

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	25'	21.2'	21.2'
REAR	25'	35'	35'
SIDE ONE	12'	14.9'	14.9'
SIDE TWO	8'	5.96'	5.96'
TOTAL OF TWO SIDES	20'	20.85'	20.85'

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2 1/2	2 1/2
FEET	35'	32'-1"	32'-1"

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA		5000 sq ft	NO CHANGE
*BLDG. COVERAGE/ % OF LOT AREA	30 %	25.047	NO CHANGE
*DEVELOPMENT COVERAGE/ % OF LOT AREA	40 %	62.67	NO CHANGE

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**			

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number: Date of application: 7/19/2019

Property owner: NICOLE AND PATRICK McNEIL
 Property address: 33 ELM PLACE
 Name all streets on which the property is located: ELM PLACE
 Street: 4.40 Block: 35 Lot/Parcel: 14 Zoning District: R-7.5

Applicant: ALEX STOJANOVIC
 Standing of applicant if not owner: REPRESENTATIVE DESIGN ARCHITECT
 Address: 61 PINECREST DRIVE
 Daytime phone number: 917.747.2241 Fax number:
 E-mail address: AS@SHCO.COM

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<u>295-69F.1.C</u> <u>295-55A</u>	<u>MIN SID YARD 8'</u> <u>EXTENSION OF AN</u> <u>EXISTING NON-CONFORM.</u>	<u>5.96'</u>	<u>5.96'</u>
.....
.....
.....
.....

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....28.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.....Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation



Name : Nicole Miziolek, being duly sworn, deposes and says that he/she resides at 33 ELM PL in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet _____ Block 644 and Lot 22,23 of the tax map, and that he/she hereby authorized _____ to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

Nicole Miziolek
Owner

SWORN TO BEFORE ME THIS 23rd DAY
OF July 2019

MARY ELLEN BALLANTINE
Notary Public, State of New York
Reg # 01BA6278291
Qualified in Westchester County
Commission Expires 3/25/2021

Mary Ellen Ballantine
Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
N/A			

- List pending violations on this property if any:

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 18th day
of July, 2019

M. E. Ballantine
Notary Public

Applicant

MARY ELLEN BALLANTINE
Notary Public, State of New York
Reg # 01BA6276291
Qualified in Westchester County
Commission Expires 3/25/2021

Pinecrest Group
architectural / interior design / construction
315 West 39 Street
Suite 1104
New York, NY 10018

September 2nd 2019

To: Zoning Board

Re: 33 Elm Place – McNeil Residence

To the Zoning Board:

We would like to ask the board to grant a variance for a change at 33 Elm Place.

The proposal is to enlarge the master bedroom over the existing dining room. While the existing foot print of the house would remain intact, the existing side yard setback is non conforming and would remain the same. The extended volume above the dining room would create enlarged master bedroom.

The houses alongside (numbers 31, 27 and 25 Elm Place) all have a similar 2 story extension which juts as a smaller 2-story volumes from the main volume of each of those houses, in the exact same manner. Our proposed extension atop the dining room follows the very same pattern visible from the back yard. Beyond that all the house mentioned above have an auxiliary volume in the back yard, but the back yard at 33 Elm is empty and allows for light and openness which easily balances the exterior space.

We believe that this small partial extension is very much in balance with the other house down the row and fits in well in the same pattern. There is no visibility from any other place than the back yard.

We appreciate your consideration and hope you can grant this variance to improve the quality of the house. While also allowing our client to have similar configuration as the neighboring properties – following the same pattern set by these other houses.

