

November 7 2019

Members of the Zoning Board of Appeals
Village of Hastings on Hudson
7 Maple Avenue
Hastings on Hudson NY 10706

§ 295-55A Prohibition against Extension of Non-conformity § 295-69. One-Family Residence (R-7.5) Districts.

Elm and Fraser Place hold a special place in the fabric of Hastings. They have a wonderful, well-preserved, original village texture, reminiscent of life in the 1900s, when most of the houses were built. The houses are spaced closely side-by-side, have either front or wraparound porches, steep roofs and finished attics. The lots are deep and have side driveways with garages in the rear. A number of houses were expanded and added to in the back, but the front views remain quite unchanged. Outside of a couple of exceptions, they are architecturally consistent and true to the period.

22 Elm Place is a classic central colonial house built in 1912 and situated on a level property. The first floor is raised 3.5 feet above grade. The living room on the east and the dining room/kitchen on the west side constitute the living space. When the homeowners, who are in their third decade living in Hastings, purchased the house, it came with a small closed front porch. Wishing to break out of this box, as well as gain more light in the dining room, they removed glazed screens and have been using it as an open porch. However, it's not anywhere near the size of porches on the street. There is a back kitchen door leading to a tiny back porch and steps.

Other than that, the house hasn't changed over the years. The homeowners have lived with one very small coat closet, a cramped powder room, a pretty dysfunctional kitchen and no easily usable outdoor dining space. The time has come to renovate and make the first floor more comfortable. We are proposing to build a small rear addition in order to gain a walk-in coat closet, as well as a comfortable powder room. It's also necessary to renovate the kitchen which has become outdated. In conjunction with the remodeled kitchen, the homeowners would like to create an outdoor dining area. Since the house is well above grade, the only way to do this without constantly having to negotiate six steps is to add a back porch on the level with the first floor.

We have tried different approaches and carefully gauged the size of the proposed back porch, so that it's functional but not too big. Most of the yard is still intended to remain as grass and plantings.

Although the lot coverage has increased, it should be noted that the deck is a permeable surface, compared to the stone patio which is impermeable. Elm Place is sloped and the houses are separated by retaining walls of different heights. The yard level at number 22 is lower compared to abutting properties to the South, 15 Villard and East, 26 Elm. The proposed porch is approximately at the level with those two adjacent yards. It is also separated by a garage from the house at 18 Elm. This helps the proposed porch to fit with its surroundings. It should also be noted that the lot at 5,050 SF is substantially smaller than 7,500 SF. The hypothetical coverage on a code-sized lot would actually be compliant, at 27.81% (building) and 33.6% (development).

This house, just like other houses in the vicinity, originally came with a garage. The garage was altered by the previous owner to accommodate progressively larger cars. Unfortunately, the alterations have exceeded the structural integrity of the former garage and it's now in need of repair.

The owners do not intend to use the structure for an automobile any longer. There are two parking spaces in the driveway. However, it still serves several important storage functions: the family needs to store several bikes and a kayak built by one of their sons. They also have gardening and yard supplies. Therefore, we'd like to retain the spirit of this grandfathered structure which currently measures 10'-4" x 20'-10", or 217 SF and replace it with a very similar structure, 12'-0" x 18'-0" or 216 SF, e.g. the same square footage. Additionally, we'd like to rotate it 90 degrees and thus orient it in a way where it allows for more open space. While the allowed height is 15', the shed is 13' tall.

The current shed is set 0.6' back from the rear lot line and 2'-4" from the side lot line. We're proposing to locate the new structure to be 1'-6" from the rear and side lines. This allows for basic maintenance tasks, and preserves as much open yard as possible. Situating the shed in this way makes it consistent not only with its predecessor, but also with the other garages and sheds on the surrounding lots. One only has to look at the two lots abutting this one: 18 Elm and 15 Villard. Those garage sheds (as shown in photos and on the survey) are located at, respectively, 0 inches and 10 inches from the abutting lot lines. Similar examples can be seen at other nearby properties. Given the shape of the lots and the desire to preserve open backyard space, this makes perfect sense.

