

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Case number:..... Date of application:.....

Property owner:.....

Property address:.....

Name all streets on which the property is located:.....

Sheet:..... Block: Lot/Parcel: Zoning District:

Applicant:.....

Standing of applicant if not owner:.....

Address:.....

Daytime phone number: Fax number:

E-mail address:.....

ZBA action requested for (See §295-146B & C :

☐ Use Variance/s;

☐ Area Variance/s;

☐ Interpretation;

☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
.....
.....
.....
.....
.....
.....

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT
REAR
SIDE ONE
SIDE TWO
TOTAL OF TWO SIDES

YARD SETBACKS
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.
REAR
SIDE

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES
FEET

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA
*BLDG. COVERAGE/ % OF LOT AREA
*DEVELOPMENT COVERAGE / % OF LOT AREA

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON**Zoning Board of Appeals****Application and Procedure for Application for
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- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action

- List pending violations on this property if any:

- Is there an approved site plan for this property? ☒ (Yes) ☐ (No)
- Is there an Accessory Apartment at this property? ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit? ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Diana Kozichy
Applicant

Sworn to before me this 5th day
of JUNE, 2019

J. Warycha
Notary Public

JENNIFER ANN WARYCHA
Notary Public, State of New York
Reg. No. 02WA6243674
Qualified in Westchester County
My Commission Expires June 20, 2019

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation

Name: Diana Kozicky, being duly sworn, deposes and says that he/she resides at 25 Devon Way in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.110 Block 99 and Lot 8 of the tax map, and that he/she hereby authorized Lizette Garcia-Elias to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

Diana Kozicky
Owner

SWORN TO BEFORE ME THIS 5th DAY
OF June 2019

JENNIFER ANN WARYCHA
Notary Public, State of New York
Reg. No. 02WA6243674
Qualified in Westchester County
My Commission Expires June 29, 2019

J. Warycha
Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

June 11, 2019

Members of the Hastings Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue, Hastings-on-Hudson, NY 10706

Re: Alterations and Addition to the Kozicky Residence
25 Devon Way, Hastings-on-Hudson, NY

To the Members of the Zoning Board of Appeals:

As the Architect for the proposed renovations to the Kozicky Residence, I am requesting that the Zoning Board of Appeals grant the following variance from the Hastings Zoning Code:

1. Variance from Section 295-68F. 1a – Front Yard Setback

We are requesting a variance for a continuation of a non-conforming front yard setback. The existing front yard setback is currently 24.48 FT . We are proposing an addition with a setback of 25.58 FT for a new garage with deck above. The allowable front yard setback is 30 FT.

2. Variance from Section 295-40. a1– Max. driveway slope

We are requesting a variance for a driveway slope of 17.3%. The max. allowable slope is 15%.

