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
11. ALL ROTTED AND DEFECTIVE BEAMS ARE TO BE REPLACED WITH NEW OF EQUAL SIZE, OR UNLESS OTHERWISE AS NOTED ON PLANS.

DEMOLITION NOTES

1. CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS NECESSARY TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS SHOWN TO BE REMOVED.
2. IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS, CONTRACTOR SHALL PATCH TO LEVEL THE SURFACE FOR A SMOOTH EVEN TRANSITION BETWEEN ADJACENT SURFACES.
3. ALL WORK DEMOLISHES SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES.
4. USE ALL MEANS NECESSARY TO PREVENT DUST DURING THE PERFORMANCE OF THIS WORK AND PREVENT DUST BEING A NUISANCE TO THE TENANTS, WORKMEN AND CONCURRENT PERFORMANCE OF THE WORK.

ELECTRICAL NOTES

- 1) ARC-FAULT CIRCUIT INTERRUPTERS (AFCI) ARE REQUIRED IN ALL RESIDENTIAL DWELLING UNITS. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (210.12 (B))
- 2) INTERIOR - TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN ALL RESIDENTIAL DWELLINGS UNITS. IN ALL AREAS OF A RESIDENTIAL DWELLING UNIT, ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. (406.1 I)
- 3) REQUIRED RECEPTACLE OUTLETS – IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: (210.52(A)).
- A. FINISHED LIVING AREAS - ANY WALL SPACE 2 FEET OR MORE IN WIDTH WITHIN ANY FINISHED LIVING AREA, MUST HAVE AN ELECTRICAL RECEPTACLE (OUTLET) NO MORE THAN 6 FEET FROM ANY OBSTRUCTION OR BREAK IN THE WALL (SUCH AS A DOORWAY) AND NO MORE THAN 12 FEET FROM THE PREVIOUS ELECTRICAL RECEPTACLE (OUTLET). (210.52(A)(1)&(2)).
- B. KITCHENS – A MINIMUM OF TWO (2) 20 AMP SMALL-APPLIANCE BRANCH CIRCUITS ARE REQUIRED. ALSO, ANY COUNTERTOP PENINSULA EXTENDING 2 FEET OR MORE AND PERMANENTLY INSTALLED ISLANDS MUST HAVE A RECEPTACLE. (210.11 (C)(1)).
- C. BATHROOMS – AT LEAST ONE 20-AMPERE BRANCH CIRCUIT RECEPTACLE OUTLET SHALL BE PROVIDED TO SUPPLY THE BATHROOM. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. EXCEPTION: WHERE THE 20-AMPERE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED IN ACCORDANCE WITH THE NEC. (210.11 (C)(3)).
- ALL CONVENIENCE RECEPTS. TO BE INSTALLED AS PER THE NATIONAL ELECTRIC CODE, CURRENT EDITION, AND THE NYC BUILDING CODE IN ADDITION TO THAT WHICH ARE SHOWN IF NECESSARY TO COMPLY WITH CODE.
4. ALL LIGHT FIXTURES SHALL BE CONTROLLED BY SIMPLE DIMMER SWITCH SAME TYPE AS EXISTING IN HOUSE, REMOTE CONTROL TYPE FOR LIVING ROOM, BEDROOM, KITCHEN AND DINING, UNLESS NOTED OTHERWISE.

UNIT PRICES:  
THE CONTRACTOR SHALL PROVIDE UNIT PRICES FOR THE FOLLOWING:  
1.0 NEW ELECTRICAL OUTLETS, SWITCHES AND CEILING FIXTURES.  
2.0 REMOVAL OF ELECTRICAL DEVICES  
3.0 NEW GYPSUM BOARD WALLS WITH WOOD BASE TO MATCH EXISTING.

GENERAL CONSTRUCTION NOTES:

1. ALL LAMPS SHALL BE DIMMABLE WARM WHITE LED TYPE.
2. PATCH AND REPAIR ALL FINISH FLOORING AND PROVIDE WOOD BASE AND ¼ ROUND MOLDING TO MATCH FINISHING THROUGHOUT.
3. ALL WALLS, CEILINGS, TRIM TO BE PATCHED, REPAIRED AND PAINTED TO MATCH THE EXISTING COLOR SCHEME AT THAT PARTICULAR SURFACE.

ELECTRICAL NOTES

1. ELECTRICAL INSTALLATION SHALL COMPLY WITH THE BASE BUILDING REQUIREMENTS AND ALL CURRENT APPLICABLE CODES, INCLUDING THE CITY OF YONKERS THE NATIONAL ELECTRICAL CODE, AND ALL APPLICABLE LOCAL CODES HAVING JURISDICTION.
2. DRAWINGS ARE DIAGRAMMATIC. EXACT LOCATIONS SHALL SUIT FIELD CONDITIONS AND BE COORDINATED WITH ARCHITECT AND ALL TRADES PRIOR TO INSTALLATION.
3. ELECTRICAL CONTRACTOR SHALL SIZE PULL BOXES AND SUPPORT BOXES TO SUIT FIELD CONDITIONS. REFER TO WALL TYPES AND AVAILABLE PARTITION THICKNESS.
4. ALL CONTROL, SIGNAL, MONITORING AND ANNUNCIATING WIRING AND CONDUIT SHALL CONFORM TO EQUIPMENT MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS, AND SHALL BE AS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM UNLESS SPECIFICALLY NOTED OTHERWISE.
5. CONTRACTOR SHALL REFER TO ARCHITECT'S DOCUMENTS FOR LOCATION, AND MOUNTING HEIGHTS OF ALL LIGHTING FIXTURES AND ASSOCIATED SWITCHING CONTROLS.
6. PROVIDE ALL WORK INDICATED ON THE DRAWINGS UNLESS SPECIFICALLY NOTED AS BEING FOR COORDINATION ONLY. INDICATIONS OF LIMITS OF WORK, "EXTENT OF RENOVATION", OR ANY OTHER SUCH NOTATION REFER ONLY TO THE LIMITS OF NEW FINISH WORK. FOR PIPING, CONDUITS, DUCTWORK, EQUIPMENT, ETC., WHICH IS INDICATED OUTSIDE THE MAIN AREA OF RENOVATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ACCESS TO THE AREA FOR PERFORMING THE WORK. ALL FINISHES ARE TO BE RESTORED TO 'AS IS' OR 'LIKE NEW' CONDITIONS.
7. ANY DAMAGE TO EXISTING PARTITIONS, FLOORS, CEILINGS OR ANY PART OF THE BUILDING OR EQUIPMENT CAUSED BY THE WORK OF THE CONTRACT SHALL BE MADE GOOD AT NO ADDITIONAL EXPENSE TO THE OWNER.
8. THE CONTRACTOR SHALL MAINTAIN CONTINUITY OF SERVICE ON ALL CIRCUITS AFFECTED BY THESE CHANGES. WHENEVER IT IS REQUIRED THAT AN EXISTING CIRCUIT BE REVISED, DISCONNECTED OR REMOVED, IT SHALL BE UNDERSTOOD THAT THE CIRCUIT SHALL BE RECONNECTED AND SERVICE RE-ESTABLISHED IN THE REMAINING PORTION OF THE CIRCUIT AFFECTED BY THIS ALTERATION.
9. CONTRACTOR SHALL VISIT AND EXAMINE CAREFULLY THE EXISTING AREAS AFFECTED BY HIS WORK TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND WITH DIFFICULTIES THAT WILL AFFECT THE EXECUTION OF THIS WORK. CONTRACTOR SHALL PERFORM THIS, PRIOR TO SUBMITTING HIS PROPOSAL. SUBMISSION OF A PROPOSAL WILL BE CONSTRUED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND LATER CLAIMS WILL NOT BE RECOGNIZED FOR EXTRA LABOR, EQUIPMENT OR MATERIALS REQUIRED BECAUSE OF DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD SUCH AN EXAMINATION BEEN MADE.
11. THIS CONTRACTOR, BEFORE INSTALLING ANY OF THE WORK, SHALL SEE THAT IT DOES NOT INTERFERE WITH CLEARANCES REQUIRED FOR FINISHED COLUMNS, HUNG CEILINGS, PLASTER, PARTITIONS, WALLS, ETC., AS SHOWN IN THE ARCHITECTURAL DRAWINGS AND DETAILS. IF ANY WORK IS SO INSTALLED AND IT LATER DEVELOPS THAT SUCH DETAILS OR DESIGN CANNOT BE FOLLOWED, THIS CONTRACTOR AT HIS OWN EXPENSE SHALL MAKE SUCH CHANGES IN THE WORK AS DIRECTED BY THE ARCHITECT, AS WELL AS TO PERMIT THE INSTALLATION OF THE ARCHITECTURAL WORK AS SHOWN ON THE PLANS AND DETAILS.
12. ALL CIRCUITS TO BE BALANCED
13. COORDINATE ALL SWITCHING REQUIREMENTS AND SWITCH LOCATIONS W/ARCHITECT PRIOR TO INSTALLATION.
14. ALL CIRCUITS TO COMPUTERS AND ANY OTHER LOADS OF NON-LINEAR NATURE SHALL HAVE A SEPARATE GROUND AND SEPARATE NEUTRAL WIRES. STANDARD SHARED NEUTRAL HOMERUNS ARE NOT PERMITTED. DERATE ALL CONDUCTORS AS REQUIRED BY NEC.

SMOKE ALARM NOTES

907.2.10 SINGLE- AND MULTIPLE-STATION SMOKE ALARMS

- SINGLE OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED REGARDLESS OF OCCUPANT LOAD AT ALL OF THE FOLLOWING LOCATIONS:
1. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.
2. IN EACH ROOM USED FOR SLEEPING PURPOSES.
3. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

907.2.10.3 INSTALLATION NEAR COOKING APPLIANCES

- SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY PCNYS SECTION 907.2.10.1 OR 907.2.10.2:
1. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET (6096 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
2. IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
3. PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET (1829 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

907.2.10.4 INSTALLATION NEAR BATHROOMS

SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION 907.2.10.1 OR 907.2.10.2.

PLUMBING NOTES (PCNYS)

1. ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF THE 2020 PLUMBING CODE OF NEW YORK STATE (PCNYS). THE PLUMBING WORK SHALL ALSO COMPLY WITH APPLICABLE SECTIONS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE. ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE 2020 PLUMBING CODE OF NEW YORK STATE.
2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS AND FINAL INSPECTION SIGNOFFS FROM THE CITY OF YONKERS DEPARTMENT OF BUILDINGS.
3. ALL SHUT-OFF VALVES NEW OR EXISTING SHALL BE ACCESSIBLE FOR INSPECTION, REPAIR & MAINTENANCE.
4. THERE SHALL BE NO TRENCHING OF STRUCTURAL CONCRETE SLABS FOR PLACEMENT OF PLUMBING LINES, WITHOUT PRIOR PERMISSION FROM THE BUILDING.
5. PROVIDE NEW BRONZE, FULL PORT BALL VALVES AT ALL POTABLE WATER RISER CONNECTIONS.
6. THE CONTRACTOR MUST TEST ALL AFFECTED WATER SUPPLY SHUT-OFF VALVES PRIOR TO PROCEEDING WITH ANY PHASE OF WORK. THIS IS TO AVOID ANY EMERGENCY PROBLEMS.
7. TEMPORARY SHUTDOWNS OF BUILDING SERVICES FOR THE PURPOSES OF MAKING NEW CONNECTIONS TO EXISTING WORK SHALL BE DONE ONLY WITH THE EXPRESSED PERMISSION OF THE BUILDING OWNER AND MUST BE PRESENTED TO THE BUILDING OWNER IN WRITING WITH MIN. 48 HOURS NOTICE.
8. ALL PLUMBING SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF PCNYS SECTION 312.
9. ALL CONDENSATE DRAIN SYSTEMS FOR MECHANICAL EQUIPMENT SHALL COMPLY WITH THE REQUIREMENTS OF PCNYS SECTION 314.
10. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES.
11. THE DRAWINGS ON THIS SHEET ARE SCHEMATIC REPRESENTATIONS ONLY. CONTRACTOR MUST REVIEW PROJECT APPLICANT'S DRAWINGS FOR LOCATIONS OF FIXTURES, EQUIPMENT, ETC.
12. CONTRACTOR SHALL EXAMINE THE PROPOSED LAYOUT WITH REGARD TO EXISTING FIELD CONDITIONS, AND SHALL NOTIFY THE PROJECT APPLICANT OF ANY DISCREPANCIES BETWEEN ESTIMATED FIELD CONDITIONS AND THOSE ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL INFORM THE PROJECT APPLICANT OF ANY REVISIONS TO PLAN WHICH SHALL BE NECESSARY, BASED ON CONDITIONS UNCOVERED IN THE FIELD, IN ORDER TO INSTALL ALL FIXTURES, EQUIPMENT AND PIPING IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE PCNYS.
13. NO DEVIATION FROM THE DRAWINGS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL.
14. ACCESS DOORS SHALL BE PROVIDED FOR ALL VALVES (EVEN IF NOT NOTED ON PLAN OR PIPING DIAGRAM). ACCESS DOORS SHALL BE LOCATED TO PROVIDE AMPLE ROOM FOR SERVICING AND OPERATING THE VALVES AND SHALL BE COORDINATED WITH THE DESIGNER.
15. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AS THEY RELATE TO THE PROPOSED WORK PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WORK RELATED TO SITE CONDITIONS EVEN THOUGH THEY MAY NOT BE INDICTED ON THE DRAWING.
16. MATERIALS, EQUIPMENT AND SYSTEMS INSTALLED SHALL MEET ALL APPLICABLE REQUIREMENTS OF ALL RECOGNIZED APPROVAL AGENCIES AND ALL APPLICABLE LOCAL CODES. ALL MATERIALS, EQUIPMENT AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE BUILDINGS STANDARD RULES, REGULATIONS AND SPECIFICATIONS.
17. THE CONTRACTOR SHALL PROVIDE SUITABLE WATERPROOFING AT ALL AREAS SUCH AS WALLS & FLOORS AND ANY OTHER LOCATIONS THAT WOULD NORMALLY REQUIRE WATERPROOFING. EXTERIOR PENETRATIONS ARE NOT PROPOSED OR ALLOWED FOR THIS ALTERATION.
18. THE CONTRACTOR SHALL PROVIDE EQUIPMENT SUBMITTALS FOR APPROVAL BY THE PROJECT APPLICANT PRIOR TO PURCHASE OF SUCH EQUIPMENT. EQUIPMENT SUBMITTALS SHALL BE PROVIDED FOR PIPE INSULATION.
- FIXTURES
19. ALL FIXTURES, FAUCETS AND FITTINGS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE PCNYS (CHAPTER 4) AND THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
20. BACKFLOW PREVENTERS SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2020 PCNYS STATE FOR ALL BIDETS, WASHING MACHINES, DISHWASHERS AND ANY OTHER APPLIANCES OR FIXTURES AS REQUIRED.
21. PROVIDE LOCAL SHUT-OFF VALVES AT ALL FIXTURES AND APPLIANCES THAT REQUIRE POTABLE WATER SERVICE.
22. ALL LAVATORIES SPECIFIED MUST TO DESIGNED WITH OVERFLOW PROTECTION.
23. ALL FLOOR DRAINS, FUNNEL DRAINS AND RECEIVERS SHALL HAVE AUTOMATIC TRAP-PRIMERS EVEN IF NOT INDICATED ON THE PLAN.
24. THE CONTRACTOR SHALL SUPPLY ALL FIXTURES AND ASSOCIATED FAUCETS, FITTINGS AND ACCESSORIES AND ANY ADDITIONAL HARDWARE NORMALLY REQUIRED TO PROVIDE A COMPLETE AND FULLY FUNCTIONAL INSTALLATION.

PIPING SYSTEMS

1. ALL PIPING (COLD WATER, HOT WATER, HOT WATER RECIRCULATION, WASTE, VENT AND STORM DRAINAGE) SHOWN ON THE DRAWINGS.
2. ALL PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH THE REQUIREMENTS OF PCNYS SECTION 308.
3. CLEANOUTS SHALL BE PROVIDED FOR DRAINAGE PIPING IN ACCORDANCE WITH THE REQUIREMENTS OF PCNYS SECTION 708.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING CLEAN OUT REQUIREMENTS IN THE FIELD.
4. HORIZONTAL SECTIONS OF SANITARY WASTE & VENT PIPING 2 1/2" OR LESS SHALL BE PITCHED A MINIMUM OF 1/4 FOOT AND PIPING GREATER THAN 2 " SHALL BE PITCHED A MINIMUM OF 1/8 " PER FOOT, IN ACCORDANCE WITH THE REQUIREMENTS OF THE PCNYS, SECTION 704 AND TABLE 704.1.
5. ALL VENT PIPING SHALL BE INSTALLED IN ACCORDANCE THE REQUIREMENTS OF THE PCNYS. THERE SHALL BE NO WET VENTING PERMITTED.
6. ALL POTABLE WATER SUPPLY DISTRIBUTION PIPING SHALL BE COPPER OR COPPER ALLOY TUBING, TYPE L PER PCNYS, TABLE 605.4 WITH WROUGHT COPPER FITTINGS PER PCNYS, TABLE 605.5. ALL JOINTS SHALL BE SOLDERED WITH SOLDER CONFORMING TO ASTM B32 (95% TIN/ 5%ANTIMONY) IN ACCORDANCE WITH THE REQUIREMENTS OF PCNYS SECTION 605.1 2.3. NO SUPPLY WATER LINES SHALL USE FLEXIBLE OR BENDABLE FITTINGS.
7. CONDENSATE DRAINS FROM MECHANICAL COOLING EQUIPMENT, BOTH EXPOSED AND IN CAVITY AREAS, SHALL BE 3/4 DWV COPPER PIPE WITH 1/2 " THICK ARMSTRONG ARMAFLEX TYPE AP PIPE INSULATION. (REF: PCNYS SECTION 314.2.2)
8. R403.5.3 HOT WATER PIPE INSULATION (PRESCRIPTIVE)  
INSULATION FOR HOT WATER PIPING WITH A THERMAL RESISTANCE, R-VALUE, OF NOT LESS THAN R-3 SHALL BE APPLIED TO THE FOLLOWING:  
.1 PIPING 3/4 INCH (19.1 MM) AND LARGER IN NOMINAL DIAMETER.  
.2 PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.  
.3 PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.  
ALL PIPE INSULATION SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE SUBMITTAL FOR THE PIPE INSULATION FOR APPROVAL BY THE ENGINEER. (REF: PCNYS, SECTION 607.5)
9. WATER HAMMER ARRESTORS SHALL BE INSTALLED WHERE QUICK CLOSING VALVES ARE UTILIZED. WATER HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S WRITTEN SPECIFICATIONS. WATER HAMMER ARRESTORS SHALL MEET THE REQUIREMENTS OF PCNYS SECTION 604.9.
10. DIELECTRIC FITTINGS SHALL BE USED TO JOIN PIPES/TUBES OF DISSIMILAR METALS IN ACCORDANCE WITH THE REQUIREMENTS OF PCNYS SECTION 605.23
11. VALVES SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF PCNYS, SECTION 606.
12. IF PIPES PASSING THROUGH FIRE RESISTANCE RATED ASSEMBLIES SHALL BE FIRE STOPPED.