Many thanks in advance

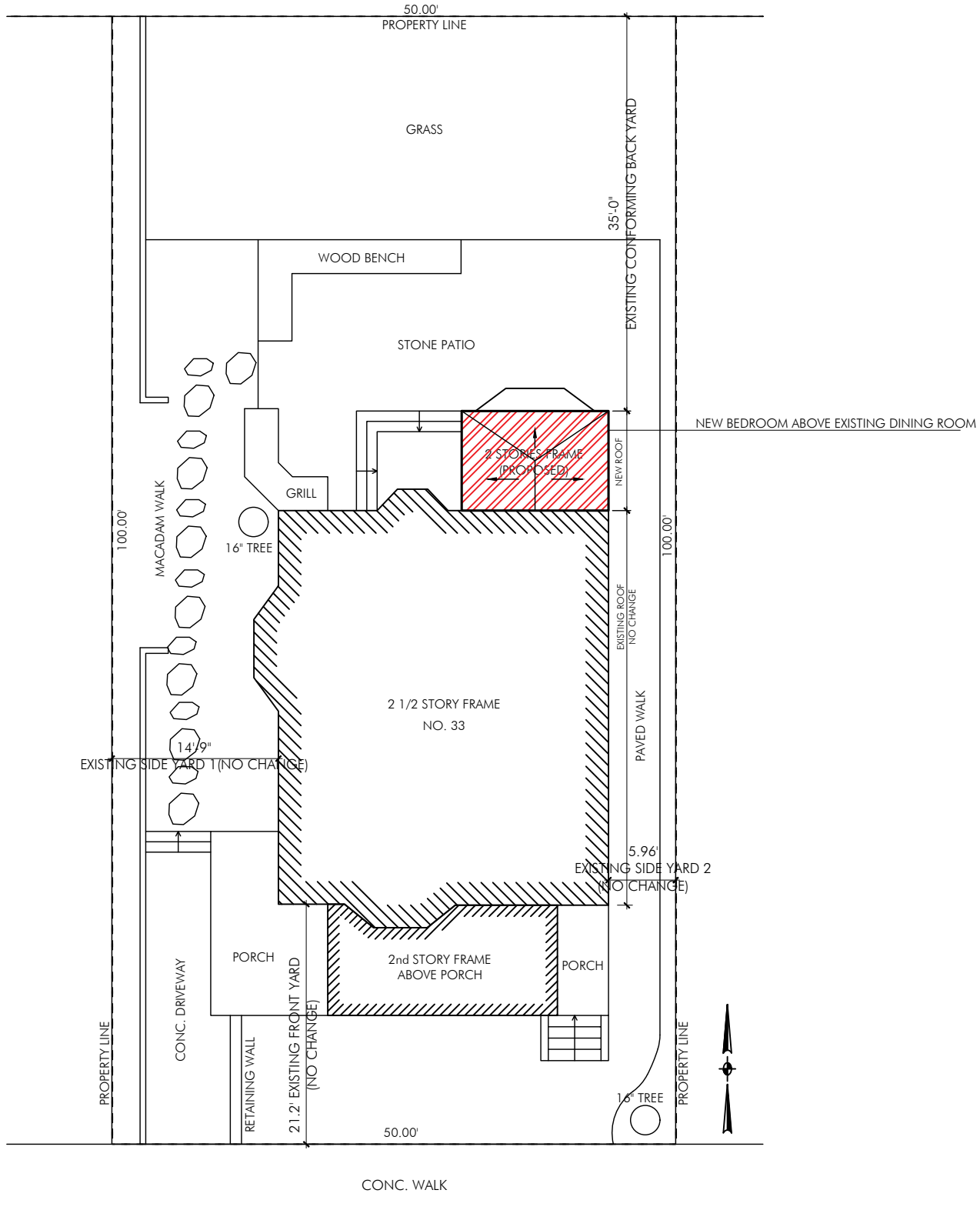
Sincerely

Alex Stojanovic



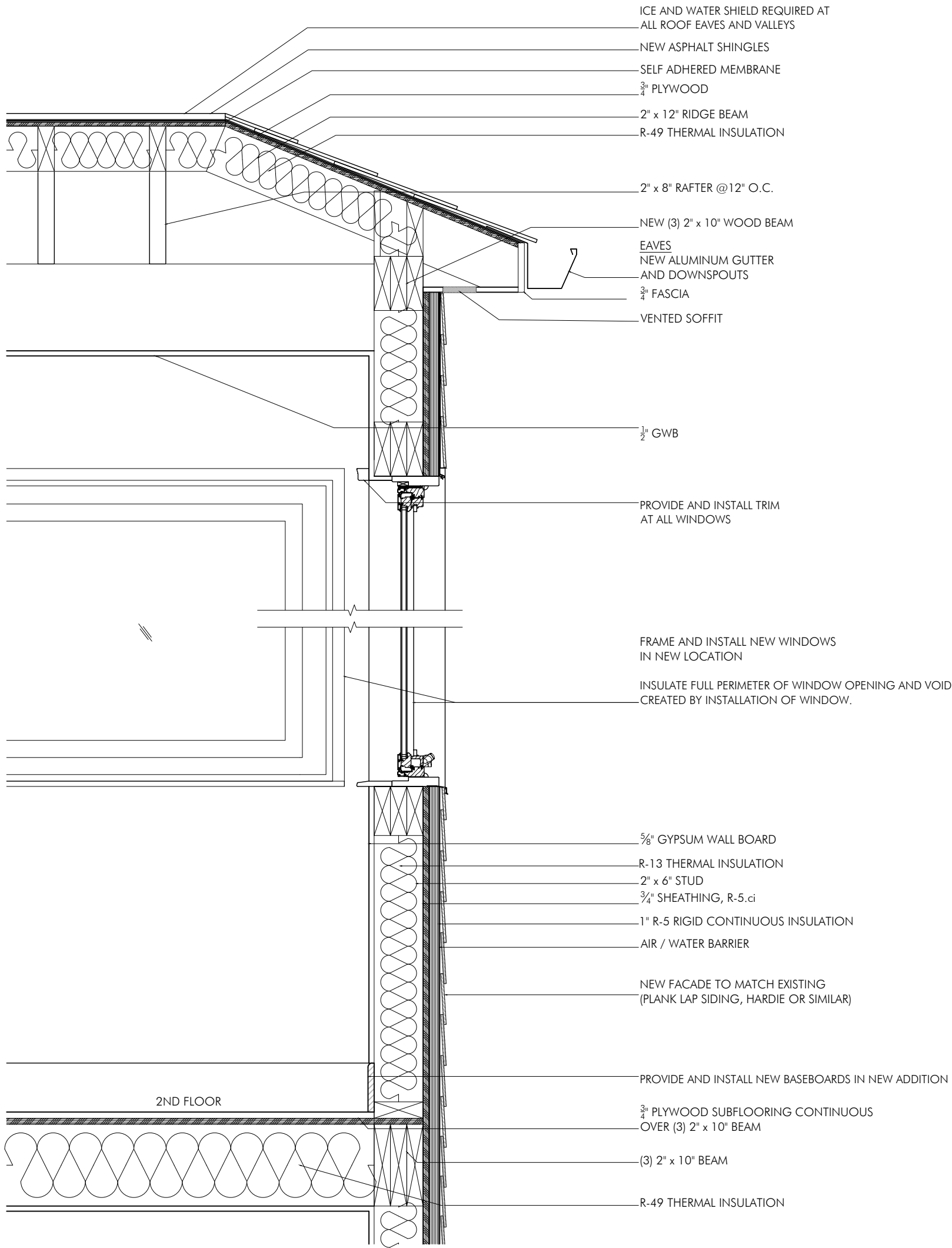
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GENERAL NOTES: DIVISION 1 GENERAL REQUIREMENTS 1. ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NEW YORK STATE, 2015 IRC AND 2017 NYS SUPPLEMENT AND LOCAL CODES AND THE NEW YORK STATE ENERGY CODE . (2015 RESIDENTIAL CODE OF NEW YORK STATE). ALL PROJECTS WITH ENGINEERED LUMBER AND/OR TRUSS CONSTRUCTION MUST BE PLACARDED AS PER NYS DOS. 2. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. 3. GENERAL NOTES AND TYPICAL DETAILS APPLY. THROUGHOUT THE JOB. 4. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NO LACK OF DETAIL OR SPECIFICATION EXCUSES CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE CODES AND REGULATIONS. 5. NO WORK IS TO COMMENCE BEFORE ALL PROPER BUILDING PERMITS AND OTHER APPLICABLE PERMITS ARE OBTAINED. 6. ALL PLUMBING WORK IS TO BE PERFORMED BY A LICENSED PLUMBER UNDER THE JURISDICTION OF THE STATE OF NEW YORK. PLUMBER MUST FILE FOR PLUMBING PERMIT AND OBTAIN ALL INSPECTIONS AND APPROVALS FOR THE PLUMBING WORK. 7. ALL ELECTRICAL WORK IS TO BE PERFORMED BY A LICENSED ELECTRICIAN IN THE JURISDICTION OF THE WORK. AT THE COMPLETION OF THE WORK ELECTRICIAN IS TO OBTAIN UNDERWRITERS CERTIFICATE OR ANY OTHER APPROVED CERTIFICATION BY THE LOCAL JURISDICTION. 8. ALL MECHANICAL PLUMBING AND ELECTRICAL WORK MUST BE COORDINATED BY THE GENERAL CONTRACTOR. 9. ALL FOOTINGS TO BE ON VIRGIN COMPACTED SOIL WITH THE BEARING CAPACITY OF 1 TON PER SQUARE FOOT. DEPTH OF FOOTING IS DETERMINED BY LOCAL JURISDICTION (SEE TABLE BELOW) 10. ALL CONCRETE IS TO OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI. AFTER 28 DAYS 5 TO 7% AIR ENTRAINMENT PER R.402.2 11. DO NOT BACKFILL FOUNDATION UNTIL THE FIRST FLOOR FRAMING HAS BEEN INSTALLED OR THE WALLS ARE ADEQUATELY BRACED. 12. ALL STRUCTURAL STEEL TO BE MIN A-36 CONFORM TO STANDARDS OF THE LATEST AISC MANUAL. PAINT ALL NEW STEEL WITH RUST INHIBITIVE PRIMER AND PAINT. 13. ALL CONSTRUCTION LUMBER IS TO BE NO 2 OR BETTER DOUGLAS FIR WITH A MIN. BENDING STRENGTH OF 850PSI. 14. ALL WINDOW AND DOOR OPENING HEADERS TO BE 2'-2X8'S WITH 3" PLVWOOD BETWEEN EACH UNLESS OTHERWISE NOTED. 15. ALL POST TO BE A MIN 3" X24'S SPIKED TOGETHER WITH 16D NAILS. 16. DOUBLE JOIST UNDER ALL WALLS, PROVIDE BRIDGING AT 7'-0" O.C. 17. ALL TRUSSES AND LAMINATED BEAMS TO BE INSTALLED PER MANUF. FACTURERS, DETAILS & RECOMMENDATIONS. 18. CONTRACTOR TO VERIFY CONDITION OF ALL EXISTING BEARING WALLS AND REPLACE IF DAMAGED. 19. PROVIDE FLASHING AT ALL EXTERIOR OPENINGS AND AT SURFACE SURFACE BETWEEN ROOF AND WALLS. PROVIDE ICE & WATER SHIELD AS MEASURED FROM EAVES' EDGE TO A POINT AT LEAST 24-INCHES FROM THE INSIDE FACE OF INTERIOR WALL. ICE SHIELD SHALL ALSO BE PLACED WITHIN ALL VALLEYS AT 36-INCHES MINIMUM. 20. PROVIDE SILICONIZED ACRYLIC CAULKING BETWEEN ANY DISSIMILAR MATERIALS. 21. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS FOR WINDOWS, DOORS, AND OPENINGS IN WALLS, FLOORS AND ROOF. DOUBLE FRAME AT ALL OPENINGS. UNLESS OTHERWISE NOTED ALL WINDOWS, GLASS DOORS AND SKYLIGHTS TO BE "ANDERSON" WITH LOW "E" INSULATED GLASS. 22. EXTEND ALL CHIMNEYS 2'-0" MIN ABOVE ANY COMBUSTIBLE MATERIAL WITH IN 10'-0". VERIFY HEIGHT WITH LOCAL JURISDICTION. ALL BATHROOM WINDOWS, STAIRWAY WINDOWS OR WINDOWS 18" BELOW FLOOR MUST BE TEMPERED GLASS. 23. ALL FINISHES TO BE SELECTED BY OWNER. CONTRACTOR IS TO REMOVE AND LEGALLY DISPOSE OF ALL DEBRIS FROM SITE.	<div><div>25. RICO2.4 FACTORY BUILT FIREPLACES AND CHIMNEYS FOR THE USE WITH THE SAME SHALL COMPLY WITH THE REQUIREMENTS OF UL 127,NFPA 211, R1002.1 & R1003.1.