3. Variance from Section 295-40. a2– Max. driveway entrance grade

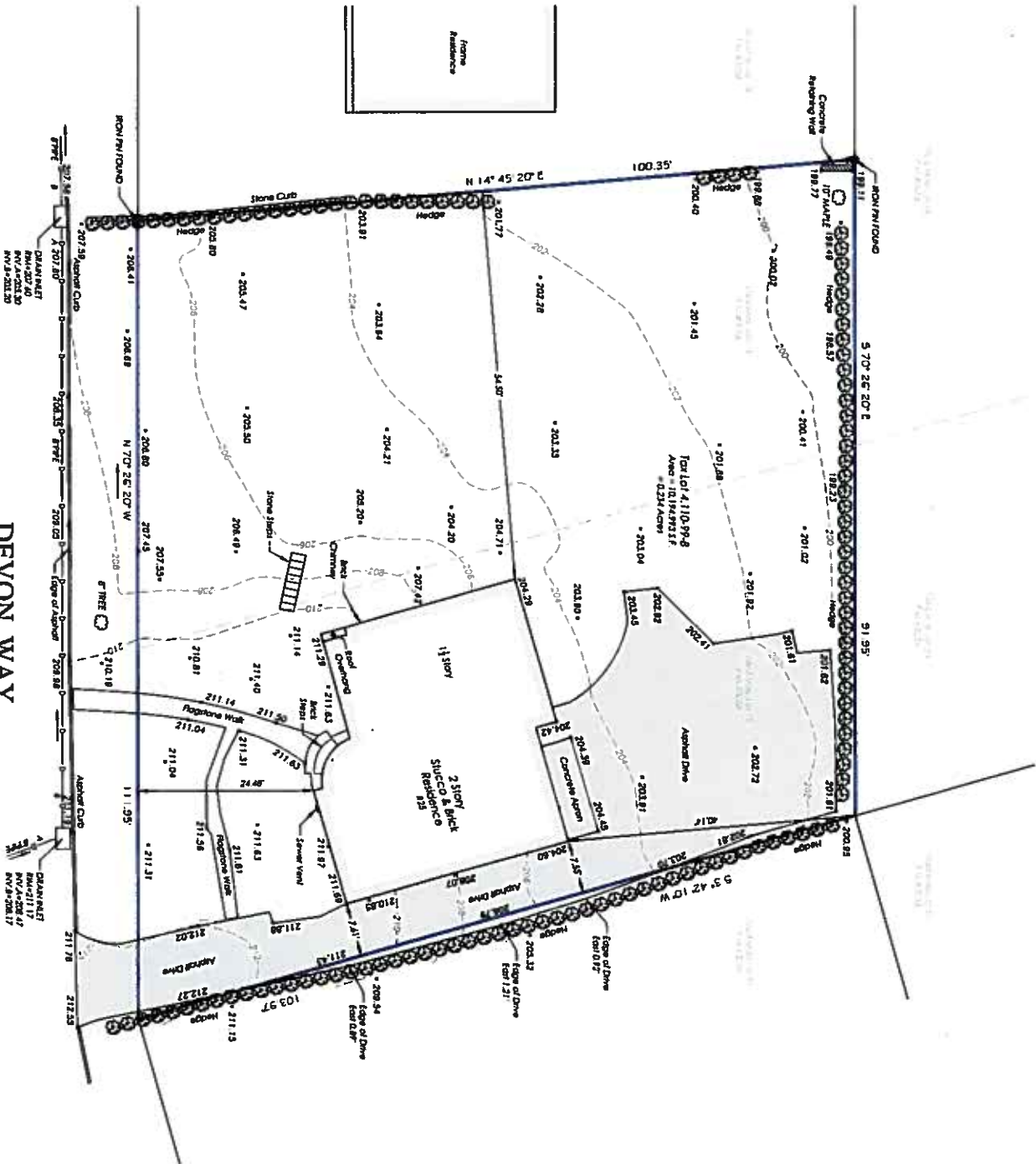
We are requesting a variance for a driveway entrance grade of 17.3%. The allowable grade is 3% within 30 FT of the center line of the driveway.

I appreciate your understanding of our request for this variance, and look forward to presenting the drawings at the next Zoning Board of Appeals meeting. Thank you for your time and effort for review of our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read 'Christina Griffin', written in a cursive style.

Christina Griffin AIA LEED AP CPHC



DERRY LANE



GRAPHIC SCALE

SCALE: 1" = 10'

TOPOGRAPHY OF PROPERTY
PREPARED FOR
MARK KOZICKY
AND
DIANA KOZICKY
SITUATE IN THE
VILLAGE OF HASTINGS-ON-HUDSON
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK

Only copies from the original of this topography map marked with an original seal of the Land Surveyor embossed seal shall be considered to be true and correct.

Unauthorized alteration or addition to a map bearing a Licensed Land Surveyor seal is a violation of Section 7206, Subsection 2 of the New York State Education Law.

Potential only where indicated.

Adjacent property lines and extremities not surveyed or certified. Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown herein are approximate and should be verified before excavating.

Additional underground utilities are not shown or certified. Easements and encumbrances below grade, if any, not shown or certified. Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks. The parties shown herein to be verified by a licensed architect and are not certified by surveyor.

Elevations shown herein generally in accordance with North American Vertical Datum 88.

Premises shown being Lot 72 and 73 as shown on a certain map entitled "Record Map No. 1 of David L. Jones, Hastings-on-Hudson, Planned and developed by The Howard Co., Inc." and sold map filed in the Westchester County Clerk's Office, Division of Land Records October 11, 1926 as map number 3004.

Surveyed in accordance with Deed Control Number 343602901.

Premises shown herein designated on the Village of Hastings-on-Hudson Tax Maps as: Section 4.118, Block 99, Lot 8.