NO.	DATE	DESCRIPTION	INIT.
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REVISION


PROJECT NAME

ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

NOTES

SCALE AS NOTED	DATE 7-30-2021	PROJECT No. 21-031	BY TJC
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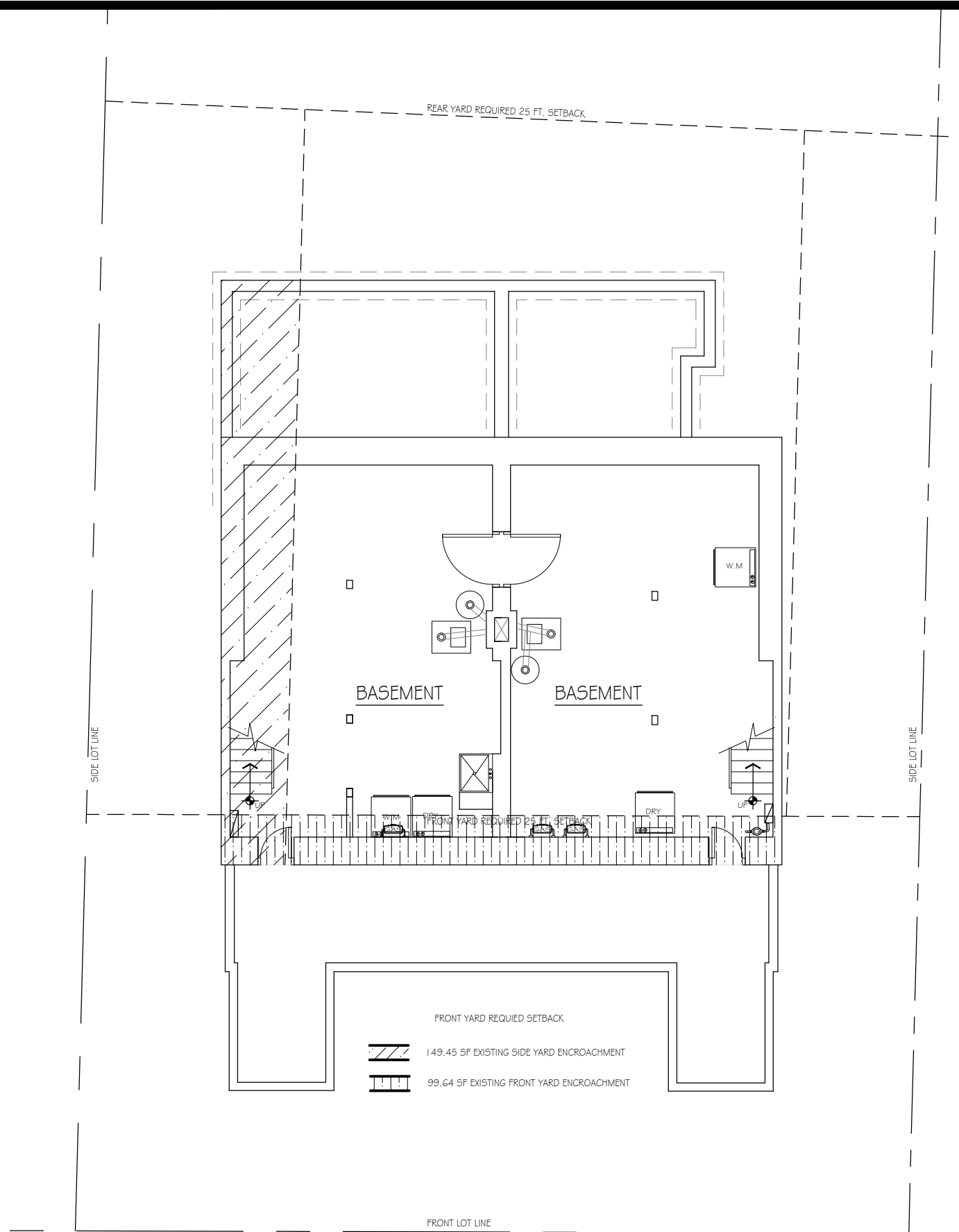


SHEET No.