We firmly believe that the proposed changes won't produce an undesirable change and do not have an adverse impact on the physical or environmental conditions in the neighborhood. The changes are in character with nearby properties. Due to the size and configuration of the house and lot, this benefit cannot be achieved by feasible alternatives, and the difficulty is not self-created. The variance is not substantial, since a deck doesn't impact the open space the way house additions sometimes do. Therefore we respectfully request your approval.

Thank you for your review, time and consideration. Respectfully submitted,

Eva Klein Bouhassira, RA



FUCHS MALSH RESIDENCE

22 ELM PLACE HASTINGS ON HUDSON NY 10706

ALTERATION/ADDITION Kitchen, Powder room, Attic Bath, Deck, Shed

DIVISION 1 LAWS AND REGULATIONS

1. The Work of the Contract consists, in general, of an addition to and alterations of an existing residence, as shown in these Drawings and Specifications. Other Contract Documents include, but are not limited to, the Agreement, including General Conditions

2. All work shall be in compliance with all laws rules and regulations of the Village of Hastings-on-Hudson and shall comply with the NY State Building, Energy Code, National Elec. Code, BOCA Plumbing Code. ADA and all other authorities having jurisdiction. All requirements specified in the code shall be adhered to as if they were called for or shown on the drawings. This shall not be construed to mean that any requirements set forth on these drawings can be modified because they are more stringent than the code requirements or because they are not specifically required by

3. All materials, equipment, assemblies, forms and methods used in the project shall conform to and have approvals in accordance with all public authorities or agencies having jurisdiction over the project.

4. All manufactured products shall be installed in accordance with the manufacturer's instructions and recommendations and shall conform to ASTM standards

5. General Contractor shall be licensed with the County of Weschester and bonded.

6. All plumbing work is to be performed by a licensed plumber. Obtain plumbing permit. Upon completion, Plumbing Contractor shall obtain a final sign-off as required by the local municipality.

All electrical work is to be performed by a licensed electrician. Obtain electrical permit. Upon completion of work Electrical Contractor shall obtain a New York Board of Fire Underwriters electrical certificate of compliance.

8. The Owners will obtain and pay for the Building Permit. The Contractor shall arrange, and shall be responsible for obtaining and paying for any and all permits required by the municipality and the local building department and arranging for all required notifications, inspections, testing and approvals.

11. The Contractor shall provide and maintain workmen's compensation, liability and property damage insurance to limits as required by the municipality, and shall provide the Owners with an

insurance certificate naming the Owners as additional insureds.

12. Certificates of Insurance shall cover all work performed by General Contractor, each Subcontractor and Suppliers.

13. The A.I.A Standard Form of Agreement between Owner and Contractor shall be binding on the work.

14. The Owner without the invalidating the Contract may order extra work or make changes by altering, deducting or adding to the work. The contract sum shall be adjusted accordingly. All such work shall be executed under the conditions of the original contract, except that any claims for extension of the time caused thereby shall be

15. No extras shall be permitted unless submitted in writing by the Contractor to the Owner and must include the following information: a. Date and Change Order number.

adjusted at the time of ordering such change.

b. The location and complete description of the work to be

c.The Change Order cost, including the complete breakdown, so that the evaluation of the Change Order can be made. d. Time schedule of the work to be done and confirmation that it shall not impact the project completion date.

16. Substantial completion of the work is defined as the date certified by the Owner when construction is sufficiently complete in accordance with the contract documents, so that the Owner can occupy the area for the purpose for which it was intended.