</div><div>26. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE MUST BE TREATED LUMBER.</div><div>27. HANDRAILS/ RAILINGS AND GUARDRAILS ARE TO CONFORM WITH NFPA 101 & NYS BUILDING CODE.</div><div>28. GAS PIPING AND APPLIANCES TO COMPLY WITH NFPA 54.</div></div> <div><div>TABLE R 401.4.1 PRESUMPTIVE LOAD BEARING VALUES OF FOUNDATION MATERIALS</div><div><table><tr><th>CLASS OF MATERIAL</th><th>LOAD BEARING PRESSURE</th></tr><tr><td>CRYSTALLINE BEDROCK</td><td>12000 PSF</td></tr><tr><td>SEDIMENTARY AND FOLIATED ROCK</td><td>4000 PSF</td></tr><tr><td>SANDY GRAVEL AND/OR GRAVEL</td><td>3000 PSF (GW & GP)</td></tr><tr><td>SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)</td><td>2000 PSF</td></tr><tr><td>CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT AND SANDY SILT (CL, ML, MH AND CH)</td><td>1500 PSF</td></tr></table></div><div><div>a. WHEN SOIL TEST ARE REQUIRED BY R401.4 THE ALLOWABLE BEARING CAPACITIES OF THE SOIL SHALL BE PART OF THE RECOMMENDATIONS.</div><div>b. WHEN IN PLACE SOILS WITH ALLOWABLE BEARING CAPACITY OF LESS THAN 1500 PSF ARE LIKELY TO BE PRESENT ON THE SITE, THE ALLOWABLE BEARING CAPACITY SHALL BE DETERMINED BY A SOILS INVESTIGATION .</div><div>R302.1.1 DESIGN CRITERIA: AREA LOCATED WHERE WIND SPEEDS ARE EQUAL OR EXCEEDS 110MPH. DESIGN CRITERIA BASED ON AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS. (VFCM) 2001</div><div>FOR S1: 1 POUND PER SQUARE FOOT= .0479 KNMxM (MILES PER HOUR= 1KM/HR</div><div>A. WEATHERING MAY REQUIRE A HIGHER STRENGTH OF CONCRETE OR GRADE OF MASONRY NECESSARY TO SATISFY THE STRUCTURAL REQUIREMENTS OF THE CODE.</div><div>THE WEATHERING COLUMN SHALL BE FILLED IN WITH THE WEATHERING INDEX. (NEGLECTIBLE, MODERATE OR SEVERE) FOR CONCRETE AS DETERMINED FROM THE WEATHERING PROBABILITY MAP. (FIGURE R301.2.3). THE GRADE MASONRY UNITS SHALL BE DETERMINED FROM THE ASTM C34, C55, C62, C73, C90, C 129, C216, OR C682.</div><div>B. THE FROST LINE DEPTH MAY REQUIRE DEEPER FOOTINGS THAN INDICATED IN FIGURE R403.1(1). THE JURISDICTION SHALL FILL IN FROST LINE DEPTH COLUMN WITH THE MINIMUM DEPTH OF FOOTING BELOW THE FINISHED GRADE.</div><div>C. THE JURISDICTION SHALL FILL IN UNDER "TERMITES" WITH VERY HEAVY, MODERATE TO HEAVY, SLIGHT TO MODERATE, OR NONE TO SLIGHT IN ACCORDANCE WITH FIGURE R301.2(6) DEPENDING ON WEATHER THERE IS A HISTORY OF LOCAL DAMAGE.</div><div>D. THE JURISDICTION SHALL FILL IN UNDER "DECAY" , MODERATE TO SEVERE, SLIGHT TO MODERATE, OR NONE TO SLIGHT IN ACCORDANCE WITH FIGURE R301.2(7) DEPENDING ON WEATHER THERE IS A HISTORY OF LOCAL DAMAGE.</div><div>E. THE JURISDICTION SHALL FILL IN THE WIND SPEED FROM THE BASIC WIND SPEED MAP FIGURE R301.2(4), WIND EXPOSURE CATEGORY SHALL BE DETERMINED ON A SITE SPECIFIC BASIS IN ACCORDANCE WITH SECTION R 301.2.14</div><div>F. REFER TO TABLE RN101.2 WINTER DESIGN DRY BULB TEMPERATURE COLUMN.</div><div>G. THE JURISDICTION SHALL FILL IN SEISMIC DESIGN CATEGORY DETERMINED FROM SECTION R301.2.2.1</div><div>H. THE JURISDICTION SHALL FILL IN FLOOD HAZARD A, THE DATE THE JURISDICTION ENTERED INTO THE NATIONAL FLOOD INSURANCE PROGRAM (DATE OF ADOPTION OF THE FIRST CODE OR ORDINANCE FOR MANAGEMENT OF FLOOD HAZARD AREAS).</div><div>B. THE DATES ARE CURRENTLY EFFECTIVE FIRM FBFM OR OTHER FLOOD HAZARD MAP ADOPTED BY THE COMMUNITY AS MAY BE AMENDED.</div><div>NOTE: SITE IS NOT IN A FLOOD ZONE.