GN-002.00

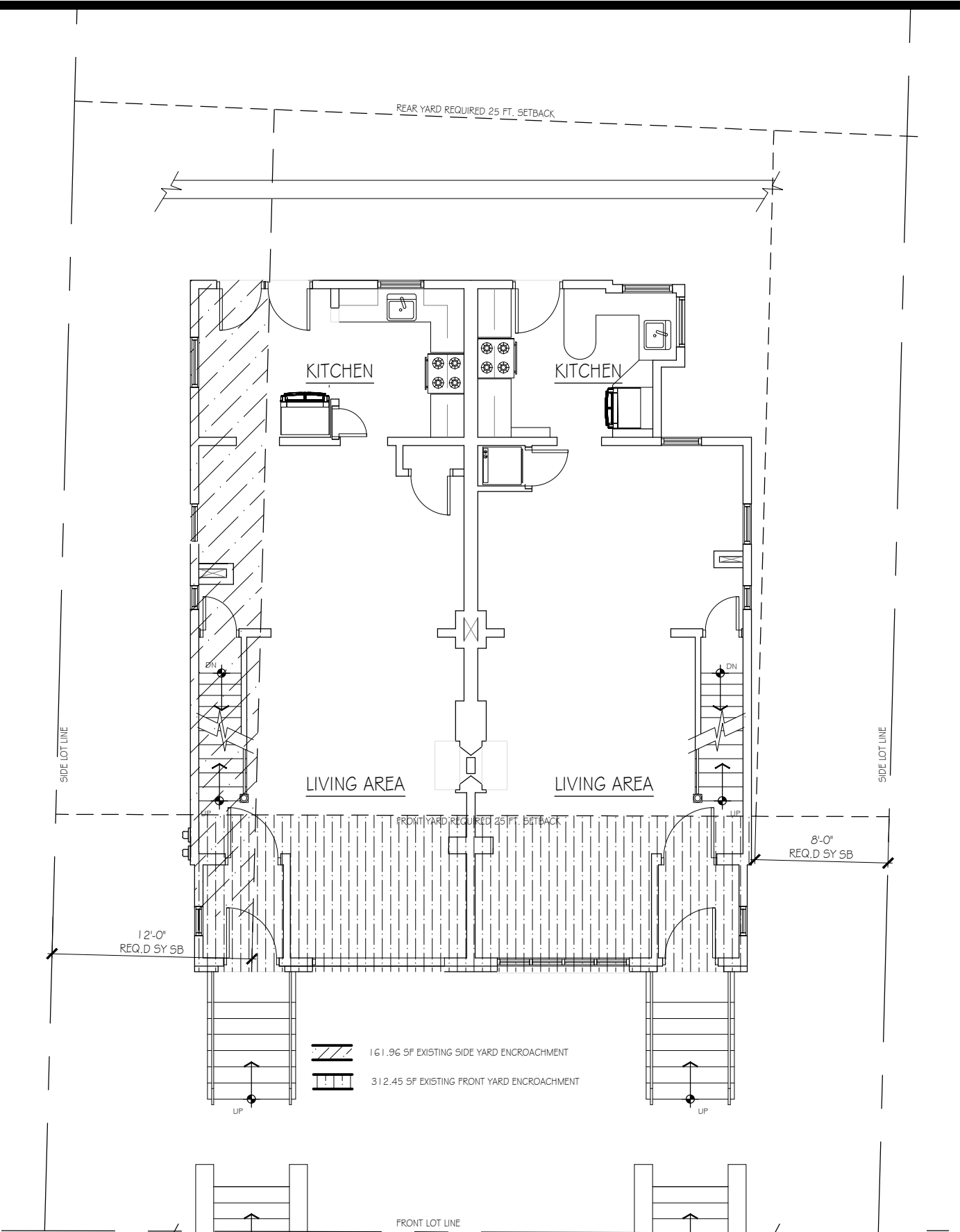
DWG. 4 OF 8





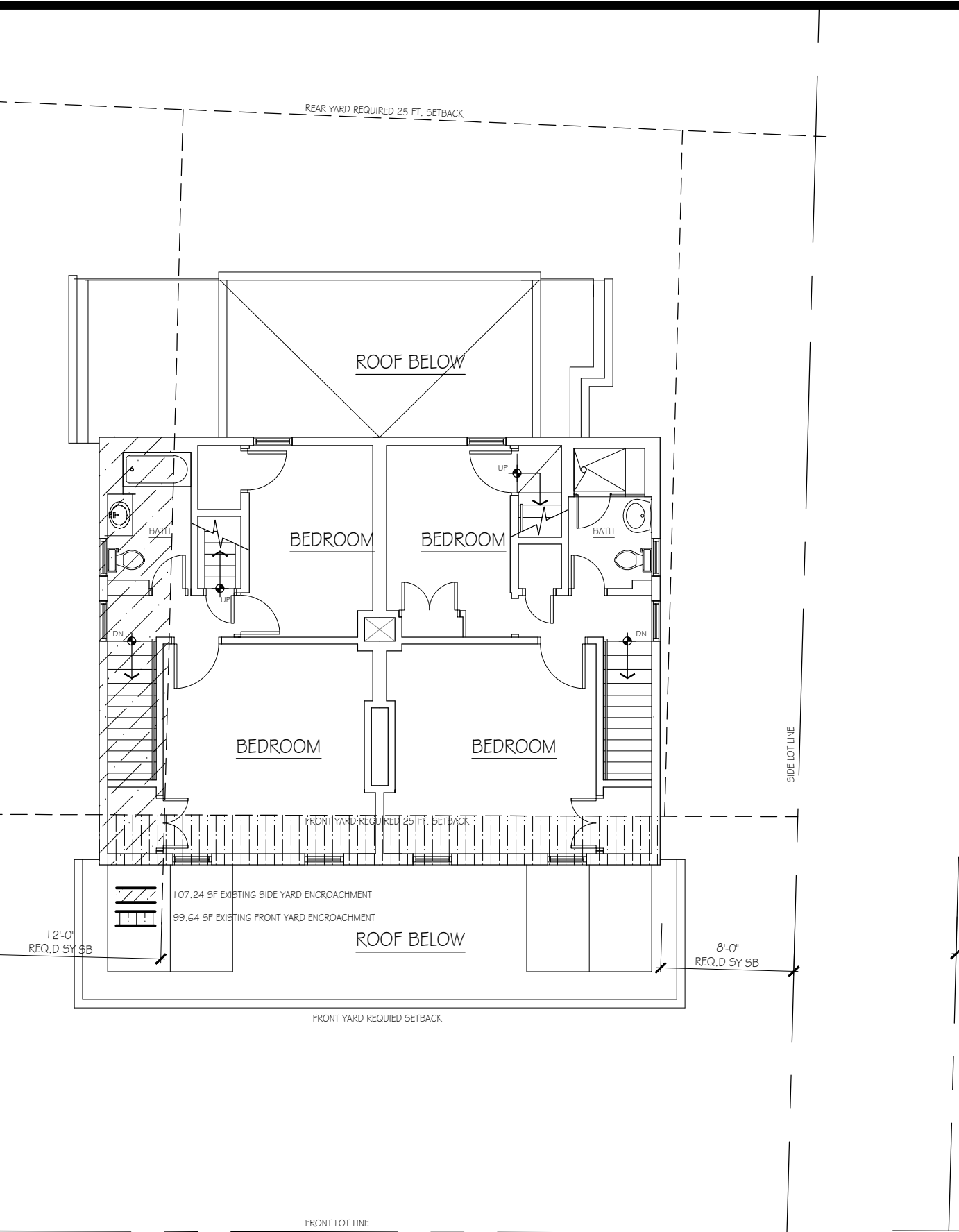
**BASEMENT FLOOR PLAN**

SCALE:  $\frac{3}{16}" = 1'-0"$



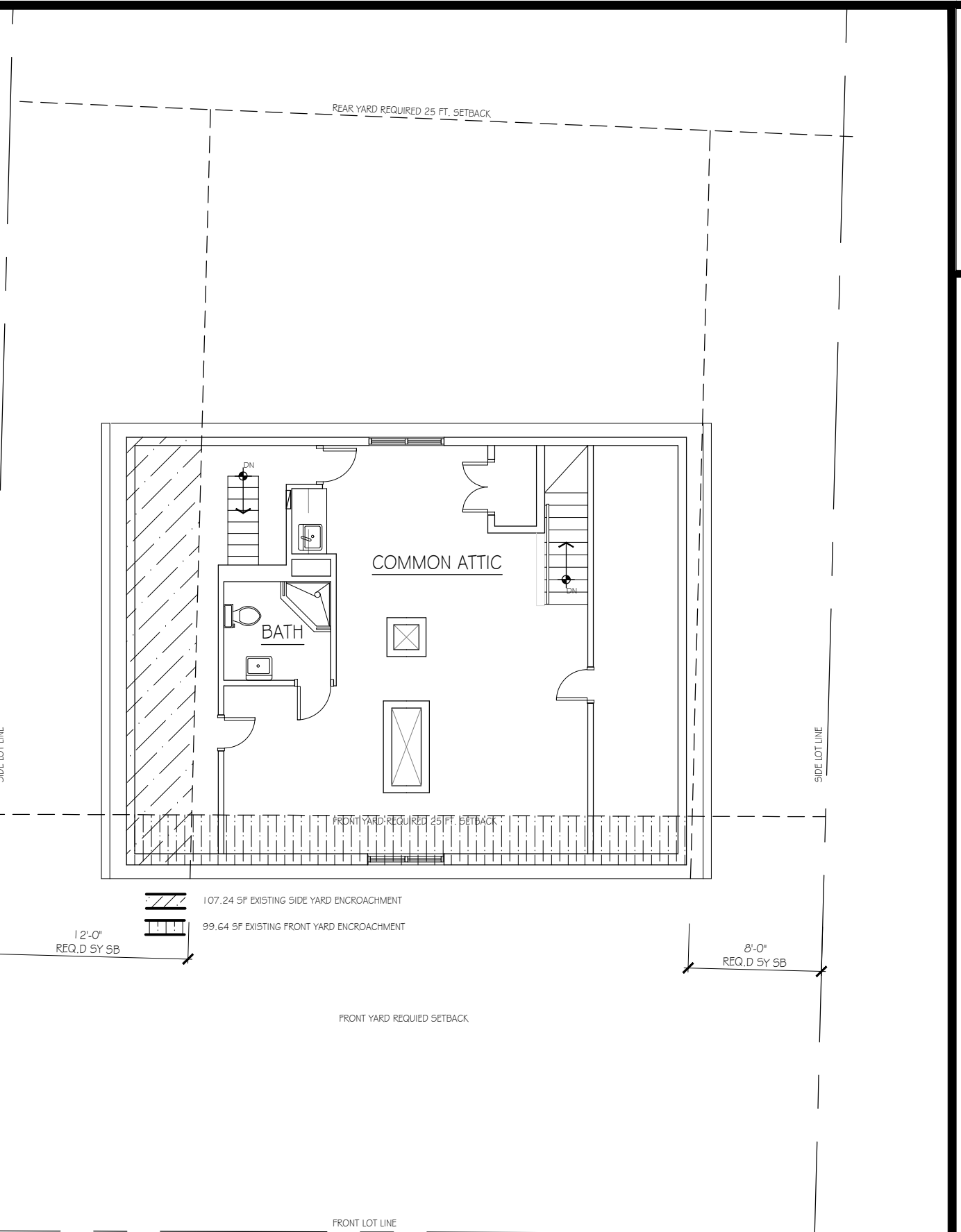
**FIRST FLOOR PLAN**

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**SECOND FLOOR PLAN**

SCALE:  $\frac{3}{16}" = 1'-0"$



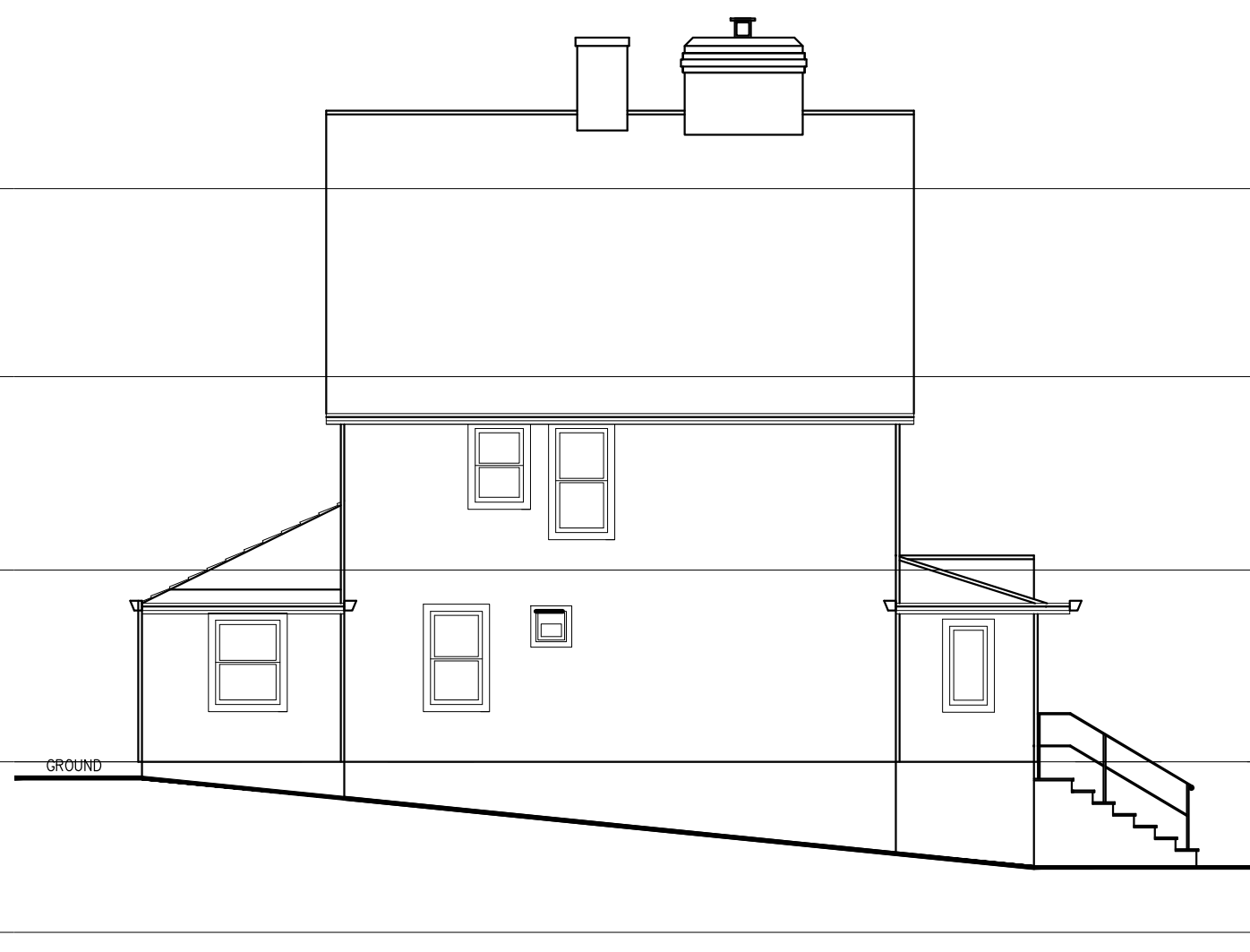
**ATTIC FLOOR PLAN**

SCALE:  $\frac{3}{16}" = 1'-0"$



**FRONT ELEVATION**

SCALE:  $\frac{3}{16}" = 1'-0"$



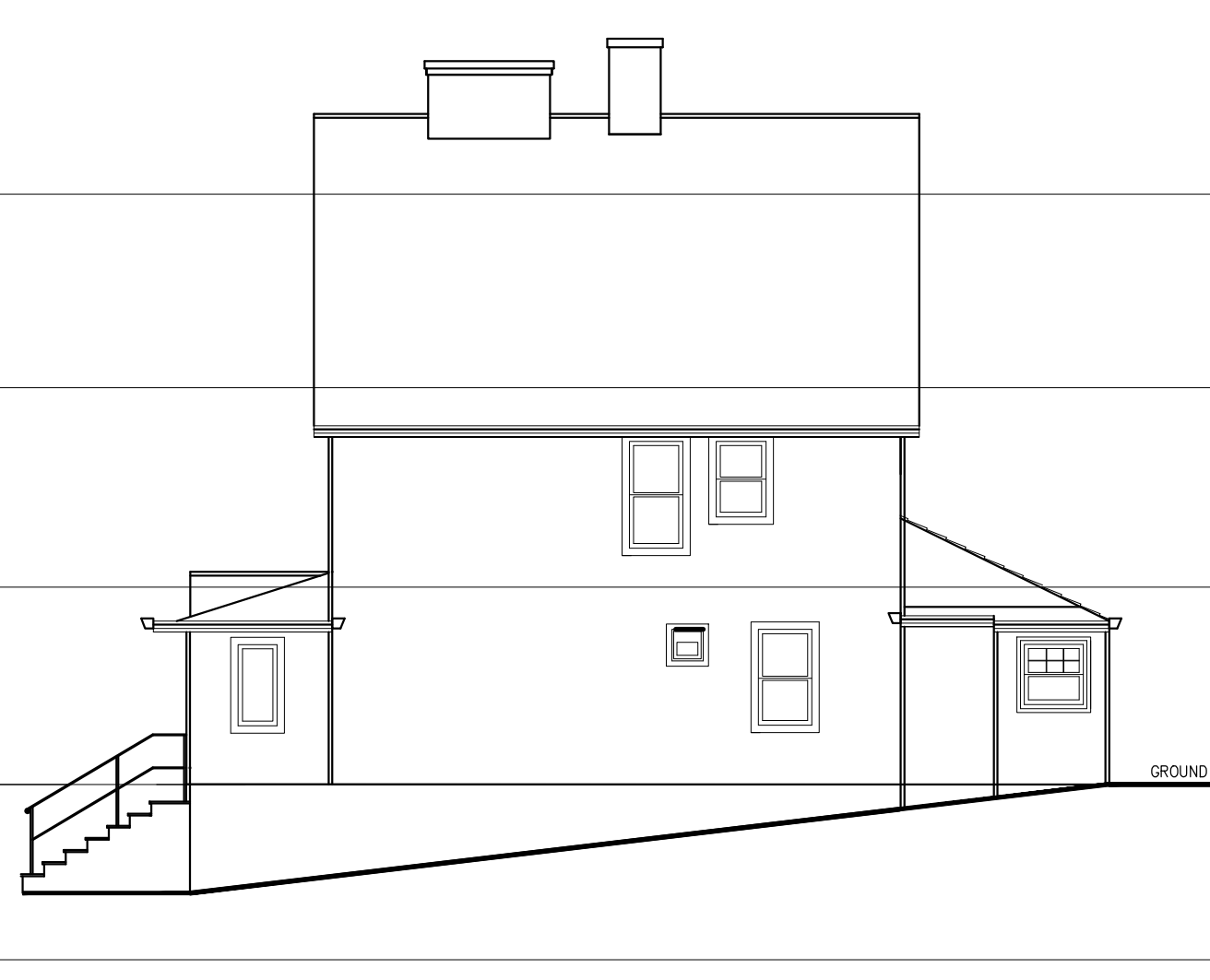
**LEFT SIDE ELEVATION**

SCALE:  $\frac{3}{16}" = 1'-0"$



**REAR ELEVATION**

SCALE:  $\frac{3}{16}" = 1'-0"$



**RIGHT SIDE ELEVATION**

SCALE:  $\frac{3}{16}" = 1'-0"$


NO.	DATE	DESCRIPTION	INIT.
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REVISION

PROJECT NAME

ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

EXISTING CONDITIONS  
PLANS AND ELEVATIONS

SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

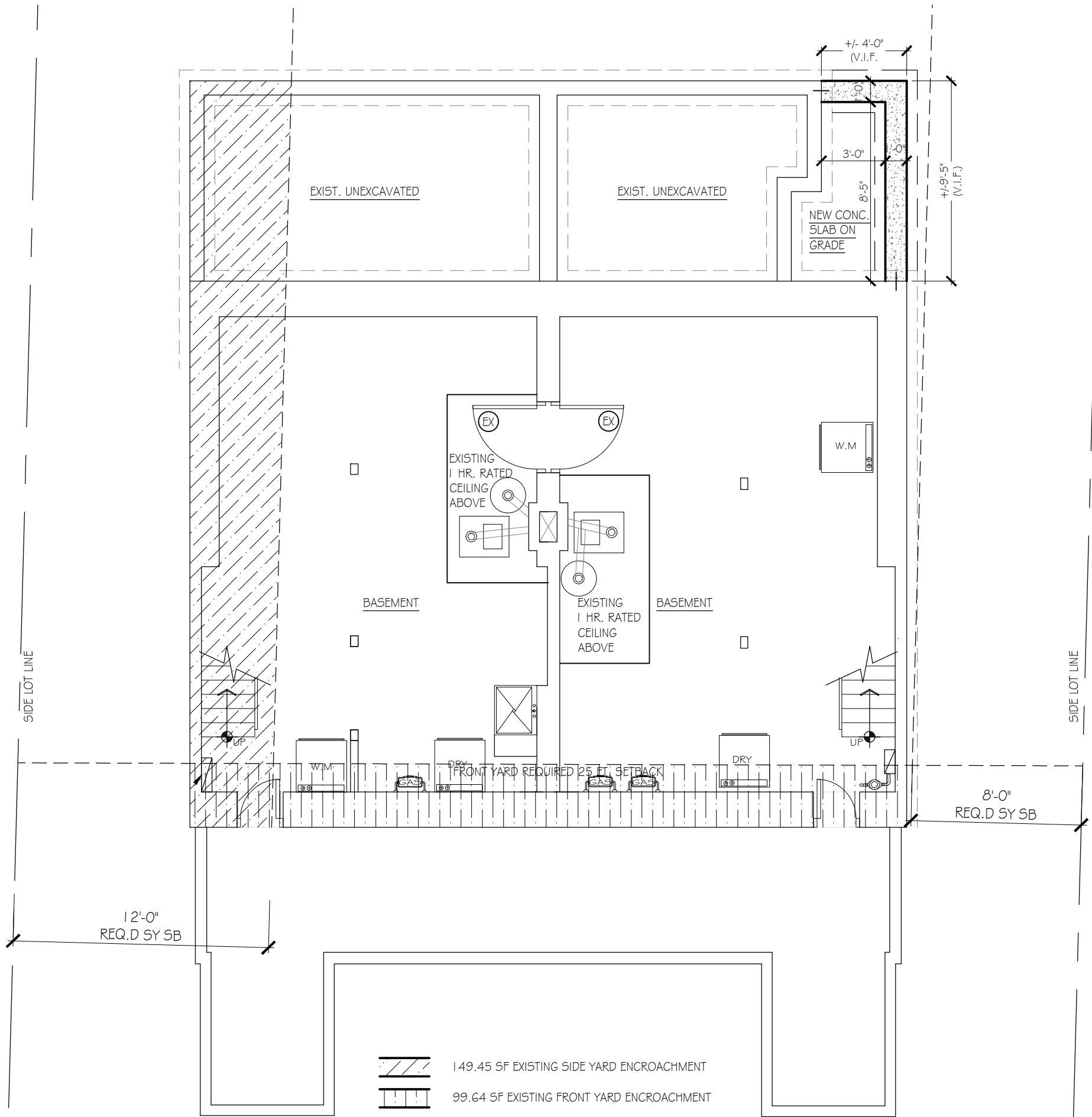
SHEET No.	
EX-001.00	
DWG. 5 OF 8	





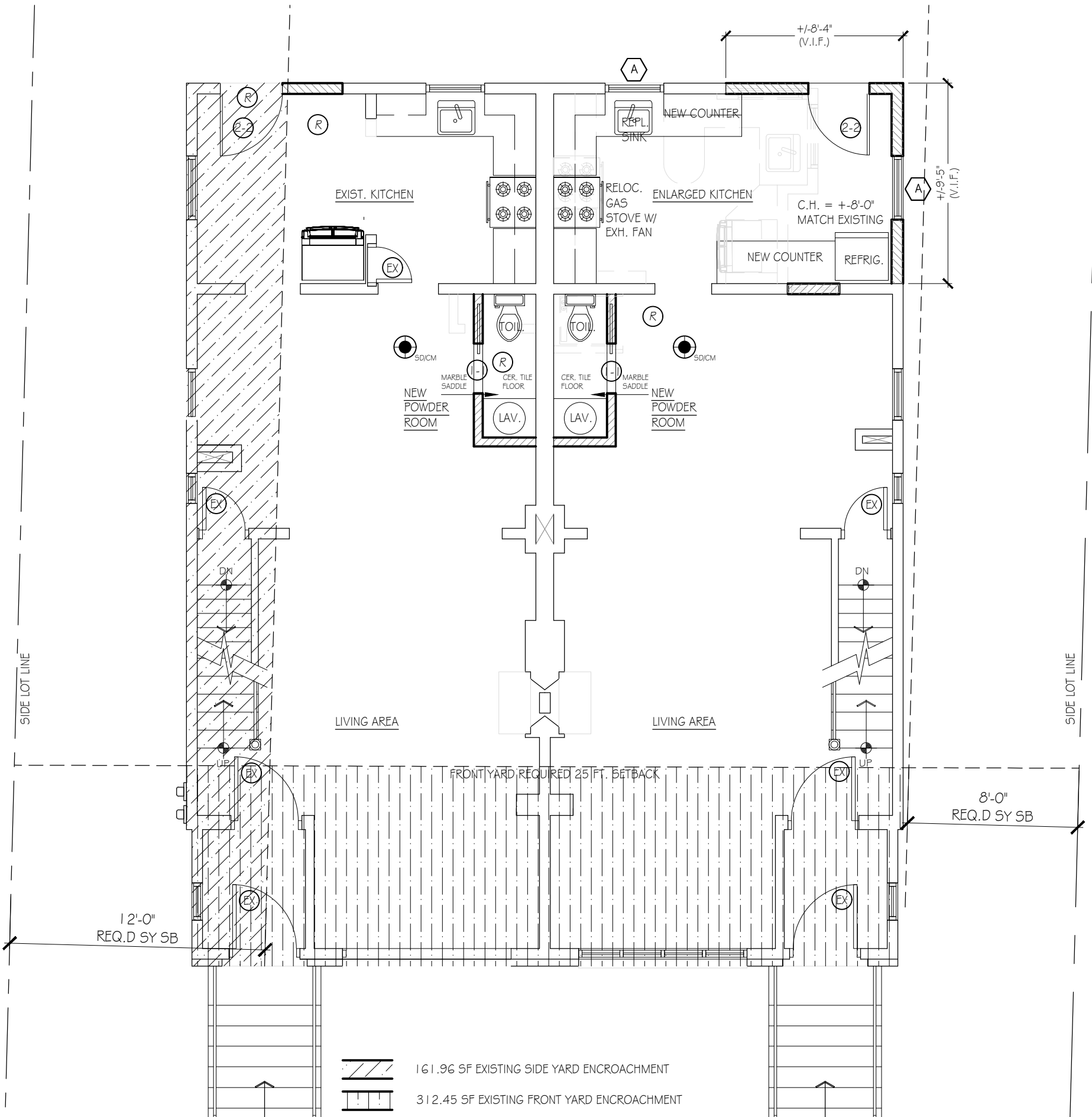
DRAWING LEGEND

- NEW INTERIOR WALL
- NEW EXTERIOR WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW INTERIOR PANEL DOOR AS SELECTED BY OWNER
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- SMOKE DETECTOR
- COMBINED SMOKE AND CARBON MONOXIDE DETECTOR
- AREA OF EXISTING SIDE YARD ENCROACHMENT
- AREA OF PROPOSED SIDE YARD ENCROACHMENT
- AREA OF EXISTING FRONT YARD ENCROACHMENT



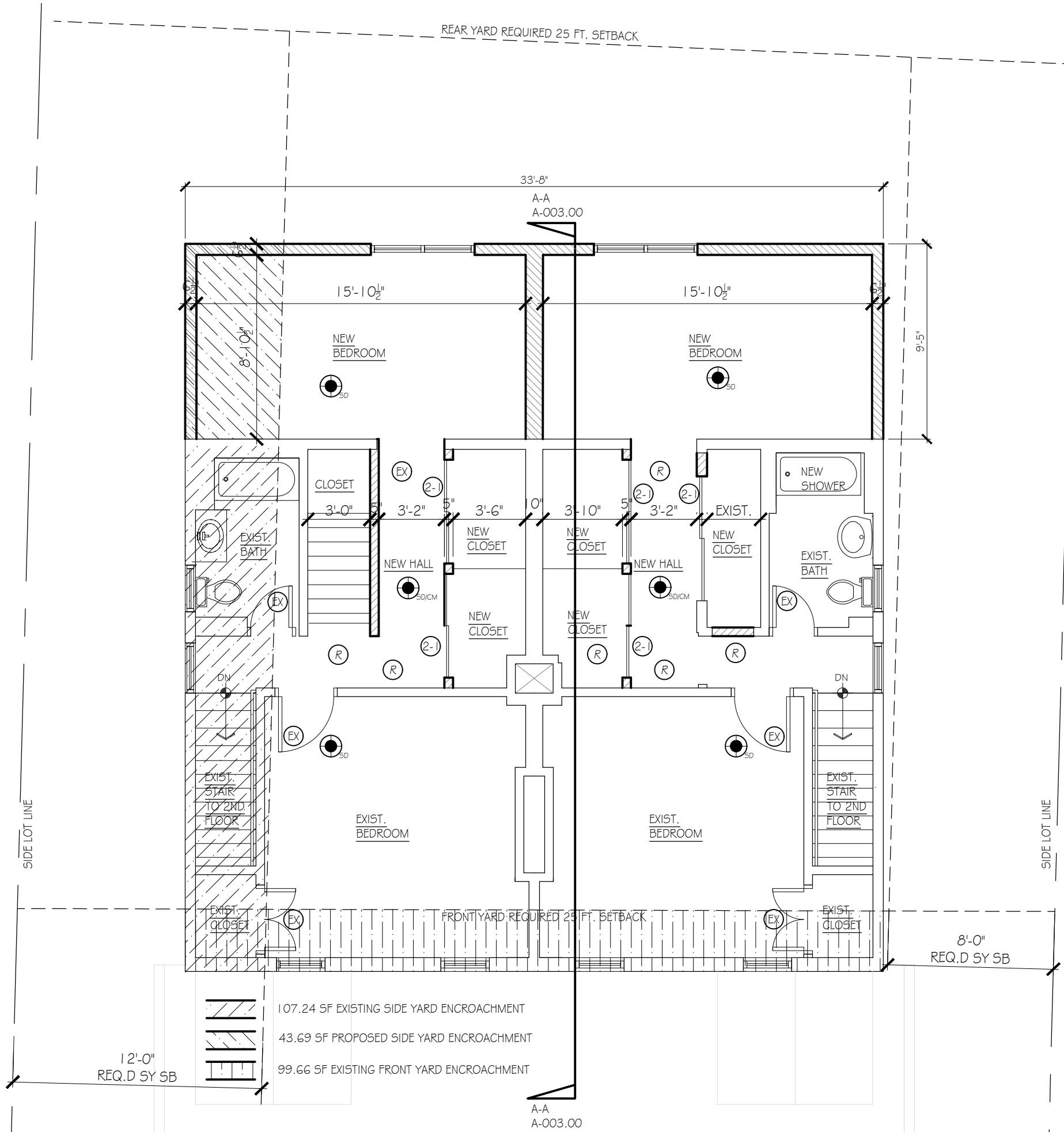
PROPOSED BASEMENT FLOOR PLAN

SCALE:  $\frac{3}{16}'' = 1'-0''$



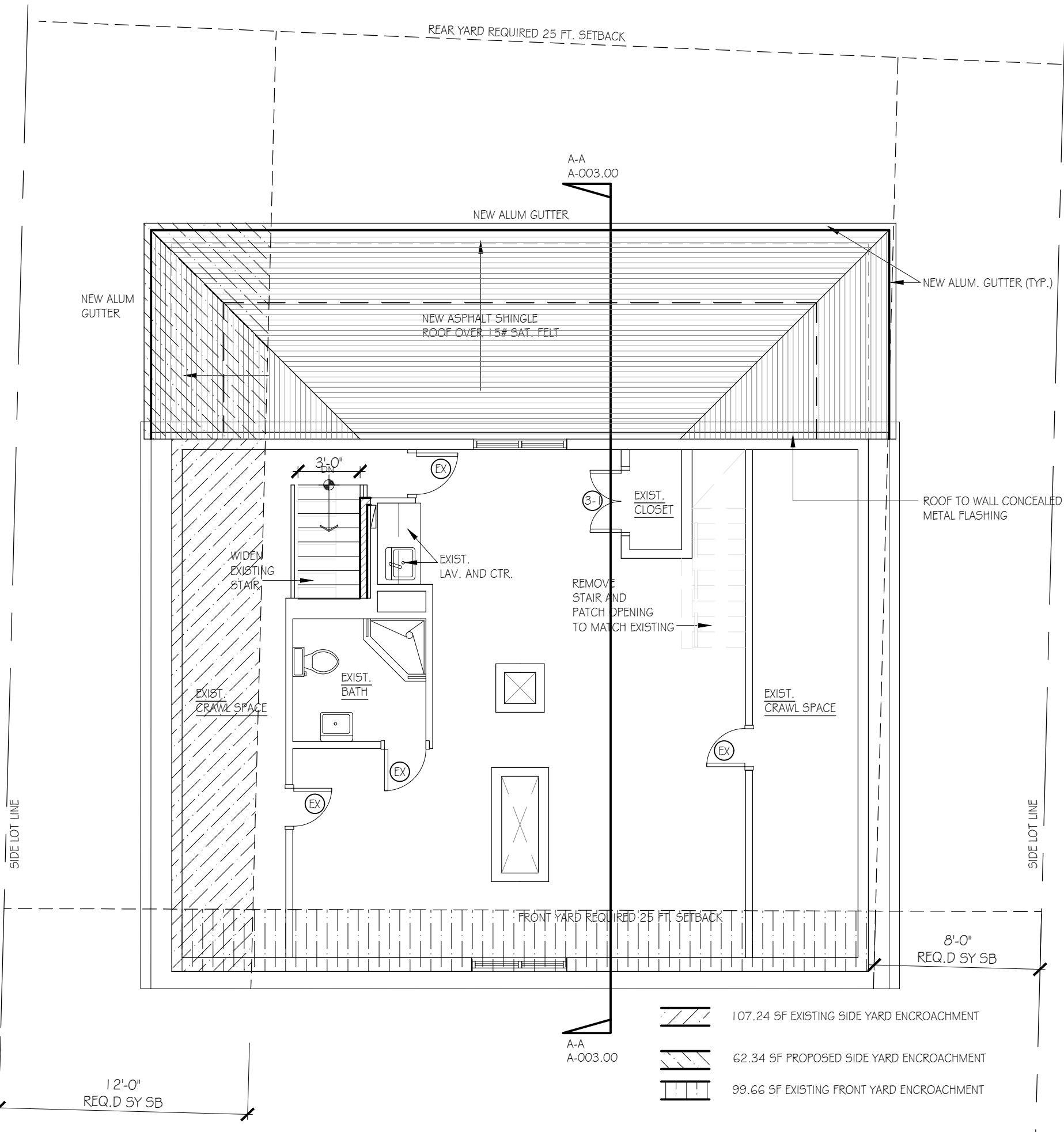
PROPOSED 1ST FLOOR PLAN

SCALE:  $\frac{3}{16}'' = 1'-0''$



PROPOSED SECOND FLOOR PLAN

SCALE:  $\frac{3}{16}'' = 1'-0''$



PROPOSED ATTIC FLOOR PLAN

SCALE:  $\frac{3}{16}'' = 1'-0''$

NO.	DATE	DESCRIPTION	INIT.