Contractor shall obtain Certificate of Occupancy upon completion of

17. Before final payment is issued, the following items must be submitted, but these submissions are not limited to these items: a. Waivers of liens.

b. All warranties and guarantees c. Manuals and instructions

d. As built drawings. 18. These drawings and specifications are valid only if they bear the

impressed seal and original signature of the Architect whose name appears hereon. 19. Any unauthorized alteration or addition to these drawings is a

violation of Section 7209 (2) of the New York State Education Law. Such authorization shall only be in writing, signed and sealed by the

20. These drawings are copyrighted © Eva Klein Bouhassira, 2019. As articles of service they are the property of the Architect and shall not be used for other building and purposes unless specifically approved by the Architect in writing.

DIVISION 1 COORDINATION

1. Verify and check existing conditions and dimensions on job site. Notify Architect as to any discrepancy. If field conditions necessitate changes or modifications they must first be approved by Architect. No work may be done until Change Order is issued.

2. If, during work, concealed conditions are revealed which are dangerous or contrary to Contract Documents, notify Architect immediately. If the conditions necessitate changes or modifications they must first be approved by Architect.

3. The Contractor shall direct and supervise the work and shall be solely responsible for all means, methods, sequences and procedures. He shall be responsible to the Owner for acts and omissions of his employees, subcontractors and persons performing work.

4. General Contractor is responsible for coordinating scope of work of each Subcontractor to insure all items required are included and performed in a timely sequence of construction. General Contractor shall be responsible for coordinating of all trades.

5. Coordinate locations of all structural framing with the location of electrical, plumbing, heating and mechanical installations.

6. The Architect's Office has not been retained to supervise construction. It is the Contractor's responsibility to follow the Contract Drawings and Specifications and to notify the Architect's office, the Owners, the Building Department of any discrepancies.

7. These drawings are reference documents only. The dimensions on these drawings are design deimensions. NEVER scale drawings. Use written dimensions or verify with the Architect.

8. All dimensions are FINISH TO FINISH, except for exterior wall dimensions, which are to exterior sheathing, unless otherwise noted.

9. Wall layout is subject to approval by the Architect. Lay wall plates for approval and schedule an inspection by Architect. Set all work straight, plumb and level or with indicated slope.

10. All items specified to "Match Existing" to be submitted to Architect and Owner for approval prior to acquisition.

11. The contract is based on standards of quality established in the Contract Documents. Substitutions will be considered only when submitted with all of the required data for review and approval by the

12. All items noted on drawings as "Provided by Owner" shall be purchased and delivered to the site by Owner and will be installed by

13. All Shop Drawings shall be submitted to the Architect for approva prior to commencement of work.

DESIGN LOADS

R301.4 Dead load. The actual weights of materials and construction shall be used for determining dead load with consideration for the dead load of fixed service equipment.

R301.5 Live load. The minimum uniformly distributed live load shall be as provided in Table R301.5.

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot)

LIVE LOAD Uninhabitable Attics without storage Uninhabitable Attics with limited storage 20 Habitable attics and a. with fixed stairs 30 Decks and Exterior balconies Fire escapes Guardrails and handrails Guardrails in-fill components Passenger vehicle garages Rooms other than sleeping rooms

R301.6 Roof load. Roof shall be designed for the live load indicated in Table R301.6 or the snow load indicated in Table R301.2(1), whichever

TABLE R301.6 MINIMUM ROOF LIVE LOADS IN POUNDS-FORCE PER SQUARE FOOT OF HORIZONTAL PROJECTION

ROOF SLOPE

DEFLECTION

TRIBUTARY LOADED AREA IN SQUARE FEET FOR ANY STRUCTURAL MEMBER

0 to 200 201 to 600 Over 600 Flat or rise less than 4 inches per foot (1:3) 20 16 12 16 14 12 Rise 4 inches pf (1:3) to less than 12 inches pf (1:1) Rise 12 inches per foot (1:1) and greater 12 12 12

Section R301.7

GENERAL CONSTRUCTION PROCESS

1. The Contractor before submitting the proposal shall visit the premises and familiarize himself as to the nature and scope of the work, and difficulties that attend its execution.