</div><div>I. SEE FIGURE R301.2(5) FOR GROUND SNOW LOADS</div></div><div><div>TABLE R 301.5 MINIMUM UNIFORM DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)</div><div><table><tr><th>USE</th><th>LIVE LOAD</th></tr><tr><td>EXTERIOR BALCONIES</td><td>60</td></tr><tr><td>DECKS</td><td>40</td></tr><tr><td>PASSENGER VEHICLE GARAGES</td><td>50</td></tr></table></div></div></div> <td data-kind="parent" data-rs="2"><div><div>ATTICS WITHOUT STORAGE</div><div>10</div><div>ATTICS WITH STORAGE</div><div>20</div><div>ATTICS ACCESSED WITH FIXED STAIRWAYS</div><div>30</div><div>ROOMS OTHER THEN SLEEPING ROOMS</div><div>40</div><div>SLEEPING ROOMS</div><div>30</div><div>STAIRS</div><div>40</div><div>GUARDRAILS AND HAND RAILS</div><div>200</div><div>SNOW LOAD</div><div>20</div><div>DEAD LOAD</div><div>15</div></div><div><div>TABLE R 301.6, 301.7 ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS</div><div><table><tr><th>STRUCTURAL MEMBER</th><th>ALLOWABLE DEFLECTION</th></tr><tr><td>RAFTERS HAVING SLOPES OF GREATER THAN 1/2 WITH NO FINISHED CEILING ATTACHED TO RAFTERS</td><td>1/180</td></tr><tr><td>INTERIOR WALLS AND PARTITIONS</td><td>1/180</td></tr><tr><td>FLOORS AND PLASTER CEILINGS</td><td>1/360</td></tr><tr><td>ALL OTHER STRUCTURAL MEMBERS</td><td>1/240</td></tr><tr><td>EXTERIOR WALLS WITH PLASTER STUCCO FINISH</td><td>1/360</td></tr><tr><td>EXTERIOR WALLS- WIND LOADS WITH BRITTLE FINISH</td><td>1/240</td></tr><tr><td>EXTERIOR WALLS- WIND LOADS WITH FLEXIBLE FINISHES</td><td>1/120</td></tr></table></div><div><div>EMERGENCY EGRESS NOTES (SEE LOCATIONS ON PLAN)</div><div>R310.1.1 MINIMUM OPENING AREA ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.</div><div>EXCEPTION: GRADE FLOOR OPENING SHALL HAVE A MINIMUM CLEAR OPENING OF 5.0 SQUARE FEET.</div><div>R 310.1.2 MINIMUM OPENING HEIGHT: THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.</div><div>R310.1.1 MINIMUM OPENING WIDTH: THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24 INCHES.</div><div>THE FOLLOWING IS REQUIRED WITH IN ONE MILE FROM THE SEASHORE.</div><div>R301.2.1.2 INTERNAL PRESSURE: WINDOWS IN BUILDINGS LOCATED IN WIND BORNE DEBRIS VULNERABILITY AREAS, SHALL HAVE GLAZED OPENING PROTECTED FROM BORNE DEBRIS OF THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE WITH THE BUILDING CODE OF THE STATE OF NEW YORK. GLAZED OPENING PROTECTION FROM WIND BORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1196 AND OF ASTM E 1886 REFERENCED THEREIN.</div><div>EXCEPTIONS: WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 1/4" (11.1MM) AND A MAXIMUM SPAN OF EIGHT FEET SHALL BE PRECUT TO COVER THE GLAZED OPENING WITH ATTACHMENT HARDWARE PROVIDED IN ACCORDANCE WITH TABLE R301.2.1.2. OR SHALL BE DESIGNED TO RESIST THE COMPONENTS AND CLADDING LOADS DETERMINED IN ACCORDANCE WITH THE BUILDING CODE OF THE STATE OF NEW YORK.</div><div>R313 SMOKE DETECTORS (2010 RCNYS)</div><div>R313.1 SINGLE AND MULTIPLE STATION SMOKE DETECTOR MUST BE INSTALLED IN THE FOLLOWING.</div><div>1. IN EACH SLEEPING ROOM</div><div>2. A CARBON MONOXIDE AND SMOKE DETECTOR OUTSIDE BEDROOMS IN THE IMMEDIATE VICINITY OF BEDROOMS.</div><div>3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS, CELLARS AND GARAGE, BUT NOT INCLUDING CRAWL SPACES OR UNINHABITABLE ATTIC SPACE. 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CARBON MONOXIDE AND SMOKE DETECTORS SHOULD HAVE 2 DISTINCT SOUNDS.</div><div>ALL SMOKE ALARMS MUST BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NEW YORK STATE BUILDING CODE.