REVISION

PROJECT NAME  
ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME  
PROPOSED PLANS AND ELEVATIONS

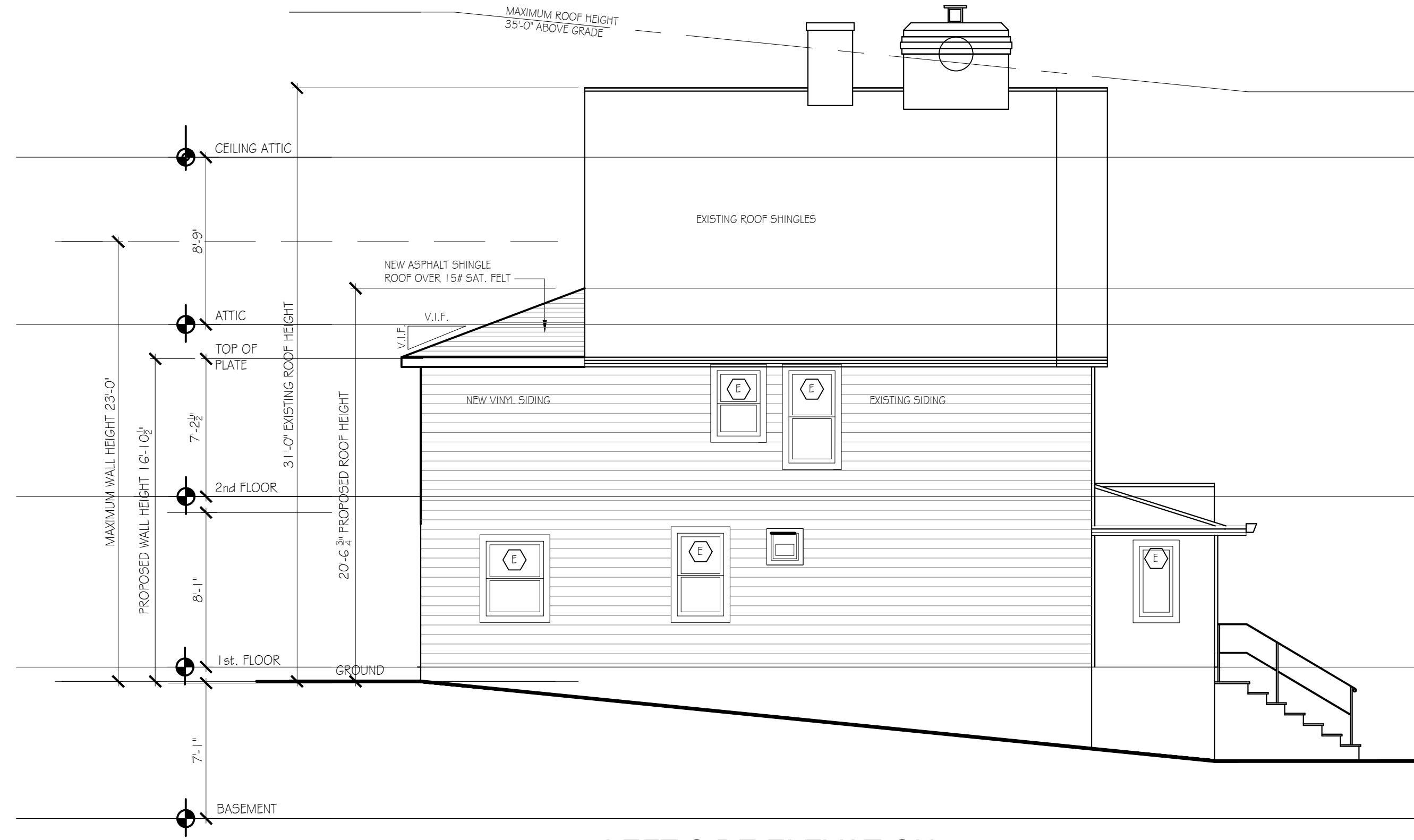
SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

SHEET No.
A-001.00
DWG. 6 OF 8

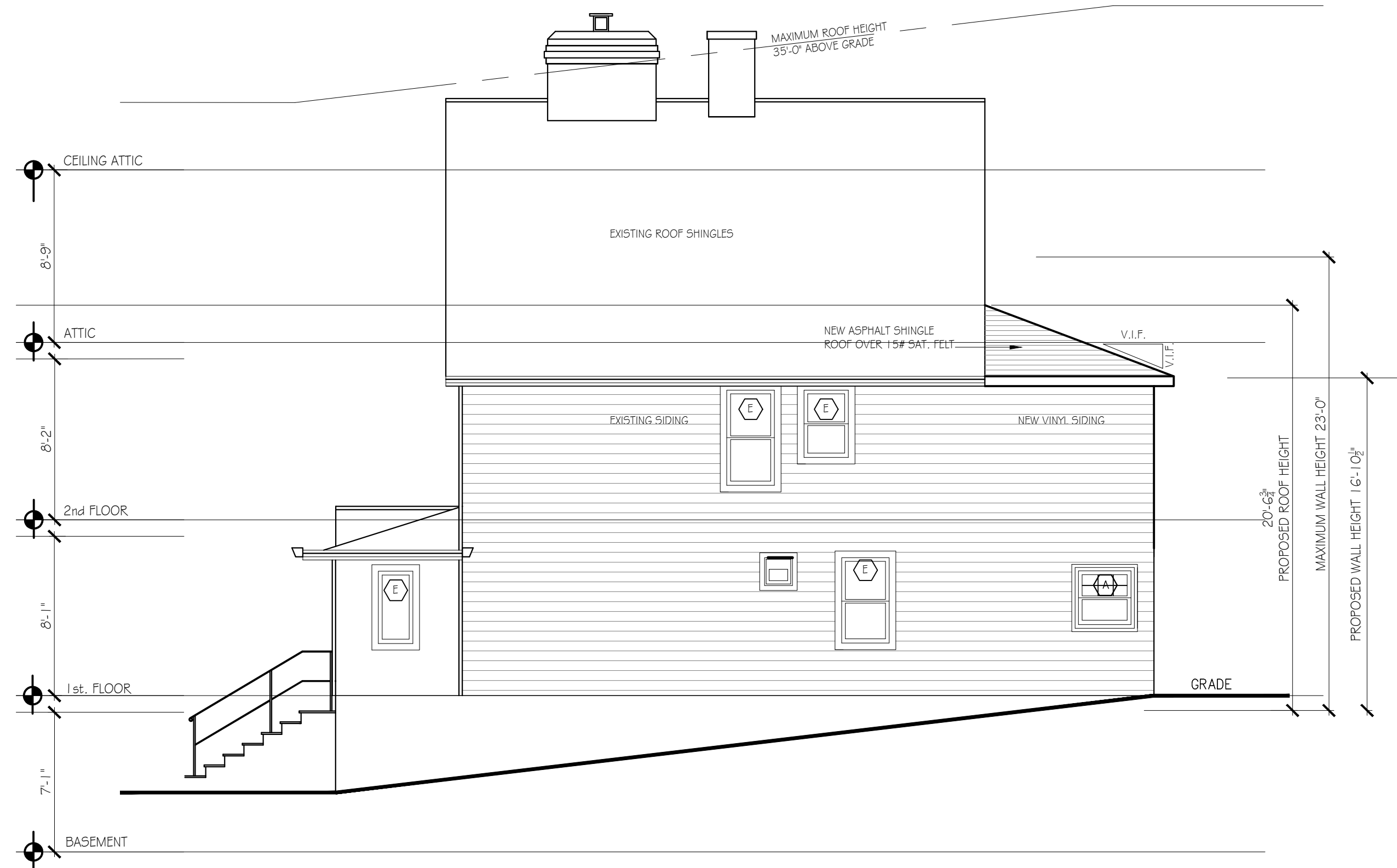




FRONT ELEVATION  
SCALE:  $\frac{3}{16}" = 1'-0"$



LEFT SIDE ELEVATION  
SCALE:  $\frac{3}{16}" = 1'-0"$



RIGHT SIDE ELEVATION  
SCALE:  $\frac{3}{16}" = 1'-0"$



REAR ELEVATION  
SCALE:  $\frac{3}{16}" = 1'-0"$

NO.	DATE	DESCRIPTION	INIT.

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PROJECT NAME

ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

PROPOSED EXTERIOR ELEVATIONS

SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

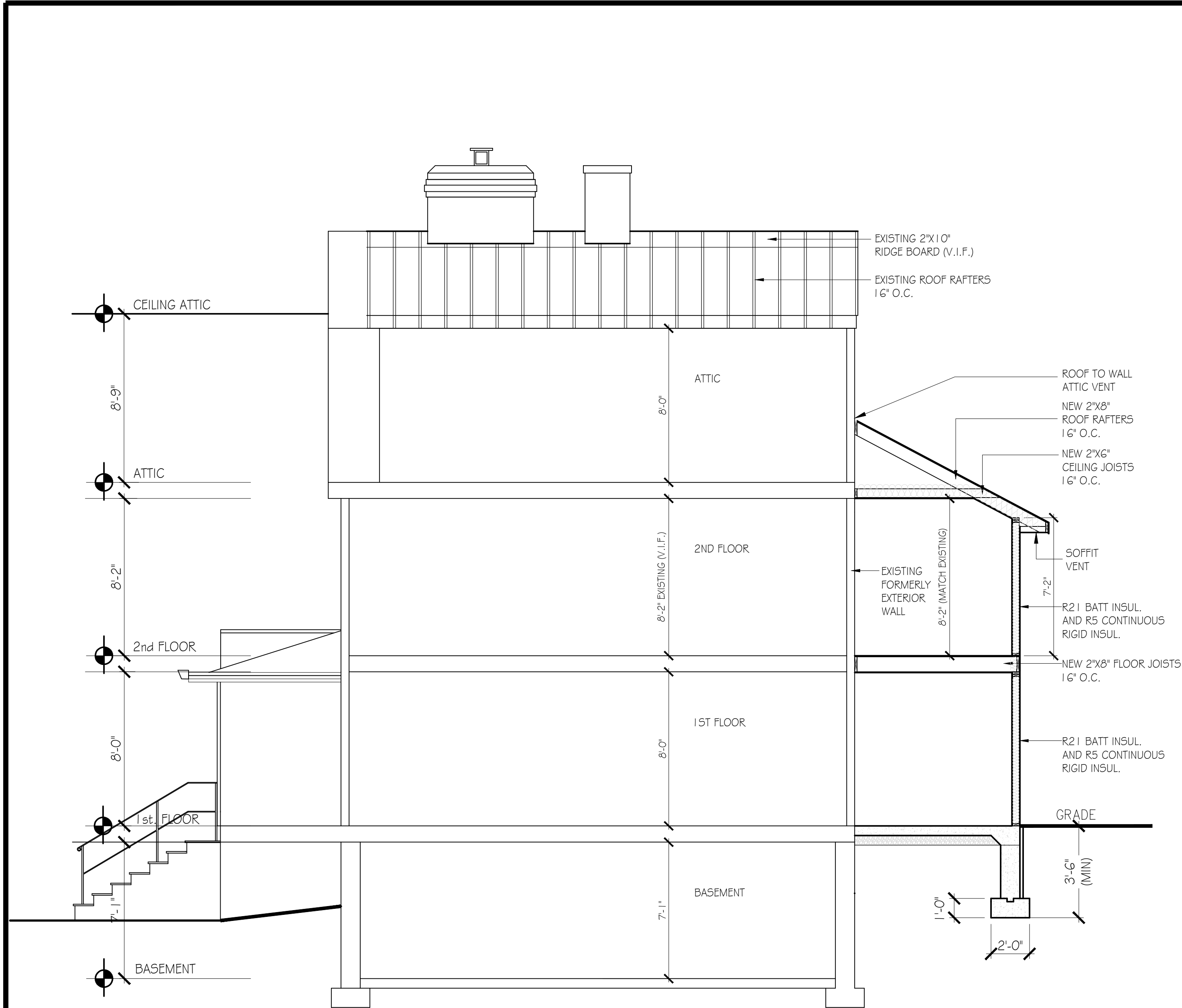
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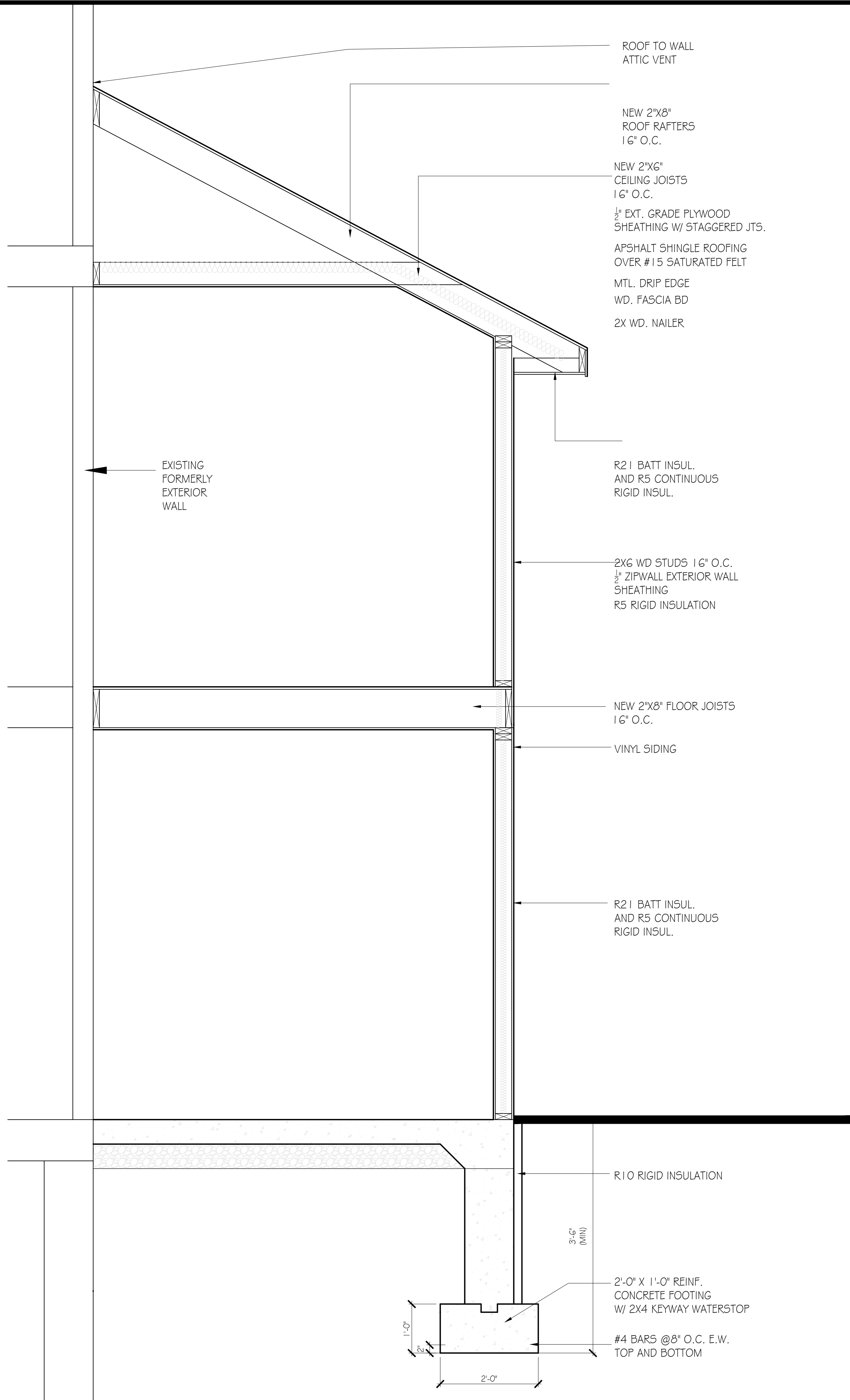
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**BUILDING SECTION**  
SCALE:  $\frac{1}{4}" = 1'-0"$



**WALL SECTION**  
SCALE:  $\frac{3}{4}" = 1'-0"$


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ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

PROPOSED BUILDING SECTION  
AND WALL SECTIPON

SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

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A-003.00

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VIEW OF FRONT FACADE OF  
362 WARBURTON AVENUE  
1