2. The submission of the proposal will be construed as evidence that such an examination has been made and later claims for labor, equipment or material required for difficulties encountered which could have been averted, has such an examination had been made, will not be recognized.

3. The Contractor shall submit a construction schedule and schedule of construction cost values prior to construction.

4. Comply with all applicable federal, state and local safety rules and

5. The Contractor shall perform all work required for completion of the Project whether or not indicated in the Drawings. The Contractor shall fully furnish all required labor, materials, equipment and any other items which may be deemed necessary to the proper execution and completion of all work shown, called for or inferred by these accompanying drawings and specifications. The intention of the Drawings is to show material relationships for the complete and proper functioning of the entire Project.

6. Contractor shall be responsible for making sure that the site and its contents are secured from entry by non-authorized persons at all times during construction and at the end of each working day.

7. Use only new materials without defects. All materials shall be protected before, during and after installation from loss and damage.

8. The Contractor shall insure that the work site is maintained at all times in such a way as to prevent injury or damage to all persons working on or visiting the premises, public and including related and

9. Contractor shall insure that all site, building and adjacent utilities which may come into conflict with Work have been disconnected or properly protected from contact and harm during construction.

10. All existing exits and exit approach shall be continuouly maintained free of obstruction during construction.

12. During the entire construction period all existing lighting, fire protection devices and alarms shall be continuously maintained.

13. Where openings occur in existing fire rated areas or partitions due to existing or new conduit runs, ductwork, cables, pipes etc. and / or where existing fire-proofing has been removed as a result of existing or new construction work, the Contractor shall close and / or patch as required to match existing material and rating.

14. All penetrations through fire partitions shall be fire-stopped or filled with non-combustible materials to prevent the passage of flame, smoke, fumes, and hot gases. Flammable materials are not permitted as insulation materials or fill.

15. The Contractor shall do all patching required for all subcontractors to complete their work.

16.All existing valves and controls for mechanical equipment are to be kept clean and ready for access. Any possible construction interference that would prevent access is to be brough to the attention of the Owner and the Architect.

17. Any work performed by Contractor or his representatives which causes damage to the building or property shall be corrected. The Contractor shall bear the full cost of correcting such errors, including cost of necessary professional services.

18. Contractor shall keep all work areas clear of refuse and debris, provide for legal removal and disposition of debris for the duration of the project. Upon completion he shall leave the premises free and clear of all rubbish and in a broom swept condition.

19. The Owner shall provide temporary electric power and water for reasonable use by Contractor. The Contractor will provide and pay for temporary heat if required, and temporary sanitary facillites

20. In the event that the Contractor encounters mold or asbestos or products containing or thought to contain asbestos or mold, he shall remove all persons from the property immediately without disturbing these products, and shall notify the Architect and the Owner. In consultation with the Contractor and the Architect, the Owner will then take necessary action to identify the potential mold or asbestos material and institute measures to mitigate possible danger as mandated by law.

21. Contractor to take appropriate measures to protect all parties from potential hazards produced by the removal of or damage to suspected lead-based paints and coatings existing on the property. All paint layers to be damaged or removed shall be tested for lead prior to start of work. If tests are positive, mitigation measures shall include, without being limited to, suitable respirators for workmen, negative pressure chambers, capturing of all particles around the work and on workmen leaving the site, and disposal of all waste as mandated by law. Particular attention shall be paid to preventing wind-borne dispersal of particles. If the Contractor cannot fullfill these requirements with his own forces he shall employ a specialty subcontractor, experienced in lead containmnet and removal for the work. The Contractor shall assume that all paint applied before 1973 contains lead. Tests for lead containing particles on or around the site after work completion may be conducted by the Owner. Lead levels shall be below federal standards or clean up shall be required.