Property Address: 23 Devon Way
Hastings-on-Hudson, NY 10706

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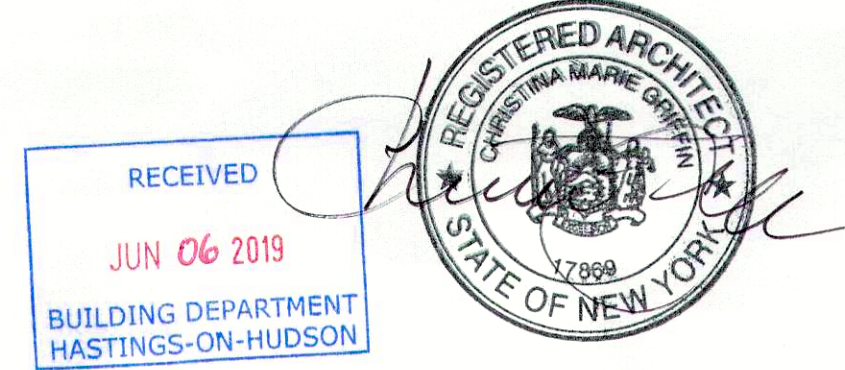
TC MERRITT'S LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

Surveyed: May 14, 2019
Map Prepared: May 14, 2019

By: *David T. Merritt*
New York State Licensed Land Surveyor No. 035604

Project:	15-142	Field Survey By:
Drawn By:	BC/CR	Checked By:
DL		DM

KOZICKY RESIDENCE
25 DEVON WAY, HASTINGS-ON-HUDSON, N Y 10706
CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street, Hastings-on-Hudson, NY 10706



GENERAL NOTES

- These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- All construction shall comply fully with the 2015 International Residential Code, 2015 International Energy Conservation Code, 2017 NYS Supplement, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- Approved stamped set of building plans must be present on site for all inspections.
- A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.
- General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.
- Licensed electrician to file separate electrical permit.
- Licensed plumber to file separate plumbing permit.
- All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents,

- tested and ready for owner's use.
- All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
- Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- All construction sites shall conform to the 2010 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.
- General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.
- The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
- Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions

- are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.
- All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.
- Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
- The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.
- Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.
- The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.
- Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.
- The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of

- all portions of the work.
- The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.
- Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.
- The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.
- New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.
- All insulation to comply with the Energy Efficiency Certificate required by 401.3 2010 Energy Conservation Construction Code of New York, prepared by the Architect.
- If blown or sprayed insulation used, Installer of insulation to submit insulation certification to include installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N101.5 of the 2010 Residential Code of New York State and submit an original signed copy for the Building Departments records.
- All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the

- Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
- Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.
- All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.
- Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.
 - Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.
 - Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.
 - Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.

- Final cleaning of all chrome and aluminum metal work.
 - Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.
 - Finish materials and paint colors shall be reviewed and approved by the homeowner.
 - The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.
- Energy Notes R-Values & U-Factors**
2015 International Energy Conservation Code
Climate Zone 4A
- | | Required | Proposed |
|---------|----------|-------------|
| Ceiling | R-49 | R-38 & R-11 |
| Wall | R-20 | R-21 |
| Glazing | 0.40 | 0.32 |
| Floor | R-19 | R-30 |
- Design Criteria:**
5750 Degree Days
15% Maximum Glazing
R402.2.1 CEILINGS WITH ATTIC SPACES
- Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.
- Certification**
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2015 International Residential Code, and the 2015 International Energy Conservation Code.

LIST OF DRAWINGS

- S-1 GENERAL NOTES, STRUCTURAL NOTES, GREEN CODE COMPLIANCE, CLIMATIC & GEOGRAPHIC CRITERIA
- S-2 SITE PLAN, ZONING DATA, LOCATION MAP, COVERAGE CALCULATIONS
- A-1 BASEMENT PLAN & FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN & SOUTH ELEVATION
- A-3 NORTH & EAST ELEVATION
- A-4 PHOTOS OF SITE & PHOTOS OF NEIGHBORING HOMES

HASTINGS GREEN BUILDING CODE COMPLIANCE NOTES

- NEW EXTERIOR LIGHTS TO COMPLY WITH HGBC 160-8.H.1
- NEW APPLIANCES TO COMPLY WITH HGBC 160.9.A.4
- TOILET, SHOWERS & FAUCETS TO COMPLY WITH HGBC 160.10A, B & C
- PAINTS, STAINS AND OTHER FINISHING MATERIALS TO COMPLY WITH HGBC 160.11.A.1,2,3,4,& 5
- CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH HGBC 160-11.C

GENERAL STRUCTURAL NOTES

- DESIGN LOADS:

LOCATION	LIVE LOAD	DEAD LOAD	TOTAL
1ST FL	40	15	55PSF
2ND FL	40	15	55PSF
ROOF	40	15	55PSF
DECK	50	15	65PSF
- DESIGN STRESSES: SOIL PRESSURE (assumed) = 2 TONS (4 kips) PSF
F'C = 3,500 PSI (min. compression strength of concrete)
F'S= 24,000 PSI (tensile unit stress of steel) ASTM-A-36
- ALL FOOTINGS SHALL BE CONSTRUCTED WITH 3,500 PSI POURED CONCRETE, WITH #4 R-BAR REINFORCEMENT AAS SHOWN ON THE DRAWINGS.
- ALL INTERIOR JOISTS SHALL BE DOUGLAS FIR NO. 2 GRADE LUMBER, ALL DECK JOISTS SHALL BE SOUTHERN YELLOW PINE NO. 2 GRADE LUMBER
- FRAMED BEAM CONNECTIONS ASTM A-325 HIGH STRENGTH BOLTS (5/8") UNLESS OTHERWISE NOTED.
- INSTALL SOLID 2" THICK BLOCKING THE DEPTH OF FLOOR JOISTS , MAX. 8 FT. O.C.
- ALL MICROLAM AND PARALLAM BEAMS TO BE 2.0E PSL, AND ALL PARALLAM POSTS TO BE 1.8 E PSL BY TRUS JOIST.
- ANY BEAMS BUILT UP 3 OR MORE , AND ALL LEDGER BOARDS, MUST BE FASTENED W/ 5/8" DIA. THROUGH BOLTAS 12" O.C. STAGGERED.
- ALL RAFTERS SHALL BE FASTENED TO TOP OF PLATES AT EXTERIOR WALLS WITH GALVANIZED STEEL HURRICANE TIES.
- ALL POINT LOADS TO TERMINATE AT SOLID BEARING.
- PROJECT TO HAVE A PLACARD INDICATING THAT ENGINEERED LUMBER HAS BEEN USED IN THE CONSTRUCTION OF THE ADDITION, IN ACCORDANCE WITH NYSDOS REQUIREMENTS.

INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHT ^a U-FACTOR	GLAZED FENESTRATION SHGC ^{b,c}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE								
4A	0.35	0.55	0.40	49"	20 OR 13+5 ^b								
	MASS WALL R-VALUE ¹	FLOOR R-VALUE	BASEMENT ² WALL R-VALUE	SLAB ³ R-VALUE & DEPTH	CRAWL SPACE ⁴ WALL R-VALUE								
	8/13	19	10/13	10, 2FT	10/13								
a.	R-VALUE ARE MINIMUMS. U-FACTORS & SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.												
b.	THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.												
c.	"10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.												
d.	R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FT, WHICHEVER IS LESS.												
e.	THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.												
h.	THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION												
i.	THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.												
*	R402.2.1 CEILINGS WITH ATTIC SPACES - INSTALLING R-38 OVER 100% OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES. R402.2.2 CEILINGS WITHOUT ATTIC SPACES - WHERE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLY SHALL BE R-30. THIS REDUCTION OF INSULATION FROM THE REQUIREMENT SHALL BE LIMITED TO 500 SQUIRE FEET OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.												
DESIGN REQUIREMENTS for the 2015 RESIDENTIAL CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND DESIGN					SUBJECT TO DAMAGE FROM			CLIMATE ZONE	ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHER-ING	FROST LINE DEPTH	TERMITE					
30 PSF	115-125 MPH	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	4A	YES	N/A	2000	51.6