VIEW OF FRONT FACADE OF  
360 - 358 WARBURTON AVENUE  
2



VIEW OF FRONT FACADE OF  
356 WARBURTON AVENUE  
3



AERIAL PHOTOGRAPH OF SITE LOCATION



VIEW LOOKING STRAIGHT ACROSS WARBURTON AVENUE  
4



VIEW LOOKING RIGHT ACROSS WARBURTON AVENUE  
5



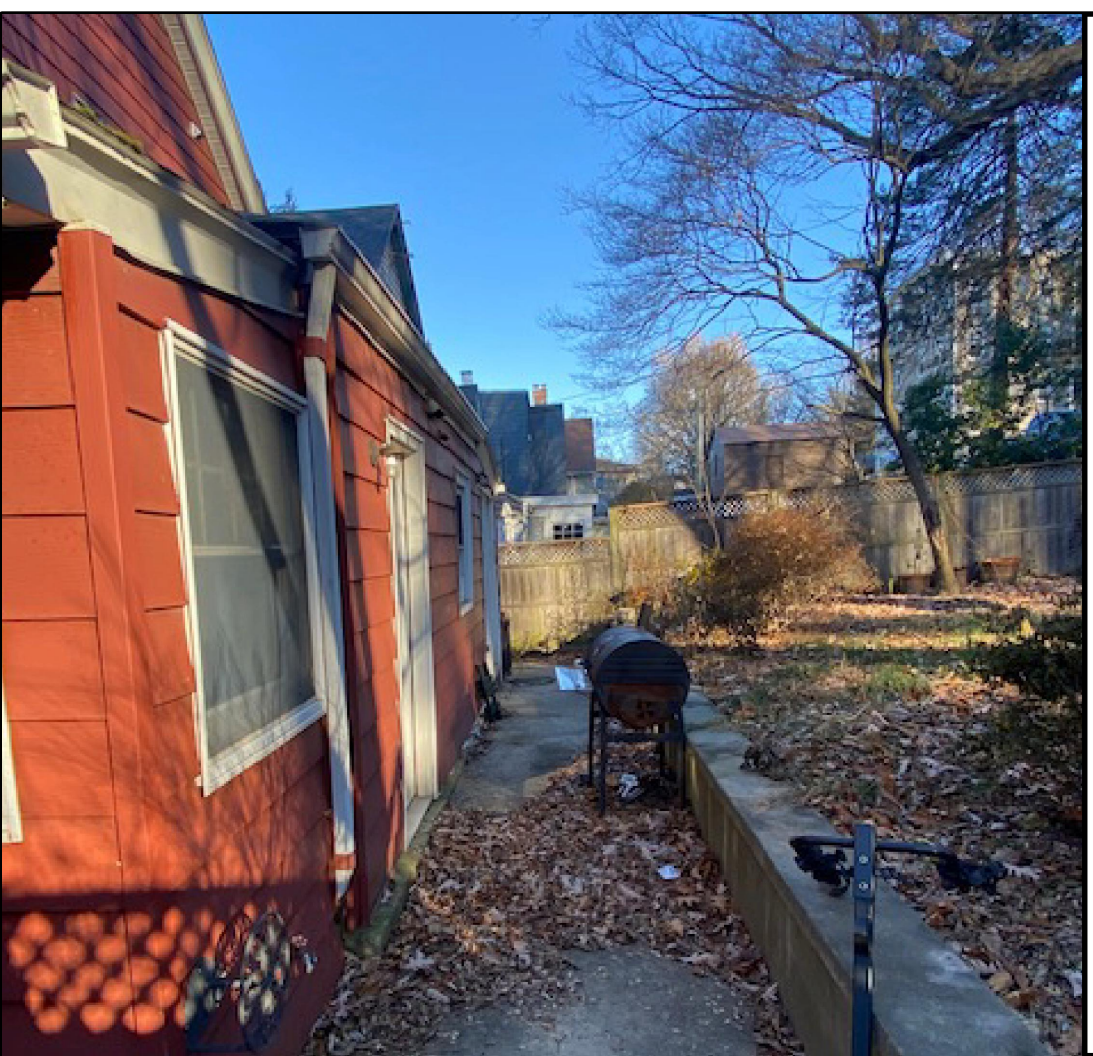
PROPOSED RENDERING OF COMPLETED ADDITION



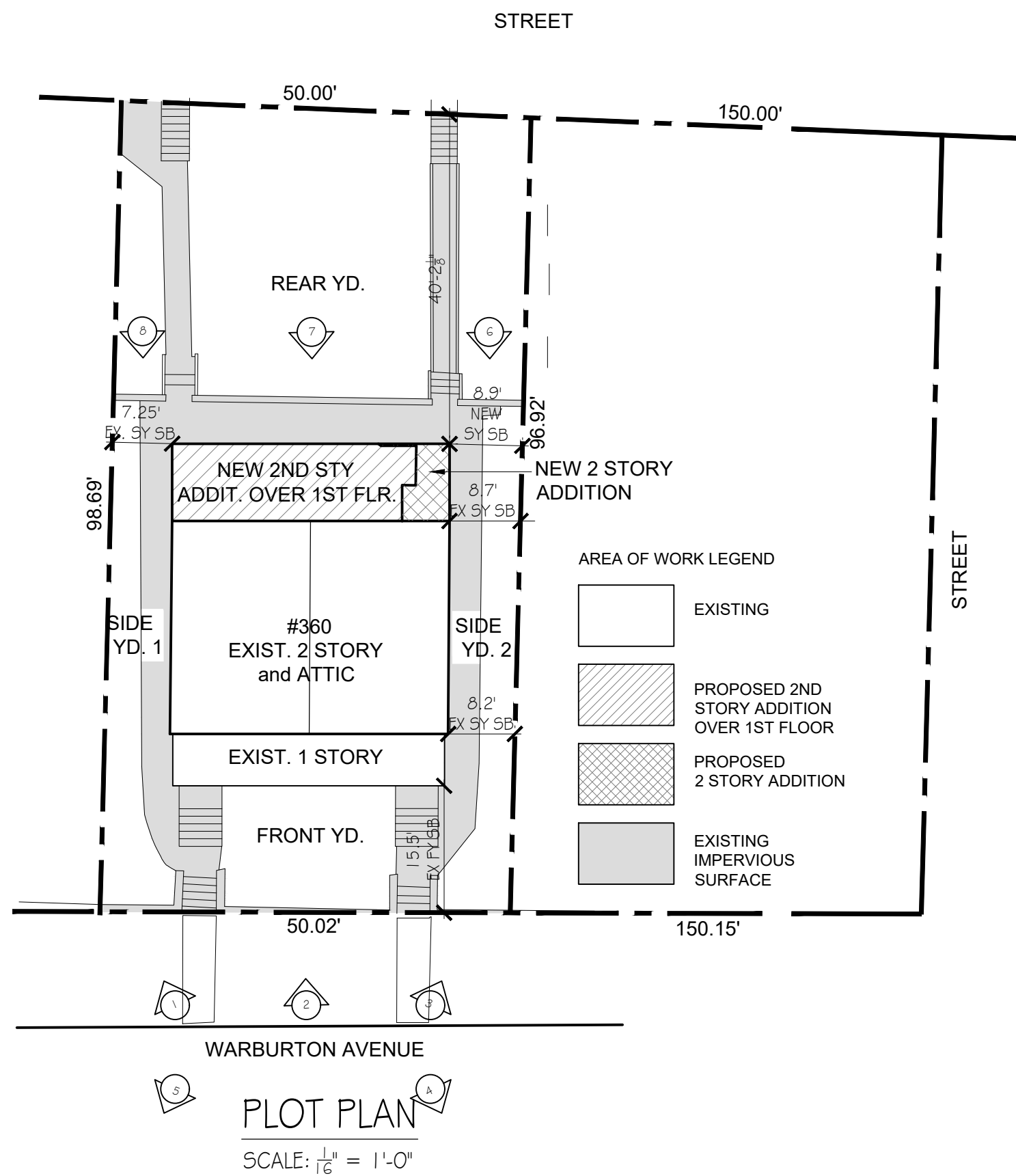
VIEW OF EXISTING REAR AT RIGHT SIDE YARD  
6



VIEW OF EXISTING REAR OF HOUSE  
7

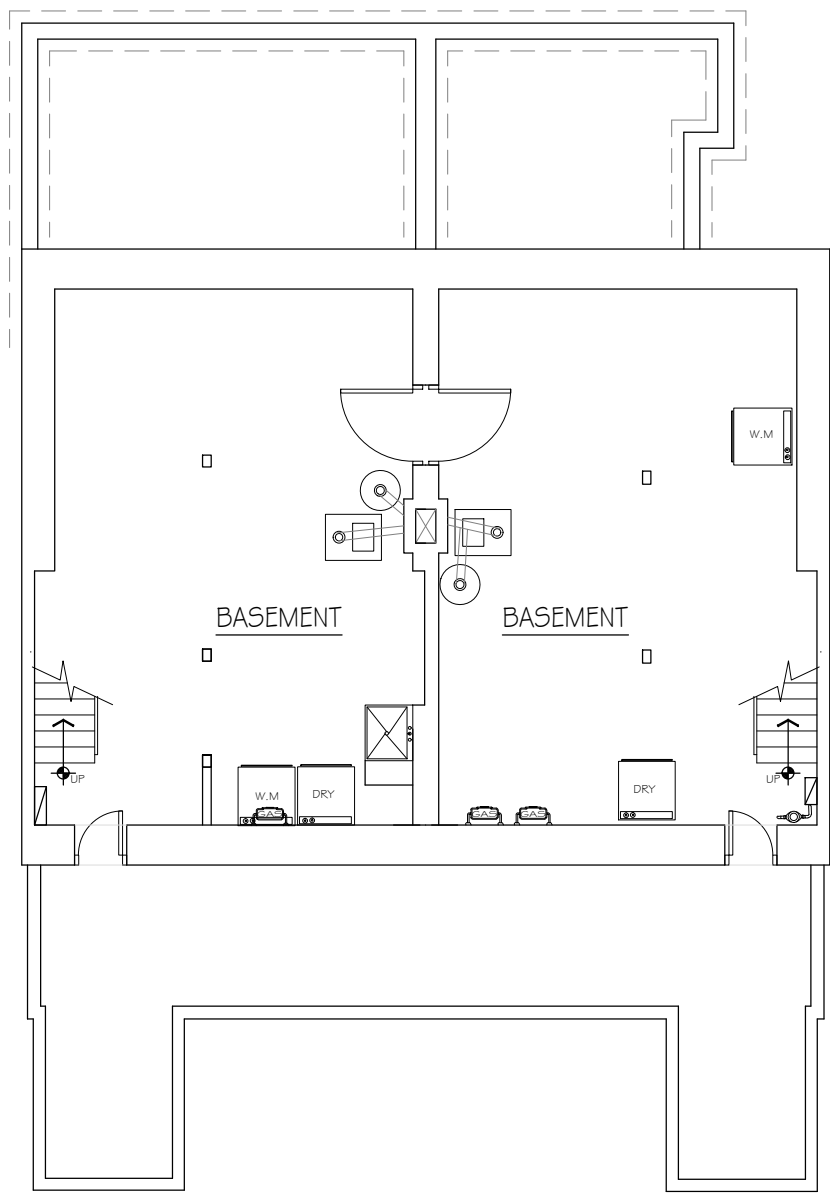


VIEW OF EXISTING REAR AT LEFT SIDE YARD  
8

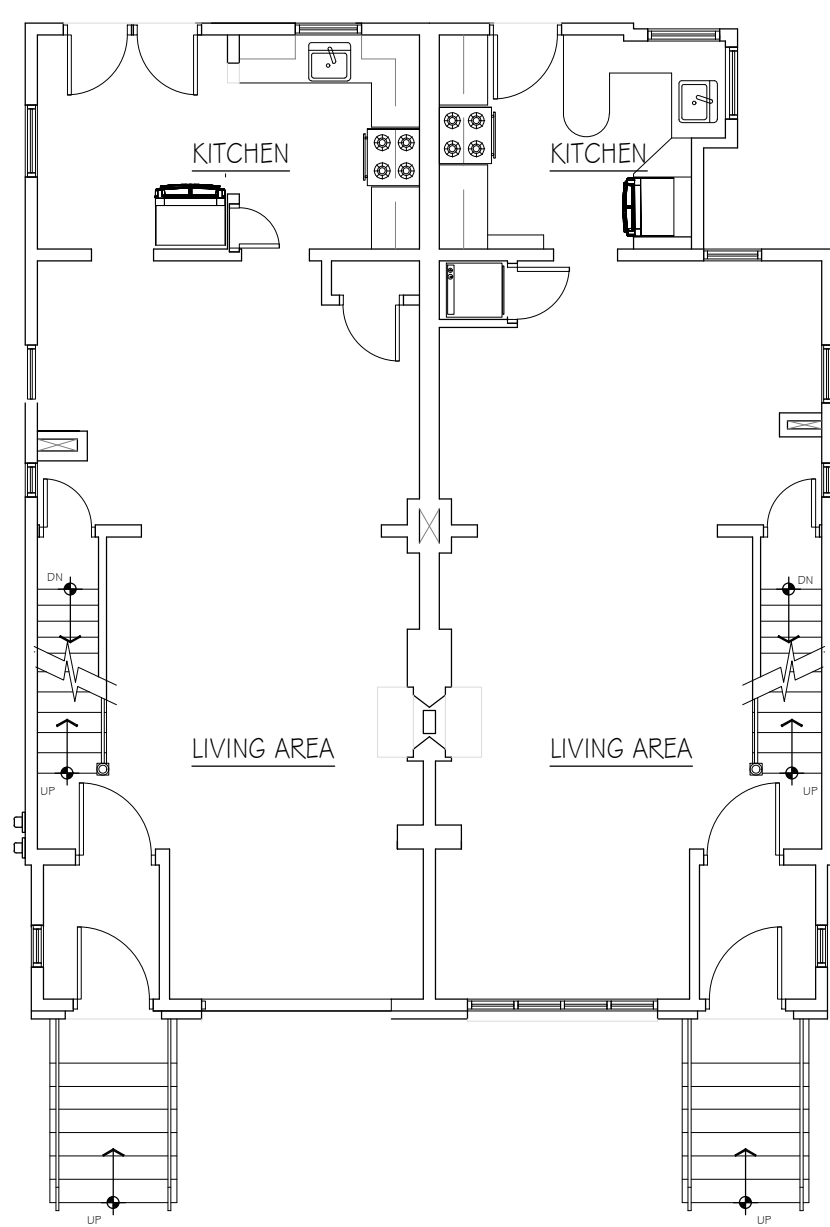


NO.	DATE	DESCRIPTION	INIT.
REVISION			
PROJECT NAME			
ADDITIONS AND ALTERATIONS TO 360 WARBURTON AVENUE HASTINGS-ON-HUDSON, NY 10706			
DRAWING NAME			
VIEW PRESERVATION SUBMISSION PHOTOGRAPHS, RENDERING AND PLOT PLAN			
SCALE AS NOTED	DATE 7-30-2021	PROJECT No. 21-031	BY TJC
SHEET No.			VP-001.00
REGISTERED ARCHITECT THOMAS JOSEPH CURRO 022762 STATE OF NEW YORK			DWG. 1 OF 5

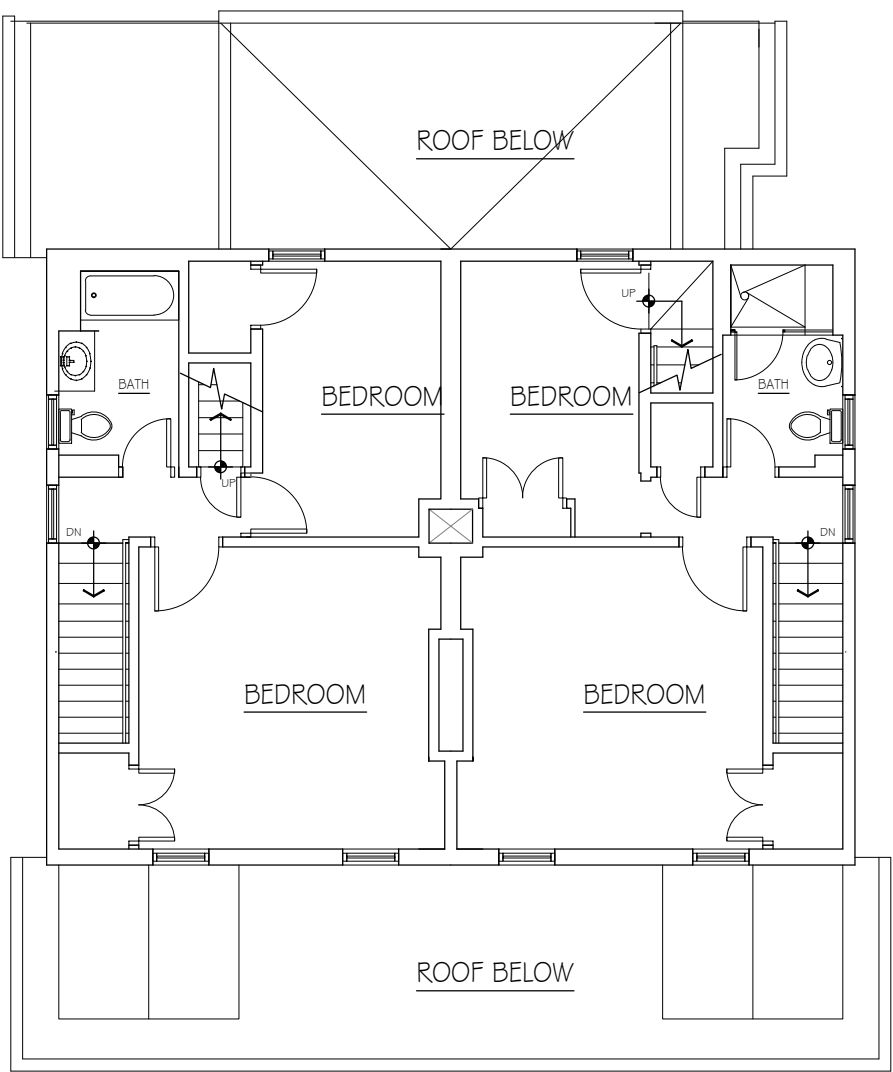




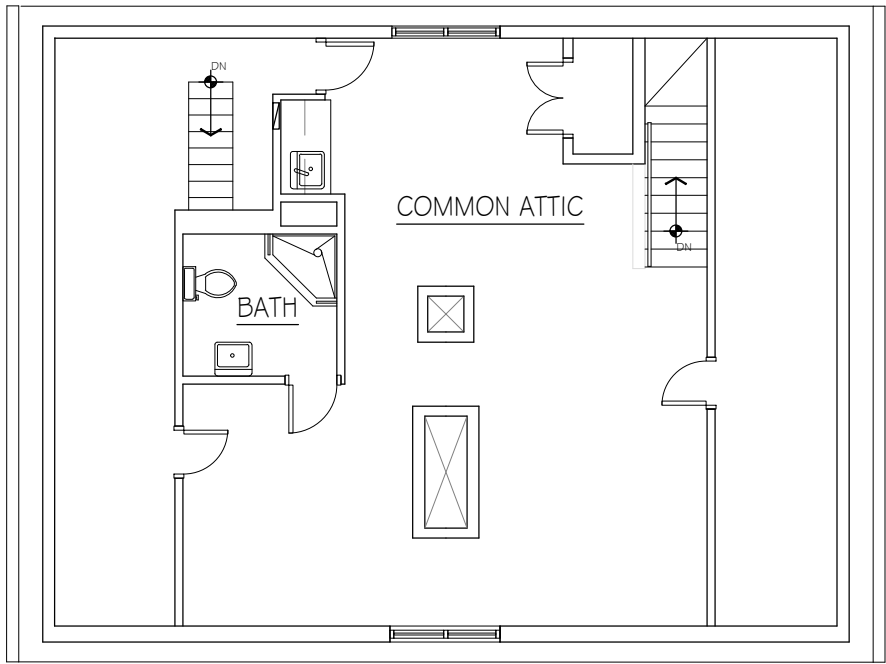
**BASEMENT FLOOR PLAN**  
SCALE:  $\frac{3}{16}" = 1'-0"$