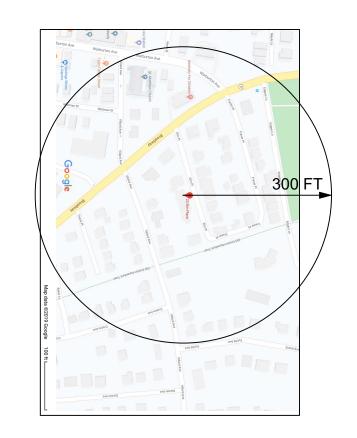
22. The Contractor shall submit to the Architect application for and certification of payment for approval. The Architect will forward the request to the Owner.

23. Upon completion, Contractor shall deliver to the Owner copies of all product, material, assembly and equipment technical data, warranty information, operating and maintenance instructions as supplied by manufacturers.

24. All work shall be guaranteed for a period of one year from completion against defective materials and workmanship. Any portions of work which develop defects during that time shall be replaced or repaired in manner satisfactory to the Owner without any additional cost to the Owner.

LOT SBL:4.40-27-38 SECTION 4.40 BLOCK 27 LOT 38

THE SURVEY WHICH IS BEING SUBMITTED IS "AS THE PROPERTY CURRENTLY EXISTS". LAND SURVEY BY SUMMIT LAND SURVEYING P.C. COMPLETED ON AUGUST 19, 2019

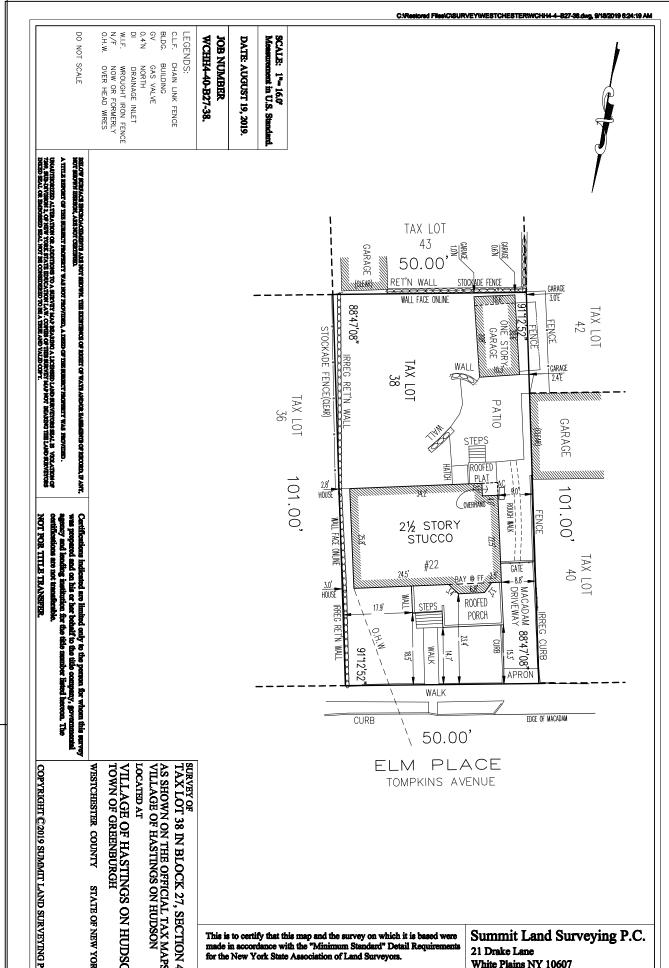


NEW YORK STATE BUILDING AND RESIDENTIAL CODE COMPLIANCE

The proposed work has been designed in accordance with - The 2015 IRC International Residential Code, Second Printing January 2016 and 2017 NYS

- The 2015 IECC International Energy Conservation Code, Second Printing May 2015.

I, Eva Klein Bouhassira, hereby certify that to the best of my knowledge, belief and professional judgement, the proposed design is in compliance with the 2015 IRC and 2017 NYS supplement, and 2015 IECC.