</div></div></div></td>	CLASS OF MATERIAL	LOAD BEARING PRESSURE	CRYSTALLINE BEDROCK	12000 PSF	SEDIMENTARY AND FOLIATED ROCK	4000 PSF	SANDY GRAVEL AND/OR GRAVEL	3000 PSF (GW & GP)	SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2000 PSF	CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT AND SANDY SILT (CL, ML, MH AND CH)	1500 PSF	USE	LIVE LOAD	EXTERIOR BALCONIES	60	DECKS	40	PASSENGER VEHICLE GARAGES	50	<div><div>ATTICS WITHOUT STORAGE</div><div>10</div><div>ATTICS WITH STORAGE</div><div>20</div><div>ATTICS ACCESSED WITH FIXED STAIRWAYS</div><div>30</div><div>ROOMS OTHER THEN SLEEPING ROOMS</div><div>40</div><div>SLEEPING ROOMS</div><div>30</div><div>STAIRS</div><div>40</div><div>GUARDRAILS AND HAND RAILS</div><div>200</div><div>SNOW LOAD</div><div>20</div><div>DEAD LOAD</div><div>15</div></div> <div><div>TABLE R 301.6, 301.7 ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS</div><div><table><tr><th>STRUCTURAL MEMBER</th><th>ALLOWABLE DEFLECTION</th></tr><tr><td>RAFTERS HAVING SLOPES OF GREATER THAN 1/2 WITH NO FINISHED CEILING ATTACHED TO RAFTERS</td><td>1/180</td></tr><tr><td>INTERIOR WALLS AND PARTITIONS</td><td>1/180</td></tr><tr><td>FLOORS AND PLASTER CEILINGS</td><td>1/360</td></tr><tr><td>ALL OTHER STRUCTURAL MEMBERS</td><td>1/240</td></tr><tr><td>EXTERIOR WALLS WITH PLASTER STUCCO FINISH</td><td>1/360</td></tr><tr><td>EXTERIOR WALLS- WIND LOADS WITH BRITTLE FINISH</td><td>1/240</td></tr><tr><td>EXTERIOR WALLS- WIND LOADS WITH FLEXIBLE FINISHES</td><td>1/120</td></tr></table></div><div><div>EMERGENCY EGRESS NOTES (SEE LOCATIONS ON PLAN)</div><div>R310.1.1 MINIMUM OPENING AREA ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.</div><div>EXCEPTION: GRADE FLOOR OPENING SHALL HAVE A MINIMUM CLEAR OPENING OF 5.0 SQUARE FEET.</div><div>R 310.1.2 MINIMUM OPENING HEIGHT: THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.</div><div>R310.1.1 MINIMUM OPENING WIDTH: THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24 INCHES.</div><div>THE FOLLOWING IS REQUIRED WITH IN ONE MILE FROM THE SEASHORE.</div><div>R301.2.1.2 INTERNAL PRESSURE: WINDOWS IN BUILDINGS LOCATED IN WIND BORNE DEBRIS VULNERABILITY AREAS, SHALL HAVE GLAZED OPENING PROTECTED FROM BORNE DEBRIS OF THE BUILDING SHALL BE DESIGNED AS A PARTIALLY ENCLOSED BUILDING IN ACCORDANCE WITH THE BUILDING CODE OF THE STATE OF NEW YORK. 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CARBON MONOXIDE AND SMOKE DETECTORS SHOULD HAVE 2 DISTINCT SOUNDS.</div><div>ALL SMOKE ALARMS MUST BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF NEW YORK STATE BUILDING CODE.</div></div></div>	STRUCTURAL MEMBER	ALLOWABLE DEFLECTION	RAFTERS HAVING SLOPES OF GREATER THAN 1/2 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	1/180	INTERIOR WALLS AND PARTITIONS	1/180	FLOORS AND PLASTER CEILINGS	1/360	ALL OTHER STRUCTURAL MEMBERS	1/240	EXTERIOR WALLS WITH PLASTER STUCCO FINISH	1/360	EXTERIOR WALLS- WIND LOADS WITH BRITTLE FINISH	1/240	EXTERIOR WALLS- WIND LOADS WITH FLEXIBLE FINISHES	1/120
CLASS OF MATERIAL	LOAD BEARING PRESSURE																																					
CRYSTALLINE BEDROCK	12000 PSF																																					
SEDIMENTARY AND FOLIATED ROCK	4000 PSF																																					
SANDY GRAVEL AND/OR GRAVEL	3000 PSF (GW & GP)																																					
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM, & GC)	2000 PSF																																					
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT AND SANDY SILT (CL, ML, MH AND CH)	1500 PSF																																					
USE	LIVE LOAD																																					
EXTERIOR BALCONIES	60																																					
DECKS	40																																					
PASSENGER VEHICLE GARAGES	50																																					
STRUCTURAL MEMBER	ALLOWABLE DEFLECTION																																					
RAFTERS HAVING SLOPES OF GREATER THAN 1/2 WITH NO FINISHED CEILING ATTACHED TO RAFTERS	1/180																																					
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EXTERIOR WALLS- WIND LOADS WITH FLEXIBLE FINISHES	1/120																																					



