

January 30, 2023

Chairperson and Members of the Hastings-on-Hudson Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue, Hastings-on-Hudson, NY 10706

Re: Renovations and Extensions to the Brower Residence
26 Amherst Drive, Hastings-on-Hudson NY
SBL: 4.110-112-10
Building Permit Application #141

Dear Chairperson and Members of the Zoning Board:

As the architect representing Peter and Rebecca Brower, owners of 26 Amherst Drive, we are submitting the following documents for review by the Zoning Board of Appeals:

- A-0 Title Sheet
- S-1 Site Plan, Zoning Compliance, Coverage Calculations, Area Map
- S-2 Area Map, Photos of Neighboring Properties & Photos of Existing Conditions
- A-1 Entry Level Floor Plan
- A-2 Primary Bedroom Level Plan
- A-3 Roof Plan
- A-4 Exterior Elevations
- A-5 Exterior Elevations
- D-1 Demolition Plans
- Site Survey

We are requesting that the Zoning Board of Appeals grant the following variances from the Hastings Zoning Code:

1. Variance from Section 295-68F.1(a) – Front Yard Setback

We are requesting a variance for a 21.9 ft front yard setback on the northeast side of the property. This property is a corner lot so side setbacks are not in effect on this side of the house and the required front yard setback is 30 ft. The variance requested is for 8.1 ft which matches the front yard variance granted for this property on July 20th 1962, granted in order to build the existing garage.

We propose to extend the main level of the house over the existing garage and build an addition to complement this extension which will maintain the current front setback of 21.9 ft on the northeast side of the house.

2. Variance from Section 295-55.A&B - Extension of a Legally Non-Conforming Structure

We are requesting a variance for an extension to a legally non-conforming structure. The existing garage is 21.9 ft from the front property line instead of the required 30 ft setback. A variance was granted for this garage on July 20th 1962, per documentation provided to our firm.

We propose to improve the use of the space above the garage, which is currently a deck, by enclosing a portion of it. This proposed extension, along with a proposed addition will become a family room and a home office/guest room on the main level of the house. The proposed addition will enlarge the main level by 326 sf beyond the footprint of the existing garage, 55 sf of which requires a variance from front setback requirements yet maintains the existing front setback of 21.9 ft.

3. Variance from Section 295-68F.1(b) – Rear Yard Setback

We are requesting a variance for a 27.67 ft rear yard setback. The required rear yard setback is 30 ft. The variance requested is for 2.3 ft.

We propose an addition to the main level of the house to accommodate the need for a home office/guest room to improve the use of this small 2,318 sf house. The area of the addition that is beyond the rear setback line is limited with a footprint of 12 sf.

We appreciate your understanding of our request for these variances and look forward to presenting the drawings at the next Zoning Board of Appeals meeting. Thank you for your time and consideration to review our proposal.

Sincerely,



Christina Griffin AIA LEED AP CPHC
Principal
CGA Studio Architects



VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



1. File one (1) original completed Application and all related drawings and documents, for a Variance, Interpretation or View Preservation Approval, with original signatures and notarization, a flash drive and two (2) copies (residential) or seven (7) copies (commercial) (**See requirements in step #2**) with the Office of the Building Inspector, no less than four (4) weeks prior to scheduled ZBA meeting. (**All dimensions on application MUST be in decimal format**)
2. Application must be complete with all plans, diagrams, surveys, photographs, etc. as necessary to fully describe requested variance/s and compelling reasons for non-conformity with the zoning regulations.
3. Pay an application fee as per following fee schedule:

✓ Single family residence	\$ 250.00	\$ 500.00*
✓ Two family residence	\$ 300.00	\$ 600.00*
✓ Multiple family residence	\$ 350.00	\$ 700.00*
✓ Commercial, apartment & office buildings	\$ 500.00	\$ 1000.00*
✓ Industry, subdivision, land development, etc.	\$1000.00	\$2000.00*
✓ View Preservation Stand Alone	1-2 Family-\$250.00/\$500.00* Other-\$500.00/\$1000.00*	

***For Variances/ZBA action for illegal construction**

4. Upon receipt of the application and prescribed fee, Office of the Building Inspector will prepare a legal notice describing the variance and submit the notice to an official newspaper for publication.
5. Office of the Building Inspector will prepare a mailing list of all neighbors within a 300-foot radius (500-feet if deemed necessary by the Building Inspector) of the subject property and make it available to the applicant prior to the ZBA meeting
6. The applicant must pick up copies of the legal notice and mailing list in a timely manner so as to be able to do the following:
 - ✓ Either mail copies of the legal notice to neighbors on the mailing list by certified mail requested or any other method of delivery providing proof of delivery no later than 14 days prior to the ZBA meeting
 - ✓ Or hand deliver copies of the legal notice no later than 10 days prior to the ZBA meeting.
7. **No later that one (1) week prior to the ZBA meeting** submit the following to the Office of the Building Inspector:
 - ✓ Proof of mailing and supporting documentation or
 - ✓ The mailing list with dates and initials of recipients and a notarized affidavit stating:

I, _____ fill in your name _____, do hereby swear that all the legal notices were hand delivered to the people on this mailing list on _____ fill in the date _____ and that the signatures/initials of the recipients are authentic.
8. The applicant or his/her authorized representative must appear before the ZBA on the scheduled meeting date to present his/her case, enter into record any additional evidence, and answer any questions.

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Case number:..... Date of application:.....

Property owner: Peter and Rebecca Brower
 Property address: 26 Amherst Drive
 Name all streets on which the property is located: Amherst Drive
 Sheet: 4.110 Block: 112 Lot/Parcel: 10 Zoning District: R-10

Applicant: Peter and Rebecca Brower
 Standing of applicant if not owner:.....
 Address: 26 Amherst Drive, Hastings-on-Hudson, NY 10706
 Daytime phone number: 917-225-9594 Fax number:
 E-mail address: petebrower@yahoo.com

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 F.1a	Front Yard Min. 30 FT deep	21.9 FT to Garage (Variance dated 7/20/1962)	21.9 FT to Addition
295-55 A+B	Prohibition on extension of non-conformity	21.9 FT Lawfully non-conforming Front yard setback	21.9 FT Front yard setback to Addition
295-68 F.1b	Rear Yard Min. 30 FT deep	41.1 FT to Garage	27.67 FT to Addition

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30 FT	21.9 FT (Variance dated 7/2/1962)	21.9 FT Non-Conforming
REAR	30 FT	41.1 FT	27.67 FT Non-Conforming
SIDE ONE	12 FT	8.1 FT (Existing Non-Conforming)	8.1 FT (Existing Non-Conforming)
SIDE TWO	12 FT	N/A Single Side Yard - Corner Lot	N/A Single Side Yard - Corner Lot
TOTAL OF TWO SIDES	30 FT	N/A Single Side Yard - Corner Lot	N/A Single Side Yard - Corner Lot

YARD SETBACKS
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	8 FT	N/A	N/A
REAR	8 FT	N/A	N/A
SIDE	8 FT	N/A	N/A

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2-1/2	2 (Split Level)	2 (Split Level)
FEET	35 FT	28 FT	28 FT

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 SF	10,265 SF	10,265 SF
*BLDG. COVERAGE/ % OF LOT AREA	2,566 SF / 25%	1,373 SF / 13%	1,700 SF / 17%
*DEVELOPMENT COVERAGE / % OF LOT AREA	3,593 SF / 35%	2,358 SF / 23%	2,682 SF / 26%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single-Family	Single-Family	Single-Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
7/2/1962	Garage Addition Non-conforming Front Yard Setback	Variance Granted	7/20/1962

- List pending violations on this property if any:

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

R. Krone
Applicant

Sworn to before me this 26th day
of January, 2023

Mary Ellen Ballantine
Notary Public

MARY ELLEN BALLANTINE
Notary Public, State of New York
Reg #01BA6278291
Qualified in Westchester County
Commission Expires 3/25/2025

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Name : Peter and Rebecca Brower, being duly sworn, deposes and says that he/she resides at 26 Amherst Drive in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.110 Block 112 and Lot 10 of the tax map, and that he/she hereby authorized Christina Griffin Architect to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

P. Brower
Owner

SWORN TO BEFORE ME THIS 26th DAY
OF January 2023

Mary Ellen Ballantine
Notary Public

MARY ELLEN BALLANTINE
Notary Public, State of New York
Reg #01BA6278291
Qualified in Westchester County
Commission Expires 3/25/2025

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

§ 295-146. Variances.

- A. The Board of Appeals, on appeal from the decision or determination of the administrative officer charged with enforcement of this chapter, shall have the power to grant use variances and area variances, as defined herein.
- B. Use variances.
 - 1) "Use variance" shall mean the authorization by the Board of Appeals for the use of land for a purpose that is otherwise not allowed or is prohibited by the applicable zoning regulations.
 - 2) No use variance shall be granted by the Board of Appeals without a showing by the applicant that applicable zoning regulations and restrictions have caused unnecessary hardship. In order to prove such unnecessary hardship, the applicant shall demonstrate to the Board of Appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:
 - a. The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence;
 - b. The alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood;
 - c. The requested use variance, if granted, will not alter the essential character of the neighborhood; and
 - d. The alleged hardship has not been self-created.
 - 3) The Board of Appeals, in the granting of a use variance, shall grant the minimum variance that it shall deem necessary and adequate to address the unnecessary hardship proved by the applicant, and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- C. Area variances.
 - 1) "Area variance" shall mean the authorization by the Board of Appeals for the use of land in a manner that is not allowed by the dimensional or physical requirements of the applicable zoning regulations.
 - 2) In determining whether to grant an area variance, the Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board of Appeals shall also consider:
 - a. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.
 - b. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.
 - c. Whether the requested area variance is substantial.
 - d. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
 - e. Whether the alleged difficulty was self-created, which consideration shall be relevant to the Board of Appeals but shall not necessarily preclude the granting of the area variance.
 - 3) The Board of Appeals, in the granting of an area variance, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- D. Imposition of conditions. The Board of Appeals shall, in the granting of both use variances and area variances, have the authority to impose such reasonable conditions and restrictions as are directly related to and incidental to the proposed use of the property. Such conditions shall be consistent with the spirit and intent of this chapter, and shall be imposed for the purpose of minimizing any adverse impact such variance may have on the neighborhood or community.

