

5 January 2022

The Zoning Board of Appeals - Village of Hastings On Hudson, NY  
7 Maple Avenue  
Hastings On Hudson, NY 10706

re: **200 Warburton Avenue Second Floor Addition**

Owner: Daniel & Christina Cleary SBL: 4.130-139-16  
Location: 200 Warburton Avenue District Zone: R-10  
Action Request: Sections 295-82 View Preservation & 295-69F.(1)(a) Front Yard Encroachment

Dear Members of the Zoning Board Of Appeals,

The project listed above consists of a full second floor addition to an existing one story single-family residence located on 200 Warburton Avenue, Hasting On Hudson, NY. The property is located in district zone R-10 and subjected to Building Code Section 295-82 View Preservation [VP]. In addition, the house currently projects beyond minimum 35 feet front yard requirements as established by Building Code Section 295-69F.(1)(a). Consequently, the second-floor addition will also project beyond the minimum front yard requirement. See Zoning Analysis/G-000 excerpt below:

| ZONING DATA              |   |                       |                        |
|--------------------------|---|-----------------------|------------------------|
| LOCATION:                | HASTINGS ON HUDSON, NY                    |                       |                        |
| ADDRESS:                 | 200 WARBURTON AVENUE                      |                       |                        |
| PARCEL #:                | 4.130-139-16                              |                       |                        |
| ZONING DISTRICT:         | R-10 [SINGLE-FAMILY RESIDENTIAL 10,000sf] |                       |                        |
| DIMENSIONAL REQUIREMENTS | REQUIRED / PERMITTED                      | EXISTING              | PROPOSED               |
| LOT SIZE [SF]            | 10,000 SF                                 | 12,705 SF             | NO CHANGES             |
| MINIMUM YARD             |   |                       |                        |
| FRONT                    | 30 FT                                     | 25.8 FT               | 21.3 FT                |
| REAR                     | 30 FT                                     | 115.4 FT              | 115.4 FT [NO CHANGES]  |
| ONE SIDE                 | 12 FT                                     | 15.3 FT               | 15.3 FT [NO CHANGES]   |
| TWO SIDES                | 30 FT                                     | 32 FT                 | 32 FT [NO CHANGES]     |
| BUILDING HEIGHT          |   |                       |                        |
| MAXIMUM WALL HEIGHT      | 23 FT                                     | 9.5 FT                | 18.5 FT                |
| MAXIMUM BUILDING HEIGHT  | 35 FT, 2-1/2 STORIES                      | 24'-2", 1-1/2 STORIES | 30'-2", 2-1/2 STORIES  |
| GROSS FLOOR AREA         |   | 2,036 GSF             | 3,011 GSF              |
| BASEMENT                 |   | 1,018 GSF             | 1,018 GSF [NO CHANGES] |
| FIRST FLOOR              |   | 1,018 GSF             | 1,018 GSF [NO CHANGES] |
| SECOND FLOOR             |   | N/A                   | 975 GSF                |
| MAXIMUM FAR              | R-0.298                                   | R-0.160               | R-0.236                |
| MAXIMUM LOT COVERAGE     |   |                       |                        |
| BUILDINGS                | 25%                                       | 1,018 GSF [8%]        | NO CHANGES             |
| DEVELOPMENT              | 35%                                       | 2,120 GSF [17%]       | NO CHANGES             |



## Nature of the Petition:

The Owners are a growing family of three and soon to be four. The family has been living in the house since 2016 and with the arrival of another child, is in need of more space. Proposed program includes: a master suite, two bedrooms, a secondary bathroom, and a family room.

This application seeks to build a full second story and increase the overall building height from 24'-2" to 30'-2" which is still within the 35'-0" [2-1/2 stories] maximum height established by Building Code Section 295-68F(1)(d). The added floor area will increase the total gross floor area from 2,036sf to 3,054sf with a resultant FAR of 0.240 which is still within the maximum allowed 0.298 FAR for a 12,705sf lot size.

## Zoning Variance

The 975gsf second floor addition will be limited to the current footprint of the house except for a projecting balcony on the west/river side. The balcony is intended to [i] provide a place for contemplation of the Hudson River & Palisades and [ii] create weather protection over the main entry door on 1. While the house projects 4'-3" into required front yard, the open balcony will project 8'-8" – see 1/G-000. Photo montages depicting before and after are included on G-001 and G-002. In an effort to address the [5] consideration points the Board considers when determining area variances, I listed below our points to each one:

1. ***Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.***  
More than 70% of the neighboring houses currently project beyond front yard requirement and are more than one story tall as indicated in *Attachment C - Neighborhood Analysis*.
2. ***Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.***  
Expanding the house horizontally within its required yard setbacks is challenging and cost prohibitive due to the steep slope nature of the site. Limiting the second-floor addition to fit within required front yard setback significantly reduces the proposed living space by 20% and is detrimental to fit the desired program.
3. ***Whether the requested area variance is substantial.***  
Current front yard encroachment is 86% compliant with required Zoning Ordinance [30ft/100%]. Sought variance reduces its compliance further by 5% or 71% of the required 30ft/100%.
4. ***Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.***  
The proposed variance is in line with the immediate neighborhood and will not adversely affect its immediate neighbors or any environmental condition.
5. ***Whether the alleged difficulty was self-created, which consideration shall be relevant to the Board of Appeals but shall not necessarily preclude the granting of the area variance.***  
While every homeowner should be familiar with zoning ordinance restrictions to properties before purchasing, most homes precede local ordinances. The house was originally built in 1954 when residential programming was reduced in size compared to today's living standards. The Owners like the house, the neighborhood and specially the unobstructed views of the river and would like to stay by expanding the house to fit their growing family.

## View Preservation

Being the house at the foot of a steep hillside, visual impact of the Hudson River and Palisades from neighboring properties including the Old Croton Aqueduct are insignificant.

The exterior envelope of the addition will be with the same character of the neighborhood. The new and existing exterior walls will be clad with new siding. New windows will meet energy conservation codes and be a mix of gliders and double-hung types. The existing brick masonry chimney will be extended to maintain minimum distance from the new roof line. The new roof will be at 4/12 slope [same slope of the neighboring house's roof] and will be finished with asphalt shingles. All water runoff will be collected through gutters and discharged to a catch basin within the property with no effect on any adjacent properties or watersheds.





Along with this letter, please find attached the following documents for your use and reference:

- ☐ Attachment A – ZBA Application Form [dated 21 December 2021]
- ☐ Attachment B – Issued For Permit Drawing Set [dated 21 December 2021; R.1 01/05/22]
- ☐ Attachment C – Neighborhood Analysis [dated 21 December 2021]

Sincerely,

A handwritten signature in black ink, appearing to read "Gabriel Ce".

Gabriel Ce, AIA, LEED AP

Principal



**VILLAGE OF HASTINGS-ON-HUDSON**  
**Zoning Board of Appeals**  
Application and Procedure for Application for  
Variance/Interpretation/View Preservation



1. File one (1) original completed Application and all related drawings and documents, for a Variance, Interpretation or View Preservation Approval, with original signatures and notarization, a flash drive and two (2) copies (residential) or seven (7) copies (commercial) (**See requirements in step #2**) with the Office of the Building Inspector, no less than four (4) weeks prior to scheduled ZBA meeting.
2. Application must be complete with all plans, diagrams, surveys, photographs, etc. as necessary to fully describe requested variance/s and compelling reasons for non-conformity with the zoning regulations.
3. Pay an application fee as per following fee schedule:

|   |                               |                           |
|---|-------------------------------|---------------------------|
| ✓ Single family residence                       | \$ 250.00                     | \$ 500.00*                |
| ✓ Two family residence                          | \$ 300.00                     | \$ 600.00*                |
| ✓ Multiple family residence                     | \$ 350.00                     | \$ 700.00*                |
| ✓ Commercial, apartment & office buildings      | \$ 500.00                     | \$ 1000.00*               |
| ✓ Industry, subdivision, land development, etc. | \$1000.00                     | \$2000.00*                |
| ✓ View Preservation Stand Alone                 | 1-2 Family-\$250.00/\$500.00* | Other-\$500.00/\$1000.00* |

**\*For Variances/ZBA action for illegal construction**

4. Upon receipt of the application and prescribed fee, Office of the Building Inspector will prepare a legal notice describing the variance and submit the notice to an official newspaper for publication.
5. Office of the Building Inspector will prepare a mailing list of all neighbors within a 300-foot radius (500-feet if deemed necessary by the Building Inspector) of the subject property and make it available to the applicant prior to the ZBA meeting
6. The applicant must pick up copies of the legal notice and mailing list in a timely manner so as to be able to do the following:
  - ✓ Either mail copies of the legal notice to neighbors on the mailing list by certified mail requested or any other method of delivery providing proof of delivery no later than 14 days prior to the ZBA meeting
  - ✓ Or hand deliver copies of the legal notice no later than 10 days prior to the ZBA meeting.
7. **No later that one (1) week prior to the ZBA meeting** submit the following to the Office of the Building Inspector:
  - ✓ Proof of mailing and supporting documentation or
  - ✓ The mailing list with dates and initials of recipients and a notarized affidavit stating:

*I, fill in your name, do hereby swear that all the legal notices were hand delivered to the people on this mailing list on fill in the date and that the signatures/initials of the recipients are authentic.*
8. The applicant or his/her authorized representative must appear before the ZBA on the scheduled meeting date to present his/her case, enter into record any additional evidence, and answer any questions.

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

**VILLAGE OF HASTINGS-ON-HUDSON**  
**Zoning Board of Appeals**  
Application and Procedure for Application for  
Variance/Interpretation/View Preservation



Case number:.....Date of application:.....

Property owner: **DANIEL & CHRISTINA CLEARY**  
 Property address: **200 WARBURTON AVENUE, HASTINGS ON HUDSON, NY 10706**  
 Name all streets on which the property is located: **WARBURTON AVENUE**  
 Sheet: **4.130-139-16** Block: **139** Lot/Parcel: **16** Zoning District: **R-10**

Applicant: **GABRIEL CE**  
 Standing of applicant if not owner: **ARCHITECT**  
 Address: **280 WARBURTON AVENUE, HASTINGS ON HUDSON, NY 10706**  
 Daytime phone number: **703 400 9976** Fax number: .....  
 E-mail address: **GCE@GKCARCH.COM**

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;  
☐ Interpretation; ☒ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

| Section*      | Code Provision*   | Existing Condition* | Proposed Condition* |
|---------------|-------------------|---------------------|---------------------|
| 295-82        | VIEW PRESERVATION |                     |                     |
| 295-69.F.1.a. | 35'-0" FRONT YARD | 25.8FT              | 21.3FT              |
| .....         | .....             | .....               | .....               |
| .....         | .....             | .....               | .....               |
| .....         | .....             | .....               | .....               |
| .....         | .....             | .....               | .....               |

\*See example below:

|                  |                                       |                              |                                       |
|------------------|---------------------------------------|------------------------------|---------------------------------------|
| ...295-68F.1a... | .....Front Yard Min. 30 ft. deep..... | .....26.5 ft.....            | .....19.5 ft.....                     |
| ...295-68A.....  | .....Permitted Principal Use.....     | .....Single Family Home..... | .....Conversion to Dental Office..... |

**VILLAGE OF HASTINGS-ON-HUDSON**  
Zoning Board of Appeals  
Zoning Analysis



**ZONING REQUIREMENTS:**

**YARD SETBACKS**  
(Principal Structure)

|                    | REQUIRED | EXISTING | PROPOSED |
|--------------------|----------|----------|----------|
| FRONT              | 30FT     | 25.8FT   | 21.3FT   |
| REAR               | 30FT     | 115.4FT  | 115.4FT  |
| SIDE ONE           | 12FT     | 15.3FT   | 15.3FT   |
| SIDE TWO           | 18FT     | 16.7FT   | 16.7FT   |
| TOTAL OF TWO SIDES | 30FT     | 32FT     | 32FT     |

**YARD SETBACKS**  
(Accessory Structure)

|                    | REQUIRED | EXISTING | PROPOSED |
|--------------------|----------|----------|----------|
| TO PRINCIPAL BLDG. | 30'-0"   | n/a      | n/a      |
| REAR               | 8'-0"    | n/a      | n/a      |
| SIDE               | 8'-0"    | n/a      | n/a      |

**BUILDING HEIGHT**

|         | PERMITTED     | EXISTING      | PROPOSED      |
|---------|---------------|---------------|---------------|
| STORIES | 2 1/2 STORIES | 1 1/2 STORIES | 2 1/2 STORIES |
| FEET    | 35            | 24'-2"        | 30'-2"        |

**LOT COVERAGE**

|   | PERMITTED | EXISTING       | PROPOSED       |
|---|-----------|----------------|----------------|
| LOT AREA                                    |           | 12,705 SF      | 12,705 SF      |
| *BLDG. COVERAGE/<br>% OF LOT AREA           | 25%       | 1,018 SF [8%]  | 1,018 SF [8%]  |
| *DEVELOPMENT<br>COVERAGE /<br>% OF LOT AREA | 35%       | 2,120 SF [17%] | 2,120 SF [17%] |

\*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

**OCCUPANCY AND USE**

|               | PERMITTED | EXISTING | PROPOSED |
|---------------|-----------|----------|----------|
| CURRENT USE** | 1 FAMILY  | 1 FAMILY | 1 FAMILY |

\*\* Single Family, Two Family, Commercial, Mixed Use etc.

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



- ✓ List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

| Date of Appeal | Purpose of the Appeal | Resolution if any | Date of Action |
|----------------|-----------------------|-------------------|----------------|
| .....          | .....                 | .....             | .....          |
| .....          | .....                 | .....             | .....          |

- ✓ List pending violations on this property if any:

.....

.....

- ✓ Is there an approved site plan for this property?: ..... ☒ (Yes) ..... ☐ (No)

- ✓ Is there an Accessory Apartment at this property?: ..... ☐ (Yes) ..... ☒ (No)

- ✓ Does this property have Boarder's Permit?: ..... ☐ (Yes) ..... ☒ (No)

- ✓ On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

\_\_\_\_\_  
Applicant

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



Name : DANIEL CLEARY, being duly sworn, deposes and says that he/she resides at 200 WARBURTON AVENUE in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.130-139-16 Block 139 and Lot 16 of the tax map, and that he/she hereby authorized GABRIEL CE to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

\_\_\_\_\_  
Owner

SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
Notary Public

### **NOTICE**

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

**§ 295-146. Variances.**

- A. The Board of Appeals, on appeal from the decision or determination of the administrative officer charged with enforcement of this chapter, shall have the power to grant use variances and area variances, as defined herein.
- B. Use variances.
  - 1) "Use variance" shall mean the authorization by the Board of Appeals for the use of land for a purpose that is otherwise not allowed or is prohibited by the applicable zoning regulations.
  - 2) No use variance shall be granted by the Board of Appeals without a showing by the applicant that applicable zoning regulations and restrictions have caused unnecessary hardship. In order to prove such unnecessary hardship, the applicant shall demonstrate to the Board of Appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:
    - a. The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence;
    - b. The alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood;
    - c. The requested use variance, if granted, will not alter the essential character of the neighborhood; and
    - d. The alleged hardship has not been self-created.
  - 3) The Board of Appeals, in the granting of a use variance, shall grant the minimum variance that it shall deem necessary and adequate to address the unnecessary hardship proved by the applicant, and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- C. Area variances.
  - 1) "Area variance" shall mean the authorization by the Board of Appeals for the use of land in a manner that is not allowed by the dimensional or physical requirements of the applicable zoning regulations.
  - 2) In determining whether to grant an area variance, the Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board of Appeals shall also consider:
    - a. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.
    - b. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.
    - c. Whether the requested area variance is substantial.
    - d. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
    - e. Whether the alleged difficulty was self-created, which consideration shall be relevant to the Board of Appeals but shall not necessarily preclude the granting of the area variance.
  - 3) The Board of Appeals, in the granting of an area variance, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- D. Imposition of conditions. The Board of Appeals shall, in the granting of both use variances and area variances, have the authority to impose such reasonable conditions and restrictions as are directly related to and incidental to the proposed use of the property. Such conditions shall be consistent with the spirit and intent of this chapter, and shall be imposed for the purpose of minimizing any adverse impact such variance may have on the neighborhood or community.

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## CODE OF THE VILLAGE OF HASTINGS ON HUDSON

### § 295-82. View Preservation (VP) Districts

- A. Principal and accessory uses. Subject to the provisions of Subsection [§ 295-82](#) below, the permitted principal and accessory uses for any lot or parcel in a VP District shall be the same as otherwise permitted in the district in which the lot or parcel is located.
- C. Approval by Planning Board and Board of Appeals.
  - (1) No building or structure shall be erected, altered, enlarged or moved in the district unless approved in accordance with the provisions of this section.
  - (2) Every application to permit the erection or exterior alteration of a building or structure in a VP District shall be referred by the Building Inspector to the Planning Board for its report and recommendations as to the best siting, dimensions and configuration of principal and accessory structures so as to cause the least possible obstruction of the view of the Hudson River and the Palisades for neighboring properties and adjacent public property and rights-of-way. The Planning Board shall issue its report and recommendations within 60 days after receipt of the application.
  - (3) After approval by the Planning Board, the plan for erection or exterior alteration of the building or structure shall be referred to the Board of Appeals, which shall conduct a public hearing on the plan. The Board of Appeals shall hold the hearing and render its decision within 60 days after the referral by the Planning Board.
  - (4) Joint notice of both the Planning Board meeting at which the application is to be considered and the Board of Appeals public hearing on the application shall be given at least 14 days before the Planning Board meeting. Notice shall be given as required in [§ 295-82](#). In addition, notice shall be given to the Architectural Review Board and shall be published in a newspaper of general circulation in the Village not less than 10 days before both the Planning Board meeting and the Board of Appeals hearing.

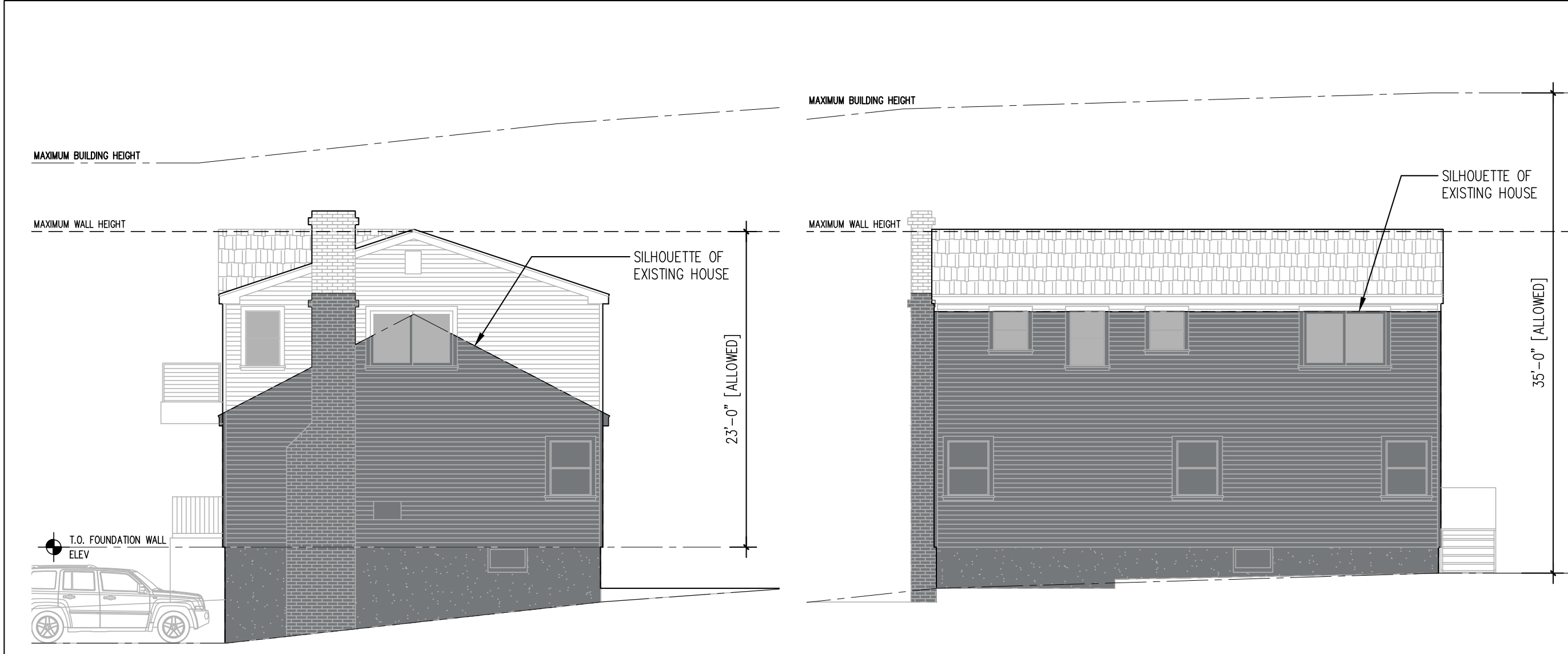






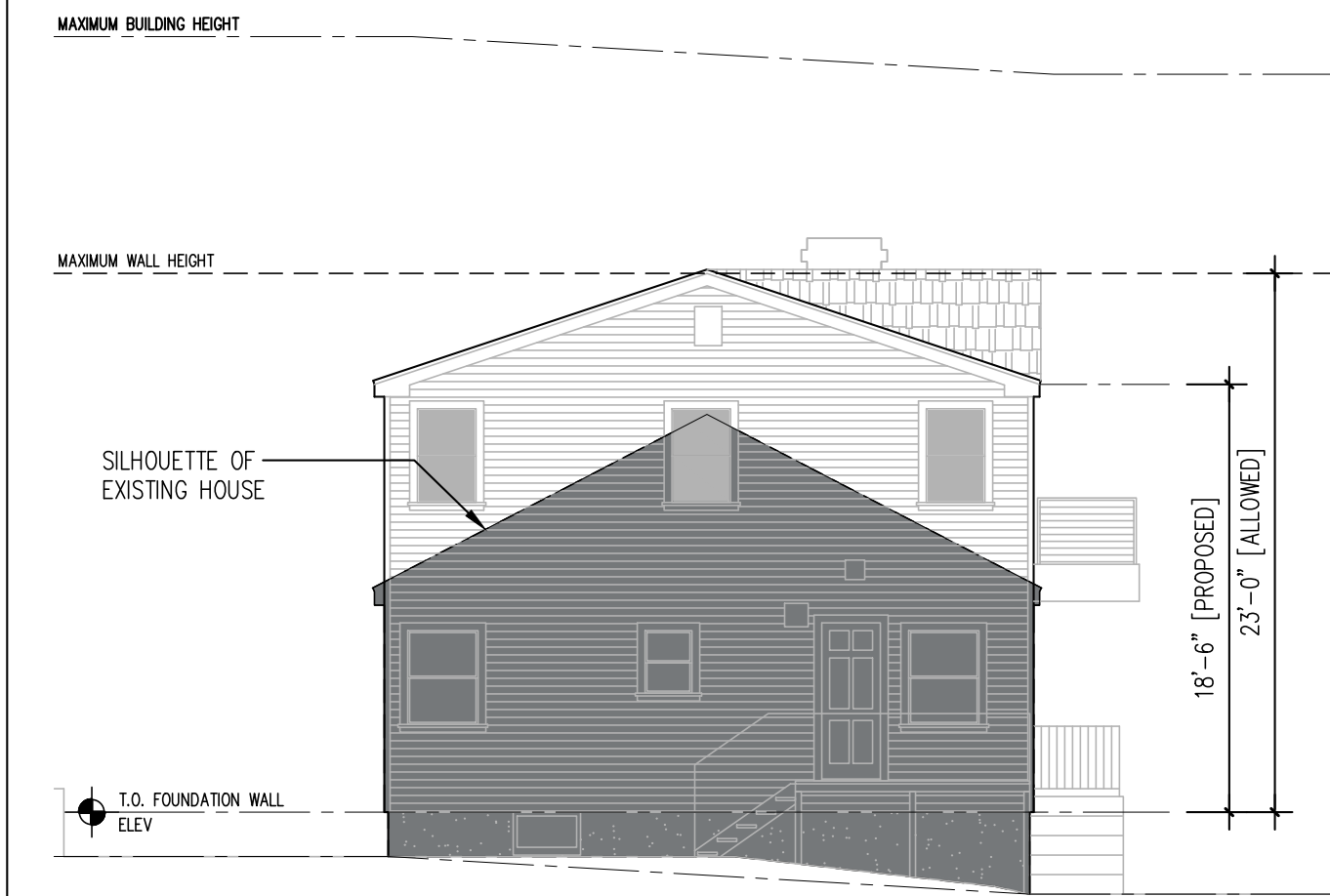






11 SOUTH ELEVATION DIAGRAM: PROPOSED  
1/8" = 1'-0"

10 EAST ELEVATION DIAGRAM: PROPOSED  
1/8" = 1'-0"



9 NORTH ELEVATION DIAGRAM: PROPOSED  
1/8" = 1'-0"



8 WEST ELEVATION DIAGRAM: PROPOSED  
1/8" = 1'-0"



3 VIEW FROM OLD CROTON AQUEDUCT: PROPOSED  
NTS



7 VIEW FROM 196 WARBURTON: PROPOSED  
NTS



5 VIEW FROM ACROSS STREET 2: PROPOSED  
NTS



2 VIEW FROM WARBURTON NORTHBOUND: PROPOSED  
NTS



6 VIEW FROM 200 WARBURTON: PROPOSED  
NTS



4 VIEW FROM ACROSS STREET 1: PROPOSED  
NTS



1 VIEW FROM WARBURTON SOUTHBOUND: PROPOSED  
NTS

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT. THESE DRAWINGS MUST NOT BE SCALED.

THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED, OR REUSED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.

Architect:  
**gabriel köche cé**  
ARCHITECT LLC  
280 Warburton Avenue  
Hastings On Hudson, NY 10706  
703 400 9976  
gkcARCH.com

Drawing Status:  
ISSUED FOR PERMIT  
Date:  
21 DECEMBER 2021

| Revisions: |                       |            | SEAL |
|------------|-----------------------|------------|------|
| NO.        | DESCRIPTION           | DATE       |      |
| 1          | RESPONSES TO COMMENTS | 01/05/2022 |      |
|            |                       |            |      |
|            |                       |            |      |

Project:  
**CLEARY RESIDENCE**  
200 WARBURTON AVENUE  
HASTINGS ON HUDSON, NY 10706

gkcARCH PROJECT NO. 21-012

Scale:  
AS NOTED  
CAD File Name:  
S-102.00 SITE WORK.dwg

**PROPOSED ALTERATION**

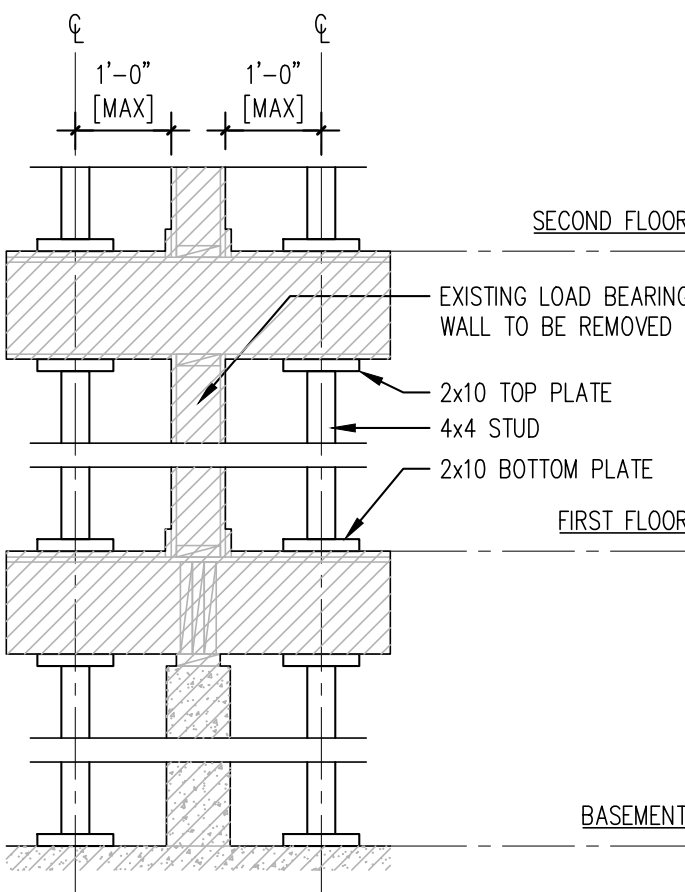
**G-002.01**



DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NON-BEARING FRAMED WALLS TO BE REMOVED. PATCH & REPAIR AFFECTED CEILING AND FLOOR FINISHES AS REQUIRED.
- DOOR & FRAME TO BE REMOVED.

TEMPORARY SHORING DETAIL



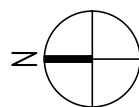
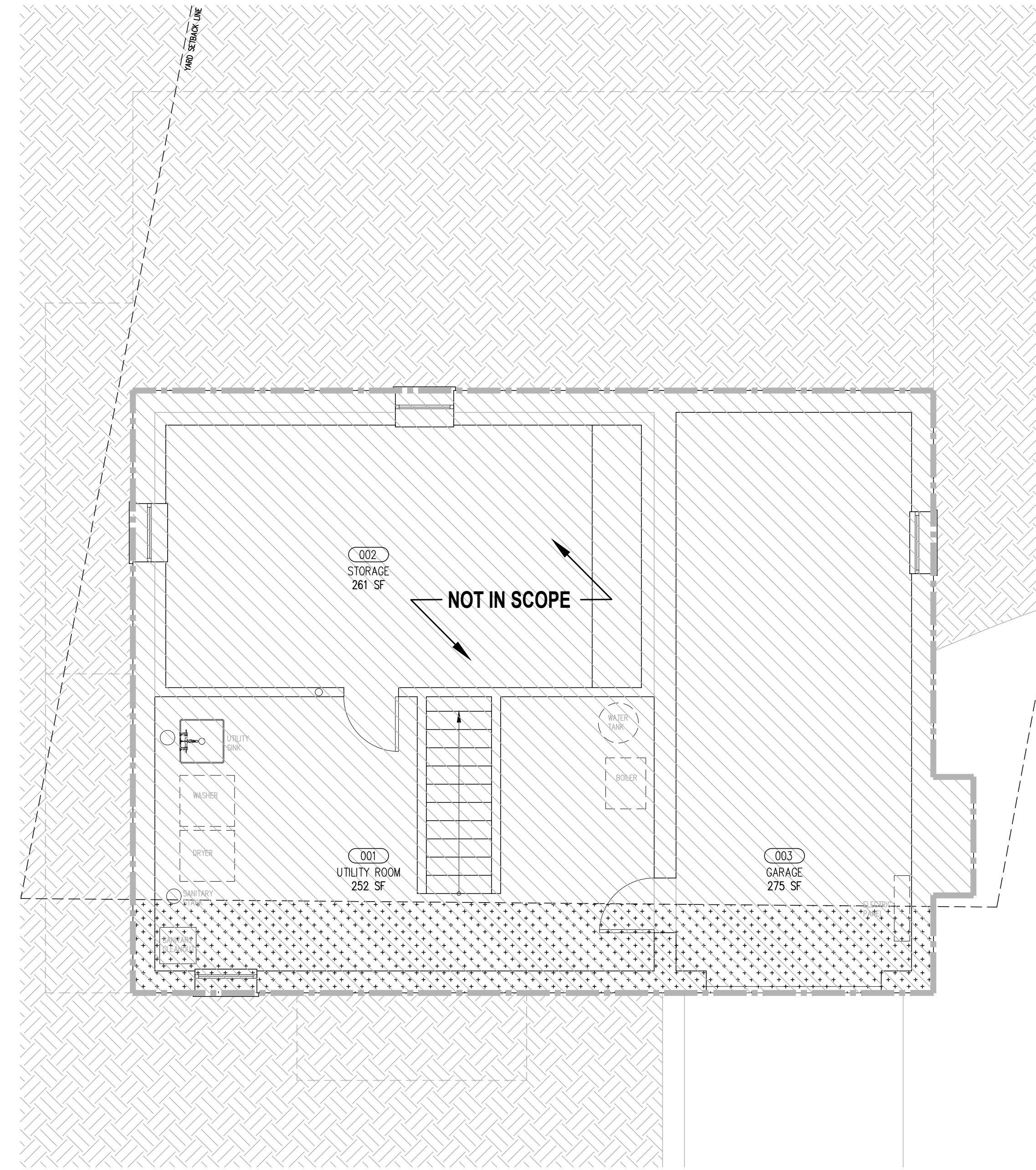
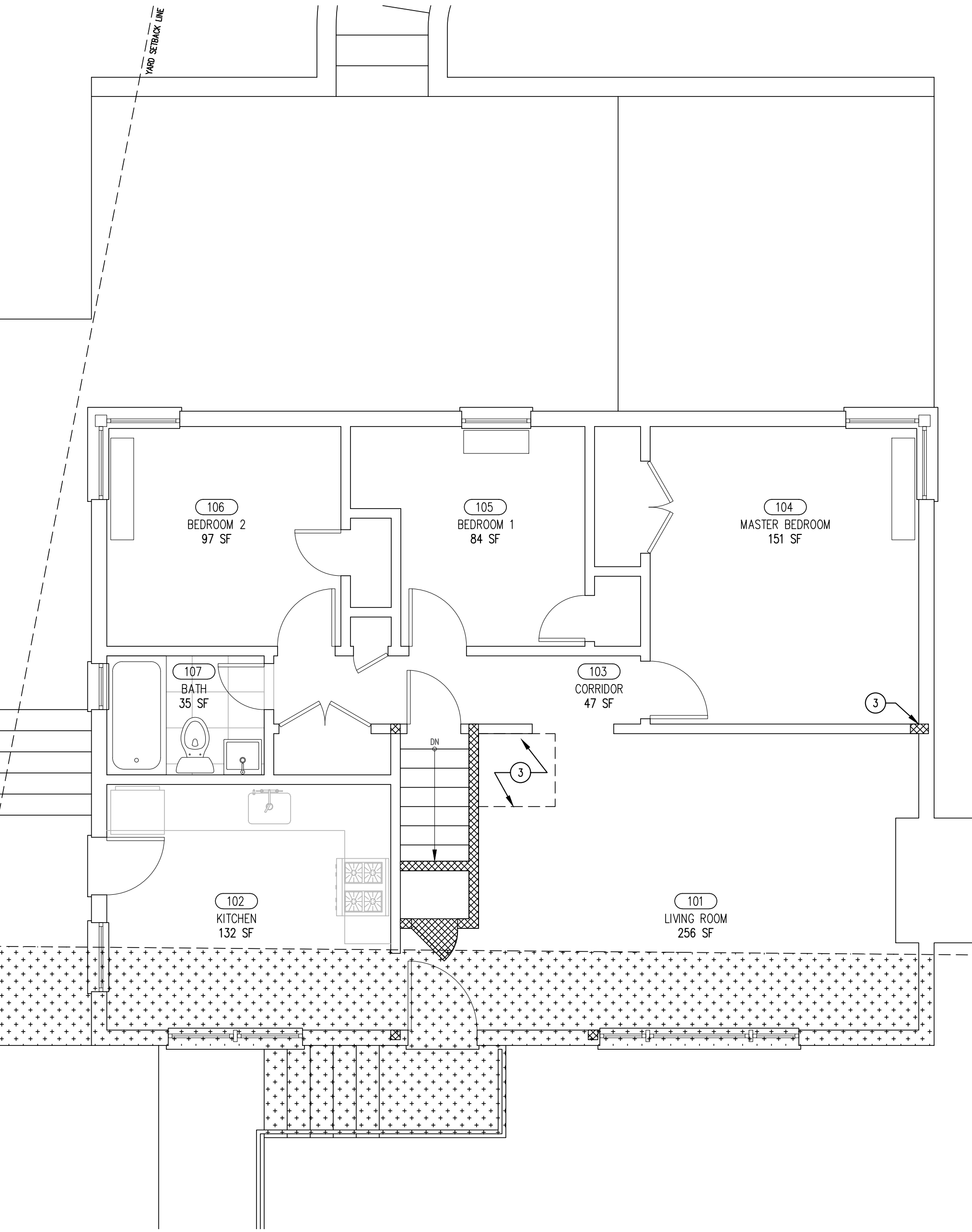
NOTES:

- PROVIDE SHORING FROM BASEMENT TO ROOF RAFTERS ON BOTH SIDES OF BEAMS TO BE REMOVED. SHORING TO STACK ON TOP OF EACH OTHER.
- SHORING STUDS TO BE SPACED TO MATCH AND ALIGN WITH FLOOR JOISTS ABOVE.

DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- REMOVE OR RELOCATE ALL WIRING AND PLUMBING AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A

- POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED.
  - THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
  - ALL APPLIANCES TO BE REMOVED AND PLACED IN BASEMENT FOR OWNER USE/DISPOSAL.



1 BASEMENT FLOOR [INCIDENTAL WORK ONLY]  
1/4" = 1'-0"

DEMOLITION KEYED NOTES

- REMOVE VINYL SIDING AND TRIMS. EXISTING WINDOWS AND FRAME TO REMAIN.
- REMOVE ROOFING AND ROOF STRUCTURE AS INDICATED.
- REMOVE FRAMED WALLS/CEILING AS INDICATED. PATCH & REPAIR AFFECTED CEILING/WALLS AND FLOOR FINISHES AS REQUIRED.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

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ZONING ANALYSIS KEY

- EXISTING HOUSE [1,014sf]
- EXISTING FRONT YARD ENCROACHING [150sf]
- PROPOSED FRONT YARD ENCROACHING [200sf]

Architect:

**gabriel köche cé**  
ARCHITECT LLC

280 Warburton Avenue  
Hastings On Hudson, NY 10706  
703.400.9976  
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Drawing Status:

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Date:

21 DECEMBER 2021

Revisions:

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| 1   | RESPONSES TO COMMENTS | 01/05/2022 |

Project:

**CLEARY RESIDENCE**  
200 WARBURTON AVENUE  
HASTINGS ON HUDSON, NY 10706

gkARCH PROJECT NO. 21-012

Scale:

AS NOTED

CAD File Name:

AD-200 DEMOLITION FLOOR PLAN.dwg

**DEMOLITION FLOOR PLAN**

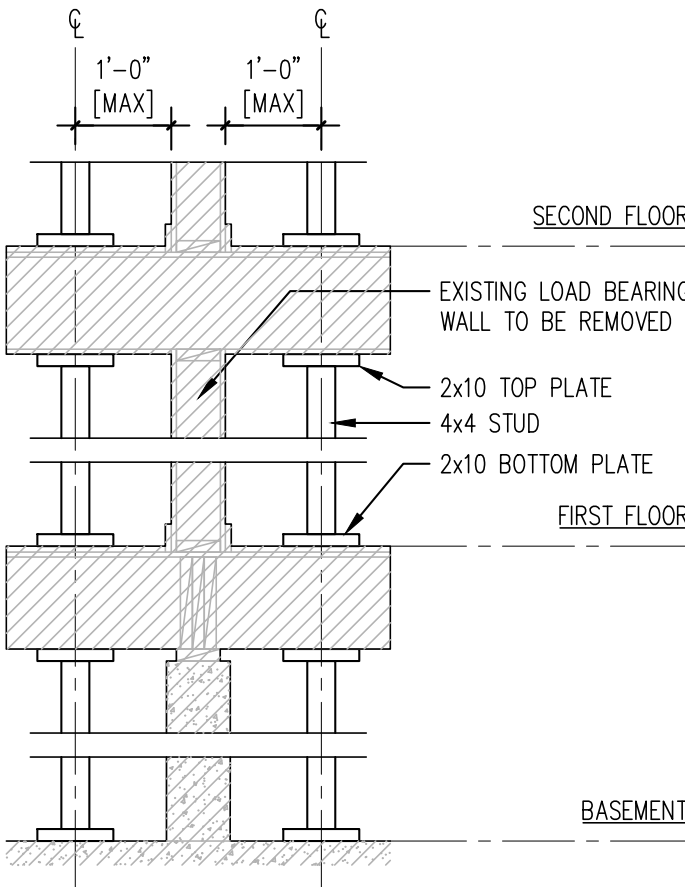
**AD-200.01**



DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NON-BEARING FRAMED WALLS TO BE REMOVED. PATCH & REPAIR AFFECTED CEILING AND FLOOR FINISHES AS REQUIRED.
- DOOR & FRAME TO BE REMOVED.

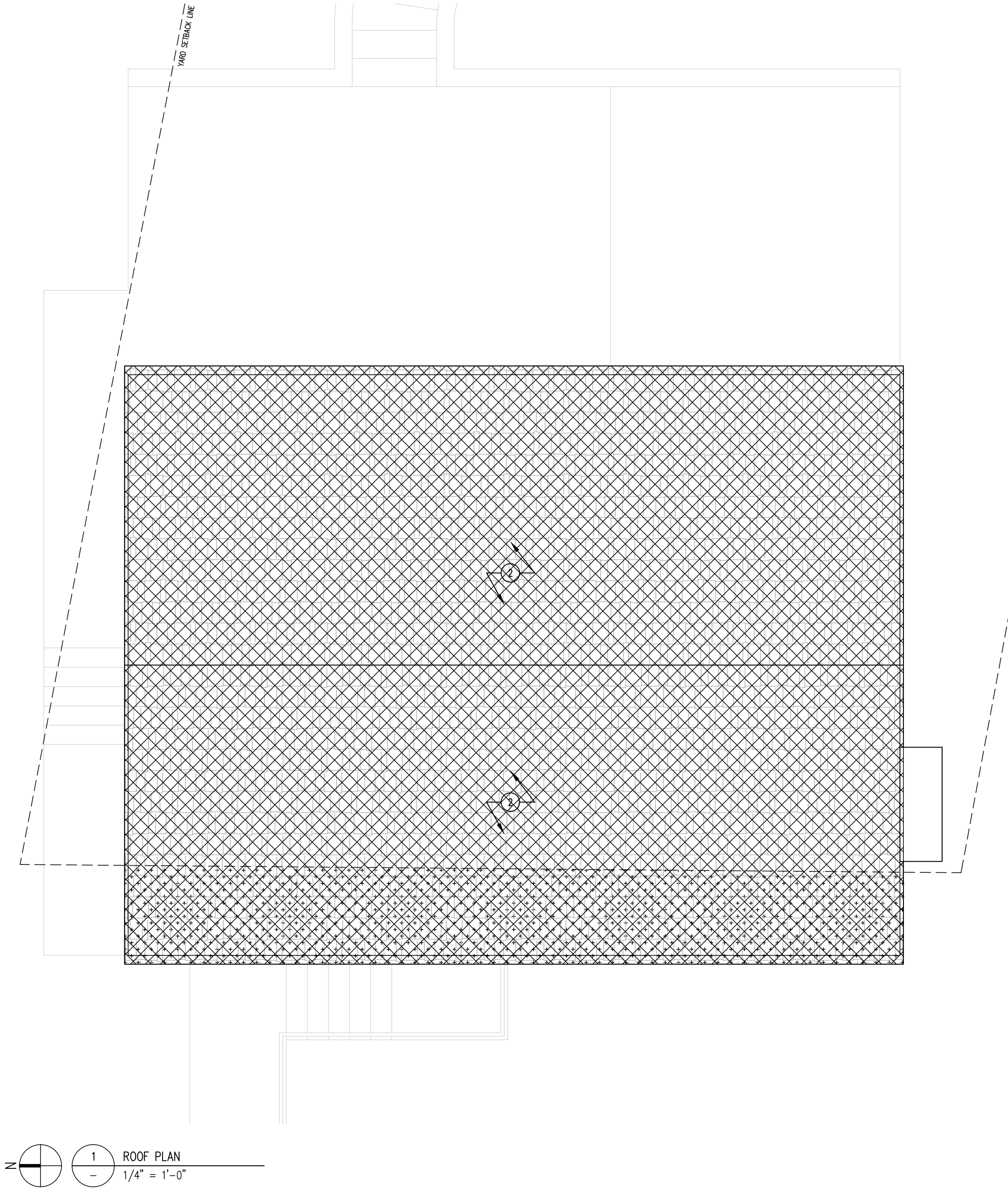
TEMPORARY SHORING DETAIL



- NOTES:
- PROVIDE SHORING FROM BASEMENT TO ROOF RAFTERS ON BOTH SIDES OF BEAMS TO BE REMOVED. SHORING TO STACK ON TOP OF EACH OTHER.
  - SHORING STUDS TO BE SPACED TO MATCH AND ALIGN WITH FLOOR JOISTS ABOVE.

DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- REMOVE OR RELOCATE ALL WIRING AND PLUMBING AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- ALL APPLIANCES TO BE REMOVED AND PLACED IN BASEMENT FOR OWNER USE/DISPOSAL.



DEMOLITION KEYED NOTES

- REMOVE VINYL SIDING AND TRIMS. EXISTING WINDOWS AND FRAME TO REMAIN.
- REMOVE ROOFING AND ROOF STRUCTURE AS INDICATED.
- REMOVE FRAMED WALLS/CEILING AS INDICATED. PATCH & REPAIR AFFECTED CEILING/WALLS AND FLOOR FINISHES AS REQUIRED.