**FIRST FLOOR PLAN**  
SCALE:  $\frac{3}{16}" = 1'-0"$



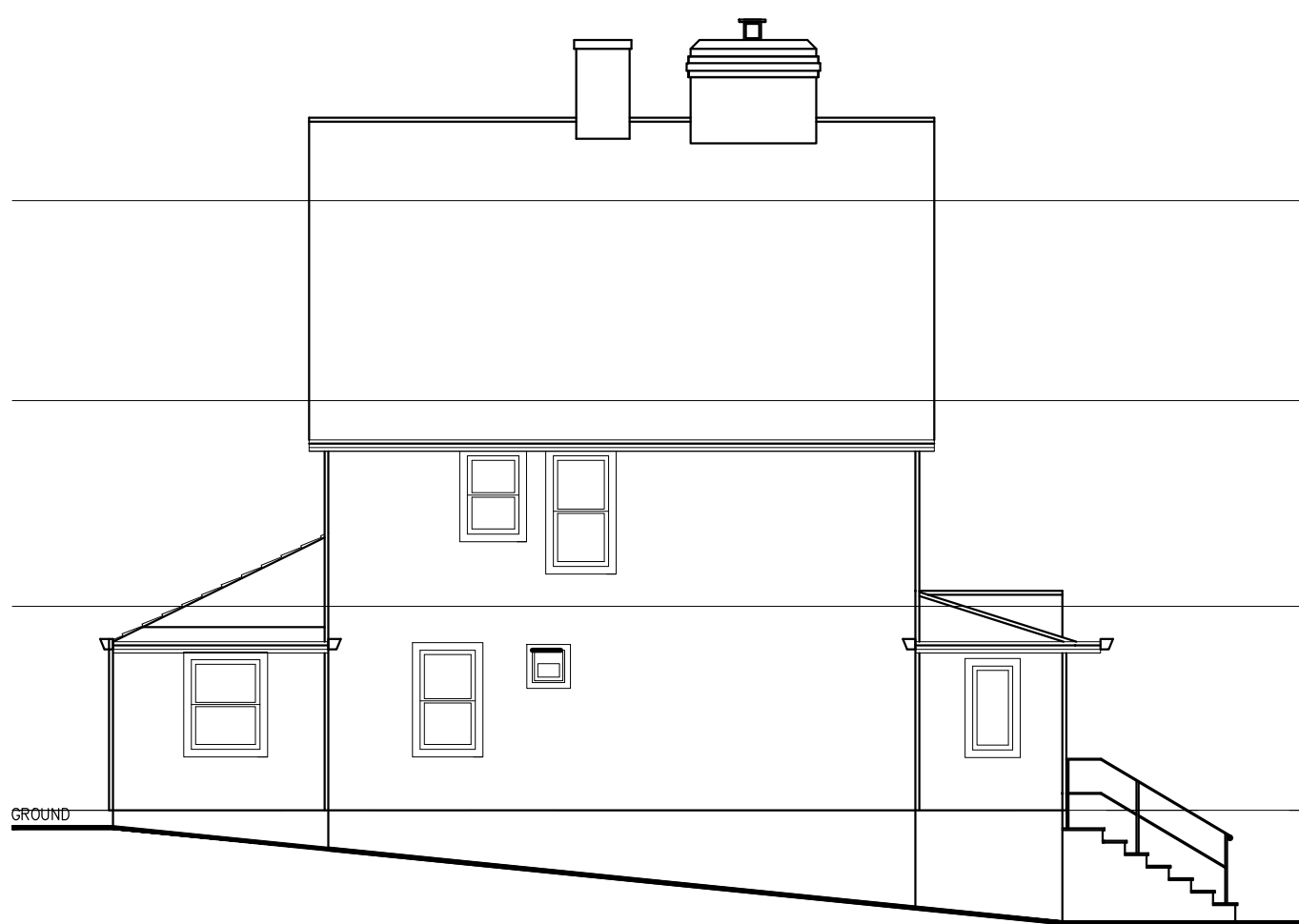
**SECOND FLOOR PLAN**  
SCALE:  $\frac{3}{16}" = 1'-0"$



**ATTIC FLOOR PLAN**  
SCALE:  $\frac{3}{16}" = 1'-0"$



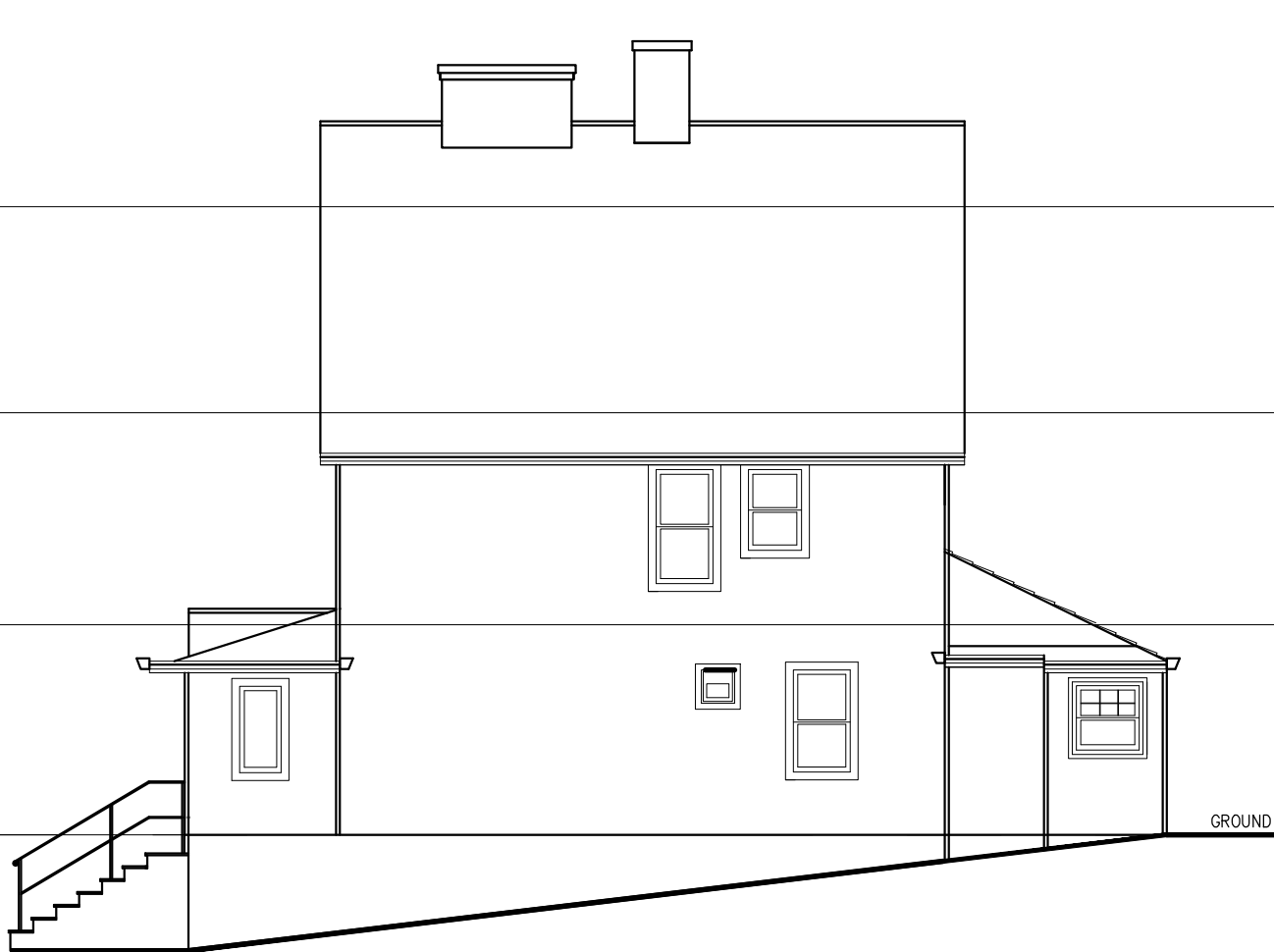
**FRONT ELEVATION**  
SCALE:  $\frac{3}{16}" = 1'-0"$



**LEFT SIDE ELEVATION**  
SCALE:  $\frac{3}{16}" = 1'-0"$



**REAR ELEVATION**  
SCALE:  $\frac{3}{16}" = 1'-0"$



**RIGHT SIDE ELEVATION**  
SCALE:  $\frac{3}{16}" = 1'-0"$


NO.	DATE	DESCRIPTION	INIT.
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REVISION

PROJECT NAME


ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

EXISTING FLOOR PLANS  
AND EXTERIOR ELEVATIONS

SCALE	DATE	PROJECT No.	BY
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EX-001.00

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DRAWING LEGEND

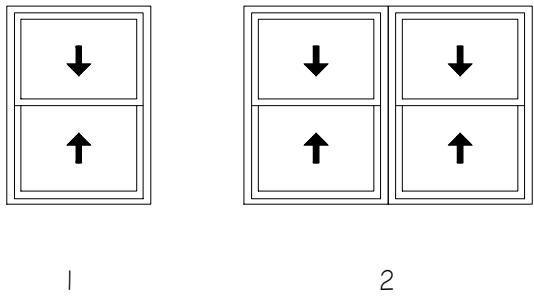
- EXISTING WALL TO BE REMOVED
- NEW 2X4 FRAME WALL  
2X4 WOOD STUDS 16" O.C. WITH 1 LAYER 5/8" GYP. BD.  
EACH SIDE
- NEW 2X6 EXTERIOR FRAME WALL  
2X6 WOOD STUDS 16" O.C. WITH 1 LAYER 5/8" GYP. BD.  
AT INTERIOR SIDE AND 1/2" INSULATED SHEATHING AT EXTERIOR
- NEW 2X4 FIRE RATED WALL  
2X4 WOOD STUDS 16" O.C. WITH 1 LAYER 5/8" GYP. BD.  
FIRECODE C AT BOTH SIDES OF TENANT DEMISING WALL  
W/ 3" BATT SOUND INSULATION
- NEW CONCRETE FOUNDATION WALL  
NEW 12" CAST IN PLACE CONCRETE FOUNDATION WALL  
TO BEAR ON NEW 2'-0" WIDE X 12" DEEP REINF. CONCRETE  
FOOTING - BOTTOM OF FOOTING 3'-6" MIN BELOW GRADE.
- S / CM  
COMBINED CARBON MONOXIDE & SMOKE DETECTOR
- S  
SMOKE DETECTOR

SCHEDULE OF WINDOWS

MARK	TYPE	WINDOW DIMENSION	EXT. COLOR	INT. COLOR	U-FACTOR	SHGC	REMARKS
E							EXISTING DOUBLE HUNG INSULATED GLASS WINDOW
A	1	2'-1 1/4" X 4'-4 1/8" (1 3/4")	WHITE	WHITE	0.28	0.27	400 SERIES DOUBLE HUNG BY ANDERSON OR EQUIV.
B	2	(2) 2'-1 1/4" X 4'-4 1/8" (1 3/4")	WHITE	WHITE	0.28	0.27	400 SERIES DOUBLE HUNG BY ANDERSON OR EQUIV.

WINDOW TYPES

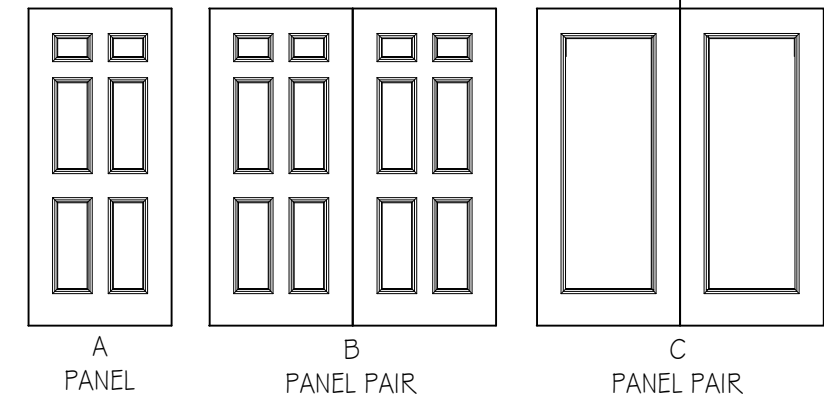
NOTES:  
ALL GLASS TO BE INSULATED LOW-E ADVANCED LOW-E INSULATING SAFETY GLASS ARGON NON HIGH ALTITUDE.  
U-FACTOR = 0.28, SHGC = 0.27  
DM DESIGNATES EMERGENCY ESCAPE AND RESCUE OPENING



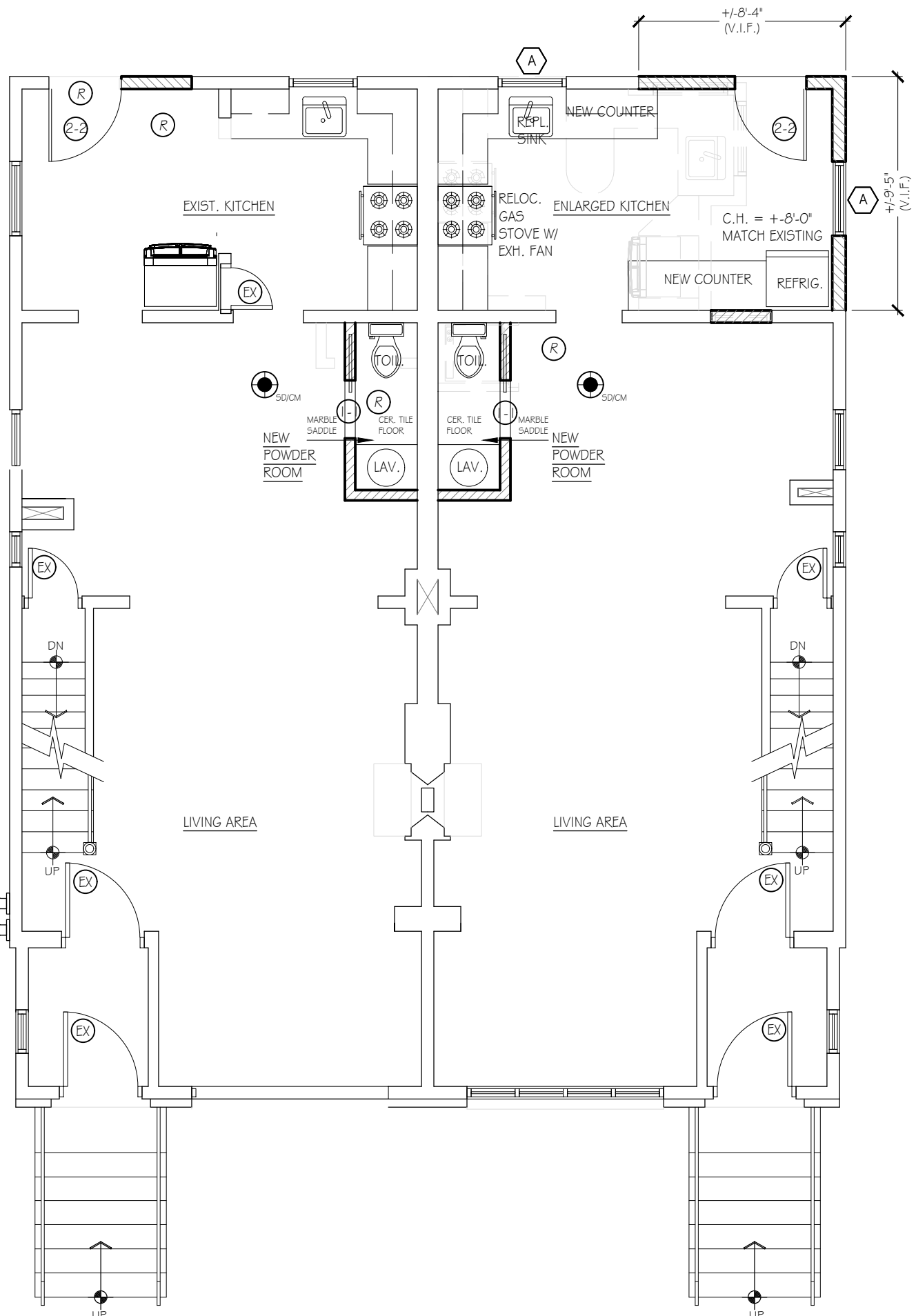
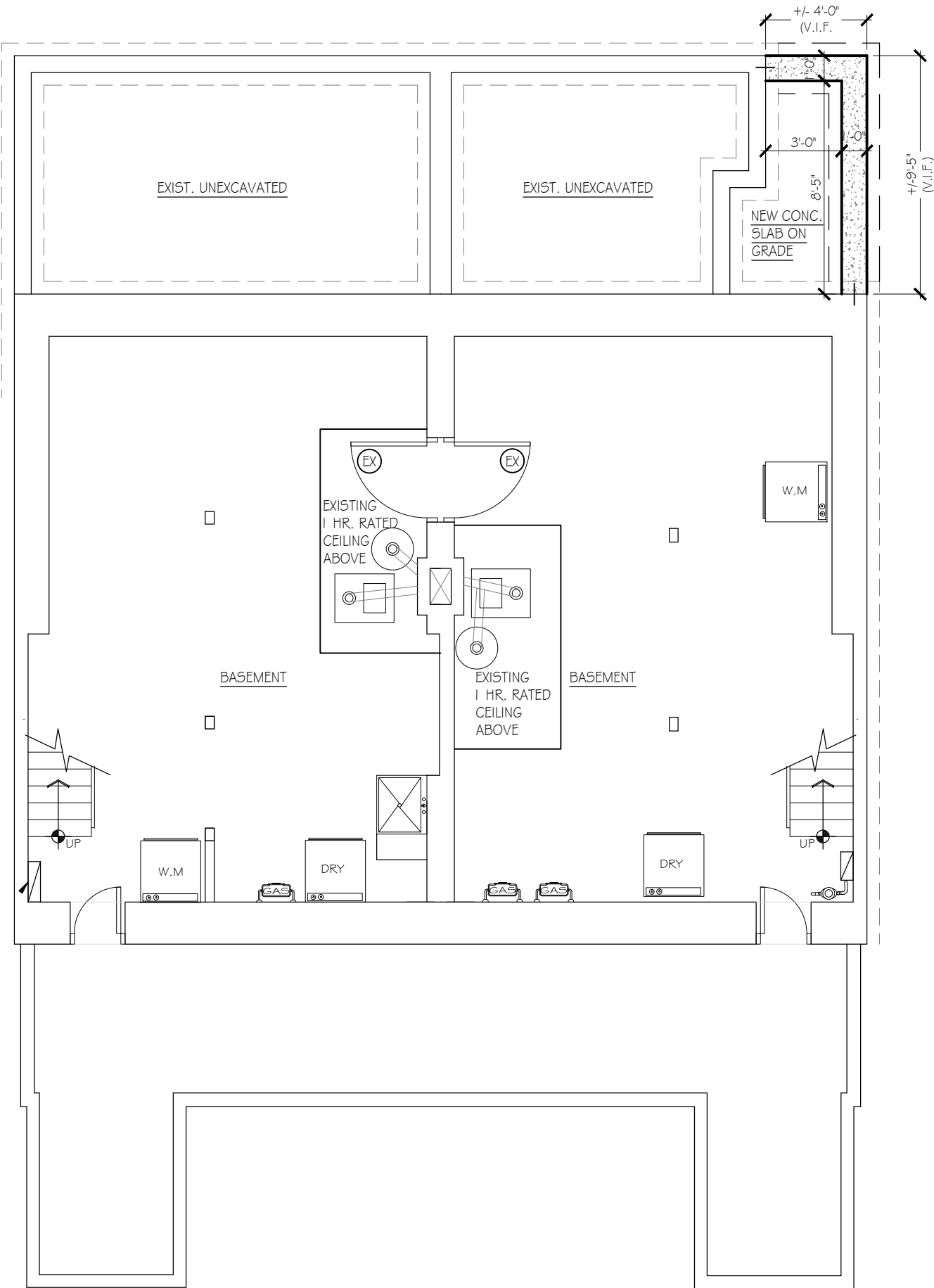
SCHEDULE OF DOORS