CODE OF THE VILLAGE OF HASTINGS ON HUDSON

§ 295-82. View Preservation (VP) Districts

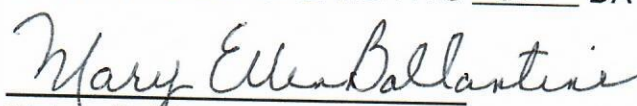
- A. Principal and accessory uses. Subject to the provisions of Subsection [C](#) below, the permitted principal and accessory uses for any lot or parcel in a VP District shall be the same as otherwise permitted in the district in which the lot or parcel is located.
- C. Approval by Planning Board and Board of Appeals.
 - (1) No building or structure shall be erected, altered, enlarged or moved in the district unless approved in accordance with the provisions of this section.
 - (2) Every application to permit the erection or exterior alteration of a building or structure in a VP District shall be referred by the Building Inspector to the Planning Board for its report and recommendations as to the best siting, dimensions and configuration of principal and accessory structures so as to cause the least possible obstruction of the view of the Hudson River and the Palisades for neighboring properties and adjacent public property and rights-of-way. The Planning Board shall issue its report and recommendations within 60 days after receipt of the application.
 - (3) After approval by the Planning Board, the plan for erection or exterior alteration of the building or structure shall be referred to the Board of Appeals, which shall conduct a public hearing on the plan. The Board of Appeals shall hold the hearing and render its decision within 60 days after the referral by the Planning Board.
 - (4) Joint notice of both the Planning Board meeting at which the application is to be considered and the Board of Appeals public hearing on the application shall be given at least 14 days before the Planning Board meeting. Notice shall be given as required in **§ 295-143C**. In addition, notice shall be given to the Architectural Review Board and shall be published in a newspaper of general circulation in the Village not less than 10 days before both the Planning Board meeting and the Board of Appeals hearing.

Application No. 141
Job Location 26 Amherst Dr Hastings-on-Hudson NY 10706
Property owner Peter and Rebecca Brower

RE: SURVEY OF 26 AMHERST DRIVE, HASTINGS-ON-HUDSON NY 10706
SECTION 4.110 BLOCK 112 LOT 10
BY ALL COUNTY LAND SURVEYOR PC
DATE SURVEYED: MAY 19, 2022

THE SURVEY WHICH IS BEING SUBMITTED IS "AS THE PROPERTY CURRENTLY EXISTS."


Owner's Signature

SWORN TO BEFORE ME THIS 26th DAY OF January 20 23

Notary Public

MARY ELLEN BALLANTINE
Notary Public, State of New York
Reg #01BA6278291
Qualified in Westchester County
Commission Expires 3/25/2025

RENOVATIONS & EXTENSIONS TO THE

BROWER RESIDENCE

26 AMHERST DRIVE, HASTINGS.ON.HUDSON, NY 10706

CGA STUDIO ARCHITECTS

12 SPRING STREET, HASTINGS.ON.HUDSON, NY 10706



BUILDING PERMIT & ZBA SUBMISSION 1-30-23

GENERAL NOTES

1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.

2. All construction shall comply fully with the 2020 Residential code of NYS, NY Stretch Energy Code and Hastings-on-Hudson Green Building Code, local building code, fire department regulations, and all other agencies having jurisdiction over project.

3. Approved stamped set of building plans must be present on site for all inspections.

4. A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.

5. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.

6. Licensed electrician to file separate electrical permit.

7. Licensed plumber to file separate plumbing permit.

8. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.

9. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.

10. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.

11. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for Owner's use.

12. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of the indicated material.

13. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.

14. All construction sites shall conform to the 2020 New York State Property Maintenance Code. All rubbish
- garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.

15. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.

16. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.

17. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.

18. Drawings may be rough scaled for estimating & general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.

19. All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.

20. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.

21. The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.

22. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.

23. The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere

- with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.

24. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.

25. The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.

26. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.

27. Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.

28. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.

29. New & existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling & priming.

30. All insulation to comply with the Energy Efficiency Certificate required by 401.3 2020 Energy Conservation Construction Code of New York, prepared by Architect and to comply with NY Stretch Energy Code and Hastings-on-Hudson Green Building Code.

31. If blown or sprayed insulation used, Installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N1101.5 of the 2020 Residential Code of New York State and submit an original signed copy for the Building Departments records.

32. All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
33. Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and / or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.

34. All work shall be installed so all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.

35. Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.

a) Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.

b) Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.

c) Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.

d) Final cleaning of all chrome and aluminum metal work.

e) Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.

36. Finish materials and paint colors shall be reviewed and approved by the homeowner.

37. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.

- Glazing
Floor
Slab

0.27 U value
R-30
R-10, 4 ft depth

0.27 U value
R-30
R-10, 4 ft depth
- *At rooms with ceilings, R-38 insulation extends over wall plate at eaves to comply with R402.2.1, at cathedral ceilings, R-38 insulation will be installed at roof rafters to comply with R402.2.2 Amended by Stretch Code.

Design Criteria:
5750 Degree Days
15% Maximum Glazing
R402.2.1 CEILINGS WITH ATTIC SPACES
Where Section R402.1.2 requires R-49 insulation in the ceiling, installing R-38 over 100% of the ceiling area requiring insulation shall satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.

R402.2.2 CEILINGS WITHOUT ATTIC SPACES
AMENDED BY STRETCH CODE R402.2.2
Where Section R402.1.2 requires insulation greater than R-38 in the ceiling, and the roof / ceiling assembly does not allow sufficient space, the min. R-value shall be R-38. Insulation over and to the outer edge of the top plate shall not be compressed. This reduction of insulation shall be limited to 500 square feet, or 20% of the total insulated ceiling area, whichever is less.

Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2020 Residential code of NYS.
- HBGC

HASTINGS GREEN BUILDING CODE COMPLIANCE NOTES

1. NEW PLUMBING FIXTURES TO COMPLY WITH HGBC 160.10A, B & C.

2. PAINTS, STAINS AND OTHER FINISHING MATERIALS TO COMPLY WITH HGBC 160.11.A.1.2.3.4, & 5

3. CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH HGBC 160-11.C

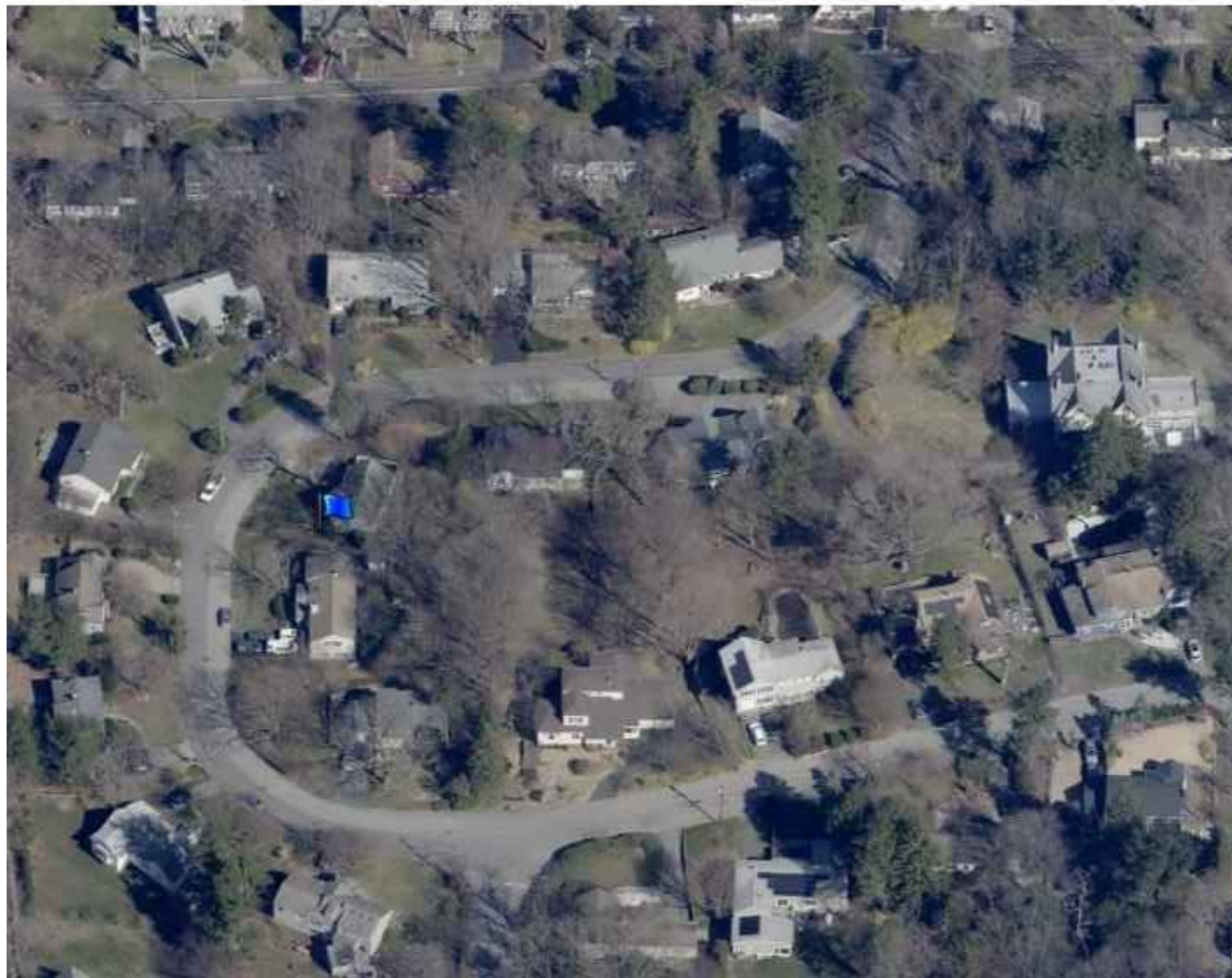
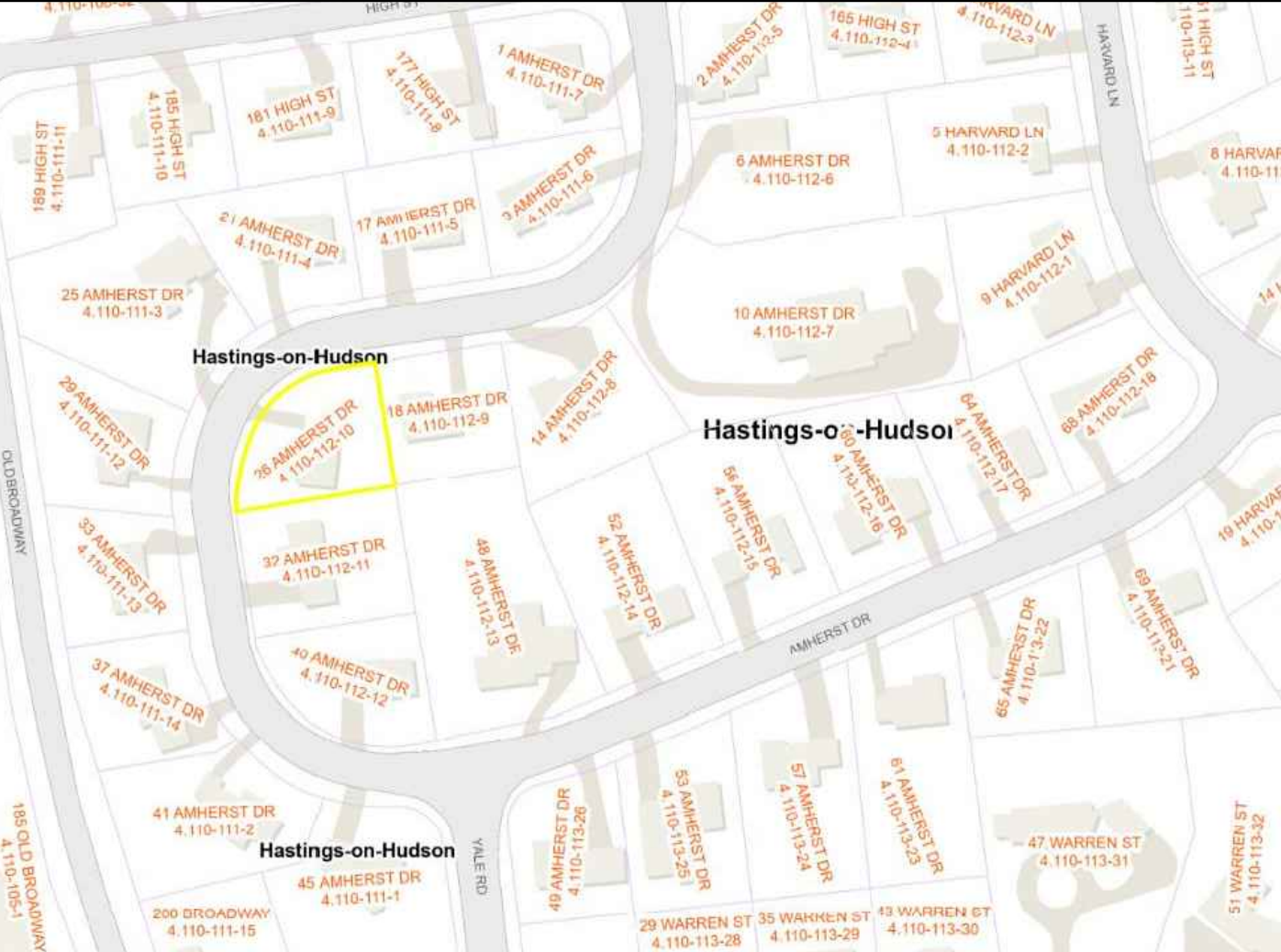
4. EXTERIOR LIGHTING CONTROLS TO COMPLY WITH HGBC 160-9.A.1