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AD-201 DEMOLITION FLOOR PLAN.dwg

**DEMOLITION FLOOR PLAN**

**AD-201.01**



CONSTRUCTION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION:  
MTL/WD STUDS WITH (1) LAYER 5/8" TYPE 'X' GWB  
BOTH SIDES AND INTERNAL SOUND INSULATION,  
UNLESS NOTED, USE WR (GREENBOARD) TYPE X AT  
ALL WALLS ADJACENT TO PLUMBING FIXTURES.  
SCREWED AND GLUED PER LEVEL 5 GYPSUM  
ASSOCIATION STANDARDS. USE MOLD-RESISTANT AT  
ALL SUB-GRADE LEVELS AND NON-CONDITIONED  
SPACES (MOLD-TOUGH BY USG OR EQUAL). USE  
CONCRETE BOARD ON WET AREAS.  
PROVIDE CORNER BEADS, CASING BEADS AND TRIM  
AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3  
COATS, FEATHERED. USE FIREX 3/8" GWB ON RM 003.
- NEW DOOR & FRAME ON 1 HOUR FIRE-RATED WALL  
SHALL COMPLY WITH NEW YORK STATE - BUILDING  
CODE SECTION 715 (REFER TO TABLE 715.4)

FLOOR FINISH LEGEND

- F-1 EXIST WD FL  
PATCH, SAND &  
REFINISH
- F-2 NEW WD FL  
TO MATCH  
EXISTING
- F-3 PORCELAIN FLOOR  
TILE
- F-4 NOT USED

WALL FINISH LEGEND

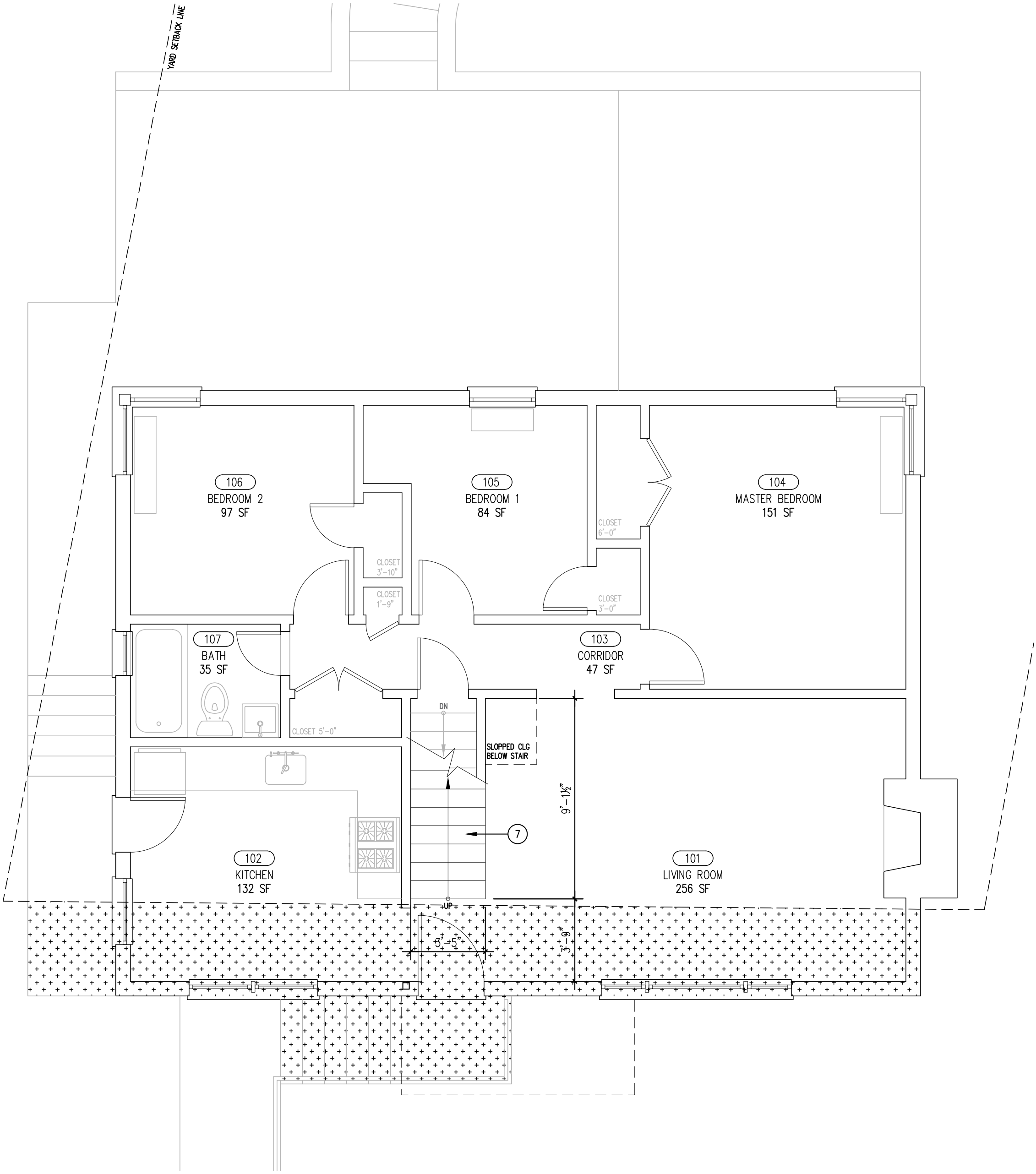
- W-1 PORCELAIN WALL TILE
- W-2 NOT USED
- W-3 NOT USED
- W-4 NOT USED

ELECTRICAL LEGEND

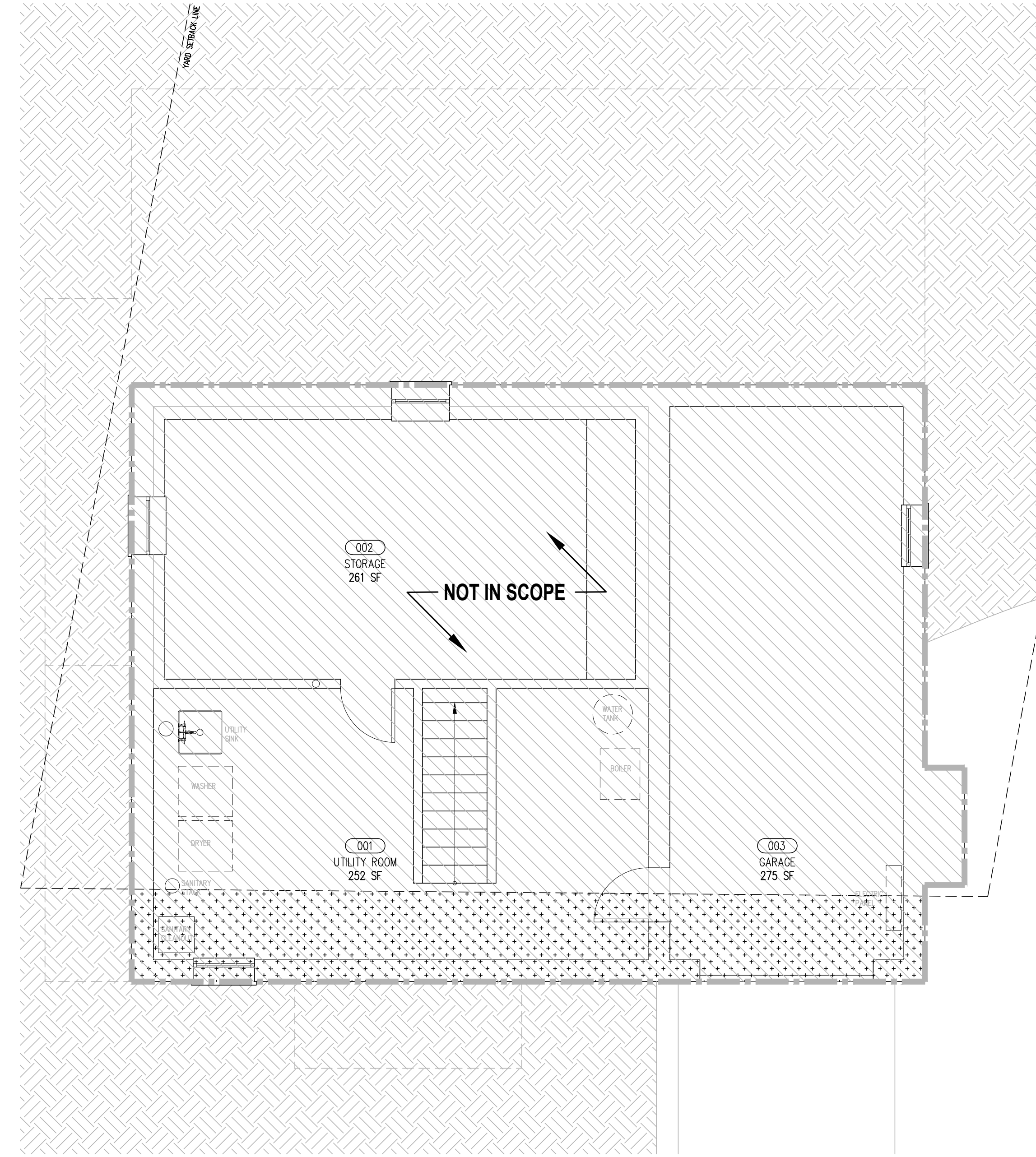
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- LOW VOLTAGE FIRE ALARM SYSTEM
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- SWITCH
- DIMMER SWITCH
- RECESSED CEILING LIGHT
- CEILING MOUNTED LIGHT
- WALL MOUNTED LIGHT
- LINEAR TASK LIGHT
- ELECTRONIC PROGRAMMABLE THERMOSTAT

INTERIOR FINISH NOTES

1. PAINTS, COATING AND PRIMERS NOT TO EXCEED VOC CONTENT LIMITS PER  
GREEN SEAL STANDARD GC-11, PAINTS, EDITION 3.1, JULY 2013:
- 1.1. FLAT PAINT: 50g/L FLAT
- 1.2. NON-FLAT PAINT: 150g/L NON-FLAT
2. WD FINISHES, FLOOR COATINGS, STAINS, SEALERS AND SHELLACS NOT TO  
EXCEED VOC CONTENT LIMITS PER SOUTH COAST AIR QUALITY  
MANAGEMENT DISTRICT RULE 1113, ARCHITECTURAL COATINGS, JUNE 3,  
2011:
- 2.1. VARNISH: 275g/L
- 2.2. LAQUER: 275g/L
- 2.3. SHELLAC: 730g/L CLEAR, 550 g/L PIGMENTED
- 2.4. SEALERS: 100g/L WATERPROOFING, 275g/L SANDING, 100g/L ALL  
OTHERS
3. CARPET ADHESIVES NOT TO EXCEED VOC CONTENT OF 500g/L
4. NO MATERIALS SHALL CONTAIN ADDED UREA FORMALDEHYDE



2 FIRST FLOOR PLAN  
1/4" = 1'-0"



1 BASEMENT FLOOR [INCIDENTAL WORK ONLY]  
1/4" = 1'-0"

CONSTRUCTION NOTES

1. UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X.  
USE WR [GREENBOARD] TYPE X AT ALL WALLS ADJACENT TO PLUMBING  
FIXTURES. SCREWED AND GLUED PER LEVEL 5 GYPSUM ASSOCIATION  
STANDARDS. USE MOLD-RESISTANT AT ALL SUB-GRADE LEVELS AND  
NON-CONDITIONED SPACES [MOLD-TOUGH BY USG OR EQUAL].
2. PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE  
AND SPACKLE ALL JOINTS, 3 COATS, FEATHERED.
3. UNLESS NOTED OTHERWISE ALL FINISHED CEILINGS TO REMAIN. PATCH &  
REPAIR AS REQUIRED ANY INCIDENTAL WORK INCLUDING ALTERED ROOM  
LAYOUTS, LIGHT FIXTURES AND HVAC DUCTWORK.
4. CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE  
INSTITUTE STANDARDS. USE GROUT AS RECOMMENDED BY TILE MANUF.  
COLOR TO BE SELECTED. SEAL GROUT. PROVIDE MARBLE SADDLES AT FL  
TILE USE MUDDSET TILING APPLICATION FOR SHOWER ENCL TO DRAIN WITH  
FULLY BONDED PVC LINER-PAN BELOW.
5. USE 1/2" CEMENT BACKER BOARD BEHIND CERAMIC TILE AT TUB/SHWR  
SURROUNDS.
6. PROVIDE WATERPROOF VINYL MEMBRANE [OR EQUAL] BELOW CER. &  
MARBLE FLOOR TILE TURN UP 4" AT WALLS.
7. CONTRACTOR TO VERIFY ALL OPENING DIMENSIONS BEFORE ORDERING NEW  
DOORS & WINDOWS.
8. ANY BEAM/STUD BUILT-UP OF [3] OR MORE TO BE MECHANICALLY  
FASTENED TOGETHER.
9. ALL SFGL TO BE LASER OR ACID ETCHED.
10. ALL NEW GLAZED FENESTRATION TO COMPLY WITH INSULATION AND  
FENESTRATION REQUIREMENTS BY COMPONENT DEPICTED ON G-000.
11. ALL NEW WINDOWS TO BE ELEVATED SERIES CUSTOM COLOR BY MARVIN OR  
APPROVED EQUAL.

ELECTRICAL NOTES

1. PROVIDE AND INSTALL ELECTRICAL DEVICES AND FIXTURES SHOWN.  
EXISTING OUTLETS TO REMAIN ARE NOT DEPICTED IN THE DRAWINGS.
2. PROVIDE NEW CIRCUITS AS REQUIRED. USE LINE COVER AND SWITCH  
PLATES, COLOR TO MATCH WALL, STYLE TO MATCH EXISTING.
3. USE GROUND FAULT INTERRUPTERS AT ALL AREAS WITHIN 6' OF WATER  
SOURCE. INSTALL ARC-FAULT INTERRUPTERS WHERE REQUIRED.
4. ALL ELECTRICAL WORK TO CONFORM TO LATEST EDITION OF THE  
NATIONAL ELECTRICAL CODE. UNDERGROUND WIRING TO BE ADEQUATELY  
ENCASED AND PROTECTED, BEDDED AND LAID IN TRENCH WITH  
PROTECT-ALERT TAPE ABOVE.
5. PROVIDE ELECT. DUPLEX RECEPTACLES AT 12' O/C IN HABITABLE ROOMS  
(UN).
6. PROVIDED METAL JUNCTION AND DEVICE BOXES.
7. PROVIDE AND INSTALL SMOKE AND CARBON MONOXIDE ALARMS IN ALL  
ROOMS & HALLWAYS AS REQUIRED BY CODE SECTION R313.1.

MECHANICAL NOTES

1. EXISTING HOT WATER RADIANT HEATING SYSTEM ON FLOOR 1 TO REMAIN.
2. PROVIDE & INSTALL SGL ZONE DUCTED HEAT-PUMP MINI-SPLIT SYSTEM  
ON 2.
3. DUCTWORK, REGISTERS AND THERMOSTAT PLACEMENT TO BE  
COORDINATED WITH ARCHITECT BEFORE INSTALL.
4. PROVIDE & INSTALL 50 CFM MINIMUM INTERMITTENTLY OPERATED  
EXHAUST AIRFLOW FAN DUCTED THROUGH 4" DIA. RIGID DUCT TO THE  
OUTSIDE IN ALL NEW BATHROOMS PER NYS MECH CODE TABLE 403.3.
5. ALL MECHANICAL WORK SHALL BE DONE AND INSTALLED IN COMPLIANCE  
WITH THE 2020 MECHANICAL CODE OF NYS.

CONSTRUCTION KEYED NOTES

1. NEW PRE-FINISHED FIBER CEMENT LAP SIDING, TRIMS, BATTENS, SOFFITS  
AND CASINGS OVER NEW WATER-RESISTIVE BARRIER. JAMESHARDIE OR  
APPROVED EQUAL. PROVIDE NEW FLASHING AS REQUIRED.
2. NEW ASPHALT SHINGLE ROOF OVER VAPOR BARRIER OVER 3/4" EXTERIOR  
GRADE PLYWOOD SHEATHING OVER 2x6 12" O.C. WD RAFTERS. INSTALL  
FACE MOUNTED SLOPED GALVANIZED METAL GUTTER WITH LEAF GUARD AT  
LEADERS.
3. CFCI NEW WINDOW & FRAME.
4. EXTEND BRICK CHIMNEY AS INDICATED. BRICK TO MATCH EXISTING IN SIZE  
AND LAYOUT.
5. CFCI POWDER COATED METAL VENT GRILLE.
6. CFCI TENSIONED STEEL CABLE RAILING WITH GALVANIZED STL POSTS.
7. WD STAIR [10"1/4RØ7-3/4"] & TENSIONED STEEL CABLE RAILING.
8. ENGINEERED WHITE OAK WD FLOOR [STAINED].
9. PORCELAIN FLOOR & WALL TILE.
10. OFCI PLUMBING FIXTURES AND FITTINGS.
11. 3-1/2" DEEP ST SHOWER NICHE [12"x20"].
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A-200 CONSTRUCTION FLOOR PLAN.dwg

**CONSTRUCTION FLOOR PLAN**

**A-200.01**



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PATCH, SAND &  
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WALL FINISH LEGEND

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- SMOKE DETECTOR
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3. CARPET ADHESIVES NOT TO EXCEED VOC CONTENT OF 500g/L
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5. PROVIDE ELECT. DUPLEX RECEPTACLES AT 12' O/C IN HABITABLE ROOMS (UN).
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7. PROVIDE AND INSTALL SMOKE AND CARBON MONOXIDE ALARMS IN ALL ROOMS & HALLWAYS AS REQUIRED BY CODE SECTION R313.1.

MECHANICAL NOTES

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2. PROVIDE & INSTALL SGL ZONE DUCTED HEAT-PUMP MINI-SPLIT SYSTEM ON 2.
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4. PROVIDE & INSTALL 50 CFM MINIMUM INTERMITTENTLY OPERATED EXHAUST AIRFLOW FAN DUCTED THROUGH 4" DIA. RIGID DUCT TO THE OUTSIDE IN ALL NEW BATHROOMS PER NYS MECH CODE TABLE 403.3.
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7. WD STAIR [10"1/14RØ7-3/4"] & TENSIONED STEEL CABLE RAILING.
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- EXISTING FRONT YARD ENCROACHING [150sf]
- PROPOSED FRONT YARD ENCROACHING [200sf]

Architect:

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| 1          | RESPONSES TO COMMENTS | 01/05/2022 |      |
|            |                       |            |      |
|            |                       |            |      |
|            |                       |            |      |

Project:  
**CLEARY RESIDENCE**  
200 WARBURTON AVENUE  
HASTINGS ON HUDSON, NY 10706

gk@ARCH PROJECT NO. 21-012

Scale:  
AS NOTED  
CAD File Name:  
A-201 CONSTRUCTION FLOOR PLAN.dwg

CONSTRUCTION FLOOR PLAN

**A-201.01**



WOOD FRAMING NOTES

- ALL LUMBER WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS AND THE BUILDING CODE OF NEW YORK STATE:
  - AMERICAN INSTITUTE OF TIMBER CONSTRUCTION [AITC].
  - NATIONAL FOREST PRODUCTS ASSOC. "DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER".
  - U.S. DEPT. OF COMMERCE STANDARD CS 253.
  - AMERICAN PLYWOOD ASSOCIATION.
- LUMBER FOR ALL INTERIOR STRUCTURAL FRAMING, INCLUDING ROOF FRAMING, JOISTS, POSTS, STUDS, SILLS, CAP PLATES, WOOD BEARING PLATES, AND BLOCKING, SHALL BE SURFACE DRY AND USED AT MAXIMUM 19% MOISTURE CONTENT WITH THE FOLLOWING MINIMUM BASE DESIGN VALUES:  
BASE DESIGN VALUES FOR VISUALLY GRADED DIMENSION LUMBER
  - BENDING: FB 850 PSI
  - HORIZONTAL SHEAR: FV 95 PSI
  - COMP. PERPENDICULAR TO GRAIN: FC 625 PSI
  - COMP. PARALLEL TO GRAIN: FC 1,300 PSI
  - MODULUS OF ELASTICITY: E 1,600,000 PSIALL VALUES SHALL BE ADJUSTED WITH APPROPRIATE ADJUSTMENT FACTORS AS PER THE PER NDS SUPPLEMENT. ANY LUMBER SPECIES MAY BE USED, SUBJECT TO REVIEW AND ACCEPTANCE BY THE ENGINEER, IF THEY MEET THE ABOVE MINIMUM REQUIREMENTS. SHOULD CEDAR BE USED FOR EXTERIOR FRAMING, WESTERN SPECIES SHOULD BE USED.
- TJI SERIES:
  - TJI JOIST SECTIONS SHALL BE OF THE SIZE AND TYPE SPECIFIED ON THE PLANS, AS MANUFACTURED BY TRUSS JOIST MOMILLAN LTD., OR EQUAL.
  - FLANGE MEMBERS, WED MEMBERS AND ADHESIVES SHALL CONFORM TO THE PROVISIONS OF CABO REPORT NO. NER-200. COORDINATE BRIDGING AND STIFFENER REQUIREMENTS WITH TJI MANUFACTURER.
- PLYWOOD:
  - SUBFLOOR SHALL CONSIST OF 3/4" EXPOSURE 1 GRADE PLYWOOD, GLUED AND SCREWED TO JOISTS.
  - EXTERIOR WALL SHEATHING SHALL CONSIST OF 3/4" EXPOSURE 1 GRADE PLYWOOD FASTENED TO WALL STUDS WITH 8D NAILS AT 6" O.C. MAX.
- LAMINATED VENEER LUMBER [LVL]:
  - LVL SECTIONS SHALL BE "MICRO=LAM @" OR "PARALLAM @" AS MANUFACTURED BY TRUSS JOIST MACMILLAN, LTD., OR EQUAL, WITH THE FOLLOWING MINIMUM PROPERTIES:
    - FB = 2865 PSI
    - FC = 750 PSI
    - FV = 285 PSI
    - E = 2,000,000 PSI.MULTIPLE SECTIONS SHALL BE FASTENED TOGETHER WITH A MINIMUM OF TWO ROWS OF 16D NAILS AT 12" O.C., AND AS RECOMMENDED BY THE MANUFACTURER.
- ALL BEARING STUD WALLS SHALL HAVE CROSSKATS AT MID-HEIGHT OR 4'-6" O.C. MINIMUM.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS [NON-BEARING] ABOVE.
- USE DOUBLE MEMBERS AT ALL JAMBS AND HEADS OF ALL OPENINGS. USE DOUBLE JOISTS [MIN.] BELOW ALL NON-BEARING STUD WALLS PARALLEL TO SPANS AND PROVIDE SOLID BLOCKING BETWEEN JOISTS BELOW ALL NON-BEARING STUD WALLS PERPENDICULAR TO JOIST SPANS. USE DOUBLE SILLS AND CAP PLATES FOR ALL BEARING WALLS.

BACKFILL NOTES

- ALL FILL SHALL BE PLACED IN EIGHT TO TWELVE INCH LOOSE LIFTS [MAXIMUM] COMPACTED WITH VIBRATORY ROLLERS.
- FILL MATERIAL SHALL BE TESTED BY MODIFIED PROCTOR DENSITY METHOD [ASTM D1557-78] AND MUST QUALIFY AS SELECT, WITH LESS THAN 10% PASSING THROUGH THE No. 200 SIEVE.
- SOIL SHALL BE PLACED WITH MOISTURE CONTENT AND ENERGY TO PROVIDE 92% OF MAXIMUM DRY DENSITY.
- IN PLACE DENSITY TESTS SHALL BE TAKEN FOR EACH 500 SF IN EACH LIFT.
- FOR ACCEPTANCE OF SOIL, AVERAGE OF DENSITY TESTS MUST EXCEED THE SPECIFIED COMPACTION.
- NO TESTS SHALL BE PERMITTED TO FALL BELOW 87% COMPACTION.

2 ROOF FRAMING  
1/4" = 1'-0"

STRUCTURAL NOTES

- ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF NEW YORK STATE, LATEST EDITION, AND ALL OTHER APPLICABLE LOCAL CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- WORK THESE DRAWINGS WITH THE SPECIFICATIONS, THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, SITE DRAWINGS, AND ALL OTHER RELATED DOCUMENTS. CONTRACTOR SHALL COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND SHALL VERIFY ALL DATA ON EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS, AND COORDINATE ALL WORK WITH ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS FOR FLOOR AND WALL PENETRATION REQUIREMENTS.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES & SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND/OR SHORING FOR ALL STRUCTURAL WORK AS REQUIRED FOR STRUCTURAL STABILITY DURING ALL PHASES OF CONSTRUCTION.

- CONTRACTOR SHALL MAKE SPECIAL PROVISIONS AND PROVIDE PROTECTION AS REQUIRED FOR COLD OR HOT WEATHER CONCRETE AND MASONRY WORK, IN CONFORMANCE WITH THE APPROPRIATE TECHNICAL ASSOCIATIONS.
- LOADS: FLOOR LOAD, SNOW LOAD, AND WIND LOAD HAVE BEEN ANALYZED IN ACCORDANCE WITH THE BUILDING CODE OF NEW YORK STATE AND ASCE-7 WHERE APPROPRIATE.
- LSL DENOTES "LAMINATED STRAND LUMBER".
- ALL WOOD FRAMING PERMANENTLY EXPOSED TO WEATHER SHALL BE PRESSURE TREATED [PTWO].
- TYPICAL REINFORCING IN STRUCTURAL SLAB SHALL BE EPOXY COATED #6 REBAR @ 16" O.C. EACH WAY, TOP AND BOTTOM.
- USE JOIST HANGERS BY SIMPSON OR APPROVED EQUAL @ ALL FLUSH FRAMED CONNECTIONS.
- PROVIDE A MINIMUM CLEARANCE OF 2" BETWEEN WOOD FRAMING AND ALL CHIMNEY/FIREPLACES.