0 PLOT PLAN
SCALE: NTS

SYMBOL	LEGEND
	VARIANT AREA



3 SECTION DETAIL THROUGH NEW BEDROOM ADDITION
SCALE: NTS

ADDRESS: 33 ELM PLACE, HASTINGS ON HUDSON, NY 10706
ZONING: R-7.5
SHEET: 4.40
BLOCK: 35
LOT: 14
LOT AREA: 5,000 SQ. FT.

YARD REQUIREMENTS:

ITEM	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIANCE REQ.
FRONT YARD	21.2'	25'	21.2'	295-69	NO
SIDE YARD 1	14.9'	12'	14.9'	295-69	NO
SIDE YARD 2	5.96'	8'	5.96'	295-69	YES (2.04')
REAR YARD	35'	25'	35'	295-69	NO

FLOOR AREA

ITEM	EXISTING	PROPOSED	AMOUNT ADDED	REFERENCE	VARIANCE REQ.
FIRST FLOOR	1,252	1,252	0	295-69	NO
SECOND FLOOR	1,252	1,370	118	295-69	YES

LOT COVERAGE:

ITEM	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIANCE REQ.
% BUILDING COVERAGE	25.04%	30%	25.04%	295-69	NO
BUILDING COVERAGE	1,252	1,500	1,252	295-69	NO
% DEVELOPMENT COVERAGE	62.6%	40%	64.96%	295-69	YES
DEVELOPMENT COVERAGE	3,130	2,000	3,248	295-69	YES