5. NEW AIR CONDITIONING SYSTEM TO COMPLY WITH HGBC 160-9.A.3

6. ALL NEW FIXTURES APPLIANCES TO COMPLY WITH HGBC 160-9.A.4

7. NEW ELECTRONIC THERMOSTATS FOR HEATING & AIR CONDITIONING ZONES WILL BE PROVIDED, TO COMPLY WITH HGBC 160-9.B.
- INSULATION & FENESTRATION
- REQUIRED BY COMPONENT TABLE R402.1.2 2020 NY ECC AMENDED BY NY STRETCH ENERGY CODE ^a
- | CLIMATE ZONE | FENESTRATION U-FACTOR ^h | SKYLIGHT ^h U-FACTOR | GLAZED FENESTRATION SHGC ^h | CEILING R-VALUE | WOOD FRAME WALL ^{b,c} R-VALUE |
|--|------------------------------------|--------------------------------|---------------------------------------|---|---|
| 4A | 0.27 | 0.50 | 0.40 | 49
<small>see R402.2.1/402.2.2</small> | 2 ^{f,g,h} or 20+5 ^{cont.} or 13+10 ^{cont.} |
| | MASS WALL ^d R-VALUE | FLOOR R-VALUE | BASEMENT WALL ^e R-VALUE | SLAB ^f R-VALUE & DEPTH | CRAWL SPACE WALL ^g R-VALUE |
| | 15/20 | 30 ^g | 15/19 | 10, 4FT (d) | 15/19 |
| <div><div>a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHERE INSULATION IS INSTALLED IN A CAVITY THAT IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL BE NOT LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.</div><div>b. INT. (INTERMEDIATE FRAMINGS) DENOTES STANDARD FRAMING 16 INCHES ON CENTER. HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.</div><div>c. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION. THEREFORE, AS AN EXAMPLE, "13+10" MEANS R-13 CAVITY INSULATION PLUS R-10 CONTINUOUS INSULATION.</div><div>d. MASS WALLS SHALL BE IN ACCORDANCE WITH SECTION R402.2.5. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.</div><div>e. 15/19 MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.</div><div>f. R-10 CONTINUOUS INSULATION SHALL BE PROVIDED UNDER THE FULL SLAB AREA OF A HEATED SLAB IN ADDITION TO THE REQUIRED SLAB EDGE INSULATION R-VALUE FOR SLABS AS INDICATED IN THE TABLE. THE SLAB EDGE INSULATION FOR HEATED SLABS SHALL NOT BE REQUIRED TO EXTEND BELOW THE SLAB.</div><div>g. ALTERNATIVELY, INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY AND PROVIDING NOT LESS THAN AN R-VALUE OF R-19.</div><div>h. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.</div></div> | | | | | |
- DESIGN REQUIREMENTS
- FOR 2020 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA
- | GROUND SNOW LOAD | WIND DESIGN | | | | | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM | | | | ICE SHEILD UNDERLAY REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX | MEAN ANNUAL TEMP |
|------------------|-------------|--------------|---------------------|------------------------|--|-------------------------|------------------------|------------------|-------------------|--|------------------------------|---------------|--------------------|------------------|
| | SPEED (MPH) | TOPO EFFECTS | SPECIAL WIND REGION | WIND BORNE DEBRIS ZONE | | | WEATHERING | FROST LINE DEPTH | TERMITES | | | | | |
| 30 PSF | 115-125 MPH | NO | YES | NO | | B | SEVERE | 42" | MODERATE TO HEAVY | | YES | N/A | 2000 | 51.8 |
- DATES
- BUILDING PERMIT & ZBA SUBMISSION 1-30-23
- LIST of DRAWINGS
- | | |
|-------|---|
| TITLE | GENERAL NOTES, LIST OF DRAWINGS, CLIMATIC DATA, HASTINGS GREEN CODE |
| S-1 | SITE PLAN, ZONING COMPLIANCE, AREA MAP |
| S-2 | PHOTOS OF NEIGHBORING PROPERTIES & PHOTOS OF EXISTING CONDITIONS |
| A-1 | ENTRY LEVEL FLOOR PLAN |
| A-2 | PRIMARY BEDROOM LEVEL FLOOR PLAN |
| A-3 | ROOF PLAN |
| A-4 | SOUTH & WEST ELEVATIONS |
| A-5 | NORTH & EAST ELEVATIONS |
| D-1 | DEMOLITION PLANS |
| | SITE SURVEY |

LOCATION MAP



SOURCE: WESTCHESTER GIS

ZONING CALCULATIONS

BROWER - 26 AMHERST DRIVE, HASTINGS ON HUDSON NY 10706 - ZONING DATA			
ZONING DISTRICT: R-10			
TAX DESIGNATION: SHEET: 4.110, BLOCK: 112, LOT: 10			
	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000 SF	10,265 SF	10,265 SF
WIDTH AT FRONT OF LOT	100 FT	157.08 FT	157.08 FT
BUILDING COVERAGE	25% MAX 2,566 SF	13 % 1,373 SF	17 % 1,700 SF
DEVELOPMENT COVERAGE	35% MAX 3,593 SF	23 % 2,358 SF	26 % 2,682 SF
MAXIMUM FAR	0.323 MAX 3,315 SF	0.23 2,318 SF	0.32 3,244 SF
FRONT YARD SETBACK	30 FT	21.9 FT TO GARAGE EXISTING NON-CONFORMANCE PER VARIANCE	21.9 FT TO ADDITION *
REAR YARD SETBACK	30 FT	41.1 FT	27.67 FT *
SIDE YARD 1	12 FT	8.1 FT **	8.1 FT **
SIDE YARD 2	12 FT	NOT APPLICABLE. SINGLE SIDE YARD	NOT APPLICABLE. SINGLE SIDE YARD
MIN. 2 COMBINED SIDE YARDS	30 FT	NOT APPLICABLE. SINGLE SIDE YARD	NOT APPLICABLE. SINGLE SIDE YARD
MAXIMUM BUILDING HEIGHT	2 1/2 STORIES / 35 FT	2 STORIES / 28 FT MAX	2 STORIES / 28 FT MAX
* NEW NON-CONFORMING CONDITION - VARIANCE REQUIRED			
** EXISTING NON-CONFORMING CONDITION TO REMAIN. NO MODIFICATION PROPOSED.			
BASED ON 5.19.22 SURVEY BY ALL COUNTY LAND SURVEYOR PC			