FOUNDATION NOTES

- ALL FOOTINGS SHALL BEAR ON MINIMUM 4000 POUNDS PER SQUARE FOOT VIRGIN SAND OR APPROVED COMPACTED FILL. CONTRACTOR TO VERIFY SOIL BEARING CAPACITY PRIOR TO CONSTRUCTION OF FOOTINGS. NO FOOTINGS ARE TO BE CAST ON UNCONTROLLED FILL, SOIL, ORGANIC MATERIAL, FROZEN GROUND, MUD, SOFT CLAYS OR OTHER OBJECTIONABLE OR UNAPPROVED MATERIALS.
- SUB-BASE FOR SLABS ON GRADE TO BE 6" OF CRUSHED ROCK. SAND SHALL BE PLACED ON VIRGIN GRADE OR APPROVED COMPACTED FILL.
- BASE OF FOOTINGS EXPOSED TO WEATHER OR IN UNHEATED SPACE SHALL BE PLACED A MINIMUM OF 4'-0" BELOW GRADE.
- CONTRACTOR SHALL TAKE ALL NECESSARY DE-WATERING PRECAUTIONS TO PROPERLY CAST NEW FOOTINGS IN AREAS WITH HIGH WATER TABLE.
- REINFORCING DOWELS BETWEEN FOOTING AND FOUNDATION WALL SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE [DOWELS SHALL NOT BE "WET SET"]

CAST-IN PLACE CONCRETE NOTES

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE, ACI 318, LATEST EDITION, AND THE BUILDING CODE OF NEW YORK STATE.
- ALL CONCRETE FOR CAST IN PLACE WORK SHALL BE STONE CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.
- NO ADMIXTURES SHALL BE ALLOWED WITHOUT PRIOR REVIEW AND ACCEPTANCE BY THE ARCHITECT OR ENGINEER.
- ALL REQUIREMENTS FOR BATCHING, MIXING, FINISHING, CURING ETC. SHALL BE AS PER ACI 301.
- ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60, EXCEPT THAT REINFORCING STEEL WELDED DIRECTLY TO STRUCTURAL STEEL SHALL BE ASTM A706.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE AND ADEQUATELY SUPPORTED. ALL BARS MARKED "CONTINUOUS" (CONT.) SHALL BE LAPPED 40 BAR DIAMETERS UNLESS OTHERWISE NOTED.

FRAMING KEYED NOTES

- [3] 1-3/4"x11-7/8" LVL RIDGE BEAM
- [2] 1-3/4"x11-7/8" LVL VALLEY
- 5-1/2"x11-7/8" APB [ANTHONY POWER BEAM AS MANUFACTURED BY GEORGIA PACIFIC]
- 2x10 ROOF RAFTERS @ 16"O.C.
- [2] 2x10 FRAMING AROUND OPENING [STAIR, SKYLIGHT, ETC]
- 11-7/8" TJI 360 @ 16"O.C. - PLACED MID-BAY OF EXISTING 2X CLG FRAMING. PROVIDE WEB STIFFENERS ON ALL TJI JOISTS @ SUPPORT LOCATIONS.
- [3] 2x6 WD POST
- [2] 2x8 WINDOW HEADER OVER [2] 2x6 WD POST
- EXISTING 2x8 @ 16"O.C. CLG JOIST TO REMAIN

- 10 SIMPSON EPCZ POST CAP  
11 SIMPSON HUCQ HANGER

| NAILING SCHEDULE               |                         |                               |  |   |
|--------------------------------|-------------------------|-------------------------------|--|---|
| 3/4" PLYWOOD CLASS 1 SHEATHING | TYPICAL                 | 8D @ 6"O.C. @ PANEL EDGE      |  | STAGGER NAILS @ EDGE OF ADJACENT PANELS |
|                                |                         | 8D @ 12"O.C. @ PANEL INTERIOR |  |   |
|                                | WITHIN 3'-0" OF CORNERS | 8D @ 6"O.C. @ PANEL EDGE      |  |   |
|                                |                         | 8D @ 12"O.C. @ PANEL INTERIOR |  |   |
| 3/4" PLYWOOD CLASS 1 SHEATHING | TYPICAL                 | 8D @ 6"O.C. @ PANEL EDGE      |  | STAGGER NAILS @ EDGE OF ADJACENT PANELS |
|                                |                         | 8D @ 12"O.C. @ PANEL INTERIOR |  |   |

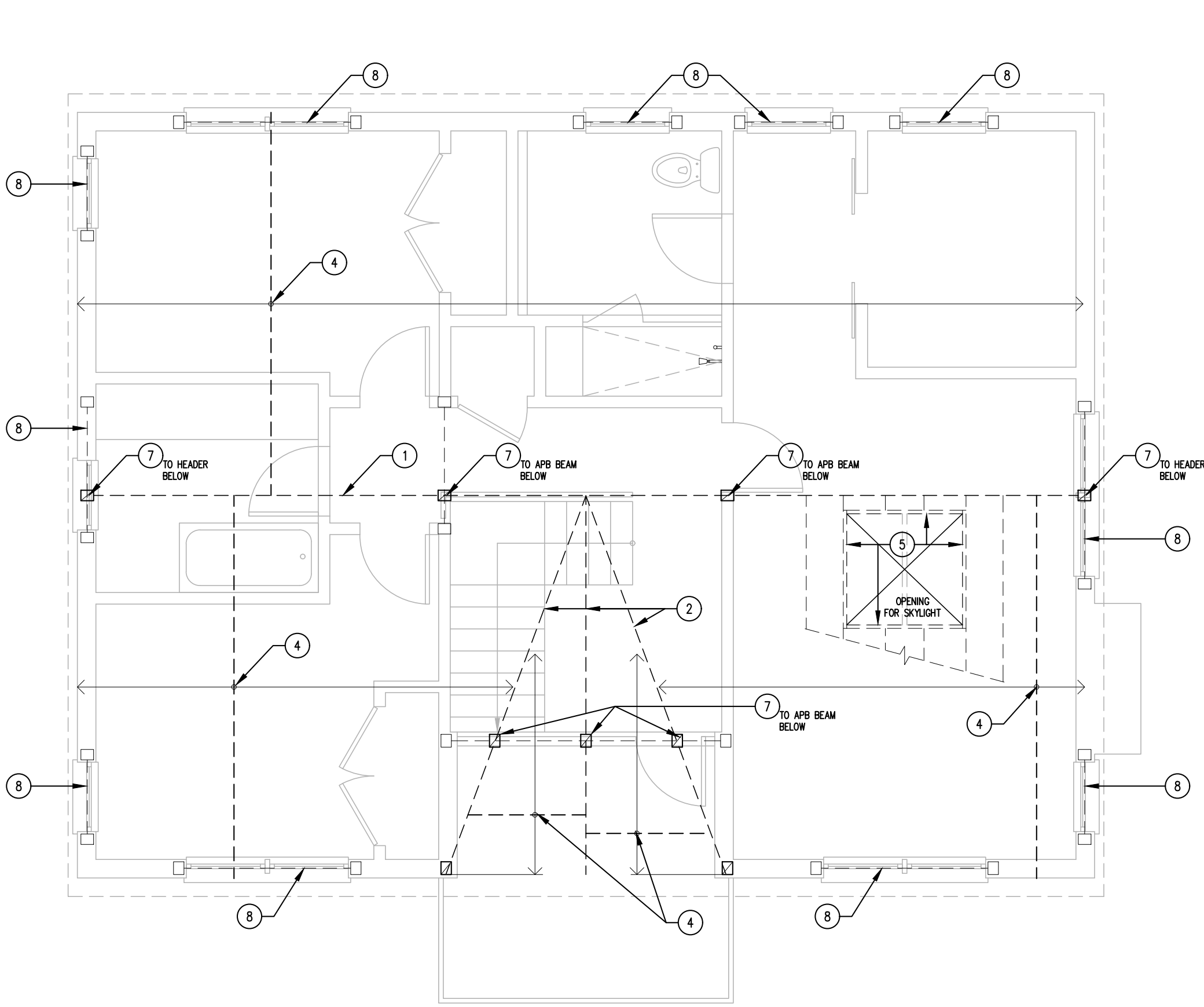
| ANCHOR/STRAP SCHEDULE |                   |  |
|-----------------------|-------------------|--|
| KEY                   | SIMPSON CONNECTOR | CONNECTION DESCRIPTION   |
| 1                     | LSTA30            | RAFTER TO RAFTER OVER RIDGE BLOCK [LOW ROOFS]  |
| 2                     | H5                | RAFTER OR ROOF JOIST OVER DBL TOP PLATE AT ROOF EAVE TO STUD OR BEAM BELOW [ALL RAFTERS/JOISTS]  |
| 3                     | DSP               | ALL WINDOW AND DOOR POSTS TO FOUNDATION WALL   |
| 4                     | LSTA18            | ALL EXTERIOR HEADERS TO POSTS. IF HEADER >8'-0" PROVIDE ONE EACH SIDE OF POST. EACH END OF BEAM. |
| 5                     | MSTA30            | SECOND FLOOR STUD TO FIRST FLOOR STUD @ 32" O.C.   |
| 6                     | U210 <sup>1</sup> | RAFTER TO FALSE VALLEY, TRUE VALLEY & HIP  |

<sup>1</sup> ON SKEW & SLOPE

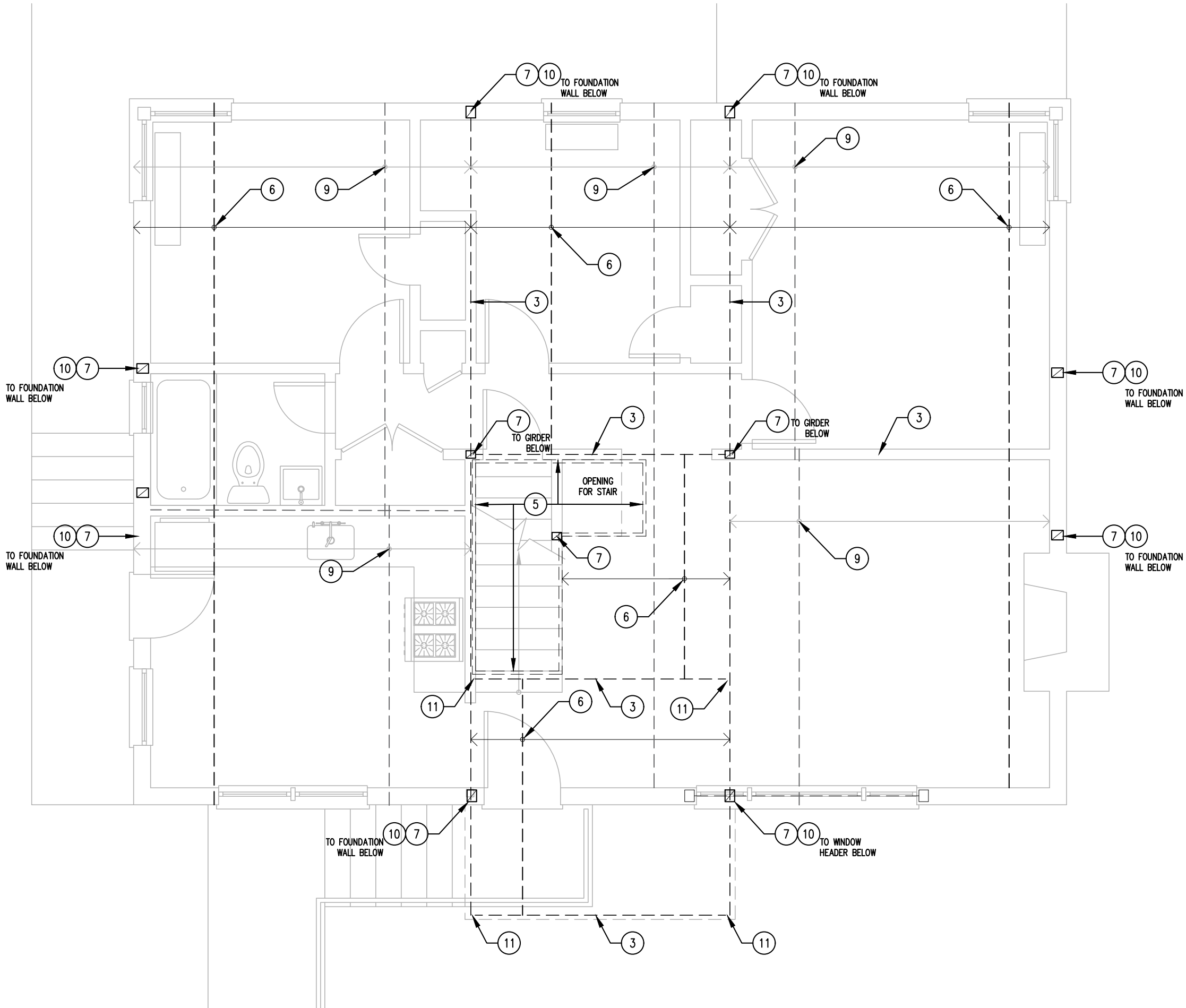
<sup>2</sup> PROVIDE 3/8" DIAM. x 1'-4" ANCHOR BOLTS BTW SILL PLATES & FOUNDATION WALL AT 36" MAX. - USE SIMPSON 5/8-3 BEARING PLATE @ EACH.

| LOAD SCHEDULE [PSF] |   |            |
|---------------------|---|------------|
|                     | FLOOR LOADS                                     | ROOF LOADS |
| DEAD LOAD           | 15  | 15         |
| LIVE LOAD           | 40  | 20         |
| SNOW LOAD           | GROUND SNOW LOAD = 35 PSF + DRIFT               |            |
| WIND LOAD           | ENCLOSURE CLASSIFICATION: ENCLOSED <sup>1</sup> |            |
|                     | EXPOSURE [CATEGORY II]: C                       |            |
|                     | WIND SPEED: 130 MPH                             |            |
| SEISMIC             | SITE DESIGNATION: CLASS 'D'                     |            |
|                     | SITE COEFFICIENTS:                              |            |
|                     | F <sub>A</sub>                                  | 1.6        |
|                     | F <sub>V</sub>                                  | 2.4        |
|                     | S <sub>DS</sub>                                 | 0.18G      |
|                     | S <sub>DC</sub>                                 | 0.087G     |

<sup>1</sup> IMPACT RESISTANT GLASS NOT REQUIRED. IN THE EVENT OF GLASS BREAKAGE, BUILDING REMAINS WITHIN THE ENCLOSED GUIDELINES.



1 SECOND FLOOR FRAMING  
1/4" = 1'-0"



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Drawing Status:  
ISSUED FOR PERMIT  
Date:  
21 DECEMBER 2021

| Revisions: |             |      |
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| NO.        | DESCRIPTION | DATE |
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Project:  
**CLEARY RESIDENCE**  
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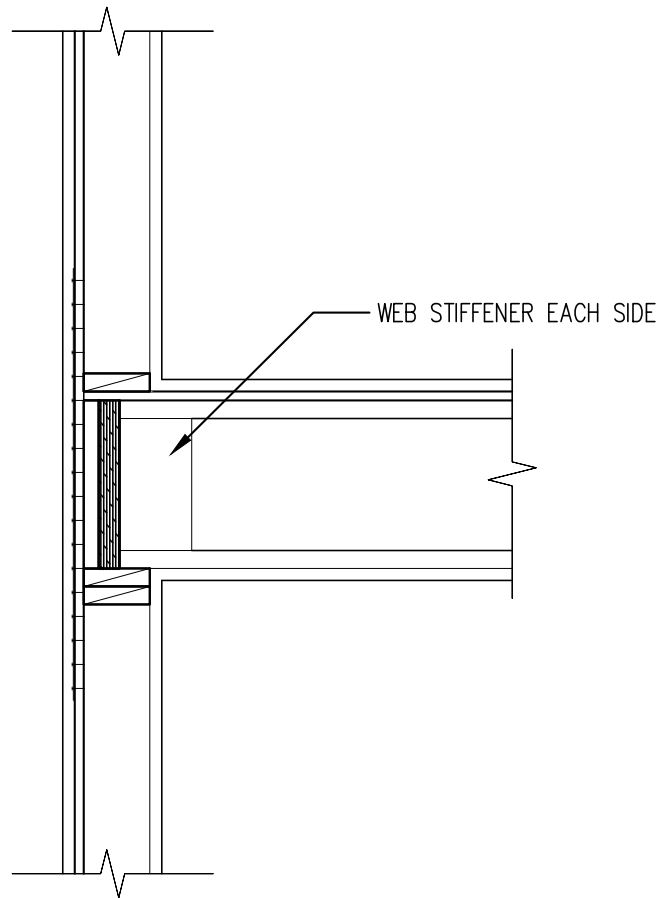
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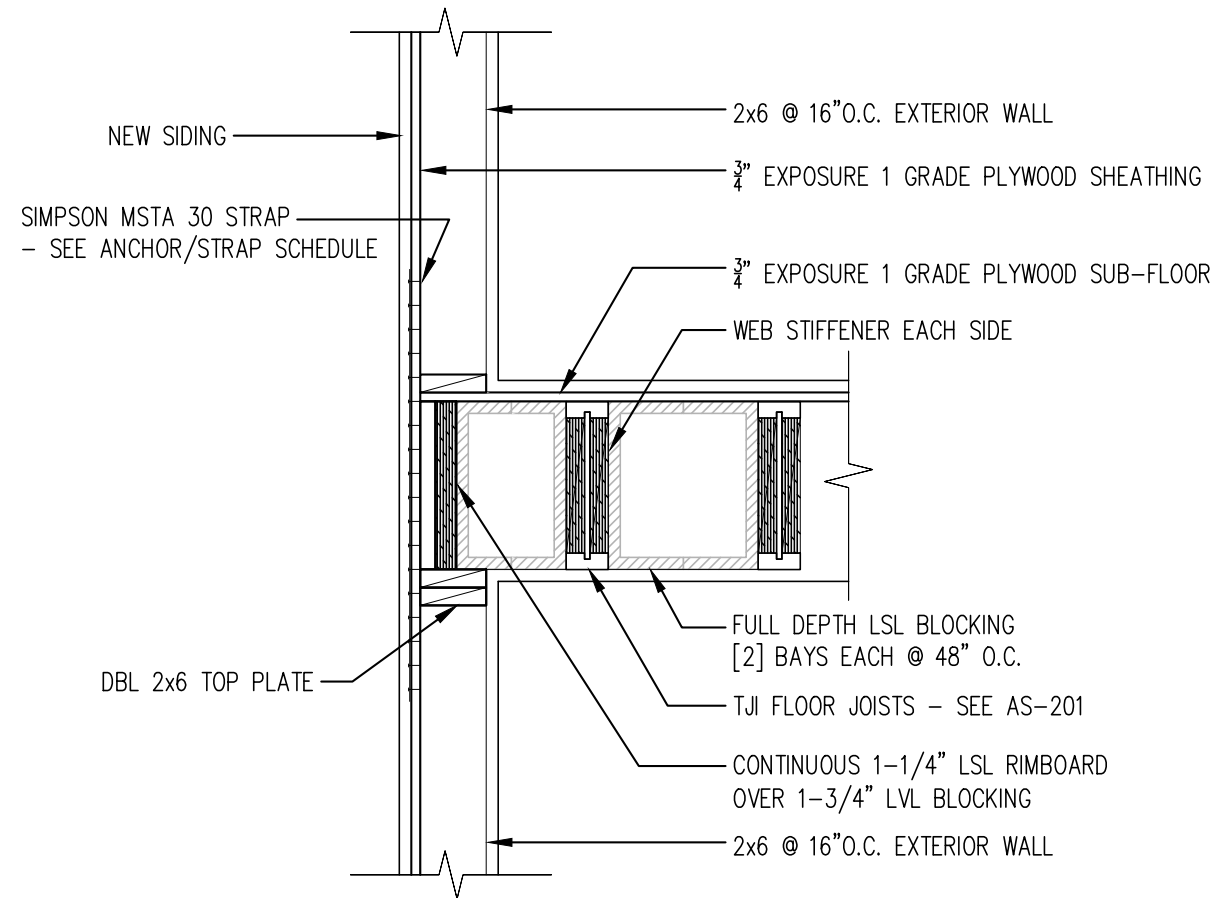
FRAMING PLAN

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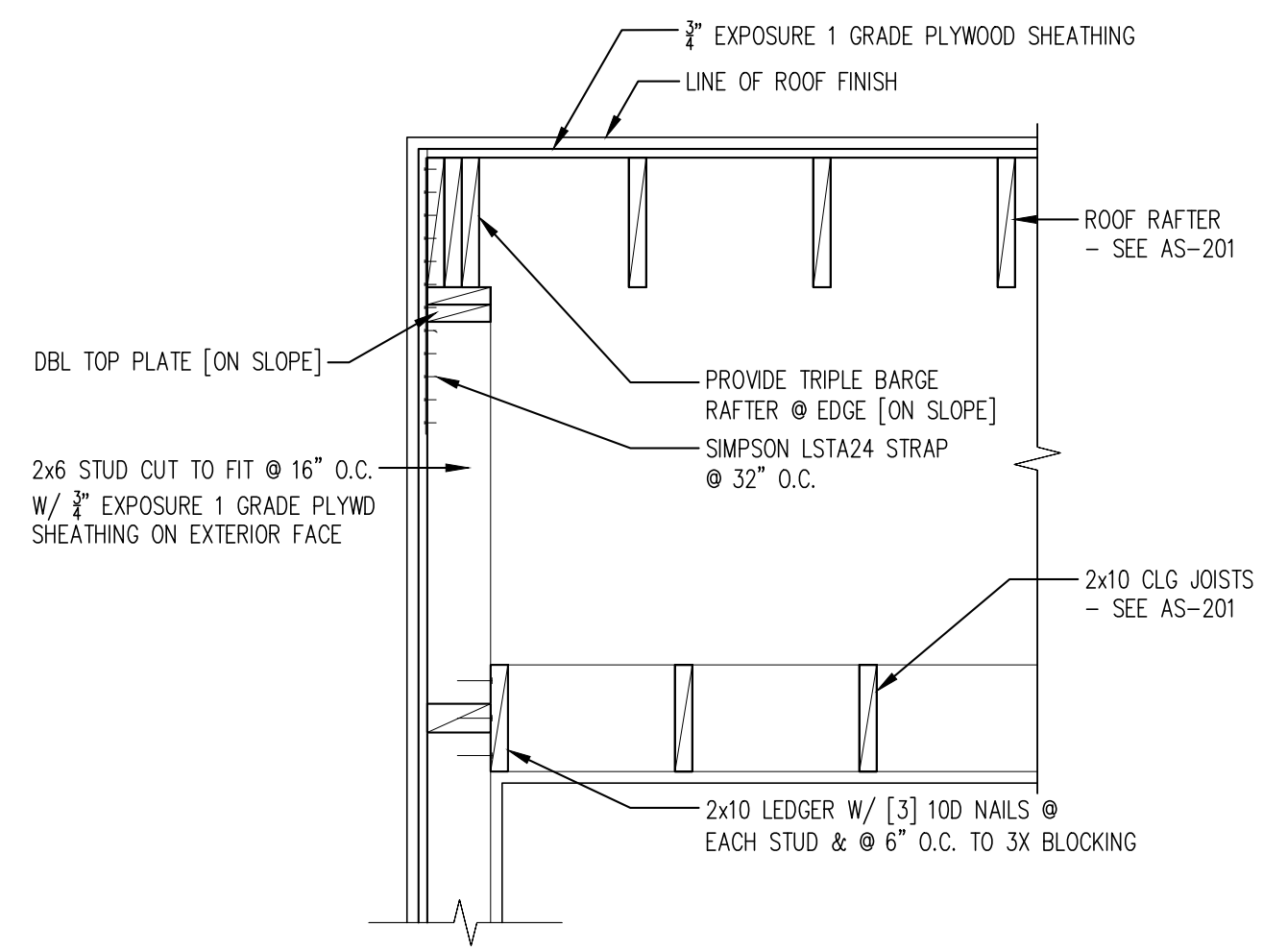