ALTERATIONS & ADDITION TO THE

KOZICKY RESIDENCE

25 DEVON WAY HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street
Hastings-on-Hudson, New York 10706

914.478.0799 tel 914.478.0806 fax

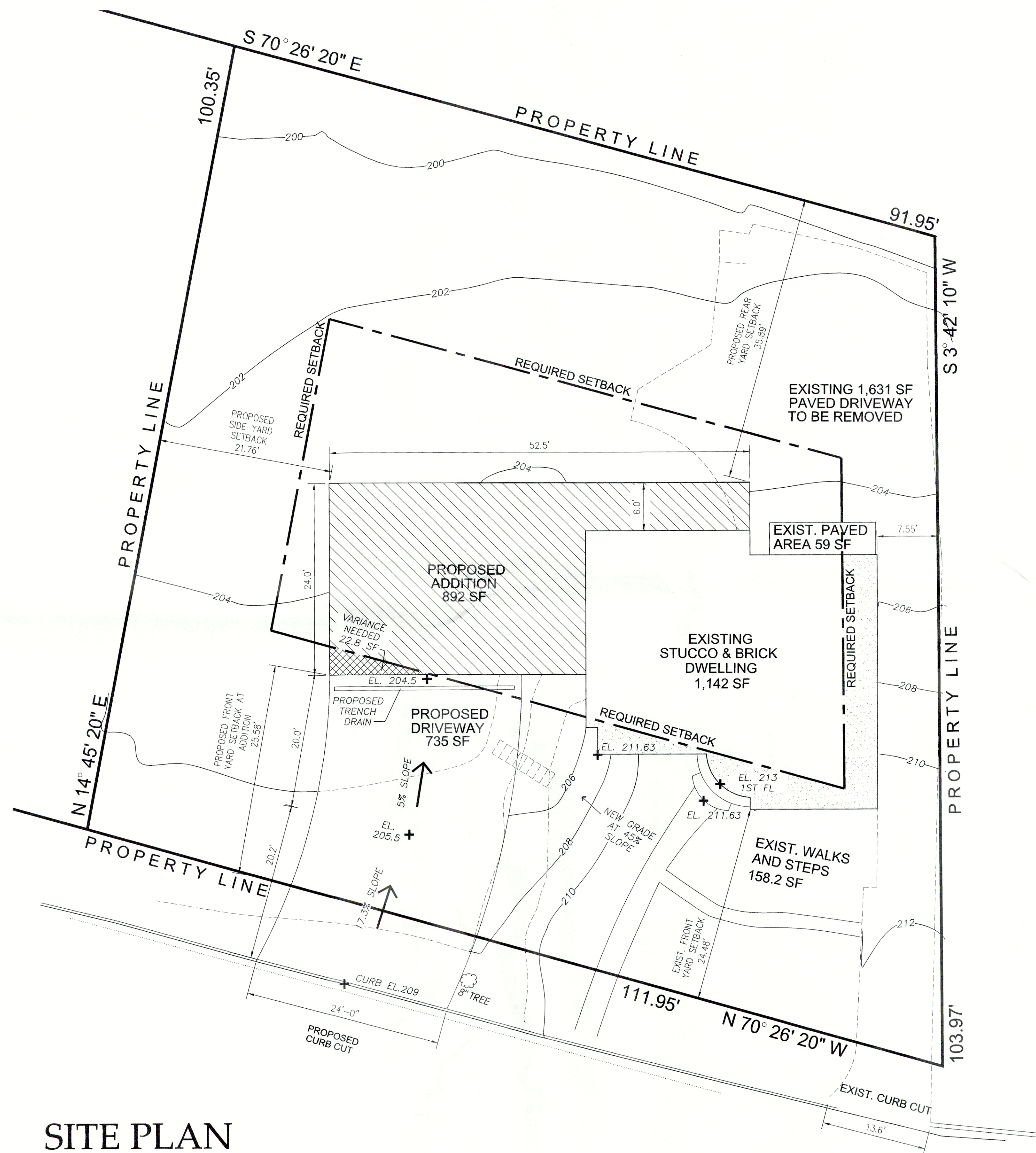
www.christinagriffinarchitect.com

Date:
ZONING BOARD SUBMISSION 06-04-19

Drawing Title
TITLE SHEET

Scale:
AS SHOWN

S-1



SITE PLAN

SCALE: 1/8" = 1'-0"

SITE PLAN LEGEND

- EXISTING NON-CONFORMING BUILDING
- PROPOSED CONFORMING CONSTRUCTION
- PROPOSED CONTINUATION OF NON-CONFORMITY

COVERAGE CALCULATIONS

LOT AREA	10,195 SF	
BUILDING	EXISTING	PROPOSED
	1,142 SF / 11%	2,034 SF / 20%
STEPS & WALKS	217.2 SF	201.2 SF
DRIVEWAY (TOTAL)	1,631 SF	735 SF
TOTAL DEVELOPMENT COVERAGE (ALL BLDG., STRUCTURES, DRIVE- WAY, IMPERVIOUS SURFACES)	EXISTING	PROPOSED
	2,990.2 SF / 29.4%	2,970.2 SF / 29.3%