COVERAGE & FAR CALCULATIONS

EXISTING COVERAGE	SF
EXISTING HOUSE INCL. BOX BAYS	1,016
EXISTING GARAGE	357
EXISTING BUILDING COVERAGE	1,373
	13%

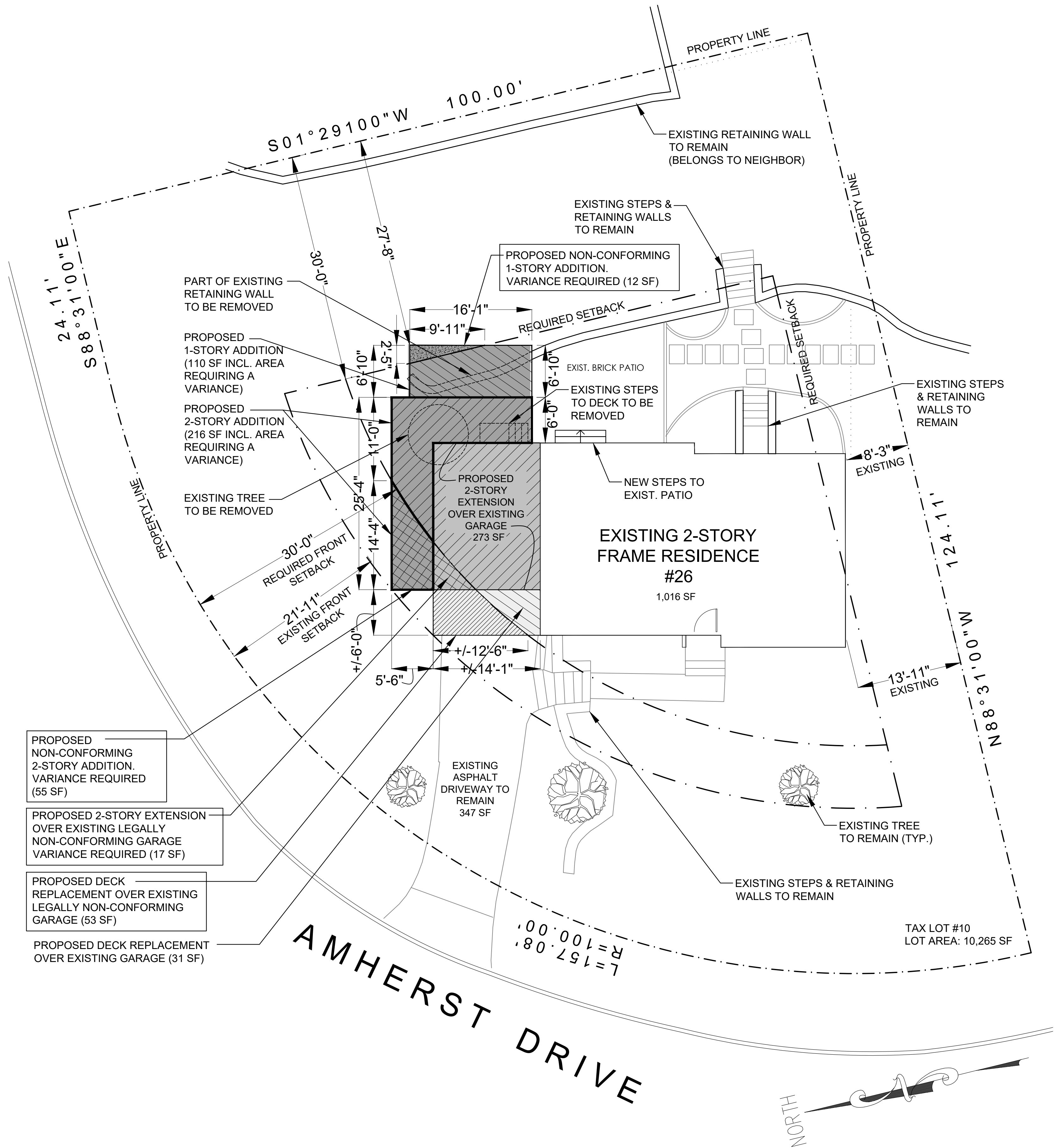
DECK STEPS	16
BRICK PATIO	243
WALKS/STEPS/RETAINING WALLS	379
DRIVEWAY	347
EXISTING DEVELOPMENT COVERAGE	2,358
	23%

EXISTING FAR	SF
GARAGE, BASEMENT & LOWER LEVEL	1,093
MAIN & MIDDLE LEVEL	1,016
UPPER LEVEL	209
TOTAL EXISTING FLOOR AREA	2,318
	0.23

PROPOSED COVERAGE	SF
EXISTING HOUSE INCL. BOX BAYS	1,016
EXIST. GARAGE W/ NEW EXTENSION ABOVE	357
NEW ADDITION	327
PROPOSED BUILDING COVERAGE	1,700
	17%

DECK STEPS	16
BRICK PATIO	240
WALKS/STEPS/RETAINING WALLS	379
DRIVEWAY	347
PROPOSED DEVELOPMENT COVERAGE	2,682
	26%

PROPOSED FAR	SF
GARAGE, BASEMENT & LOWER LEVEL	1,093
EXISTING MAIN & MIDDLE LEVEL	1,016
MAIN LEVEL ADDITION	599
EXISTING UPPER LEVEL	209
UPPER LEVEL ADDITION	327
TOTAL PROPOSED FLOOR AREA	3,244
	0.32



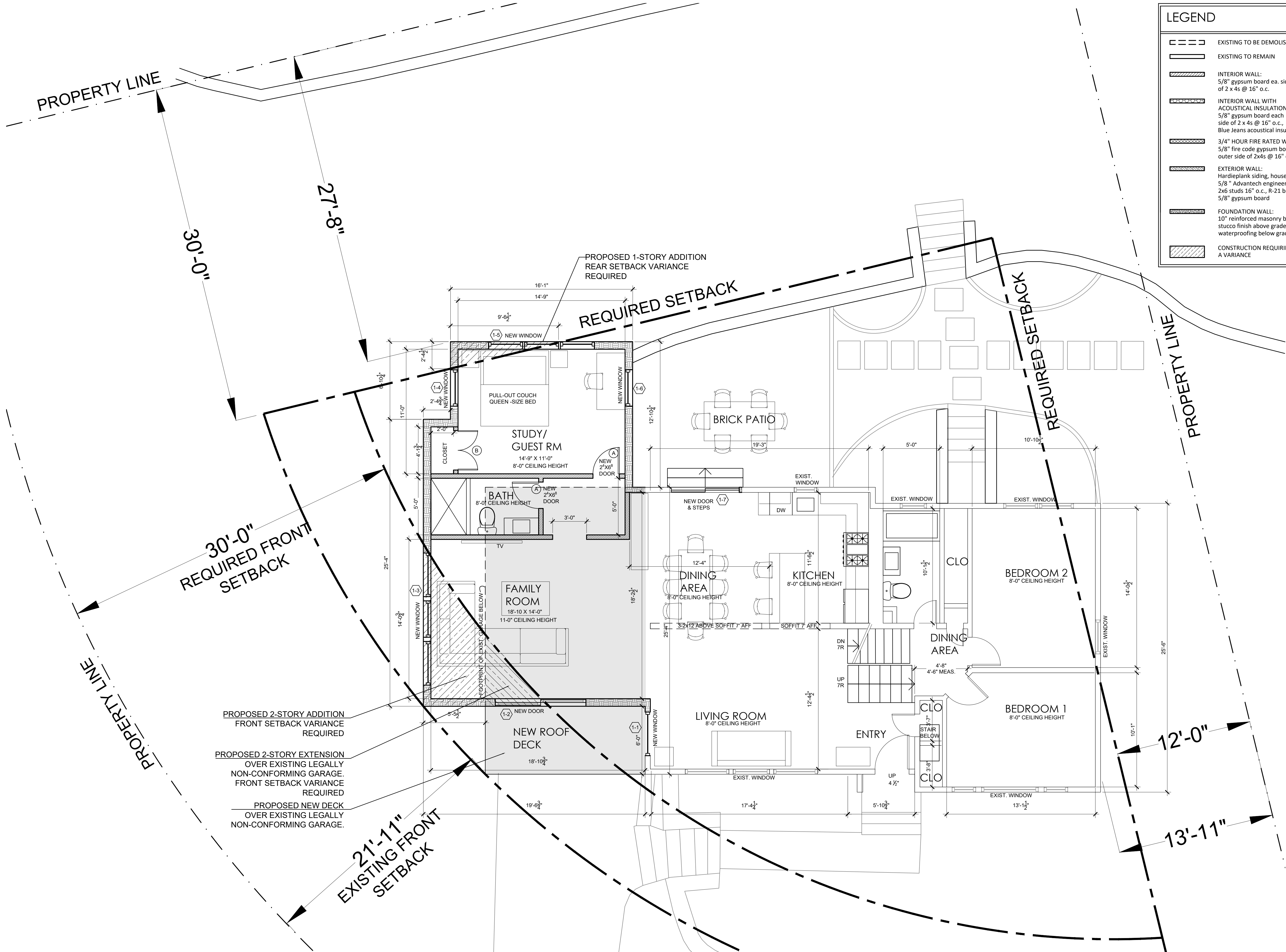
PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



SITE PLAN LEGEND

	PROPOSED CONTINUATION OF NON-CONFORMITY REQUIRES A VARIANCE
	PROPOSED DECK REPLACEMENT ON EXISTING NON-CONFORMING STRUCTURE
	PROPOSED NEW NON-CONFORMITY REQUIRES A VARIANCE
	PROPOSED CONFORMING CONSTRUCTION



LEGEND

EXISTING TO BE DEMOLISHED

EXISTING TO REMAIN

INTERIOR WALL:
5/8" gypsum board ea. side
of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2 x 4s @ 16" o.c.,
Blue Jeans acoustical insul.

3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2x4s @ 16" o.c.

EXTERIOR WALL:
Hardieplank siding, house wrap,
5/8" Advantech engineered panel,
2x6 studs 16" o.c., R-21 batt insulation
5/8" gypsum board

FOUNDATION WALL:
10" reinforced masonry block wall,
stucco finish above grade, troweled on
waterproofing below grade

CONSTRUCTION REQUIRING
A VARIANCE

ELEVATION
NO.

ELEVATION
SHEET NO.

ELEVATION
NO.

SECTION DETAIL
SHEET NO.

DOOR TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE

WINDOW TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE

CGA
studio
ARCHITECTS

12 SPRING STREET
HASTINGS.on.HUDSON
N . Y . 1 0 7 0 6
9 1 4 . 4 7 8 . 0 7 9 9
cg@cgastudio.com
christinagriffinarchitect.com