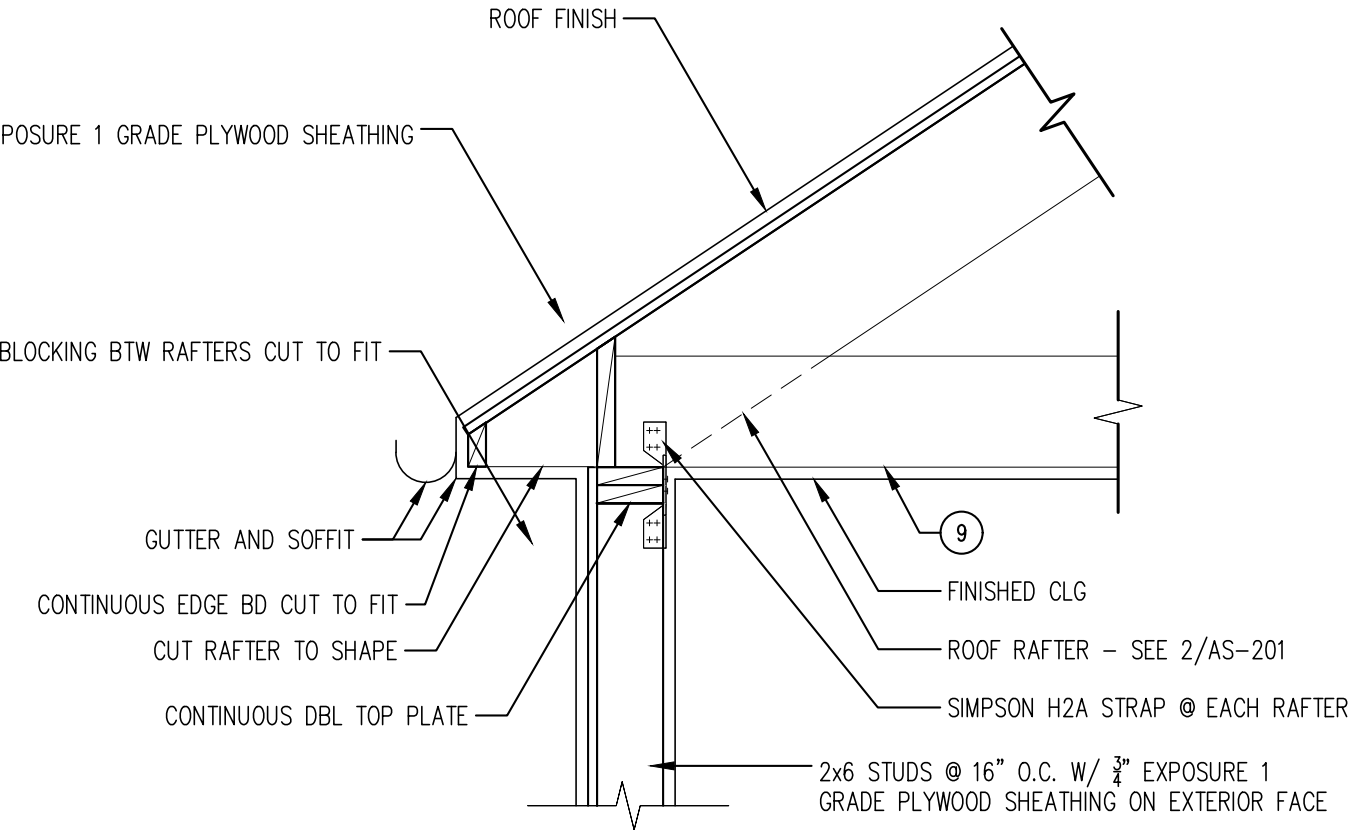
4 EXTERIOR WALL [JOISTS PARALLEL]  
1" = 1'-0"



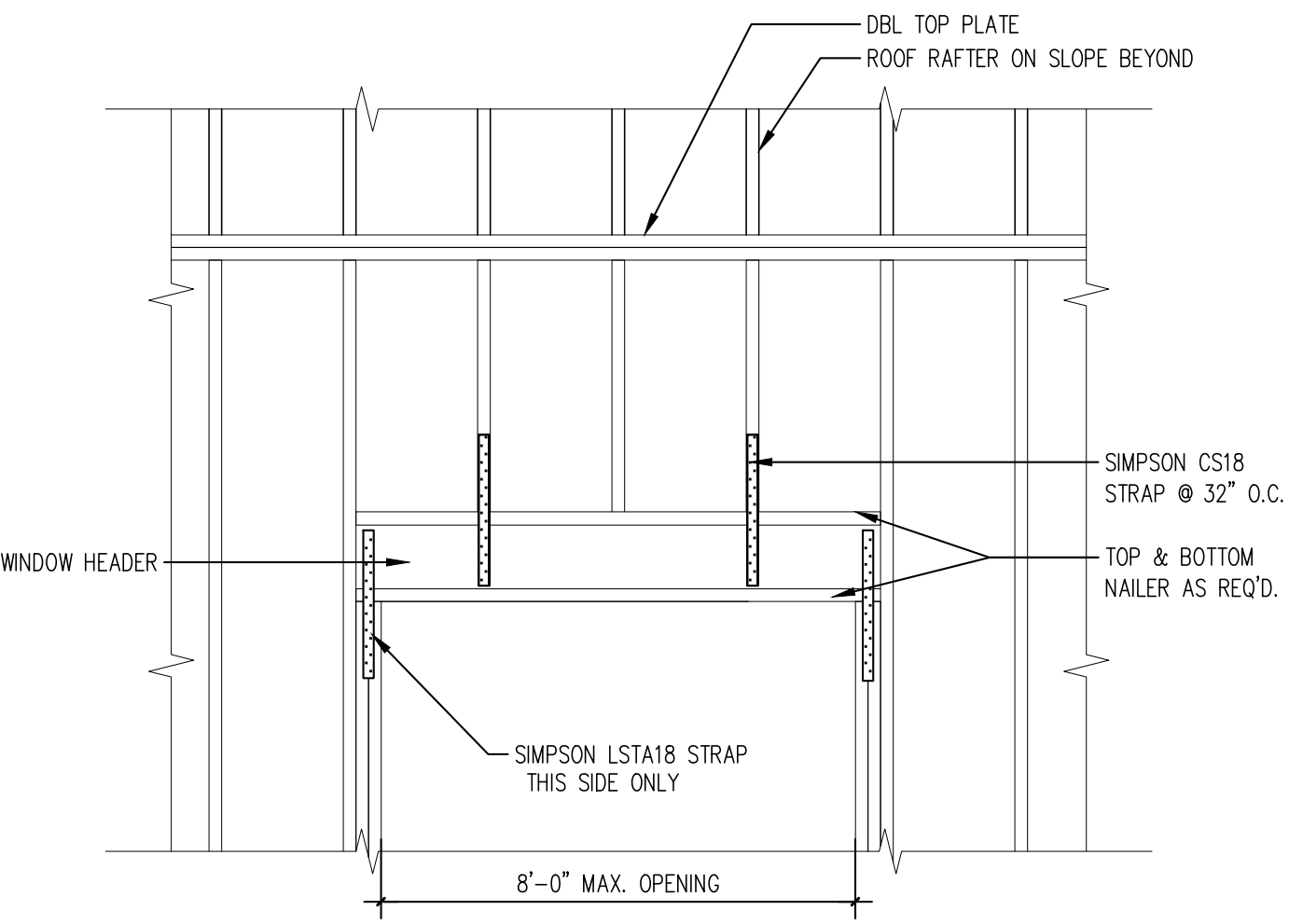
3 EXTERIOR WALL [JOISTS PERPENDICULAR]  
1" = 1'-0"



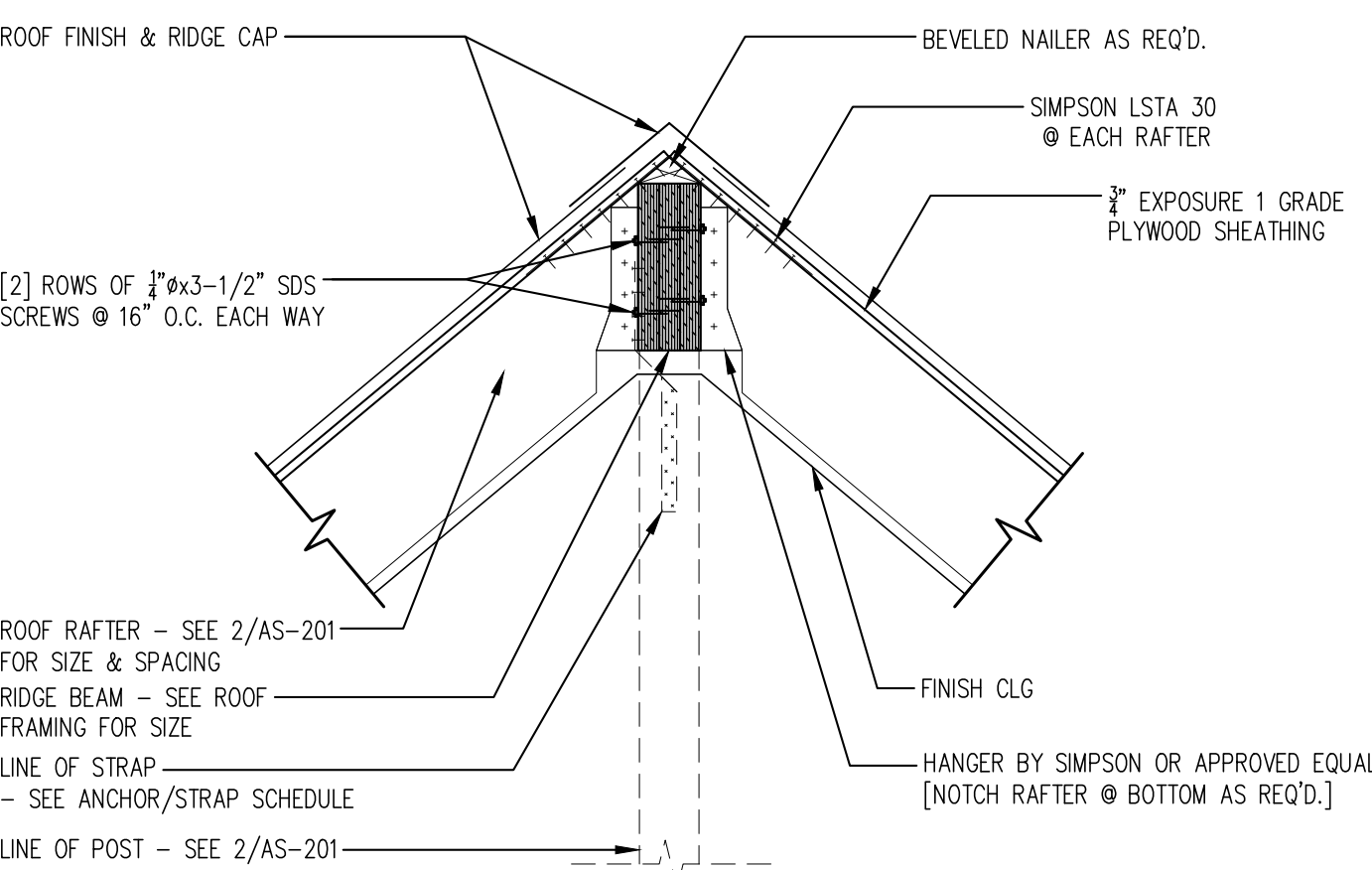
6 RAKE WALL @ ROOF  
1" = 1'-0"



2 ROOF EAVE  
1" = 1'-0"



5 HEADER TO POST STRAPING  
1" = 1'-0"



1 RIDGE BEAM  
1" = 1'-0"

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#### FRAMING KEYED NOTES

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- [3] 2x6 WD POST
- [2] 2x8 WINDOW HEADER OVER [2] 2x6 WD POST
- EXISTING 2x8 @ 16" O.C. CLG JOIST TO REMAIN
- SIMPSON EPC2 POST CAP
- SIMPSON HUCQ HANGER

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Architect:  
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Drawing Status:  
**ISSUED FOR PERMIT**  
Date:  
21 DECEMBER 2021

| Revisions: |             |      |
|------------|-------------|------|
| NO.        | DESCRIPTION | DATE |
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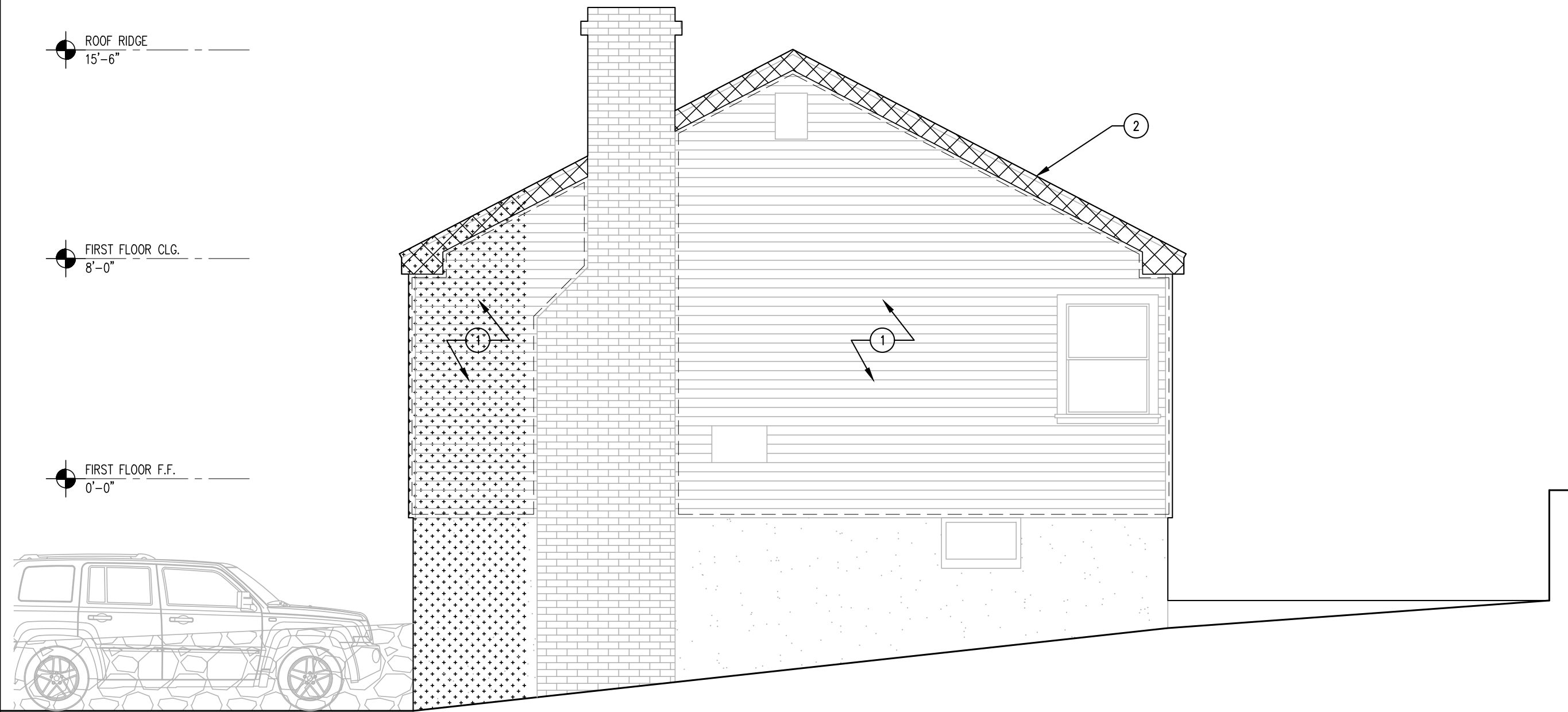
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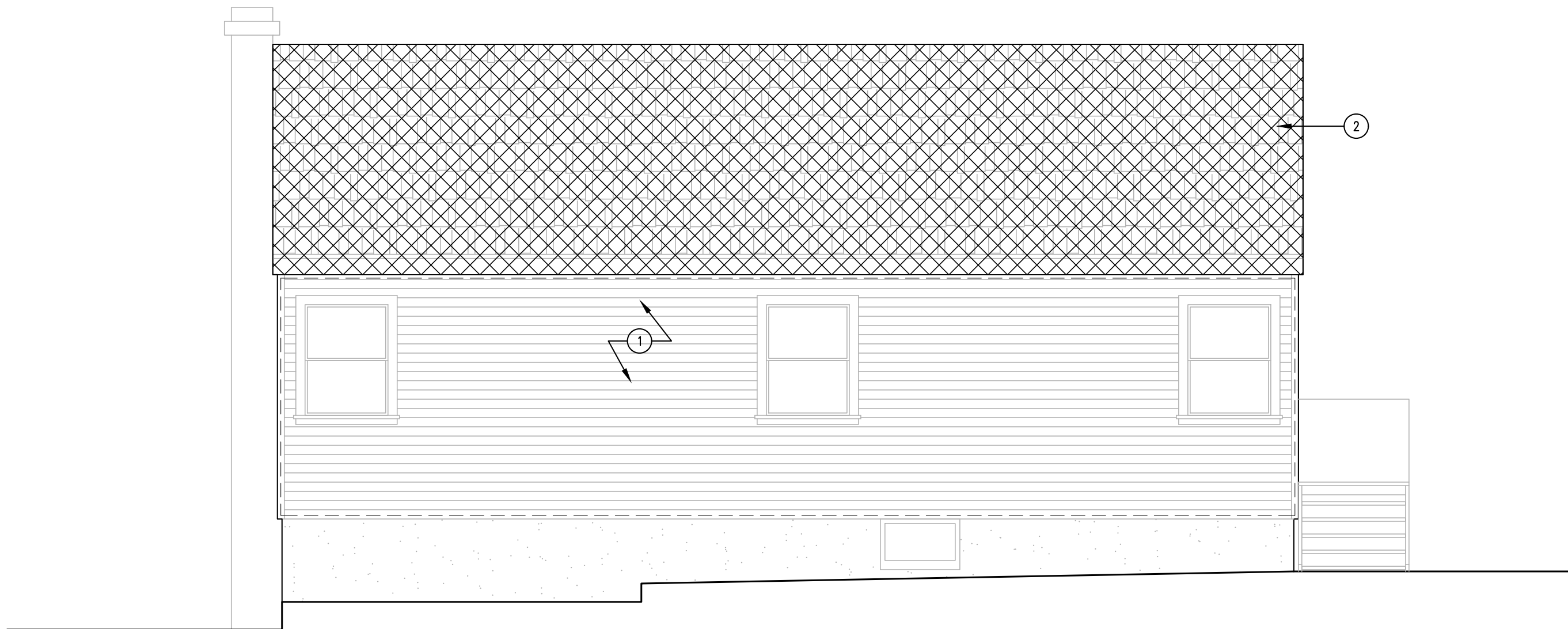
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AS-205 FRAMING DETAILS.dwg

**FRAMING DETAILS**

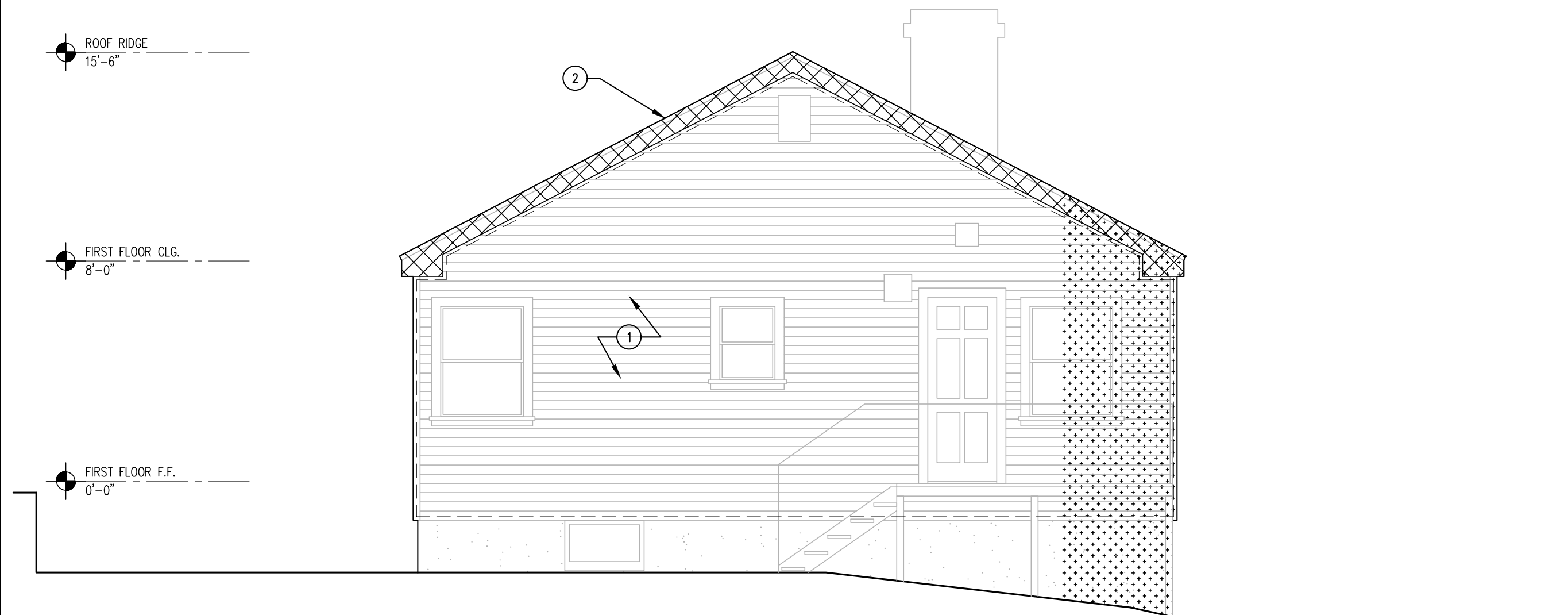
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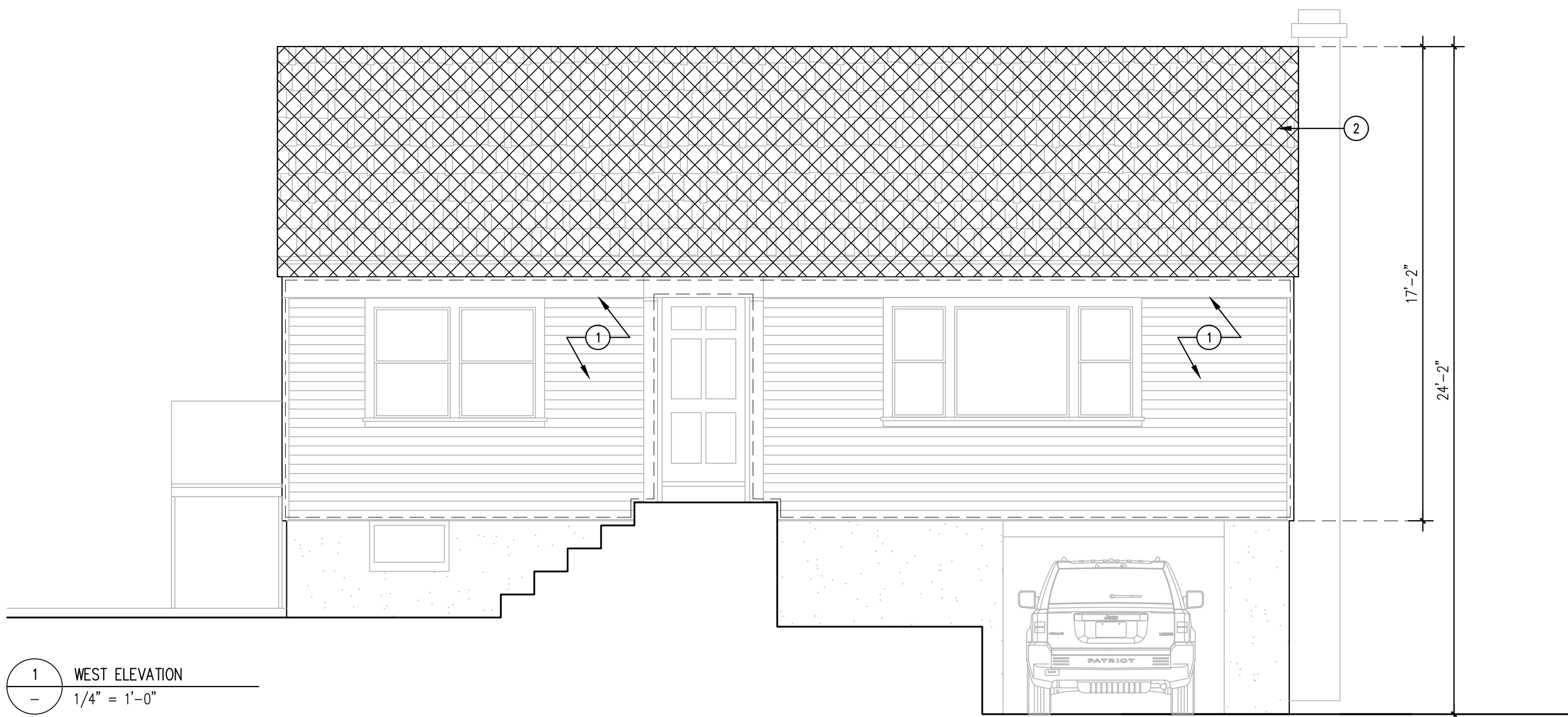
4 SOUTH ELEVATION  
1/4" = 1'-0"



3 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



1 WEST ELEVATION  
1/4" = 1'-0"

#### DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- REMOVE OR RELOCATE ALL WIRING AND PLUMBING AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- ALL APPLIANCES TO BE REMOVED AND PLACED IN BASEMENT FOR OWNER USE/DISPOSAL.