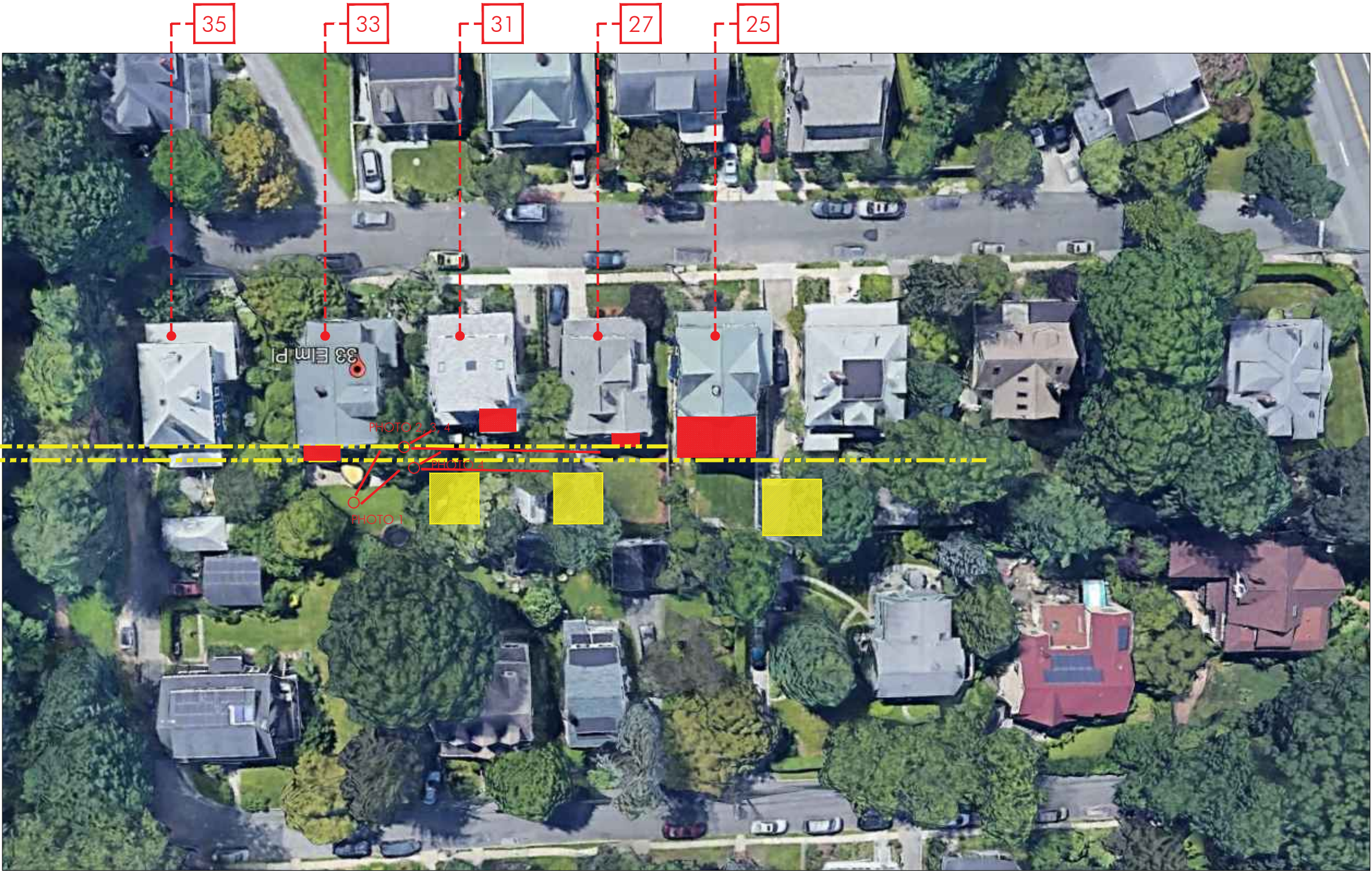
IMPERVIOUS SURFACE

ITEM	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIANCE REQ.
%	28.7%	25%	28.7%	295-69	NO
AREA	1,437	1,250	1,437	295-69	NO

HEIGHT REGULATIONS

ITEM	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIANCE REQ.
HEIGHT (FT)	32'-1"	35'	32'-1"	295-69	NO
STORIES	2	2 1/2	2	295-69	NO

1 ZONING COMPUTATIONS
SCALE: NTS



existing setback 1
existing setback 2

2 GOOGLE EARTH MAP
SCALE: NTS

SYMBOL	LEGEND
	EXISTING ADDITIONS
	EXISTING AUXILIARY STRUCTURES



4 PHOTO ILLUSTRATION OF NEW 2ND FLOOR EXTENSION
SCALE: NTS



PHOTO 1: VIEW AT 31 ELM PL



PHOTO 2: VIEW AT 31 & 27 ELM PL



PHOTO 3: VIEW AT 31, 27 & 25 ELM PL



PHOTO 4: VIEW AT 31, 27 & 25 ELM PL

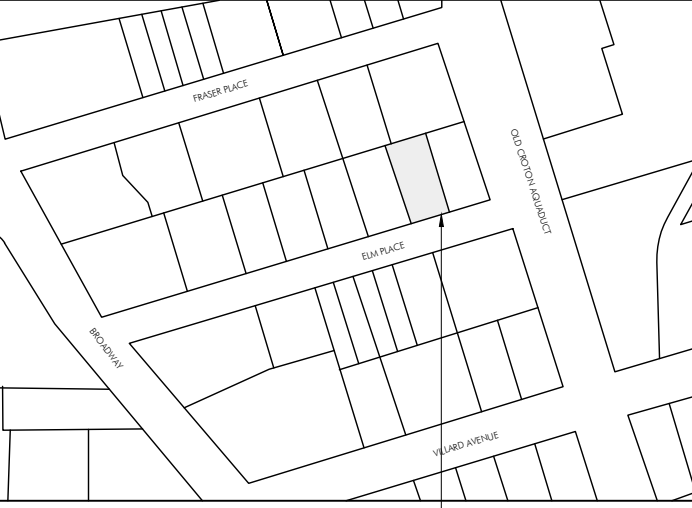


PHOTO 5: VIEW AT AUXILIARY STRUCTURES
AT 31, 27 & 25 ELM PL

Pincrest Group, Alex Stojanovic Design Architect
315 West 39th Street, suite 1104, New York, NY 10018

Francisco Perez, PE Engineer of Record
100 Church Street, 8th FL. RM 800 Manhattan, NY 10007

REV: DATE: ISSUE:



ZONING: R-7.5
SHEET: 4.40
BLOCK: 35
LOT: 14

PROJECT MCNEIL RESIDENCE
33 ELM PLACE
HASTINGS-ON-HUDSON, NY 10706

OWNER NICOLE AND PATRICK MCNEIL

PLOT PLAN, ZONING
COMPUTATIONS,
SECTION DETAIL,
PHOTOS

A-100.00

SCALE: 3/16"=1'-0" PROJ. No.: 1901
DATE: 7/15/2019 DRAWN BY: SK
DRAWING: 2 OF 3 CHECKED BY: AS

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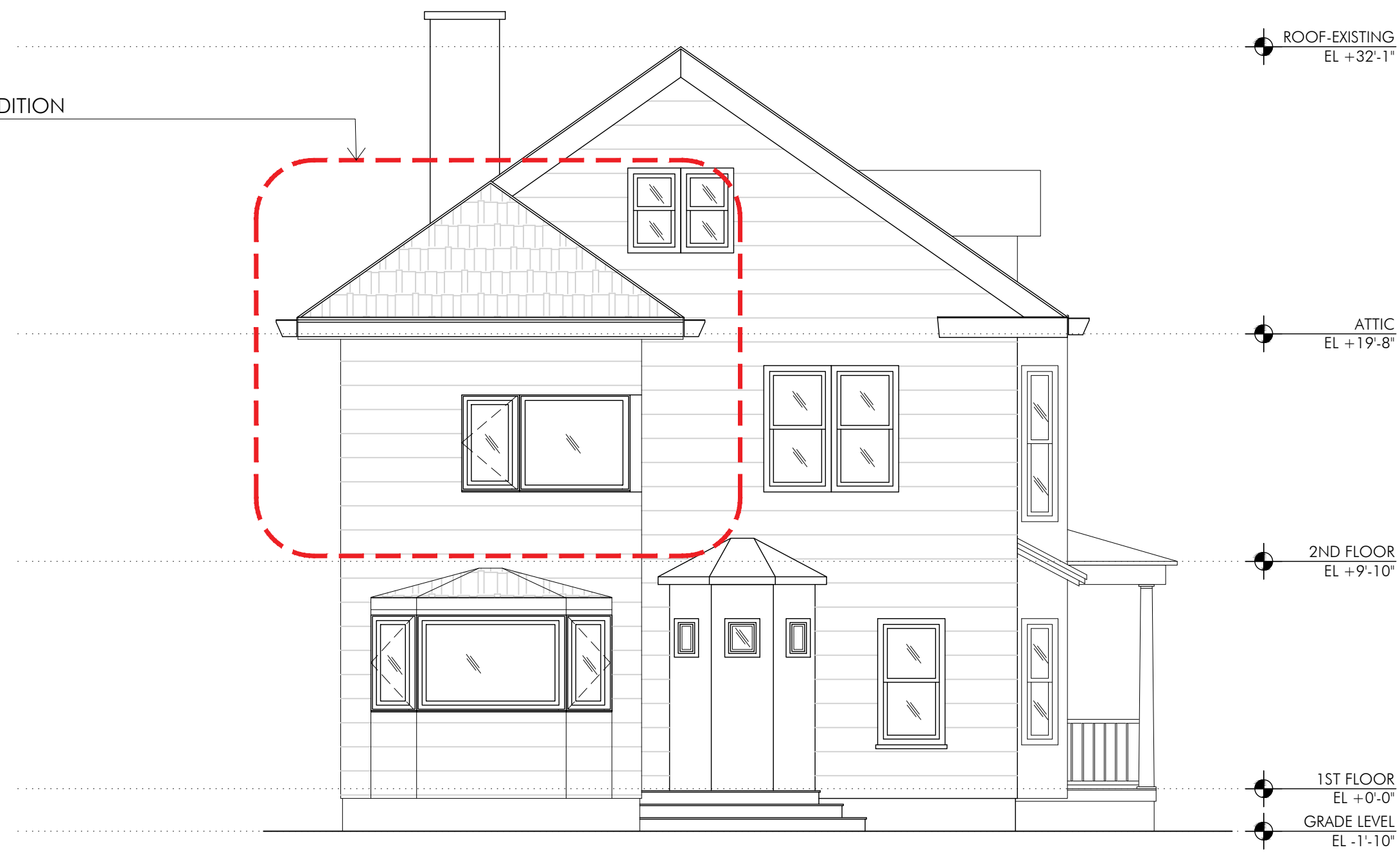
c:\ALEX37_mcnell res\Drawings\zoning review package\McNeil Res_A100-101.00.dwg



1 EAST ELEVATION
SCALE: 3/16"=1'-0"



2 WEST ELEVATION
SCALE: 3/16"=1'-0"



3 NORTH ELEVATION
SCALE: 3/16"=1'-0"



4 SOUTH ELEVATION
SCALE: 3/16"=1'-0"

Pincrest Group, Alex Stojanovic Design Architect
315 West 39th Street, suite 1104, New York, NY 10018

Francisco Perez, PE Engineer of Record
100 Church Street, 8th FL. RM 800 Manhattan, NY 10007

REV: DATE: ISSUE:



ZONING: R-7.5
SHEET: 4.40
BLOCK: 35
LOT: 14

PROJECT MCNEIL RESIDENCE
33 ELM PLACE
HASTINGS-ON-HUDSON, NY 10706

OWNER NICOLE AND PATRICK MCNEIL

PROPOSED
ELEVATIONS

A-101.00

SCALE: 3/16"=1'-0" PROJ. No.: 1901
DATE: 7/15/2019 DRAWN BY: SK
DRAWING: 3 OF 3 CHECKED BY: AS