RENOVATIONS & EXTENSIONS TO THE
BROWER RESIDENCE
26 AMHERST DRIVE, HASTINGS.ON.HUDSON, NY 10706

Project Submitted
BP & ZBA SUBMISSION 1-30-23

ScaleAs Shown

Drawing Title

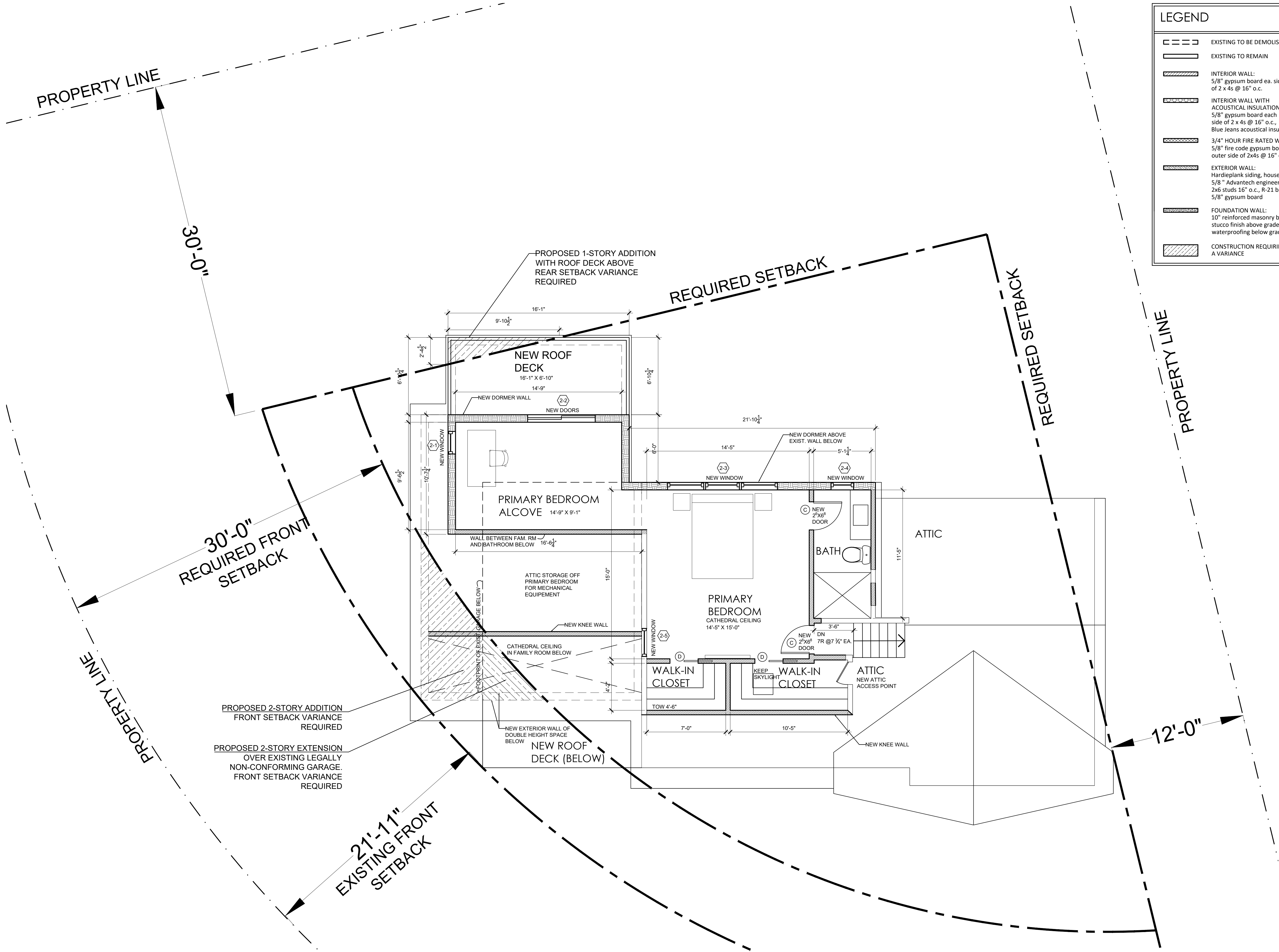
PROPOSED FLOOR PLAN

A-1

Sheet Number

MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0" MID LEVEL SHOWN.
NO WORK ON MID. LEVEL



LEGEND

EXISTING TO BE DEMOLISHED

EXISTING TO REMAIN

INTERIOR WALL:
5/8" gypsum board ea. side
of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2 x 4s @ 16" o.c.,
Blue Jeans acoustical insul.

3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2x4s @ 16" o.c.

EXTERIOR WALL:
Hardieplank siding, house wrap,
5/8" Advantech engineered panel,
2x6 studs 16" o.c., R-21 batt insulation
5/8" gypsum board

FOUNDATION WALL:
10" reinforced masonry block wall,
stucco finish above grade, troweled on
waterproofing below grade

CONSTRUCTION REQUIRING
A VARIANCE

ELEVATION
NO.

ELEVATION
SHEET NO.

ELEVATION
NO.

SECTION DETAIL
SHEET NO.

DOOR TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE

WINDOW TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE

UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

CGA
studio
ARCHITECTS

12 SPRING STREET
HASTINGS.ON.HUDSON
N . Y . 1 0 7 0 6
9 1 4 . 4 7 8 . 0 7 9 9
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RENOVATIONS & EXTENSIONS TO THE
BROWER RESIDENCE
26 AMHERST DRIVE, HASTINGS.ON.HUDSON, NY 10706

Project Submitted

BP & ZBA SUBMISSION 1-30-23

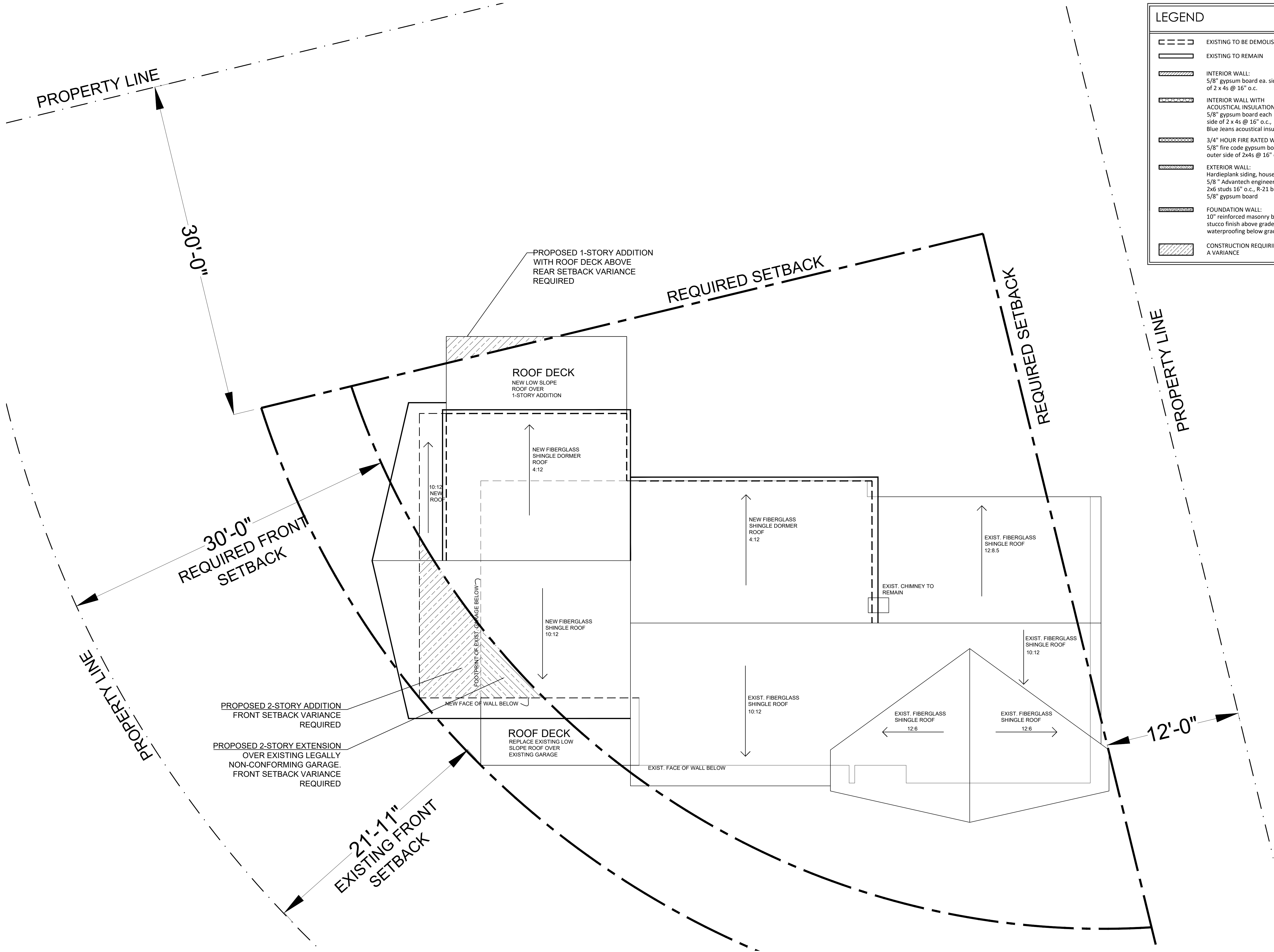
Scale As Shown

Drawing Title

PROPOSED FLOOR PLAN

A-2

Sheet Number



LEGEND

EXISTING TO BE DEMOLISHED

EXISTING TO REMAIN

INTERIOR WALL:
5/8" gypsum board ea. side
of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2 x 4s @ 16" o.c.,
Blue Jeans acoustical insul.

3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2x4s @ 16" o.c.

EXTERIOR WALL:
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2x6 studs 16" o.c., R-21 batt insulation
5/8" gypsum board

FOUNDATION WALL:
10" reinforced masonry block wall,
stucco finish above grade, troweled on
waterproofing below grade

CONSTRUCTION REQUIRING
A VARIANCE

ELEVATION
NO.
ELEVATION
SHEET NO.

ELEVATION
NO.
SECTION DETAIL
SHEET NO.

DOOR TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE

WINDOW TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE

CGA
studio
ARCHITECTS

12 SPRING STREET
HASTINGS.on.HUDSON
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Project Submitted
BP & ZBA SUBMISSION 1-30-23