LOCATION MAP



TABLE OF ZONING DATA

25 DEVON WAY
SECTION: 4.110 BLOCK: 99 LOT: 8

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT COVERAGE	10,000 SF	10,195 SF	10,195 SF
WIDTH AT FRONT OF BUILDING	100 FT	111.95 FT	111.95 FT
BUILDING COVERAGE	25%	11.3% (1,142 SF)	20% (2,034 SF)
DEVELOPMENT COVERAGE	35%	29.4% (2,990.2 SF)	29.3% (2,970.2 SF)
FRONT YARD SETBACK	30 FT	24.48 FT*	24.48 FT* / 25.58 FT* AT ADDITION
REAR YARD SETBACK	30 FT	40.14 FT	35.89 FT
SIDE ONE	12 FT	7.55 FT*	7.55 FT*
SIDE TWO	18 FT	54.5 FT	21.76 FT
SIDES TOTAL	30 FT	62.05 FT	29.31 FT
MAXIMUM BUILDING HEIGHT	2 1/2 STORY / 35 FT	2 1/2 STORY / 32.7 FT	2 1/2 STORY / 32.7 FT

OWNER: MARK & DIANA KOZICKY
ZONING DISTRICT: R-10
PRESENTLY CONFORMING: NO

SECTION: 4.110
BLOCK: 99
LOT: 8

SURVEYED BY: TC MERRITTS LAND SURVEYORS
SURVEY DATE: MAY 10, 2019
MUNICIPALITY: VILLAGE HASTINGS

* NON-CONFORMING SETBACK



ALTERATIONS & ADDITION TO THE

KOZICKY RESIDENCE

25 DEVON WAY HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT P.C.

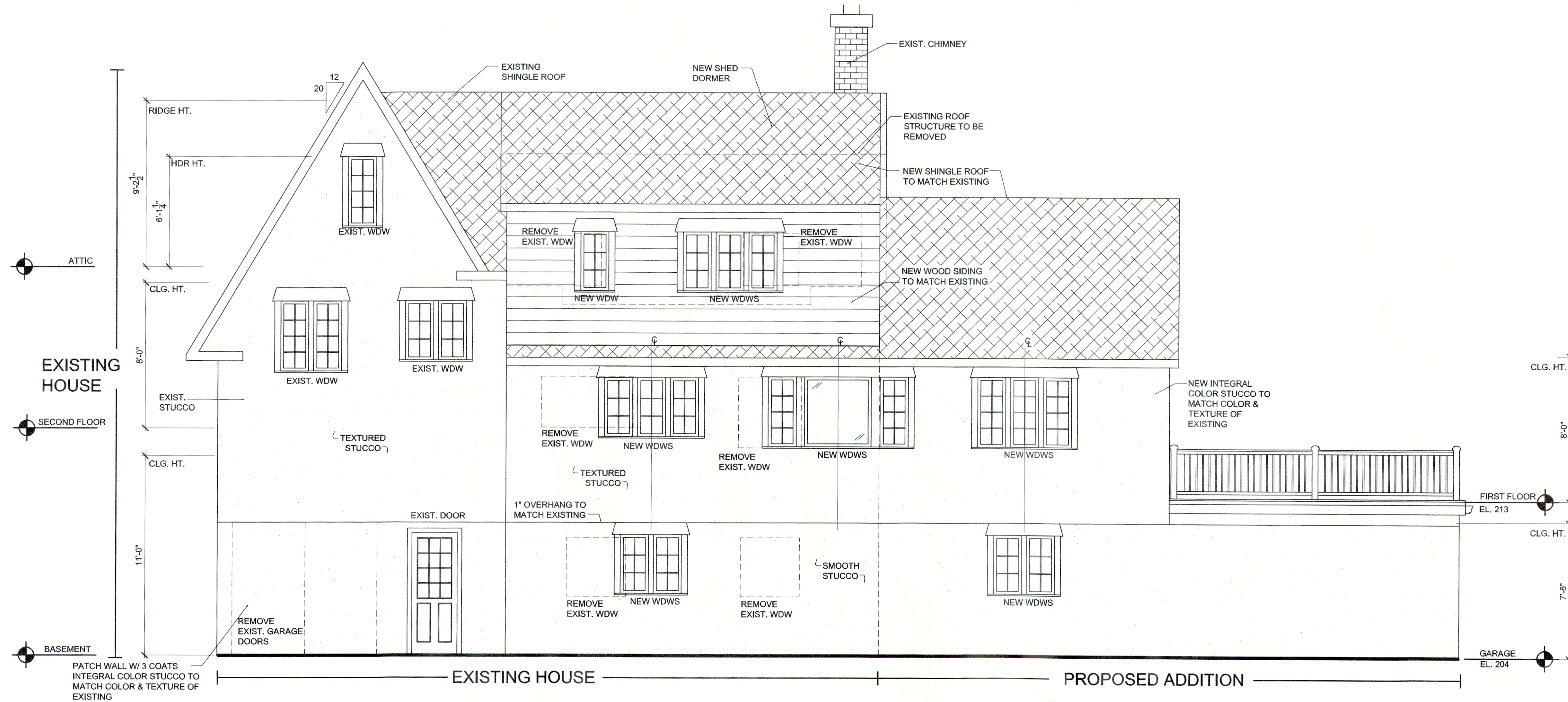
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Date: ZONING BOARD SUBMISSION 06-04-19