#### DEMOLITION KEYED NOTES

- REMOVE VINYL SIDING AND TRIMS. EXISTING WINDOWS AND FRAME TO REMAIN.
- REMOVE ROOFING AND ROOF STRUCTURE AS INDICATED.
- REMOVE FRAMED WALLS/CEILING AS INDICATED. PATCH & REPAIR AFFECTED CEILING/WALLS AND FLOOR FINISHES AS REQUIRED.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT. THESE DRAWINGS MUST NOT BE SCALED.

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#### ZONING ANALYSIS KEY

- EXISTING HOUSE [1,014sf]
- EXISTING FRONT YARD ENCROACHING [150sf]
- PROPOSED FRONT YARD ENCROACHING [200sf]

Architect:  
**gabriel köche cé**  
ARCHITECT LLC  
280 Warburton Avenue |  
Hastings On Hudson, NY 10706  
703.400.9976  
gk@ARCH.com |

Drawing Status:  
**ISSUED FOR PERMIT**  
Date:  
21 DECEMBER 2021

| Revisions: |                       |            | SEAL |
|------------|-----------------------|------------|------|
| NO.        | DESCRIPTION           | DATE       |      |
| 1          | RESPONSES TO COMMENTS | 01/05/2022 |      |
|            |                       |            |      |
|            |                       |            |      |
|            |                       |            |      |

Project:  
**CLEARY RESIDENCE**  
200 WARBURTON AVENUE  
HASTINGS ON HUDSON, NY 10706

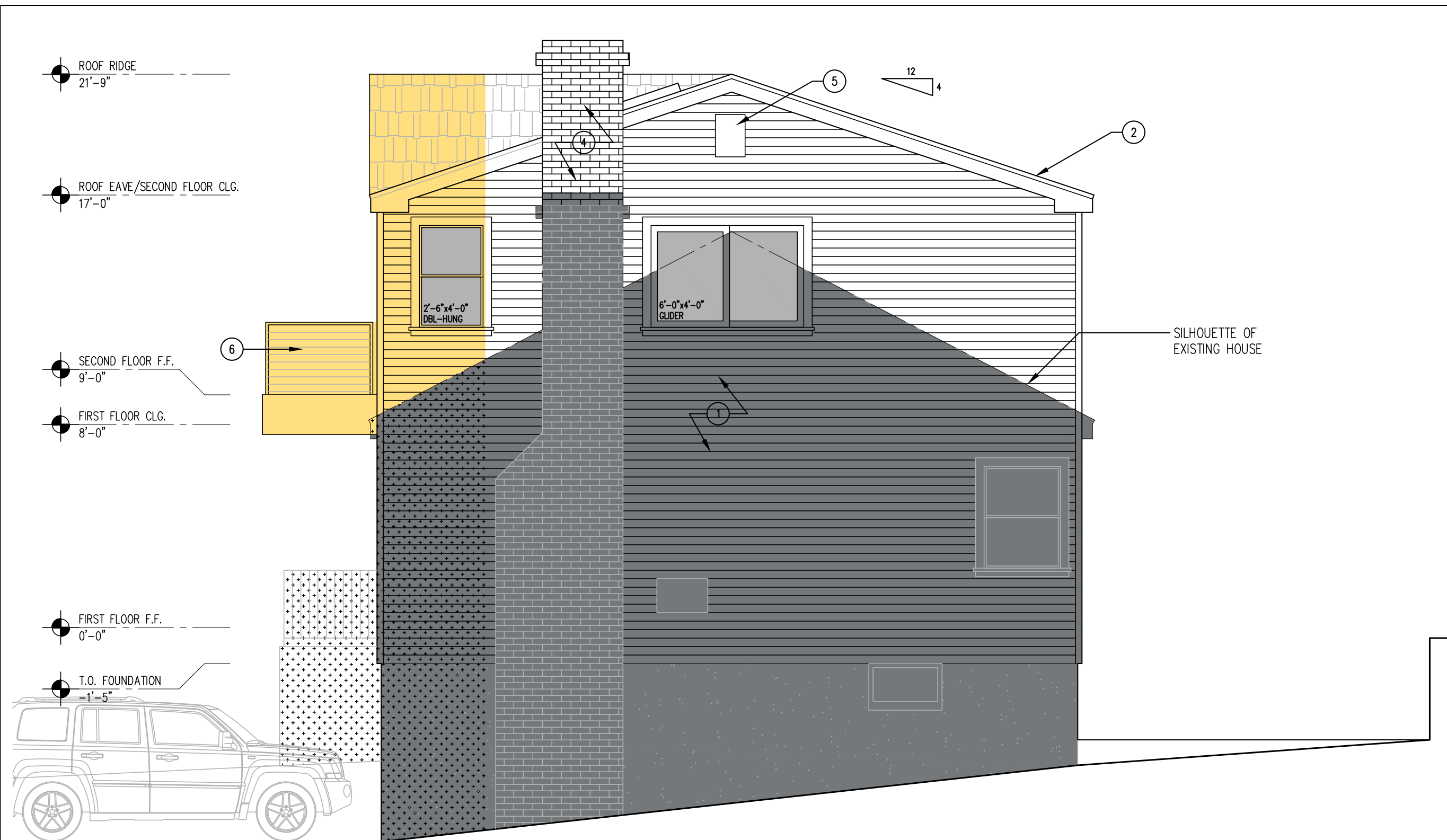
gk@ARCH PROJECT NO. 21-012

Scale:  
AS NOTED  
CAD File Name:  
A-300.00 EXISTING ELEVATIONS.dwg

**EXISTING ELEVATIONS**

**A-300.01**





4 SOUTH ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

#### CONSTRUCTION NOTES

- UNLESS NOTED OTHERWISE ALL GYPSUM WALLBOARD TO BE 1/2 TYPE X. USE WR [GREENBOARD] TYPE X AT ALL WALLS ADJACENT TO PLUMBING FIXTURES. SCREWED AND GLUED PER LEVEL 5 GYPSUM ASSOCIATION STANDARDS. USE MOLD RESISTANT AT ALL SUB-GRADE LEVELS AND NON-CONDITIONED SPACES [MOLD-TOUGH BY USG OR EQUAL].
- PROVIDE CORNER BEADS, CASING BEADS AND TRIM AS REQUIRED TAPE AND SPACKLE ALL JOINTS, 3 COATS, FEATHERED.
- UNLESS NOTED OTHERWISE ALL FINISHED CEILINGS TO REMAIN. PATCH & REPAIR AS REQUIRED ANY INCIDENTAL WORK INCLUDING ALTERED ROOM LAYOUTS, LIGHT FIXTURES AND HVAC DUCTWORK.
- CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE STANDARDS. USE GROUT AS RECOMMENDED BY TILE MANUF. COLOR TO BE SELECTED. SEAL GROUT. PROVIDE MARBLE SADDLES AT FL. TILE USE MUDDSET TILING APPLICATION FOR SHOWER ENCL TO DRAIN WITH FULLY BONDED PVC LINER-PAN BELOW.
- USE 1/2" CEMENT BACKER BOARD BEHIND CERAMIC TILE AT TUB/SHWR SURROUNDS.
- PROVIDE WATERPROOF VINYL MEMBRANE [OR EQUAL] BELOW CER. & MARBLE FLOOR TILE TURN UP 4" AT WALLS.
- CONTRACTOR TO VERIFY ALL OPENING DIMENSIONS BEFORE ORDERING NEW DOORS & WINDOWS.
- ANY BEAM/STUD BUILT-UP OF [3] OR MORE TO BE MECHANICALLY FASTENED TOGETHER.
- ALL SFGL TO BE LASER OR ACID ETCHED.
- ALL NEW GLAZED FENESTRATION TO COMPLY WITH INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT DEPICTED ON G-000.
- ALL NEW WINDOWS TO BE ELEVATED SERIES CUSTOM COLOR BY MARVIN OR APPROVED EQUAL.

#### ELECTRICAL NOTES

- PROVIDE AND INSTALL ELECTRICAL DEVICES AND FIXTURES SHOWN. EXISTING OUTLETS TO REMAIN ARE NOT DEPICTED IN THE DRAWINGS.
- PROVIDE NEW CIRCUITS AS REQUIRED. USE LINE COVER AND SWITCH PLATES, COLOR TO MATCH WALL, STYLE TO MATCH EXISTING.
- USE GROUND FAULT INTERRUPTERS AT ALL AREAS WITHIN 6' OF WATER SOURCE. INSTALL ARC-FAULT INTERRUPTERS WHERE REQUIRED.
- ALL ELECTRICAL WORK TO CONFORM TO LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. UNDERGROUND WIRING TO BE ADEQUATELY ENCASED AND PROTECTED, BEDDED AND LAID IN TRENCH WITH PROTECT-ALERT TAPE ABOVE.
- PROVIDE ELECT. DUPLEX RECEPTACLES AT 12' O/C IN HABITABLE ROOMS (UON).
- PROVIDED METAL JUNCTION AND DEVICE BOXES.
- PROVIDE AND INSTALL SMOKE AND CARBON MONOXIDE ALARMS IN ALL ROOMS & HALLWAYS AS REQUIRED BY CODE SECTION R313.1.



3 EAST ELEVATION  
1/4" = 1'-0"



1 WEST ELEVATION  
1/4" = 1'-0"

#### MECHANICAL NOTES

- EXISTING HOT WATER RADIANT HEATING SYSTEM ON FLOOR 1 TO REMAIN.
- PROVIDE & INSTALL SGL ZONE DUCTED HEAT-PUMP MINI-SPLIT SYSTEM ON 2.
- DUCTWORK, REGISTERS AND THERMOSTAT PLACEMENT TO BE COORDINATED WITH ARCHITECT BEFORE INSTALL.
- PROVIDE & INSTALL 50 CFM MINIMUM INTERMITTENTLY OPERATED EXHAUST AIRFLOW FAN DUCTED THROUGH 4" DIA. RIGID DUCT TO THE OUTSIDE IN ALL NEW BATHROOMS PER NYS MECH CODE TABLE 403.3.
- ALL MECHANICAL WORK SHALL BE DONE AND INSTALLED IN COMPLIANCE WITH THE 2020 MECHANICAL CODE OF NYS.

#### CONSTRUCTION KEYED NOTES

- NEW PRE-FINISHED FIBER CEMENT LAP SIDING, TRIMS, BATTENS, SOFFITS AND CASINGS OVER NEW WATER-RESISTIVE BARRIER. JAMESHARDIE OR APPROVED EQUAL. PROVIDE NEW FLASHING AS REQUIRED.
- NEW ASPHALT SHINGLE ROOF OVER VAPOR BARRIER OVER 3" EXTERIOR GRADE PLYWOOD SHEATHING OVER 2x6 12" O.C. WD RAFTERS. INSTALL FACE MOUNTED SLOPED GALVANIZED METAL GUTTER WITH LEAF GUARD AT LEADERS.
- CFCI NEW WINDOW & FRAME.
- EXTEND BRICK CHIMNEY AS INDICATED. BRICK TO MATCH EXISTING IN SIZE AND LAYOUT.
- CFCI POWDER COATED METAL VENT GRILLE.
- CFCI TENSIONED STEEL CABLE RAILING WITH GALVANIZED STL POSTS.
- WD STAIR [10"1/14RØ7-3/4"] & TENSIONED STEEL CABLE RAILING.
- ENGINEERED WHITE OAK WD FLOOR [STAINED].
- PORCELAIN FLOOR & WALL TILE.
- OFCI PLUMBING FIXTURES AND FITTINGS.
- 3-1/2" DEEP ST SHOWER NICHE [12"x20"].
- CFCI 50 CFM MINIMUM INTERMITTENTLY OPERATED EXHAUST FAN DUCTED THROUGH A 4" DIA. RIGID DUCT TO THE OUTSIDE.
- OFCI CLOSET MILLWORK.
- SELF-LEVELING TERRACE WD PAVER OVER ROOF MEMBRANE.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS SITE LOCATION.

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#### ZONING ANALYSIS KEY

- EXISTING HOUSE [1,014sf]
- EXISTING FRONT YARD ENCROACHING [150sf]
- PROPOSED FRONT YARD ENCROACHING [200sf]

Architect:  
**gabriel köche cé**  
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Drawing Status:  
**ISSUED FOR PERMIT**  
Date:  
21 DECEMBER 2021

Revisions:  
NO. DESCRIPTION DATE  
1 **RESPONSES TO COMMENTS** 01/05/2022

Project:  
**CLEARY RESIDENCE**  
200 WARBURTON AVENUE  
HASTINGS ON HUDSON, NY 10706

gk@ARCH PROJECT NO. 21-012

Scale:  
AS NOTED  
CAD File Name:  
A-301.00 PROPOSED ELEVATIONS.dwg

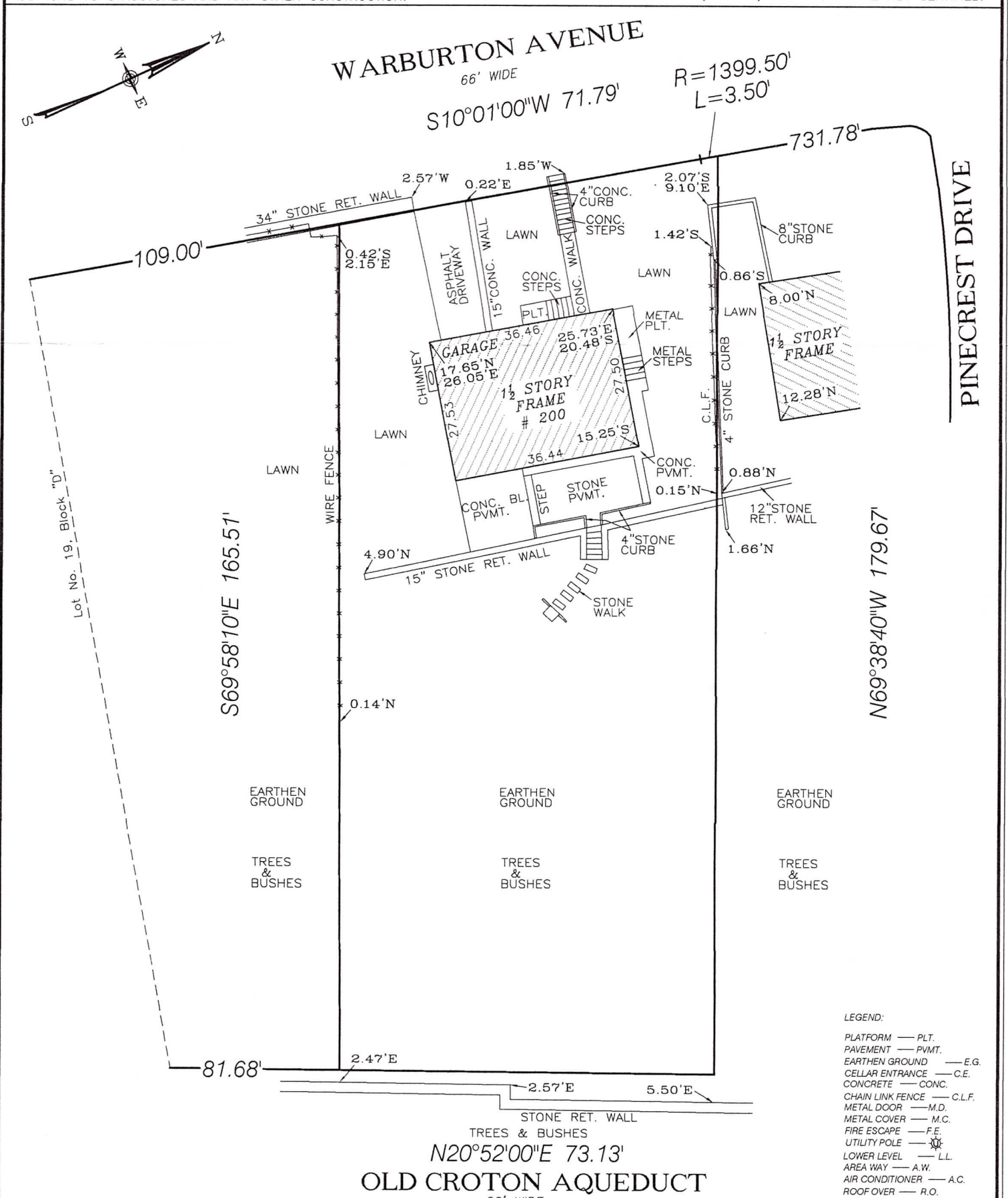
#### PROPOSED ELEVATIONS

**A-301.01**

THE OFFSETS OR DIMENSIONS SHOWN FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PLANTING AREAS, ADDITIONS TO STRUCTURES AND ANY OTHER CONSTRUCTION.

Job No. RLS121251

THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT CERTIFIED.



|   |   |
|---|---|
| <p>FILED MAP</p> <p>LOT NO. 19 IN BLOCK "D" AS SHOWN AND DESIGNATED ON A CERTAIN MAP ENTITLED, "MAP ONE OF PINECREST ON THE HUDSON, HASTINGS, WESTCHESTER CO., N.Y., PROPERTY OF METROPOLIS EXTENSION CO." MADE BY M. LORINI, C.E., DATED JULY 1, 1909, AND FILED IN THE OFFICE OF THE REGISTER OF THE COUNTY OF WESTCHESTER, DIVISION OF LAND RECORDS, ON JULY 26, 1909, AS MAP NO. 1867</p>   |   |
| <p>SURVEY OF: <i>Described Property</i></p> <p>LOCATED AT:</p> <p><i>200 Warburton Avenue, Hastings-On-Hudson</i></p> <p><i>County of Westchester</i></p> <p><i>State of New York</i></p> <p>TAX DESIG: <i>Sec. 4.130 Block 139 Lot 16</i></p> <p>CERTIFIED TO:</p> <p><i>-Steven E. Kanor and Jean Cassidy-Kanor</i></p> <p><i>-Fidelity National Title Insurance Company</i></p> <p><i>-Keppler Title Agency, LLC</i></p>   | <p><b>ROGUSKI</b></p> <p>LAND SURVEYING. P.C.</p> <p>TITLE • ARCHITECTURAL • BOUNDARY • CONSTRUCTION</p> <p>87-20 WOODHAVEN BLVD, WOODHAVEN, N.Y. 11421</p> <p>Tel. • (718) 480-3761 • Cell • (917) 561-0579 •</p> <p>Fax • (718) 480-3762 •</p> <p><b>SZCZEPAN H. ROGUSKI</b></p> <p>PROFESSIONAL LAND SURVEYOR</p> <p>TITLE No.: <i>3428KT-W</i></p> <p>DATE: <i>September 21, 2012</i></p> <p>SCALE: <i>1"=25'</i></p> |
| <p>UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.</p> <p>CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.</p> |   |