ScaleAs Shown

Drawing Title

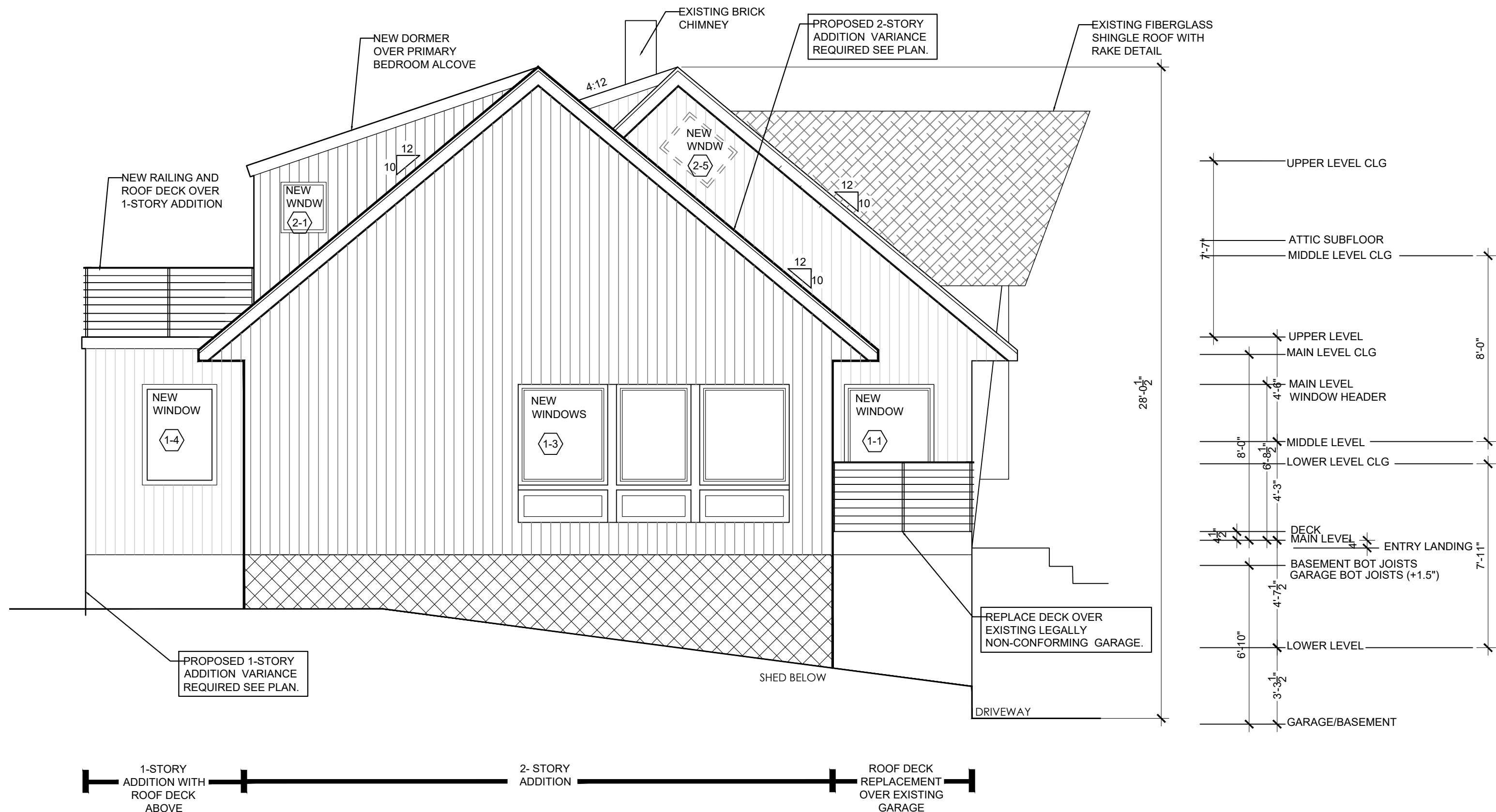
PROPOSED ROOF PLAN

A-3

Sheet Number

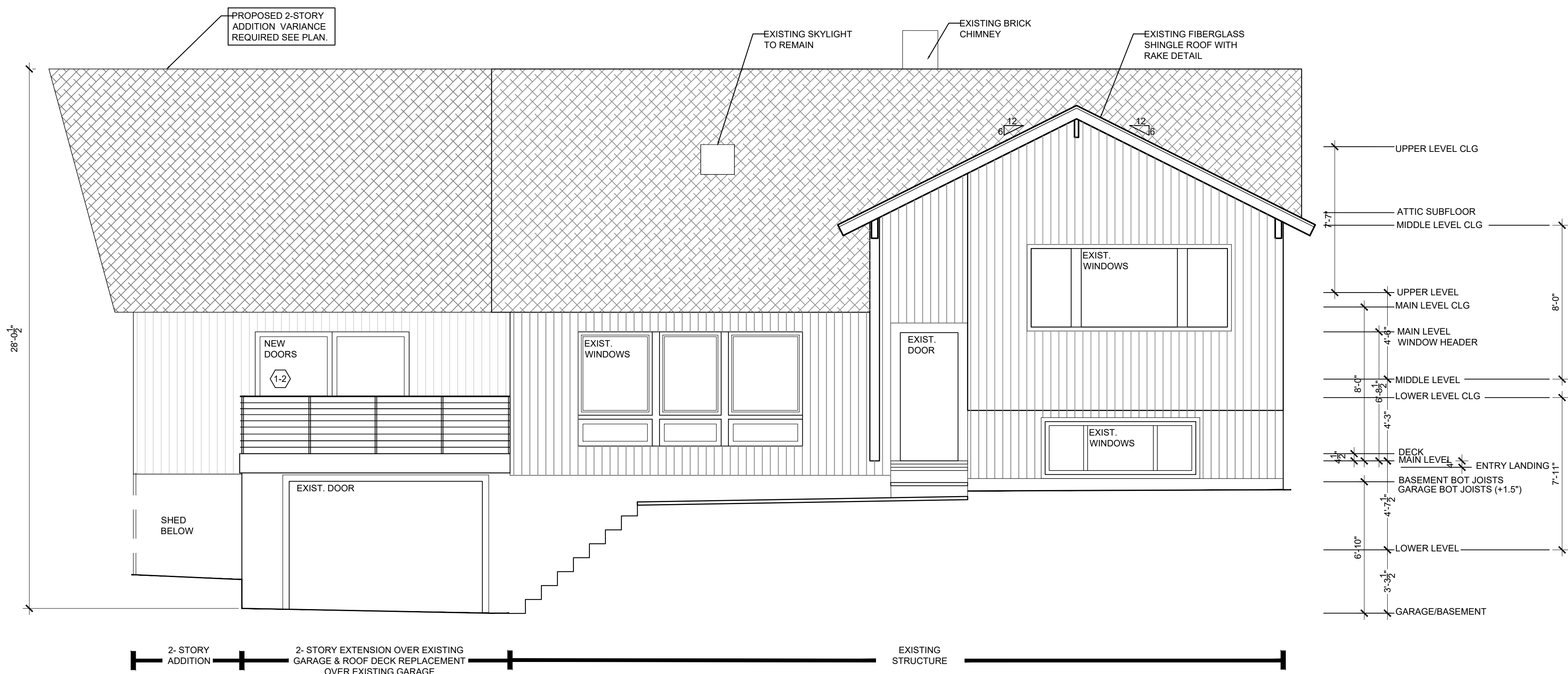
ROOF PLAN

SCALE: 1/4" = 1'-0"



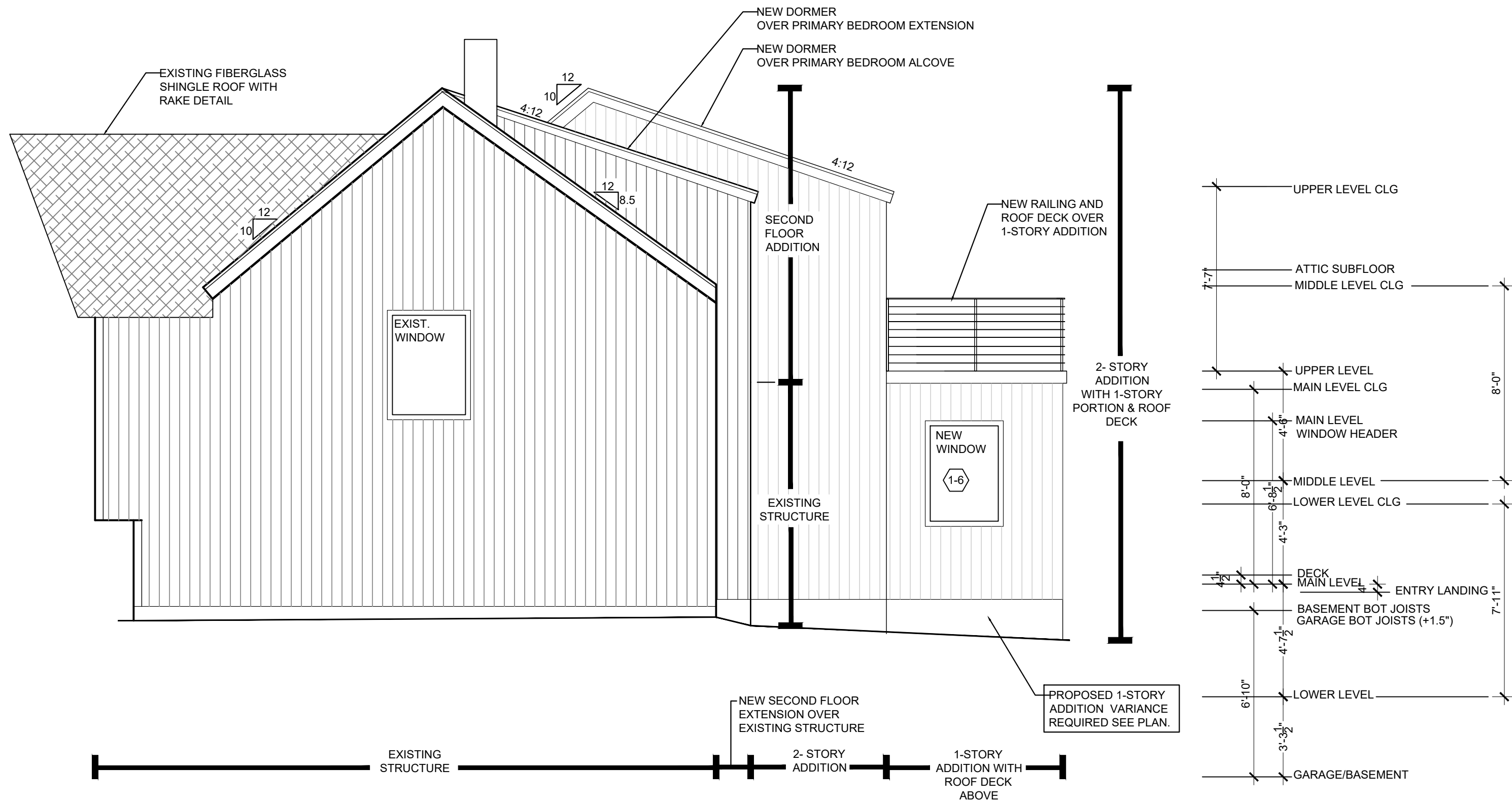
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