MARK	TYPE	SIZE	DOOR MATERIAL	DOOR SWING	REMARKS
EX	A	3'-0" X 6'-8" (VIP)	WOOD		EXISTING DOOR
1-1	A	2'-4" X 6'-8"	PANELED WOOD		SLIDING POCKET BATHROOM DOOR WITH PRIVACY LOCKSET AND PULL
1-2	B	5'-0" X 6'-8"	WOOD AND GLASS		PAIR OF FRENCH INSWINGING EXTERIOR INSULATED DOORS
2-1	C	5'-0" X 6'-8"	PANELED WOOD		PAIR OF CLOSET DOOR WITH CLOSET DOOR HARDWARE AND PAIR BUTT HINGES

DOOR TYPES



DOOR NOTES:  
1. AIR LEAKAGE: PROVIDE FLASHING, WINDOW DAMS, EXPANDABLE FOAM SEALANT, AND CAULKING AT ROUGH OPENING/DOOR FRAME JOINTS TO CREATE A CONTINUOUS AIR BARRIER WITH SURROUNDING WALL SYSTEM.  
2. ALL EXTERIOR DOORS SHALL HAVE A U-FACTOR OF 0.22 AND SHGC OF 0.02 OR BETTER AND SHALL BE ENERGY STAR CERTIFIED.

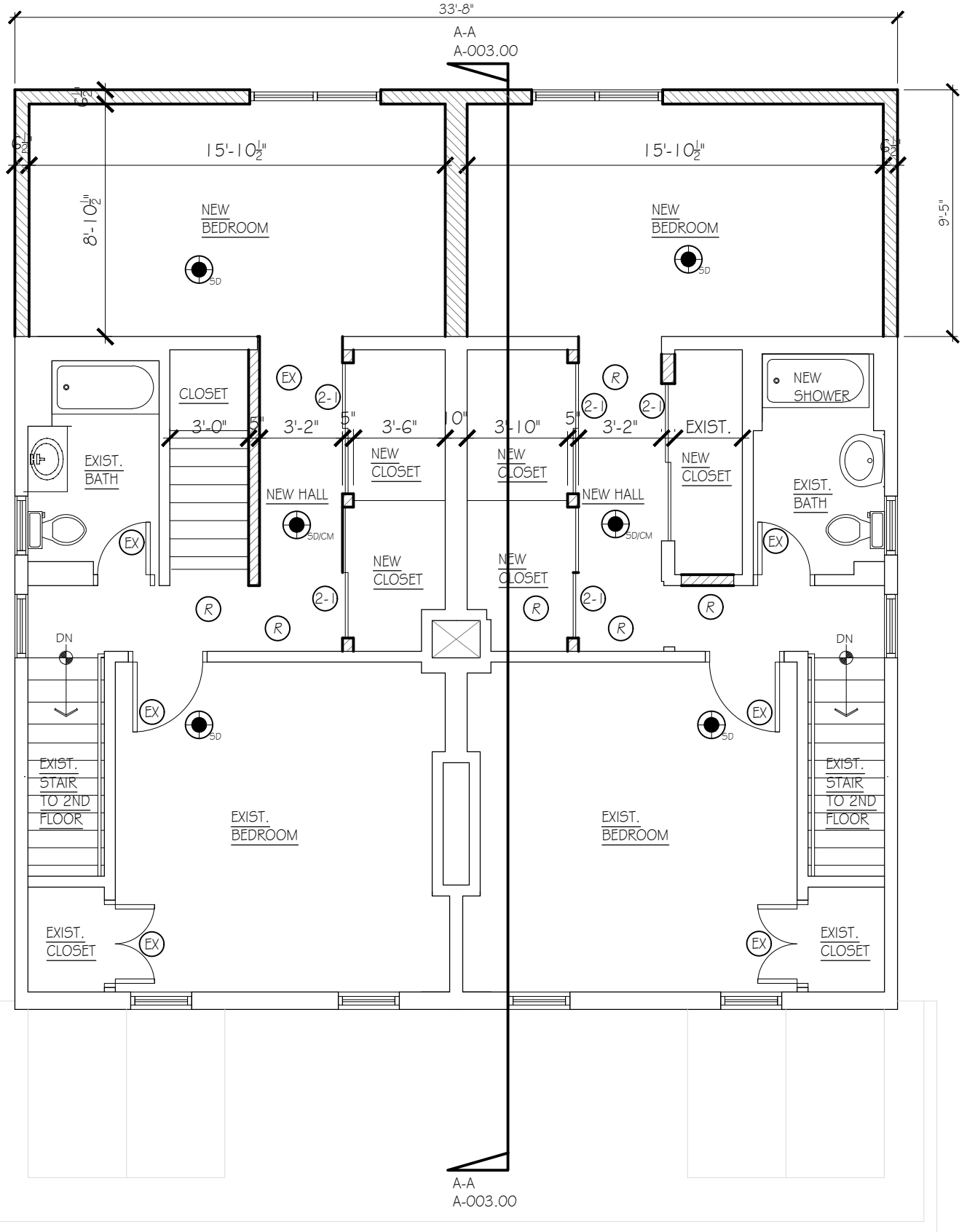


PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"

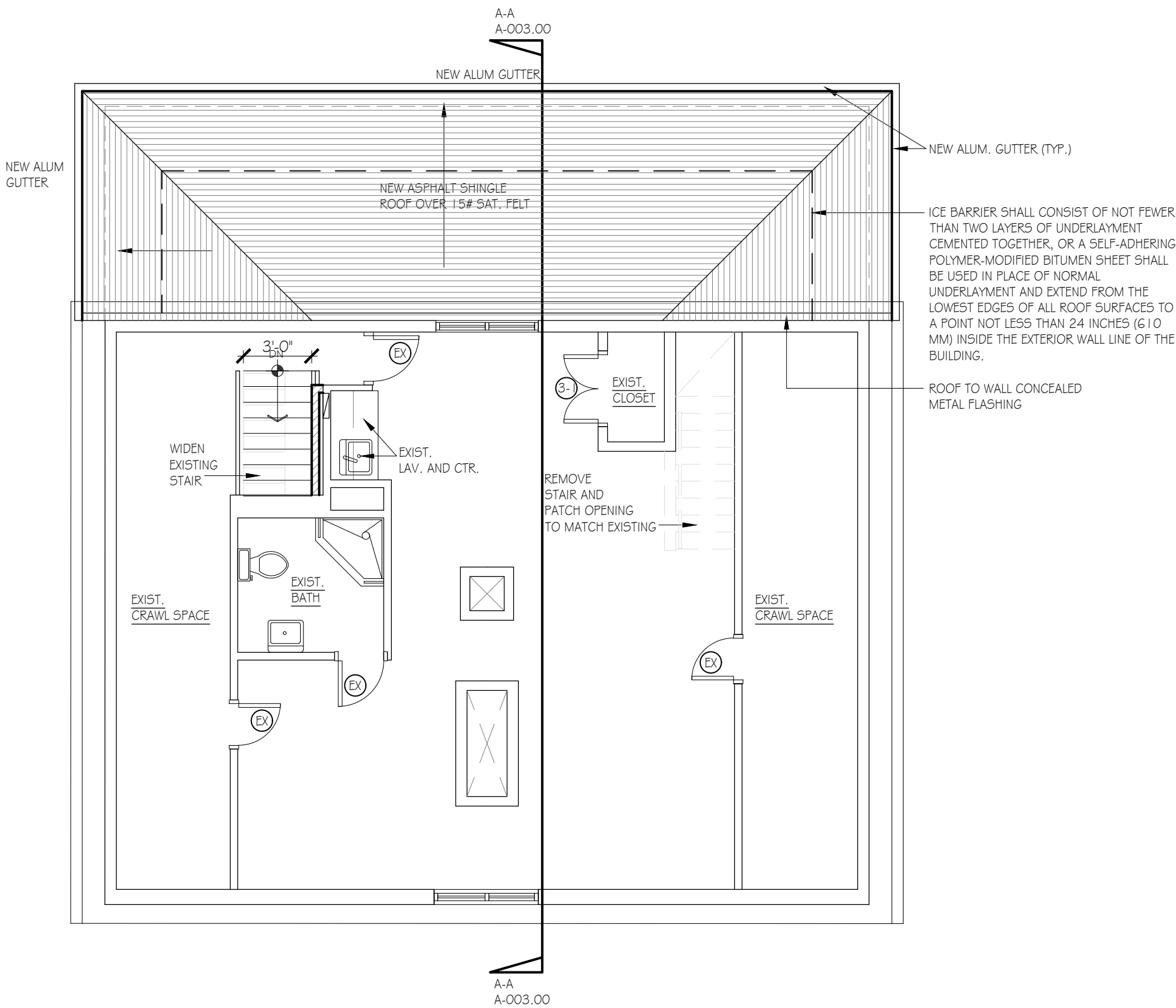
PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIGHT & VENTILATION SCHEDULE (SF)					
ROOM	AREA	LIGHT 8%		VENT 4%	
		REQUIRED	SUPPLIED	REQUIRED	SUPPLIED
KITCHEN	141.00	11.28	20.25	5.64	10.12

SECOND FLOOR LIGHT & VENTILATION SCHEDULE (SF)					
ROOM	AREA	LIGHT 8%		VENT 4%	
		REQUIRED	SUPPLIED	REQUIRED	SUPPLIED
BEDROOM #1	140.87	11.26	22.50	5.63	11.25
BEDROOM #2	140.87	11.26	22.50	5.63	11.25

DRAWING LEGEND

- NEW INTERIOR WALL
- NEW EXTERIOR WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW INTERIOR PANEL DOOR  
AS SELECTED BY OWNER
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- SMOKE DETECTOR
- COMBINED SMOKE  
AND CARBON MONOXIDE DETECTOR


NO.	DATE	DESCRIPTION	INIT.
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REVISION

PROJECT NAME

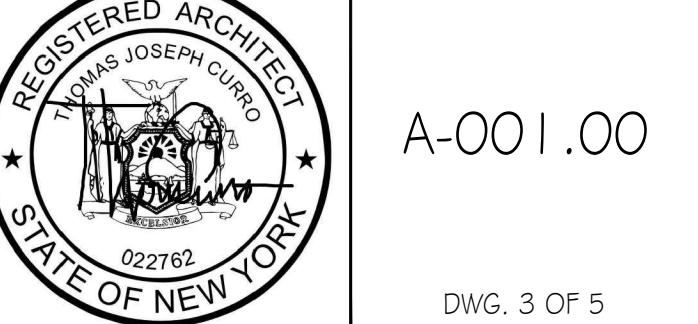
ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

PROPOSED FLOOR PLANS

SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

SHEET No.



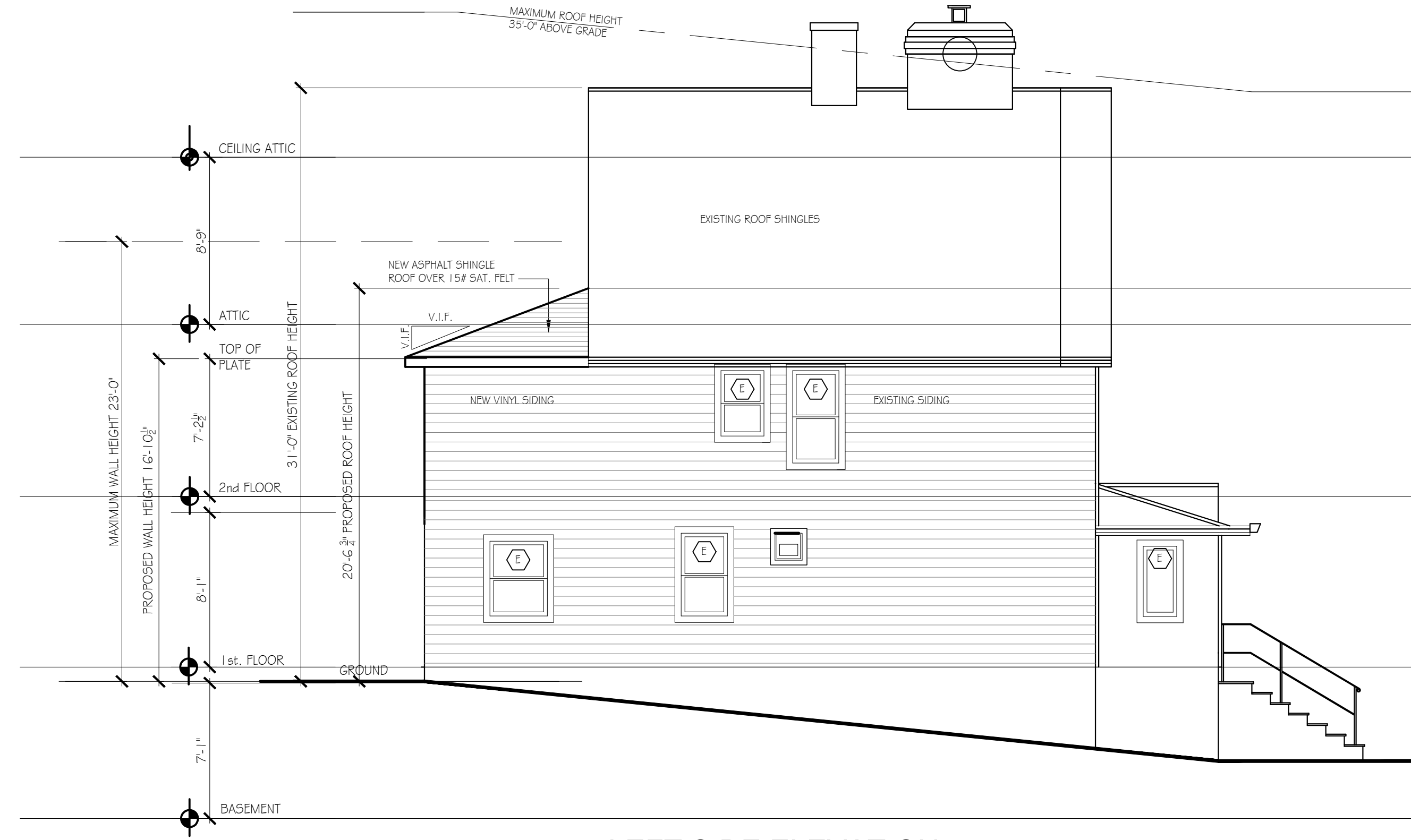
A-001.00

DWG. 3 OF 5

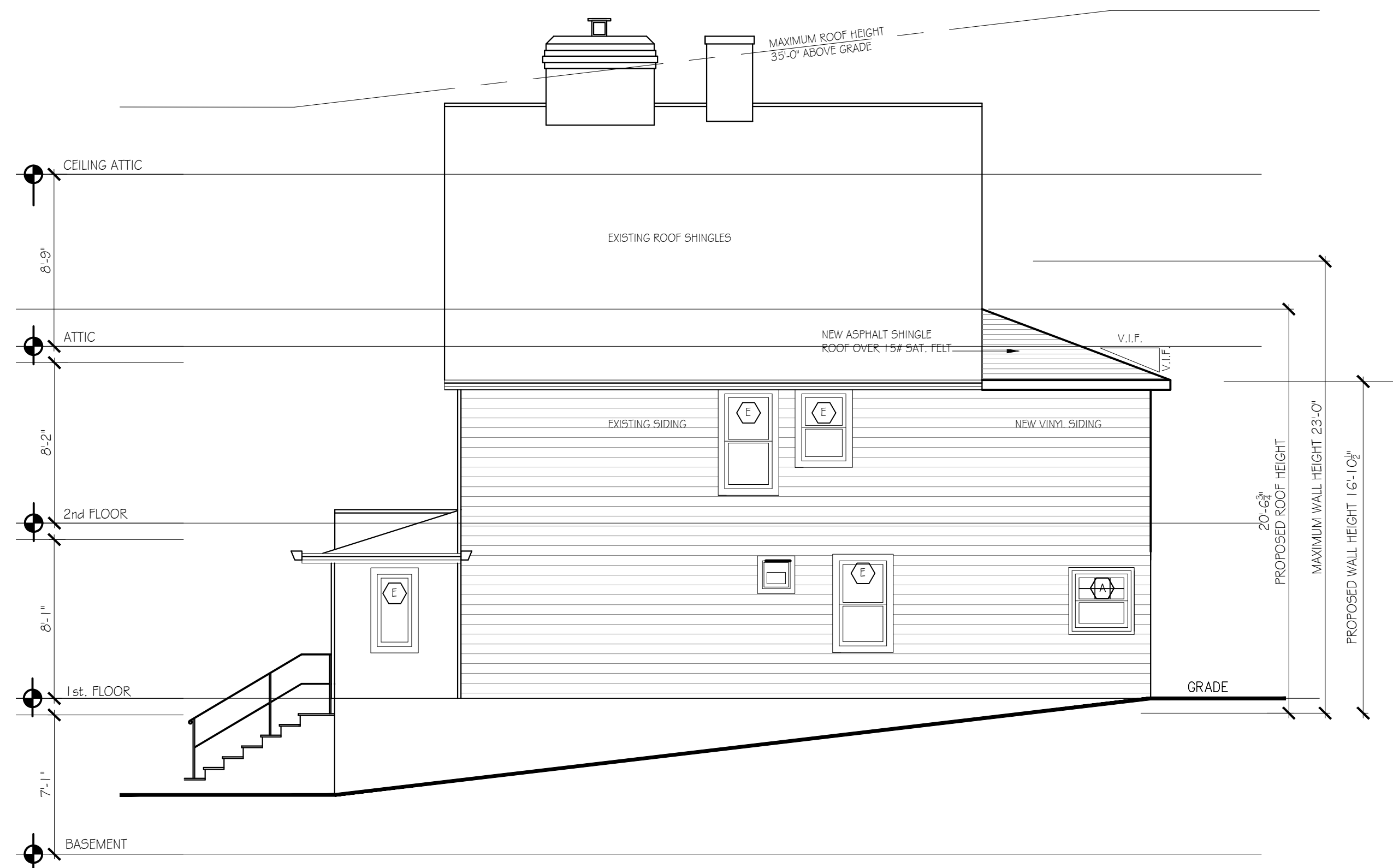




FRONT ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$



LEFT SIDE ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$



RIGHT SIDE ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$



REAR ELEVATION  
SCALE:  $\frac{3}{16}'' = 1'-0''$

NO.	DATE	DESCRIPTION	INIT.
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REVISION