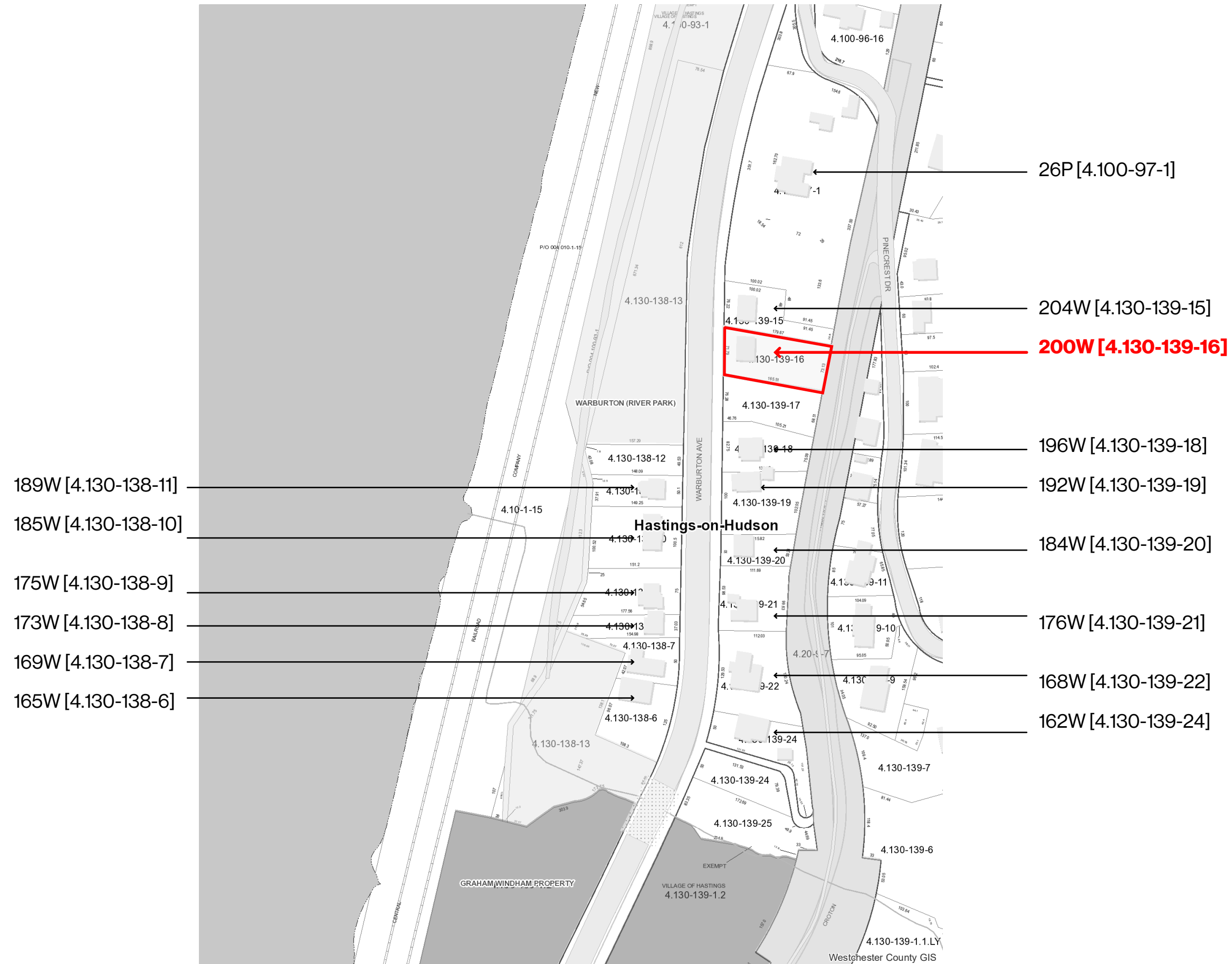
# **CLEARY HOUSE ADDITION**

**Attachment C  
Neighborhood Analysis**

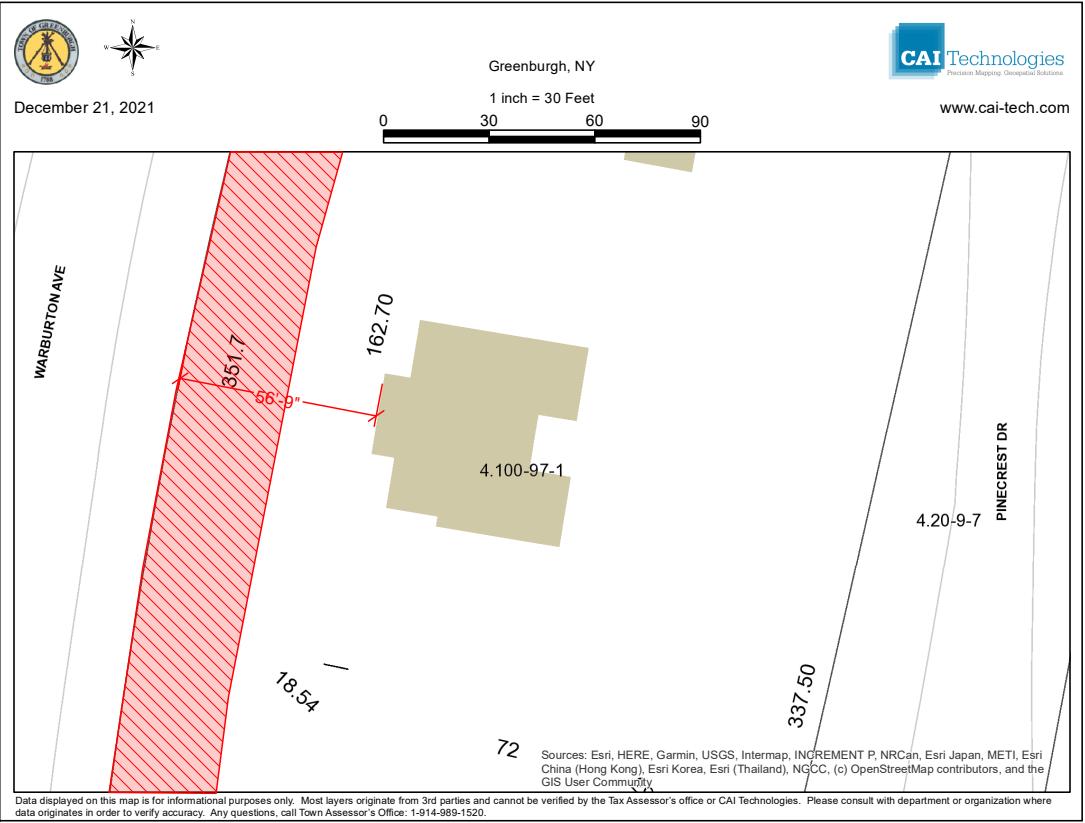
**21 December 2021**

**gabriel köche cé**  
**ARCHITECT LLC**

280 Warburton Avenue  
Hastings On Hudson, NY 10706  
703 400 9976  
gkcARCH.com

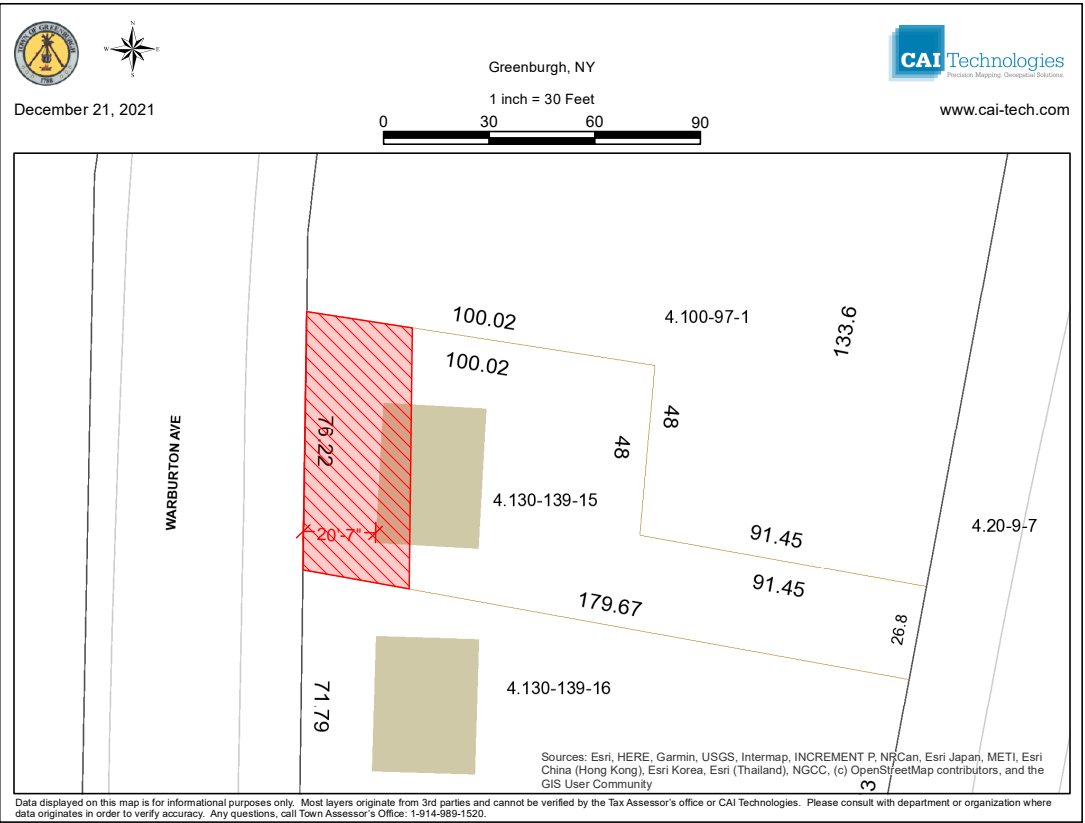






## 26 Pinecrest Drive

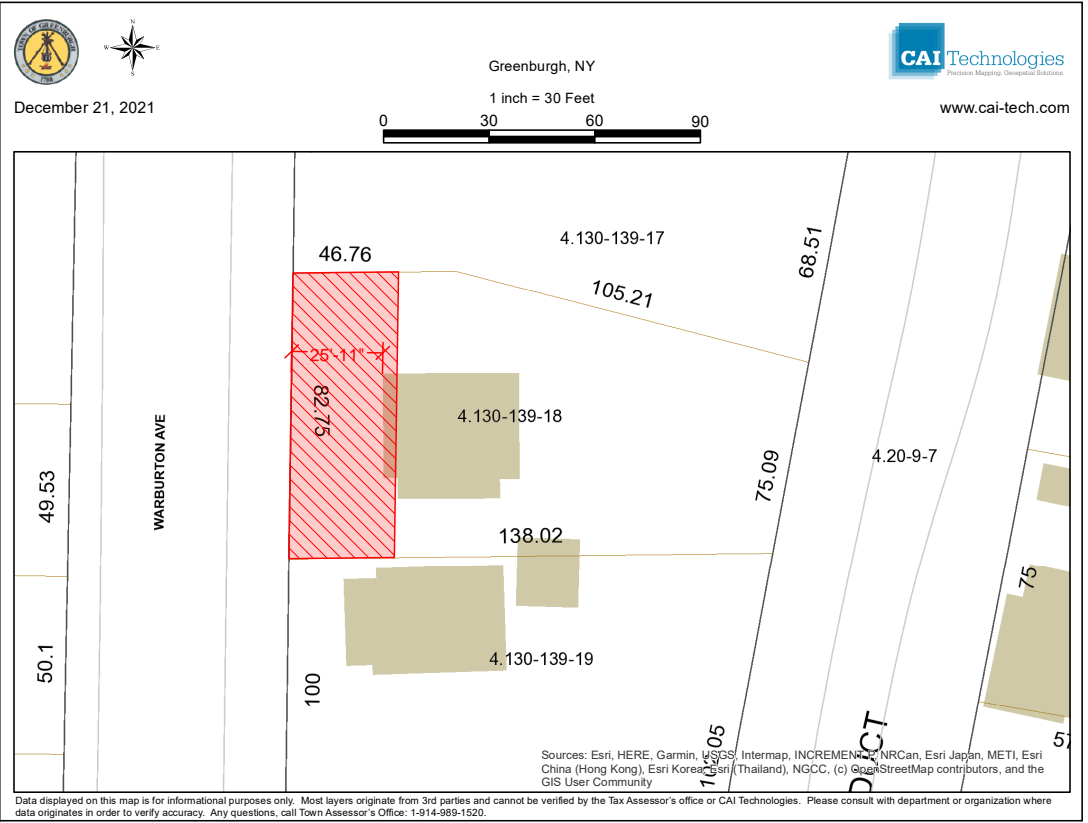
1. Property ID: 4.100-97-1
2. Lot Area: 64,469 sf
3. # of Stories: 2
4. Living Area: 4,320 nsf
5. Front Yard: 56'-9"
6. Encroachment: No
7. Side on Ave.: East



## 204 Warburton Avenue

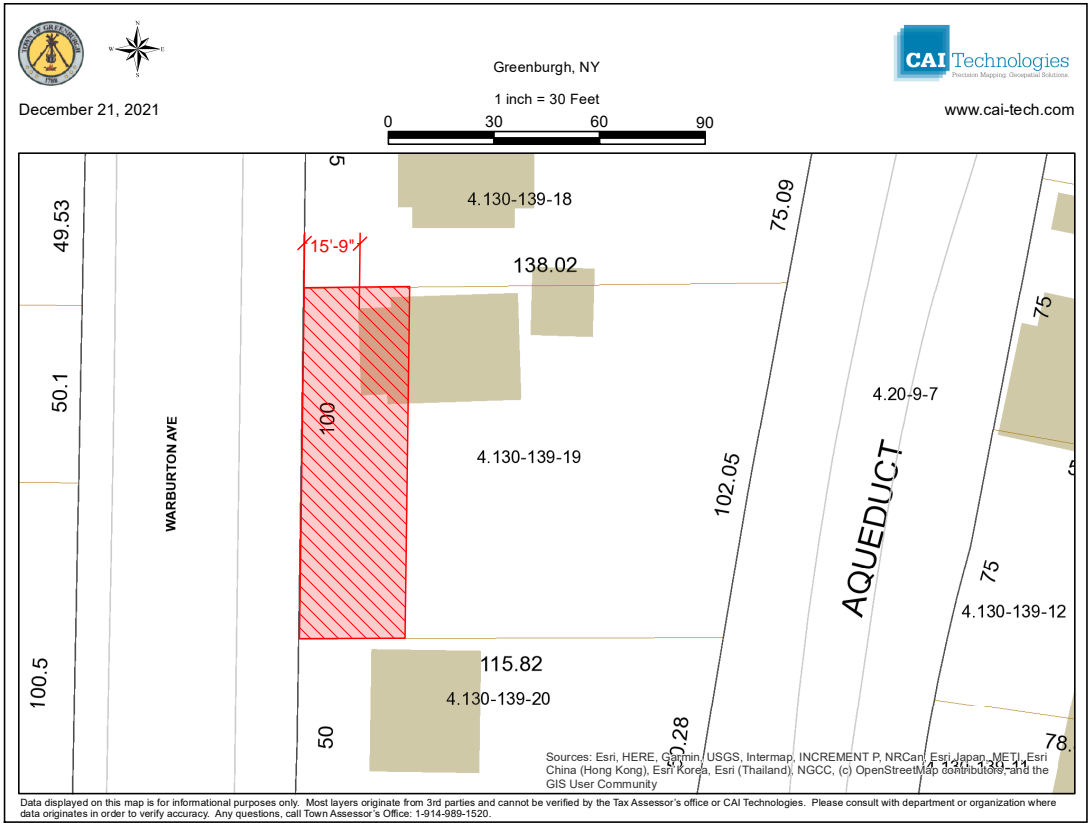
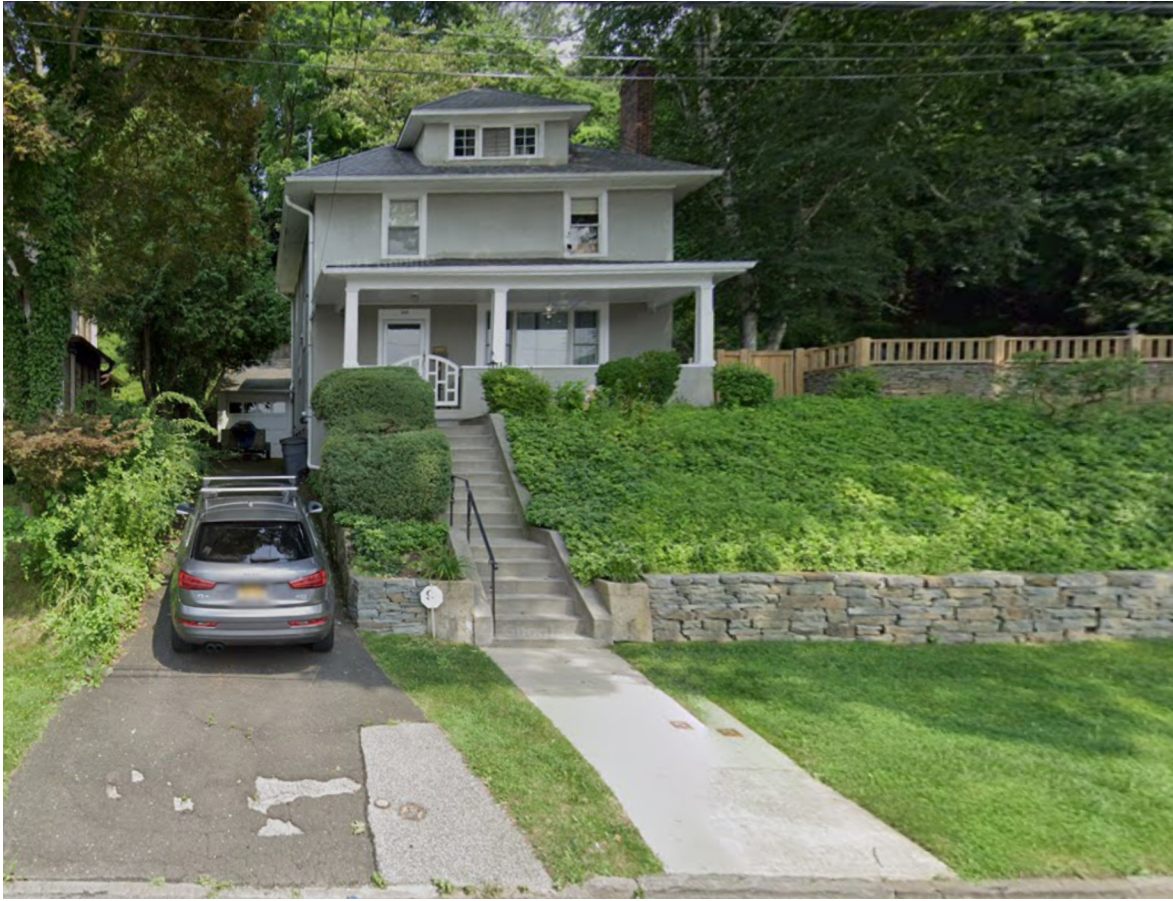
1. Property ID: 4.130-139-15
2. Lot Area: 9,583 sf
3. # of Stories: 1
4. Living Area: 972 nsf
5. Front Yard: 20'-7"
6. Encroachment: Yes
7. Side on Ave.: East





196 Warburton Avenue

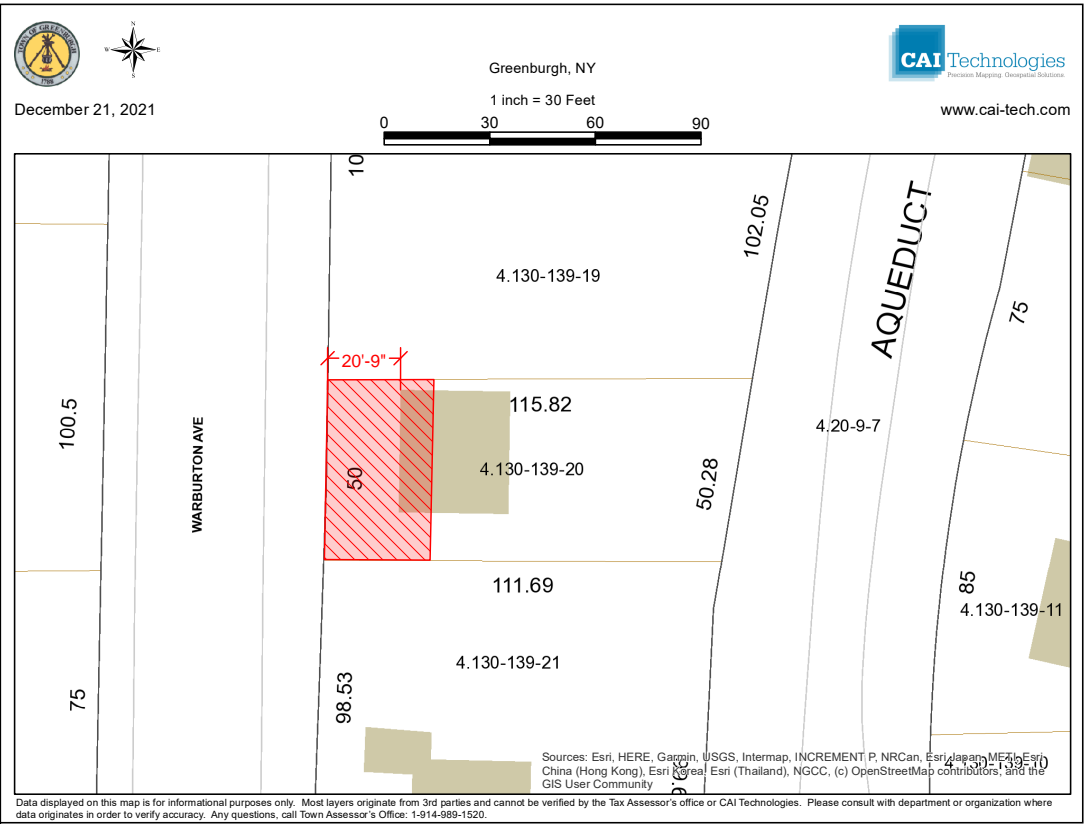
- 1. Property ID: 4.130-139-18
- 2. Lot Area: 10,890 sf
- 3. # of Stories: 2
- 4. Living Area: 2,457 nsf
- 5. Front Yard: 25'-11"
- 6. Encroachment: Yes
- 7. Side on Ave.: East



192 Warburton Avenue

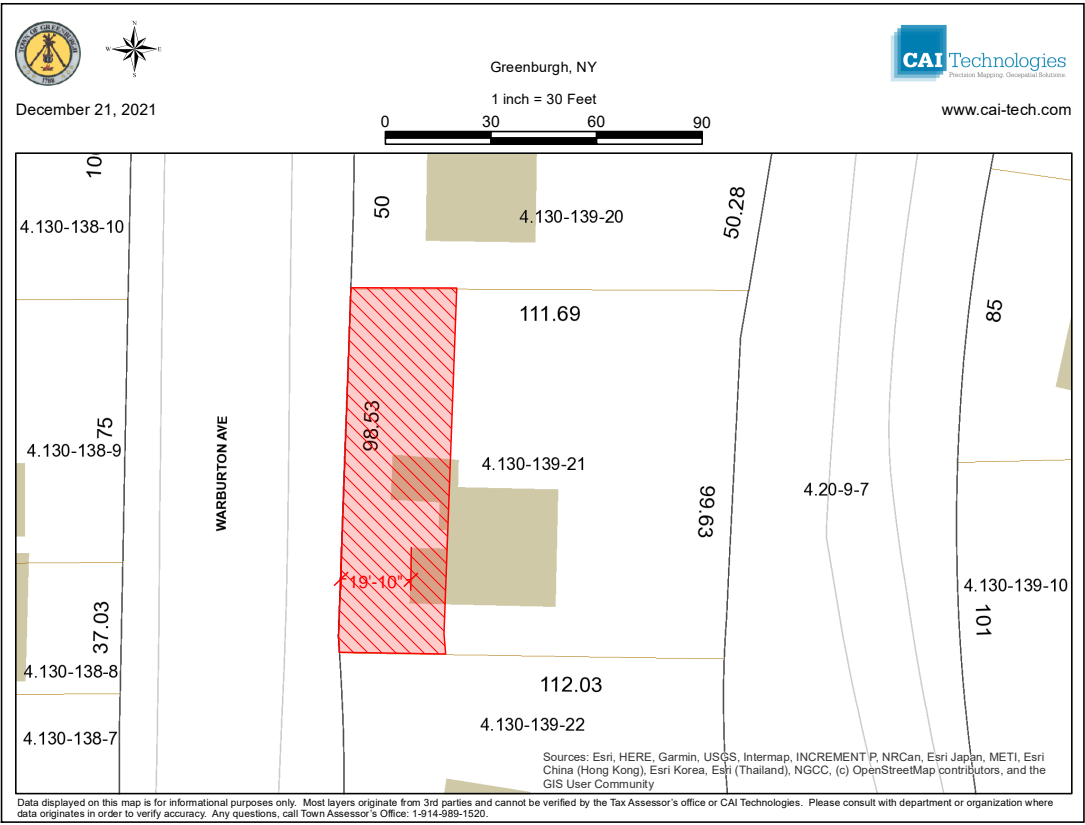
- 1. Property ID: 4.130-139-19
- 2. Lot Area: 11,761 sf
- 3. # of Stories: 2
- 4. Living Area: 1,684 nsf
- 5. Front Yard: 15'-9"
- 6. Encroachment: Yes
- 7. Side on Ave.: East