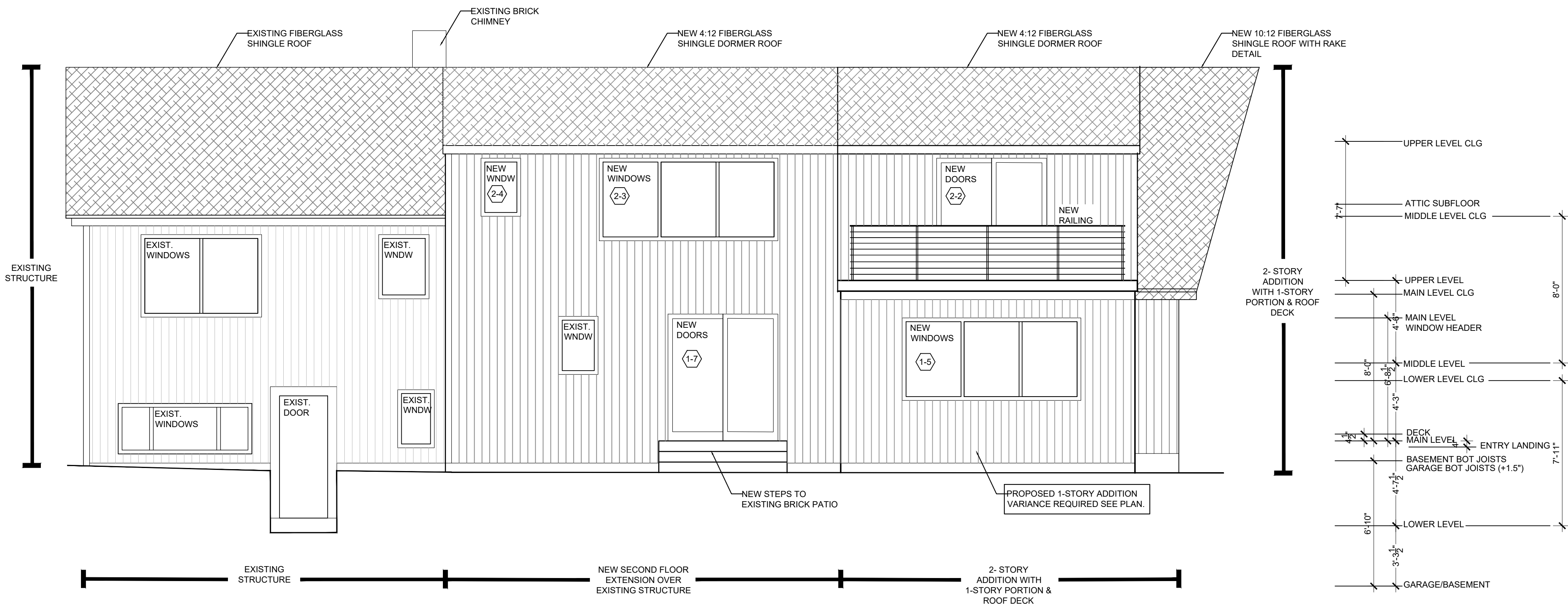
WEST ELEVATION

SCALE: 1/4" = 1'-0"



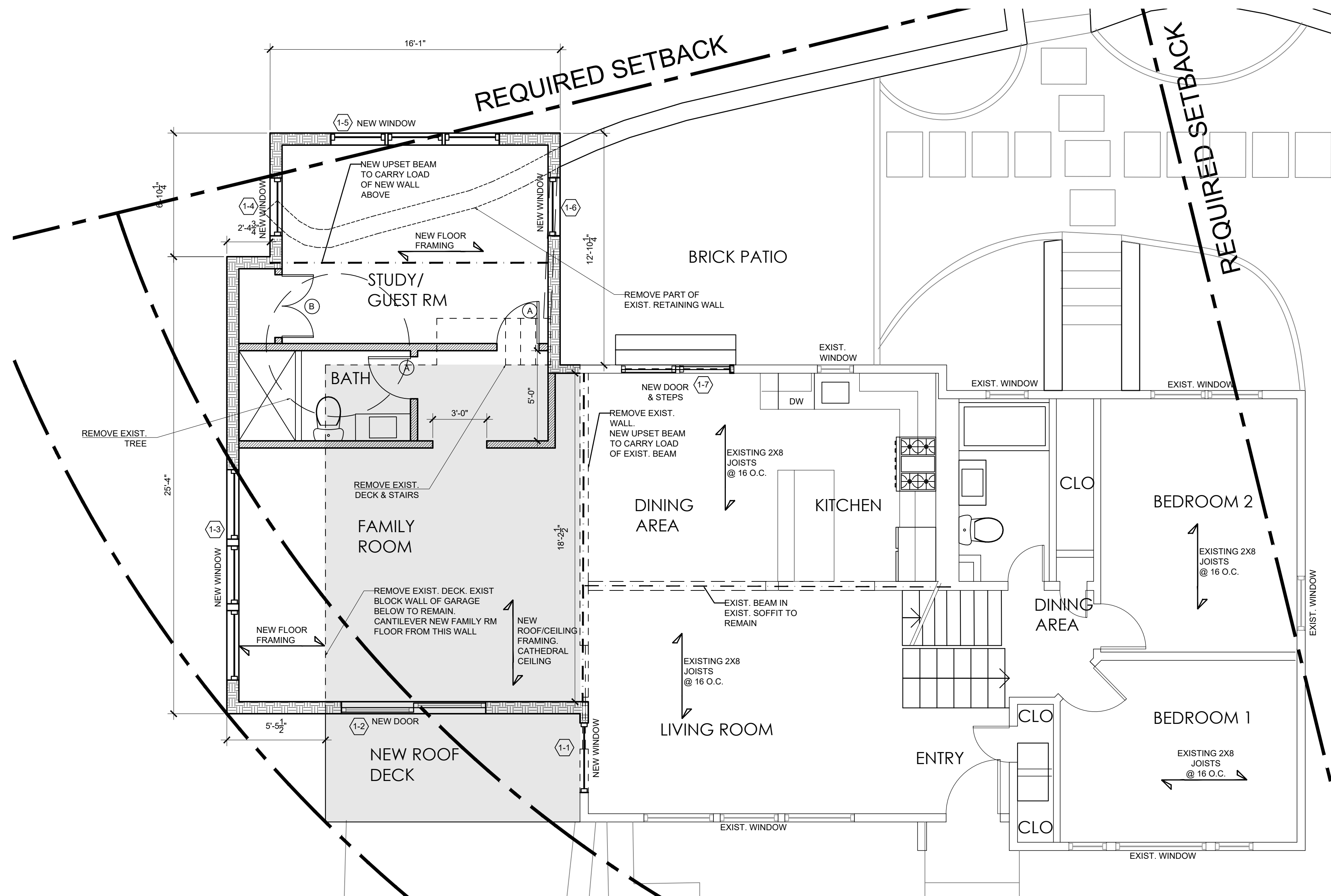
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

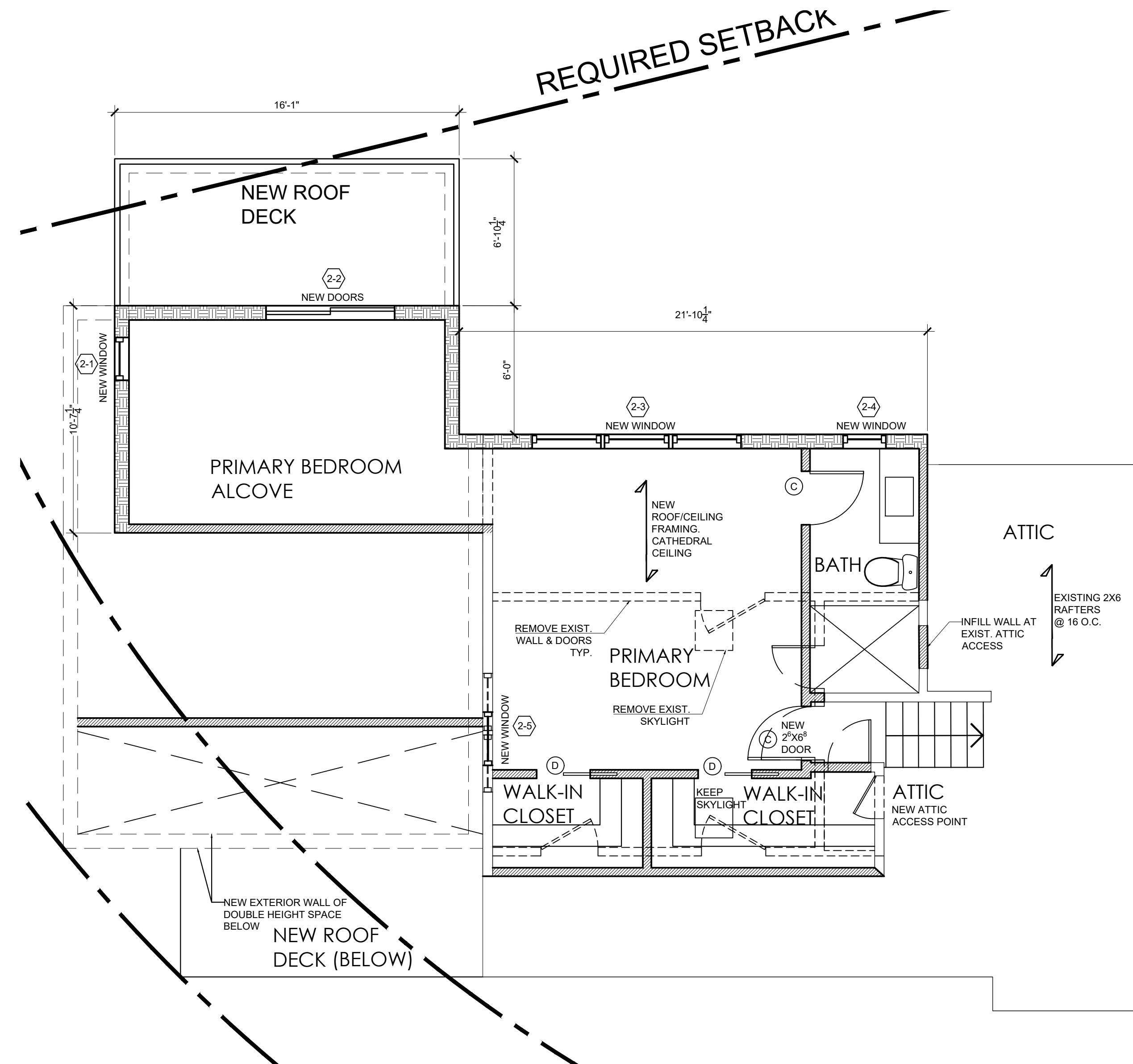
SCALE: 1/4" = 1'-0"