Drawing Title: SITE PLAN

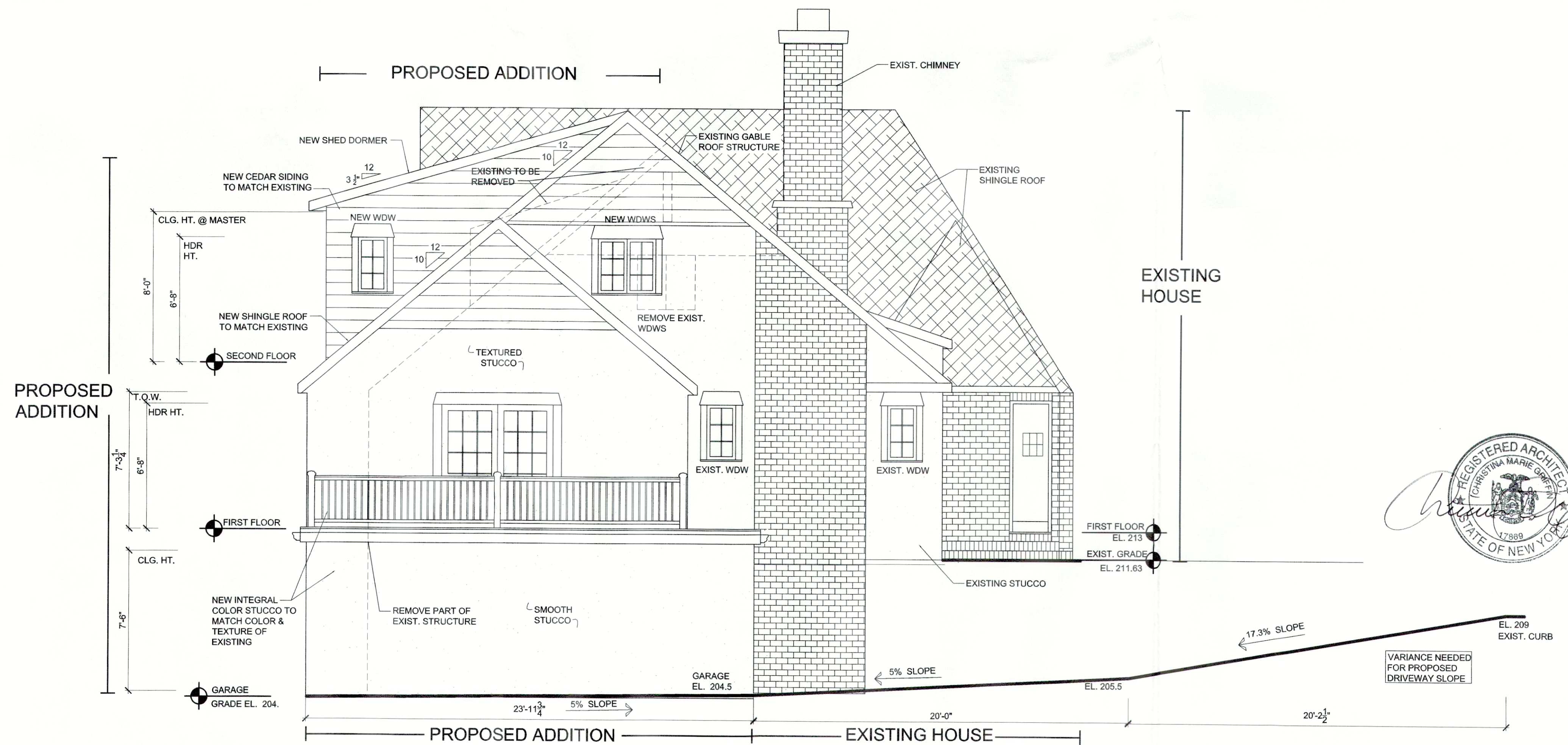
Scale: AS SHOWN

S-2



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

ALTERATIONS & ADDITION TO THE

KOZYCKY RESIDENCE

25 DEVON WAY HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Date: ZONING BOARD SUBMISSION 06-04-19

Drawing Title: ELEVATIONS

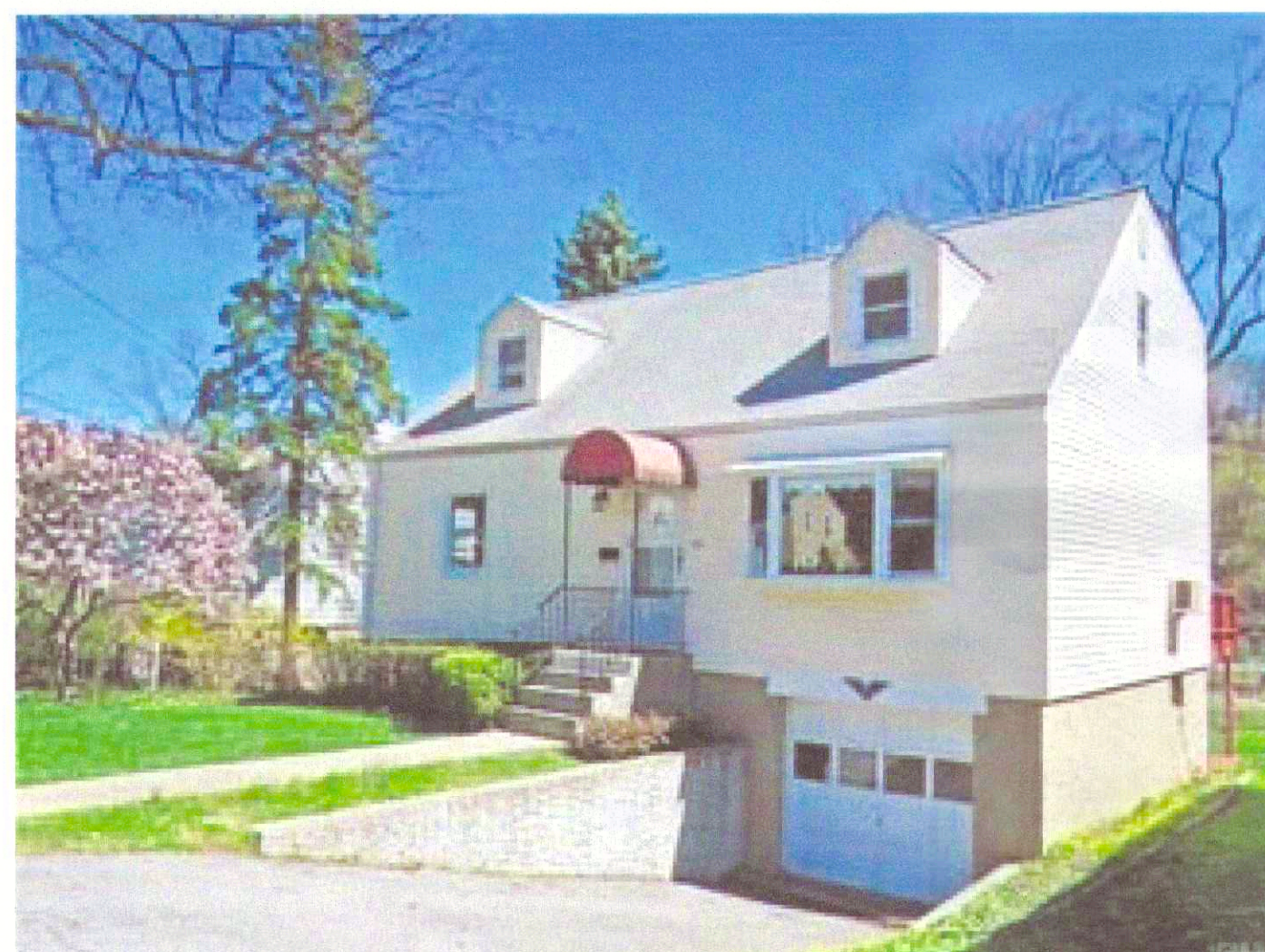
Scale: AS SHOWN



A-3



EXISTING HOUSE AT 25 DEVON WAY



8



10



19



24



30



33

NEIGHBORING PROPERTIES
on DEVON WAY

ALTERATIONS & ADDITION TO THE

KOZICKY RESIDENCE

25 DEVON WAY HASTINGS-ON-HUDSON, NY 10706

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Date: ZONING BOARD SUBMISSION 06-04-19

Drawing Title: PHOTOGRAPHS

Scale: AS SHOWN



A-4