PROJECT NAME

ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

PROPOSED FLOOR PLANS

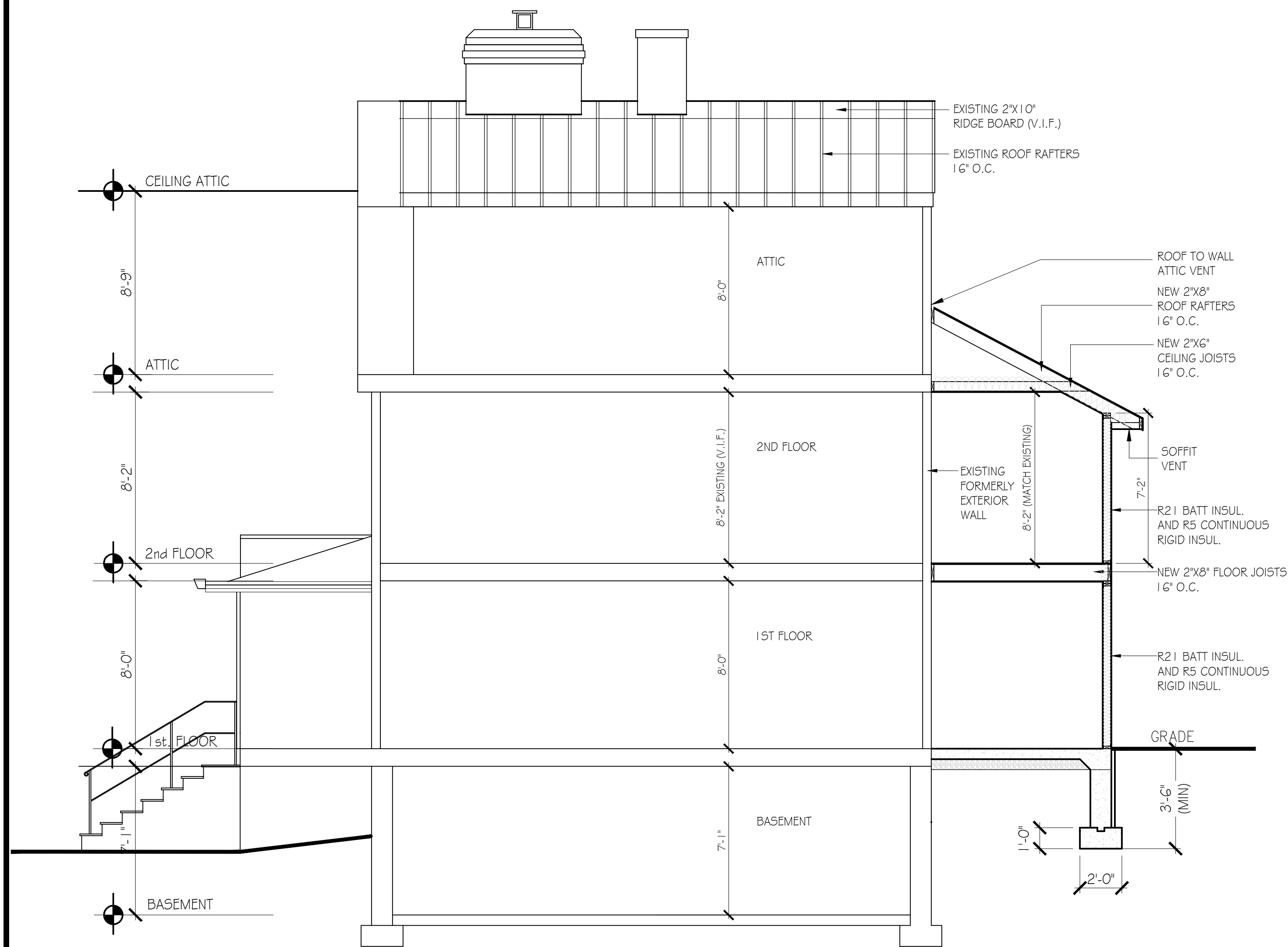
SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

SHEET No.

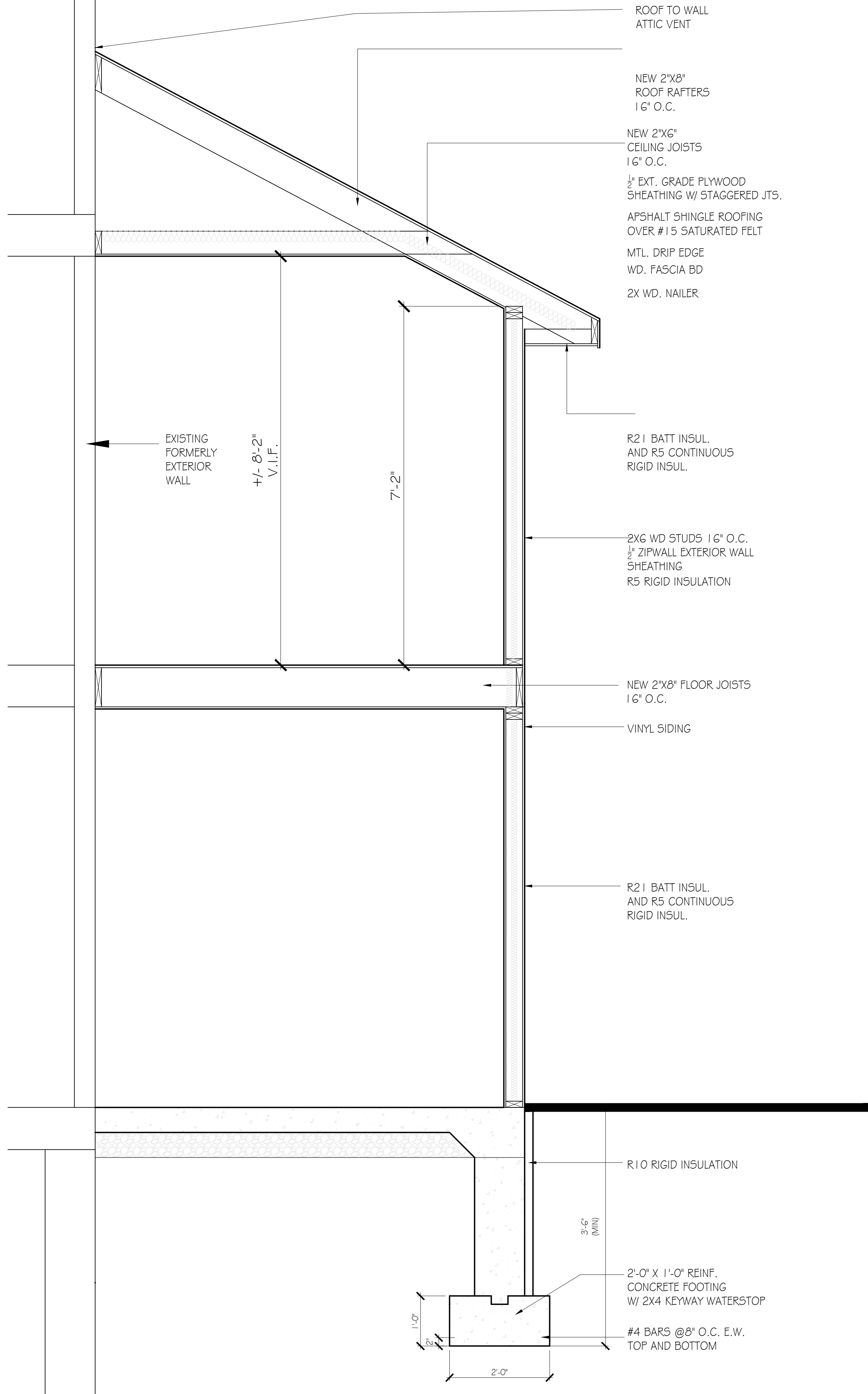
A-002.00

DWG. 4 OF 5





**BUILDING SECTION**  
SCALE:  $\frac{1}{4}" = 1'-0"$



**WALL SECTION**  
SCALE:  $\frac{3}{4}" = 1'-0"$


NO.	DATE	DESCRIPTION	INIT.
-----	------	-------------	-------

REVISION

PROJECT NAME

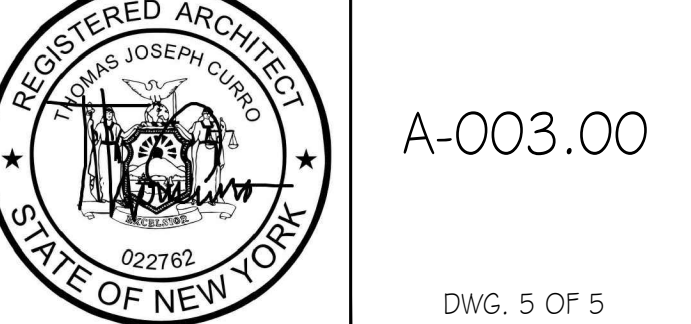
ADDITIONS AND ALTERATIONS TO  
360 WARBURTON AVENUE  
HASTINGS-ON-HUDSON, NY 10706

DRAWING NAME

**BUILDING SECTION  
AND WALL SECTION**

SCALE	DATE	PROJECT No.	BY
AS NOTED	7-30-2021	21-031	TJC

SHEET No.



A-003.00

DWG. 5 OF 5



**VILLAGE OF HASTINGS-ON-HUDSON**  
View Preservation Approval Application Requirements Checklist



Items	Item Specifics	Indicate how the checklist items are addressed*
Application	Complete application with supporting documents	attached herewith .....
Application Fee	Prescribed fee for the requested review/action	paid .....
Plans	Plans, Site Plans, Elevations Sections and details as necessary to describe the full scope of proposed work	attached herewith .....
	A plan showing the location from where the photos were taken and general direction of the field of vision	see dwg. VP-001.00 .....
Photographs	Photographs from various vantage points showing the current views of the Palisades and Hudson river, without the proposed development/work	see dwg. VP-001.00 .....
	Photographs from various vantage points showing the current views of the Palisades and Hudson river, with the proposed development/work simulated in the photographs	see dwg. VP-001.00 .....
Additional Requirements	Board/s may require a Mock-up at the proposed site simulating the height bulk or outline of the proposed construction/development to help them with their deliberations and decisions	....To be provided as and if needed... ..

\*Indicate by notes such as, "see Note/Detail on Dwg #\_\_\_", "attached herewith", or "NA", etc. where "NA" stands for "Not applicable".

Signature

January 7, 2022

Date

Thomas J. Curro

Name

Architect

Title



# THOMAS J. CURRO ARCHITECT, PC

Member of the American Institute of Architects



January 4, 2022

Charles Minozzi  
Building Inspector Village of Hastings-on-Hudson  
7 Maple Avenue  
Hastings-on-Hudson, NY 10706

Reference: 360 Warburton Avenue

Dear Mr. Minozzi,

The attached survey of this property located at 360 Warburton Avenue, block 94 lot 4 and dated July 13, 2021, is to the best of my knowledge, an accurate representation of the existing conditions on this site as it exists today.

Sincerely,

A handwritten signature in blue ink, appearing to be 'TJ Curro', written over the word 'Sincerely,'.

Thomas J. Curro, AIA

Notary:

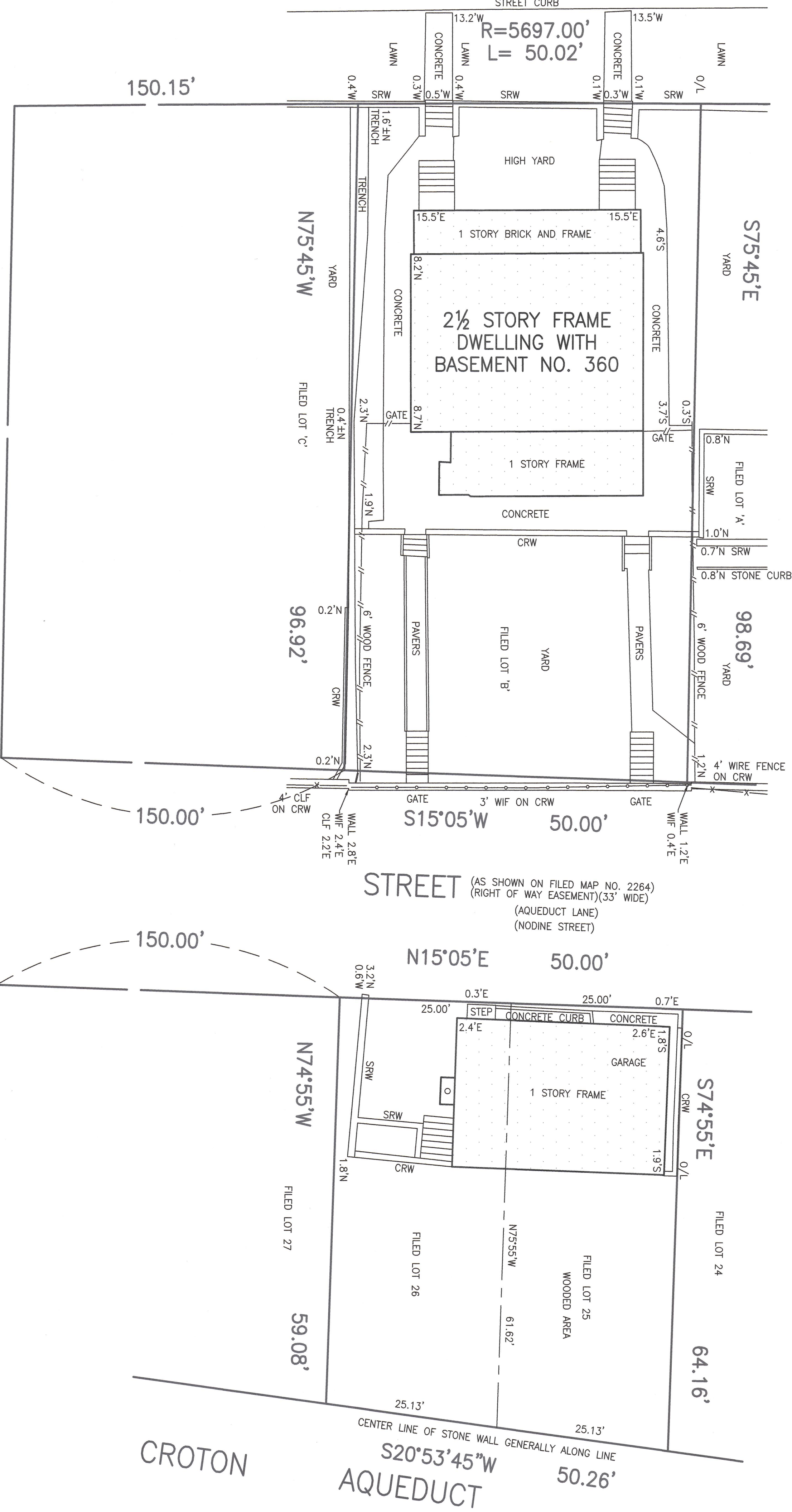
A handwritten signature in blue ink, appearing to be 'Amy Beth Leon', written next to the word 'Notary:'.





AVENUE

WARBURTON



NOTES:  
1. THIS SURVEY WAS DONE FOR HUDSON UNITED TITLE SERVICES LLC AND IS INTENDED TO BE USED FOR TITLE PURPOSES ONLY.  
2. NO GUARANTEE IS IMPLIED BY THIS MAP AS TO THE EXISTENCE OR NONEXISTENCE OF ANY EASEMENTS OF RECORD THAT WOULD AFFECT SUBJECT PROPERTY, UNLESS SURVEYOR HAS BEEN FURNISHED WITH A COMPLETE COPY OF TITLE REPORT.  
3. THIS MAP WAS MADE AT A SCALE OF 1" = 10' WHEN ORIGINALLY DRAWN.  
4. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.  
5. IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.  
6. THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS NOR NATURAL WATER COURSES IN THE PROPERTY EXCEPT AS SHOWN ON THIS SURVEY.  
7. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITHIN AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.  
8. THIS SURVEY IS NOT INTENDED TO BE USED FOR NEW CONSTRUCTION.



CLF - CHAIN LINK FENCE  
CRW - CONCRETE RETAINING WALL  
O/L E-W - ON LINE EAST WEST  
O/L N-S - ON LINE NORTH SOUTH  
SRW - STONE RETAINING WALL

CERTIFIED TO:

STEWART TITLE INSURANCE COMPANY (COLLEGE STATION)  
TIMOTHY PATRICK WHALEN AND JOANNE WHALEN  
HUDSON UNITED TITLE SERVICES LLC  
NJ LENDERS CORP. ISAQA/ATIMA

TAX MAP  
SECTION 4.1  
BLOCK 94  
LOT 4, 19  
VILLAGE OF HASTINGS-ON-HUDSON  
TOWN OF GREENBURGH  
COUNTY OF WESTCHESTER

TITLE No.  
STATE OF NEW YORK

DATE SURVEYED: JULY 13, 2021  
ALL COUNTY LAND SURVEYOR PC  
DONAL A. O'BUCKLEY PLS

167-17 45TH AVENUE  
FLUSHING, NY 11358  
TEL. 718-358-8114  
FAX. 718-353-0938  
EMAIL: DOBUCKLEY@AQSINY.COM