MAIN & MID. LEVEL DEMOLITION PLAN

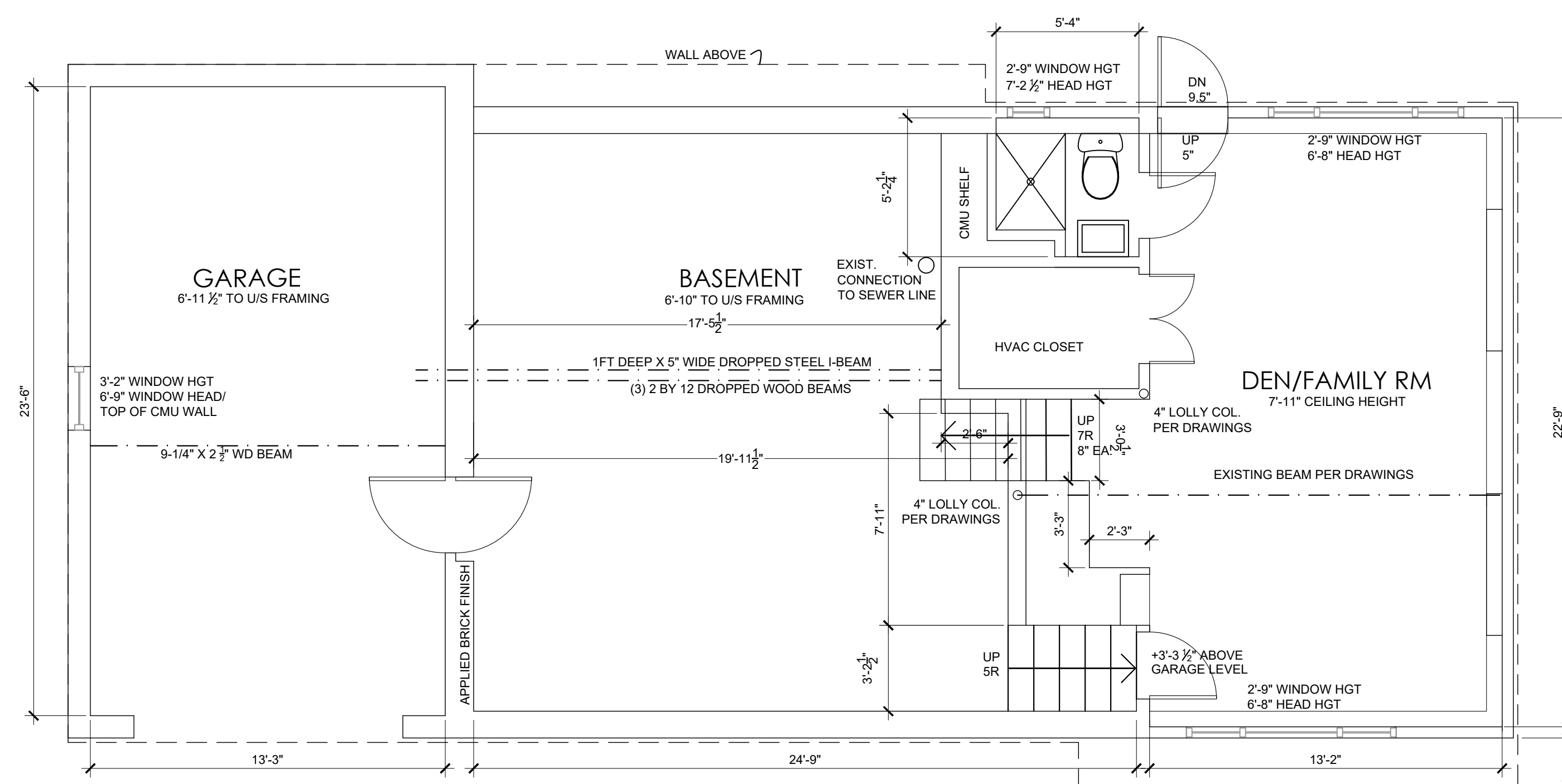
SCALE: 1/4" = 1'-0"

NO WORK ON MID. LEVEL



UPPER LEVEL DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NO WORK ON THIS LEVEL

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RENOVATIONS & EXTENSIONS TO THE
BROWER RESIDENCE
26 AMHERST DRIVE, HASTINGS.ON.HUDSON, NY 10706

Project Submitted

BP & ZBA SUBMISSION 1-30-23

Scale As Shown

Drawing Title

DEMOLITION FLOOR PLANS

D-1

Sheet Number

LYING AND BEING IN THE VILLAGE OF HASTINGS ON HUDSON, TOWN OF GREENBURGH, COUNTY OF WESTCHESTER AND STATE OF NEW YORK AND KNOWN AND DESIGNATED AS LOT NO. 555 AS SHOWN ON A CERTAIN MAP ENTITLED "SUBDIVISION MAP OF PARK KNOLL AT HASTINGS SITUATE IN THE VILLAGE OF HASTINGS ON HUDSON, TOWN OF GREENBURGH, WESTCHESTER COUNTY, NEW YORK" MADE BY GABRIEL E. SENOR, SURVEYOR, DATED SEPTEMBER 4, 1956 AND FILED IN THE WESTCHESTER COUNTY CLERKS OFFICE, DIVISION OF LAND RECORDS, ON APRIL 5, 1957 AS MAP NO. 10962



LOT AREA = 10265.0 SQUARE FEET

HIGH STREET

$R=47.12'$
 $L=30.00'$

$S88^{\circ}31'00''E$
24.11'

$R=100.00'$

AMHERST

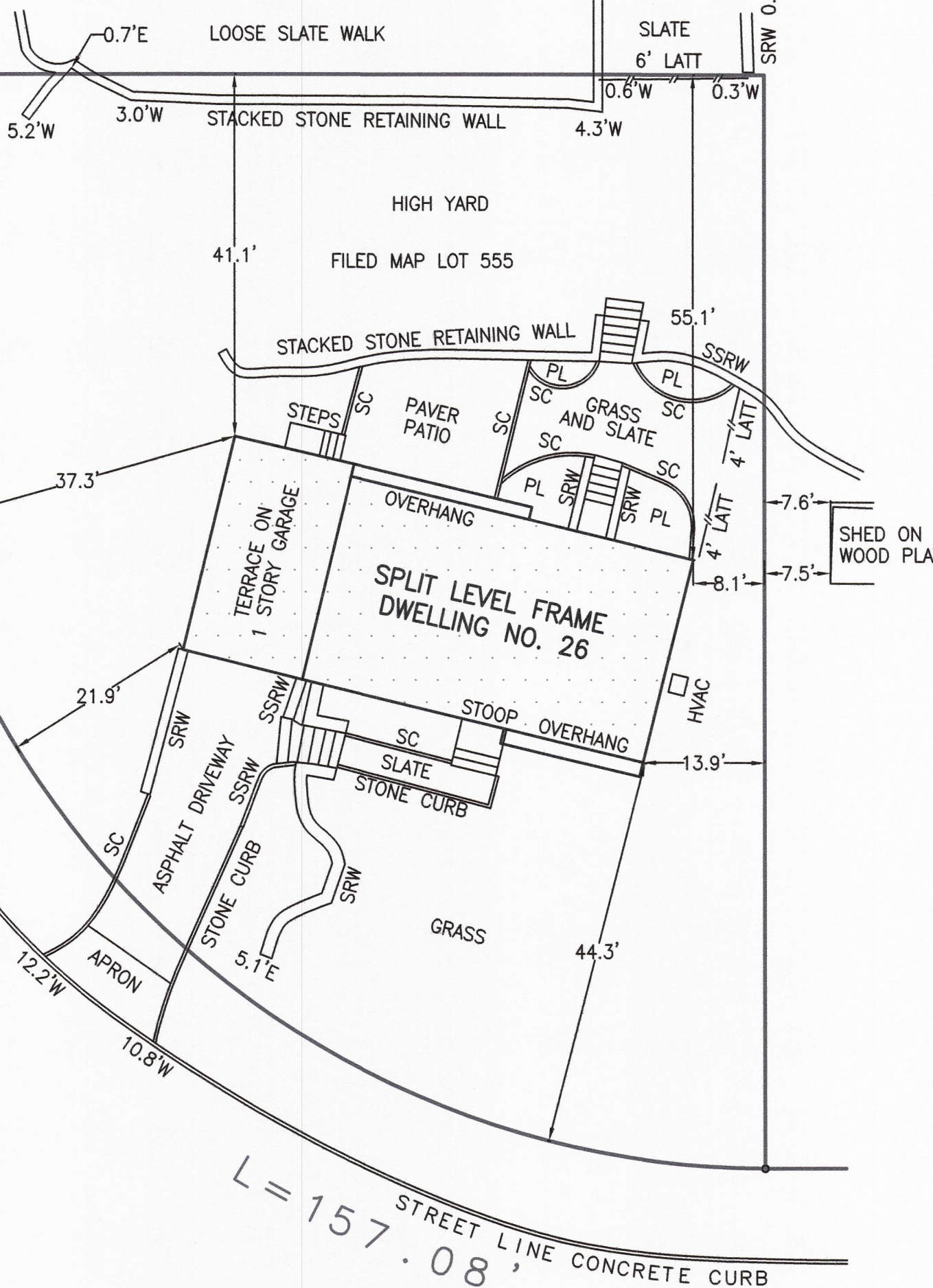
DRIVE

FILED MAP LOT 556

FILED MAP LOT 552

$S01^{\circ}29'00''W$

100.00'



124.11'

FILED MAP LOT 554

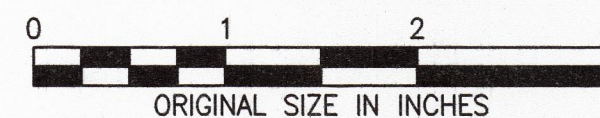
$N88^{\circ}31'00''W$

SURVEY AMENDED JANUARY 25, 2023
TO SHOW ADDITIONAL BUILDING DIMENSIONS AND LOT AREA.
NO NEW FIELD WORK DONE.

SSRW - STACKED STONE RETRAINING WALL
SRW - STONE RETAINING WALL
SC - STONE CURB
PLAT - PLATFORM
PL - PLANTER
LATT - LATTICE

NOTES:

1. THIS SURVEY WAS DONE FOR CORNERSTONE LAND ABSTRACT, LLC AND IS INTENDED TO BE USED FOR TITLE PURPOSES ONLY.
2. NO GUARANTEE IS IMPLIED BY THIS MAP AS TO THE EXISTENCE OR NONEXISTENCE OF ANY EASEMENTS OF RECORD THAT WOULD AFFECT SUBJECT PROPERTY, UNLESS SURVEYOR HAS BEEN FURNISHED WITH A COMPLETE COPY OF TITLE REPORT.
3. THIS MAP WAS MADE AT A SCALE OF 1" = 15' WHEN ORIGINALLY DRAWN.
4. PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.
5. IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.
6. THIS IS TO CERTIFY THAT THERE ARE NO VISIBLE STREAMS NOR NATURAL WATER COURSES IN THE PROPERTY EXCEPT AS SHOWN ON THIS SURVEY.
7. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITHIN AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
8. THIS SURVEY IS NOT INTENDED TO BE USED FOR NEW CONSTRUCTION.



CERTIFIED TO:

REBECCA BROWER AND PETER BROWER
CORNERSTONE LAND ABSTRACT, LLC
STEWART TITLE INSURANCE COMPANY
USALLIANCE FEDERAL CREDIT UNION-ISAOA/ATIMA

TAX MAP
SECTION 4.11
BLOCK 112
LOT 10

VILLAGE OF HASTINGS-ON-HUDSON
TOWN OF GREENBURGH
COUNTY OF WESTCHESTER

TITLE No. CL-30616-W
STATE OF NEW YORK

DATE SURVEYED: MAY 19, 2022
ALL COUNTY LAND SURVEYOR PC
DONAL A. O'BUCKLEY PLS
167-17 45TH AVENUE
FLUSHING, NY 11358
TEL. 718-358-8114
FAX. 718-353-0938
EMAIL: DOBUCKLEY@ACLSNY.COM