184 Warburton Avenue

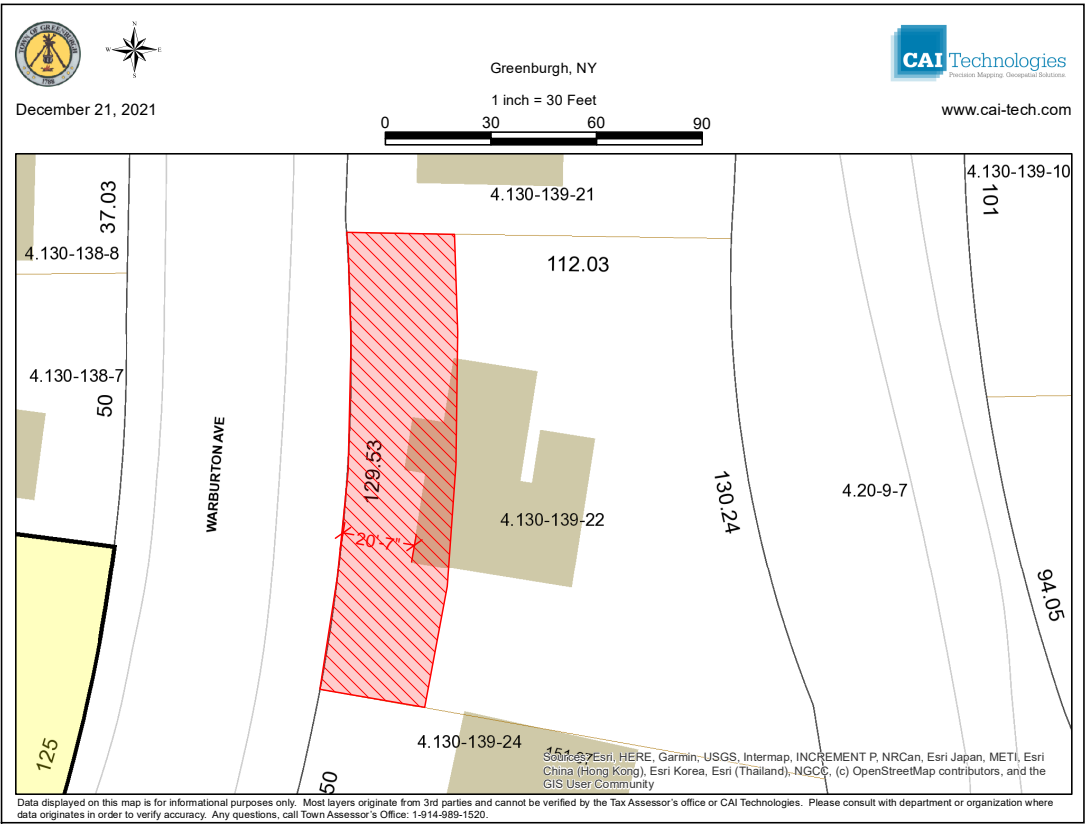
- 1. Property ID: 4.130-139-20
- 2. Lot Area: 6,098 sf
- 3. # of Stories: 1-3/4
- 4. Living Area: 2,016 nsf
- 5. Front Yard: 20'-9"
- 6. Encroachment: Yes
- 7. Side on Ave.: East



176 Warburton Avenue

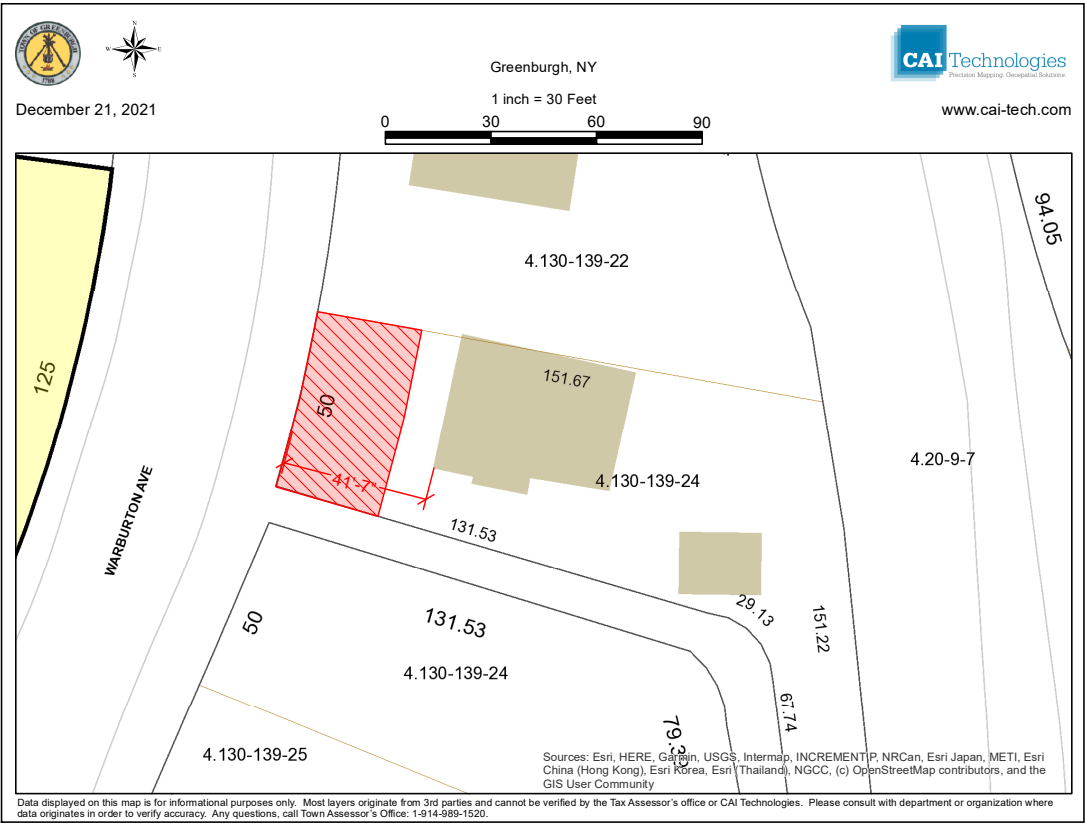
- 1. Property ID: 4.130-139-21
- 2. Lot Area: 11,761 sf
- 3. # of Stories: 2
- 4. Living Area: 1,746 nsf
- 5. Front Yard: 19'-10"
- 6. Encroachment: Yes
- 7. Side on Ave.: East





168 Warburton Avenue

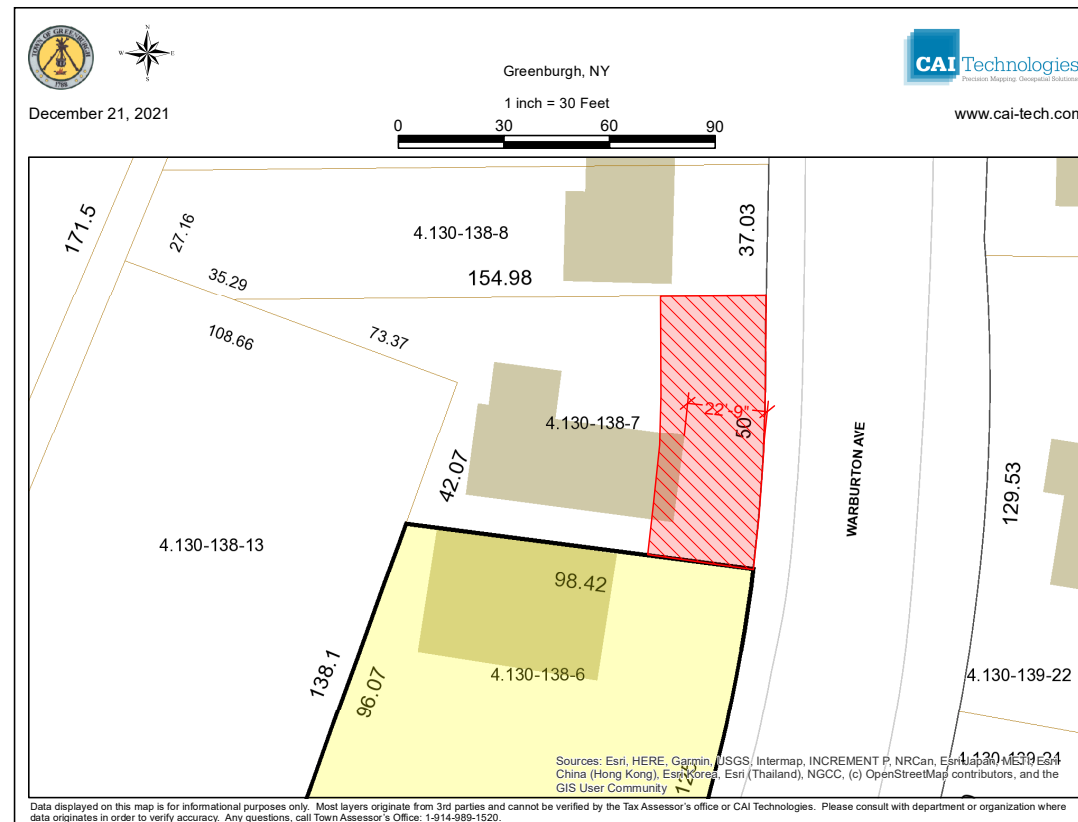
- 1. Property ID: 4.130-139-22
- 2. Lot Area: 15,246 sf
- 3. # of Stories: 2
- 4. Living Area: 2,722 nsf
- 5. Front Yard: 20'-7"
- 6. Encroachment: Yes
- 7. Side on Ave.: East



162 Warburton Avenue

- 1. Property ID: 4.130-139-24
- 2. Lot Area: 16,988 sf
- 3. # of Stories: 2
- 4. Living Area: 1,545 nsf
- 5. Front Yard: 41'-7"
- 6. Encroachment: No
- 7. Side on Ave.: East

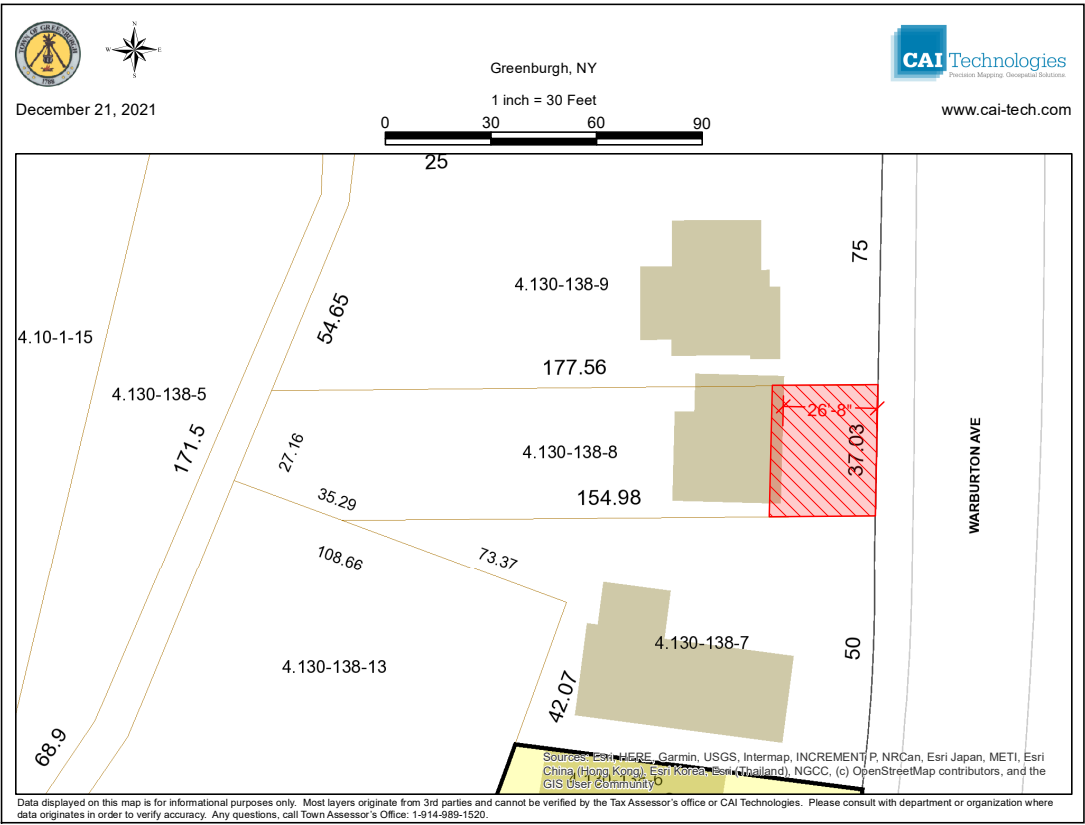




**169 Warburton Avenue**

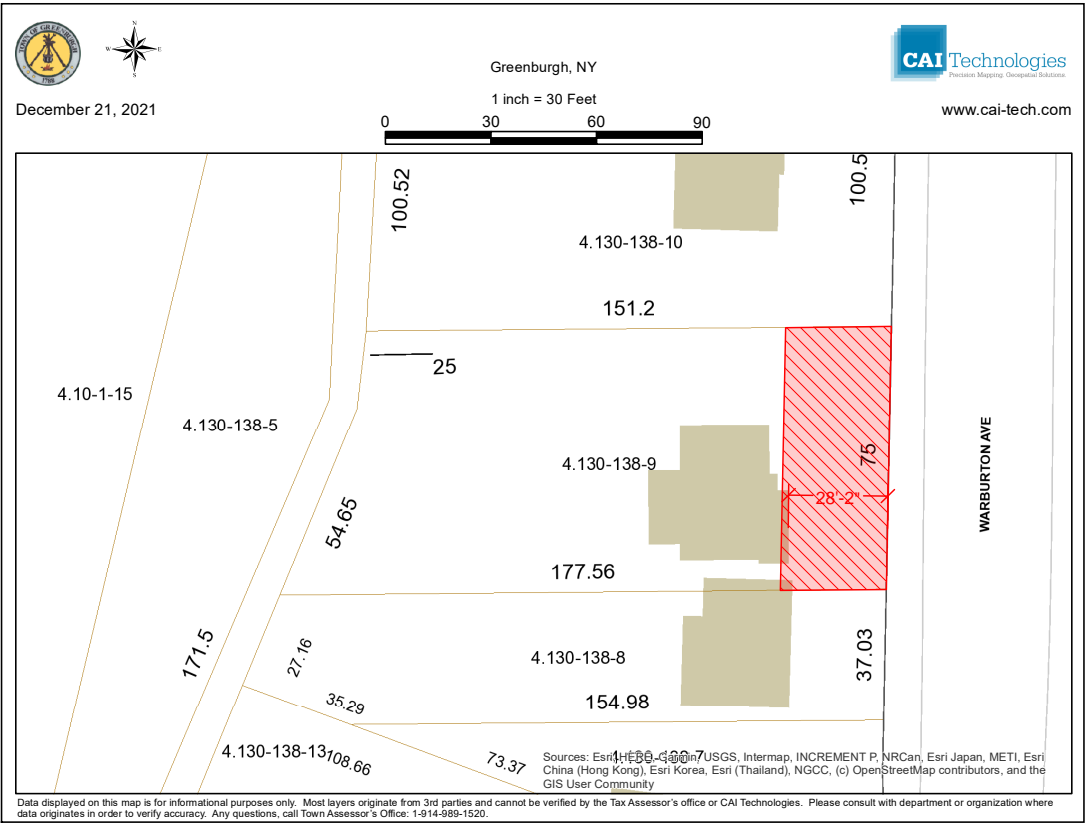
1. Property ID: 4.130-138-7
2. Lot Area: 6,970 sf
3. # of Stories: 2
4. Living Area: 2,382 nsf
5. Front Yard: 22'-9"
6. Encroachment: Yes
7. Side on Ave.: West





## 173 Warburton Avenue

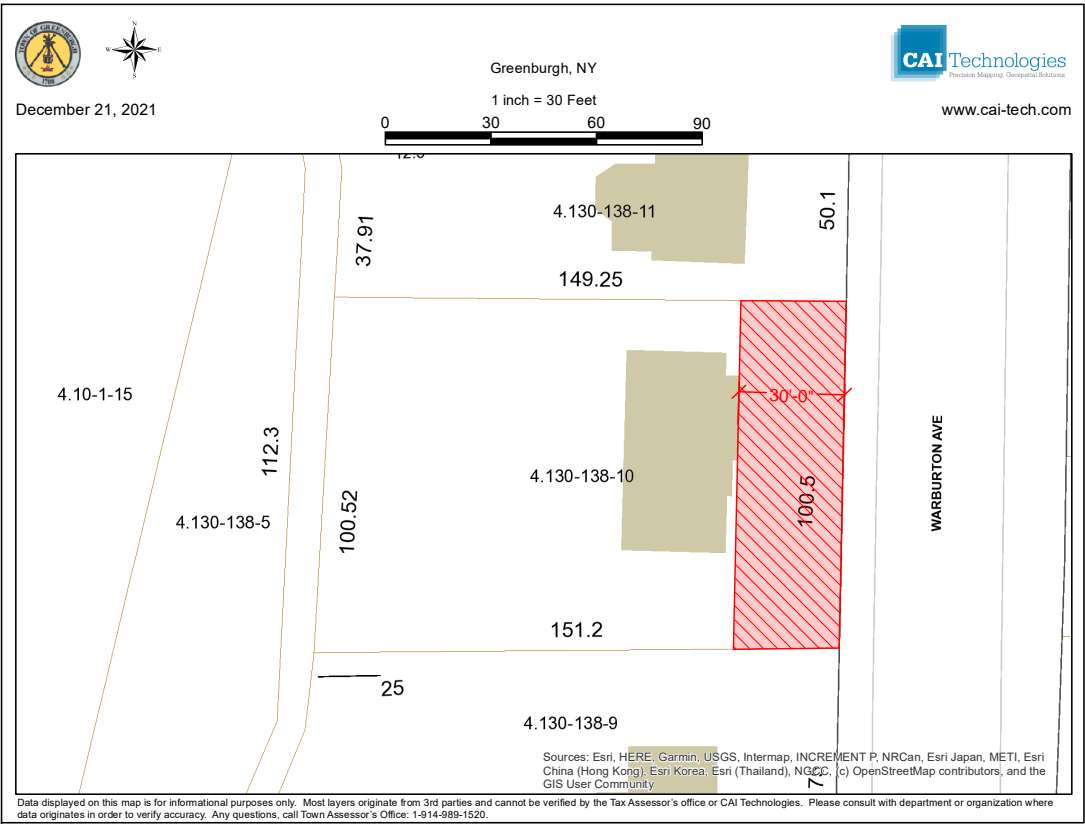
1. Property ID: 4.130-138-8
2. Lot Area: 4,792 sf
3. # of Stories: 2
4. Living Area: 1,524nsf
5. Front Yard: 26'-8"
6. Encroachment: Yes
7. Side on Ave.: West



## 175 Warburton Avenue

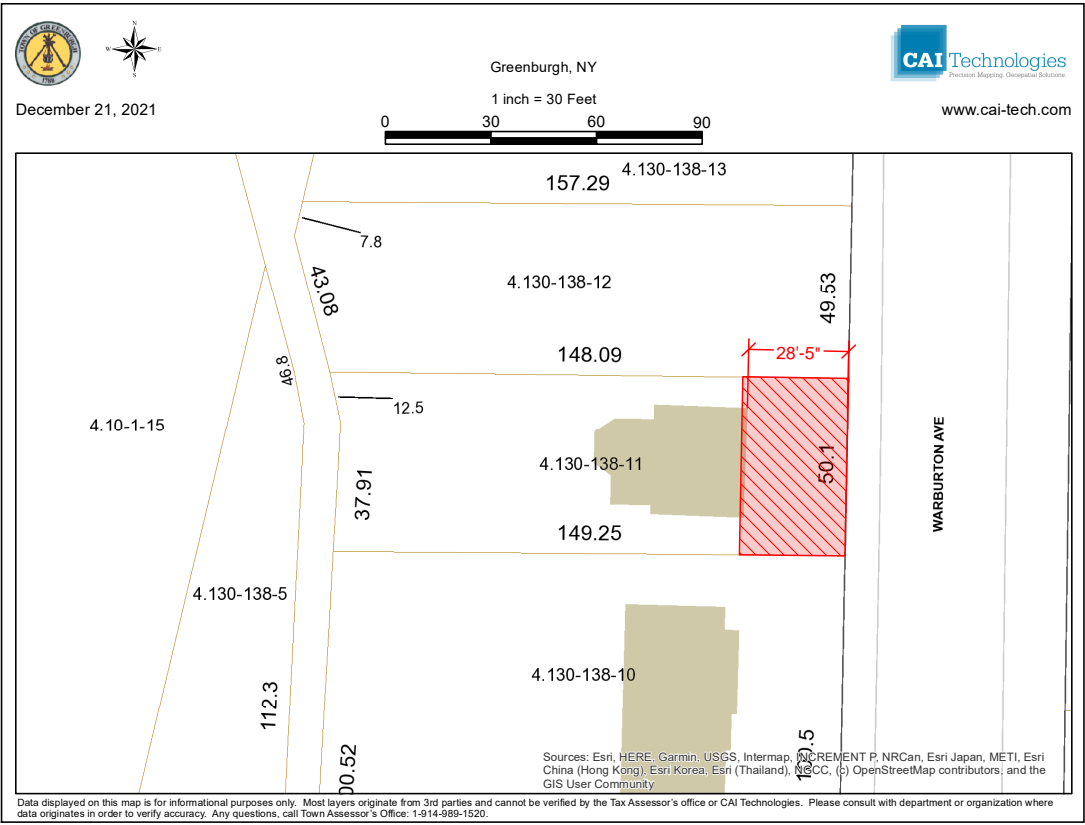
1. Property ID: 4.130-138-9
2. Lot Area: 12,632 sf
3. # of Stories: 1
4. Living Area: 848 nsf
5. Front Yard: 28'-2"
6. Encroachment: Yes
7. Side on Ave.: West





185 Warburton Avenue

- 1. Property ID: 4.130-138-10
- 2. Lot Area: 15,246 sf
- 3. # of Stories: 1
- 4. Living Area: 1,143 nsf
- 5. Front Yard: 30'-0"
- 6. Encroachment: No
- 7. Side on Ave.: West



189 Warburton Avenue

- 1. Property ID: 4.130-138-11
- 2. Lot Area: 7,405 sf
- 3. # of Stories: 1-3/4
- 4. Living Area: 1,492 nsf
- 5. Front Yard: 28'-5"
- 6. Encroachment: Yes
- 7. Side on Ave.: West

# Analysis

| Property Address  | Property ID  | Lot Area | # of stories | Living Area [NSF] | Front Yard | Encroachment | Avenue Side |
|---|--------------|----------|--------------|-------------------|------------|--------------|-------------|
| 26 Pinecrest Drive  | 4.100-97-1   | 64,469   | 2            | 4,320             | 56'-9"     | No           | East        |
| 204 Warburton Avenue  | 4.130-139-15 | 9,583    | 1            | 972               | 20'-7"     | Yes          | East        |
| 196 Warburton Avenue  | 4.130-139-18 | 10,890   | 2            | 2,457             | 25'-11"    | Yes          | East        |
| 192 Warburton Avenue  | 4.130-139-19 | 11,761   | 2            | 1,684             | 15'-9"     | Yes          | East        |
| 184 Warburton Avenue  | 4.130-139-20 | 6,098    | 1.75         | 2,016             | 20'-9"     | Yes          | East        |
| 176 Warburton Avenue  | 4.130-139-21 | 11,761   | 2            | 1,746             | 19'-10"    | Yes          | East        |
| 168 Warburton Avenue  | 4.130-139-22 | 15,246   | 2            | 2,722             | 20'-7"     | Yes          | East        |
| 162 Warburton Avenue  | 4.130-139-24 | 16,988   | 2            | 1,545             | 41'-7"     | No           | East        |
| 165 Warburton Avenue  | 4.130-138-6  | 12,197   | 1            | 1,756             | 38'-9"     | No           | West        |
| 169 Warburton Avenue  | 4.130-138-7  | 6,970    | 2            | 2,382             | 22'-9"     | Yes          | West        |
| 173 Warburton Avenue  | 4.130-138-8  | 4,792    | 2            | 1,524             | 26'-8"     | Yes          | West        |
| 175 Warburton Avenue  | 4.130-138-9  | 12,632   | 1            | 848               | 28'-2"     | Yes          | West        |
| 185 Warburton Avenue  | 4.130-138-10 | 15,246   | 1            | 1,143             | 30'-0"     | No           | West        |
| 189 Warburton Avenue  | 4.130-138-11 | 7,405    | 1.75         | 1,492             | 28'-5"     | Yes          | West        |
| Analysis  |              |          |              |                   |            |              |             |
| Properties  |              |          |              |                   |            | 14           | 100%        |
| Properties with front yard encroachment   |              |          |              |                   |            | 10           | 71%         |
| Properties with more than one story   |              |          |              |                   |            | 10           | 71%         |
| Properties with more than one story + front yard encroachment                       |              |          |              |                   |            | 8            | 57%         |
| Properties on west side of avenue   |              |          |              |                   |            | 8            | 57%         |
| Properties with more than one story + front yard encroachment + east side of avenue |              |          |              |                   |            | 5            | 63%         |