(914) 629-7758

LIST OF DRAWINGS

TITLE SHEET ZONING ANALYSIS **HOUSE VIEWS** A-002 H STREET VIEWS

FIRST FL. PLAN EXISTING FIRST FL. PLAN PROPOSED A-004 A-005 ATTIC FL. PLAN

A-006 **ELEVATIONS HOUSE ELEVATIONS SHED**

SCOPE OF WORK

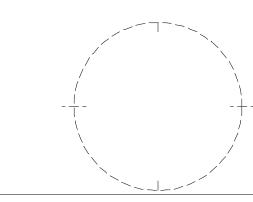
1. Remove the existing kitchen, coat closet and powder room

2. Install the new kitchen, coat closet and powder room.

3. Install a new attic bathroom

4. Construct a new back porch.

5. Remove the existing garage and construct a new garden shed.



FUCHS WALSH RESIDENCE

22 ELM PLACE HASTINGS ON HUDSON

NY 10706

2015 IECC CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA table R301.2(1) effective 10/3/2016

Speed (mph) Topographic Special Wind-borne (RCNY Only) Weathering Frost Line Depth Table Reqd Index	round Snow Load	Wind Design	Wind Design			Seismic Design Category			Climate Ice Barrier Zone Underlayment	Flood Hazards Air Freezing	Mean Annual			
0 115-120 mph NO YES* NO C Severe 42" Mod to Heavy 4A YES ** 2000		Speed (mph)					Weathering		Termite	Table	•		· · ·	Temp
)	115-120 mph	NO	YES*	NO	С	Severe	42"	Mod to Heavy	4A	YES	**	2000	51.6

*Wind speeds higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

2015 IECC INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT Section R402 table RAND 1.2 R-VALUES AND RAND 1.4 FOLIVALENT LLEACTORS

table R	table R402.1.2 R-VALUES AND R402.1.4 EQUIVALENT U-FACTORS									
Climate Zone Table C301.1	Fenestration U-Factor b.	Skylight U-Factor b.	Glazed Fenestration SHGC b.e.	Ceiling R-Value i.	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value c.	Slab R-Value & Depth d.	Crawl Space Wall R-Value c.
4A	U-0.35	U-0.55	0.4	R-49 U-0.026	R-20 or R-13+R-5 U-0.06	R8/13 U-0.098	R-19 U-0.047	R-10/13 U-0.047	R-10, 2 ft. U-0.059	R-10/13 U-0.065

R402.2.1 Ceilings With Attic Spaces

30

Where Section R402.1.2 would require R-49 insulation in the ceiling, installing R-38 over 100 percent of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves.

R402.2.2 Ceilings Without Attic Spaces

Where Section R402.1.2 would require insulation levels above R-30 and the design of the roof/ceiling assembly does not allow sufficient space for the required insulation, the minimum required insulation for such roof/ceiling assemblies shall be R-30. This reduction of insulation from the requirements of Section R402.1.2 shall be limited to 500 square feet (46 m2) or 20 percent of the total insulated ceiling area, whichever is less.

	Table C301.1	Reqd		Index	Temp
leavy	4A	YES	**	2000	51.6
			**		
			Firm Community -	Panal Man# 36	110C0261E

Location: Village of Hastings on Hudson NY 10706

Firm Community - Panel Map# 36119C0261F effective date September 28, 2007

a. R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table. b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed

fenestration. Exception: Skylights may be excluded from glazed fenestration SHGC requirements in climate zones 1 through 3 where the SHGC for such skylights does not exceed 0.30. c. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of

the home. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall. d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in Climate Zones 1 through 3 for heated slabs.

e. There are no SHGC requirements in the Marine Zone. f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and

g. Or insulation sufficient to fill the framing cavity, R-19 minimum. h. The first value is cavity insulation, the second value is continuous insulation, so "13+5" means R-13

cavity insulation plus R-5 continuous insulation. i. The second R-value applies when more than half the insulation is on the interior of the mass wall.

E V A BOUHASSIRA ARCHITECT PC **50 HAMILTON AVENUE**

HASTINGS-ON-HUDSON NY 10706 914-478-1223

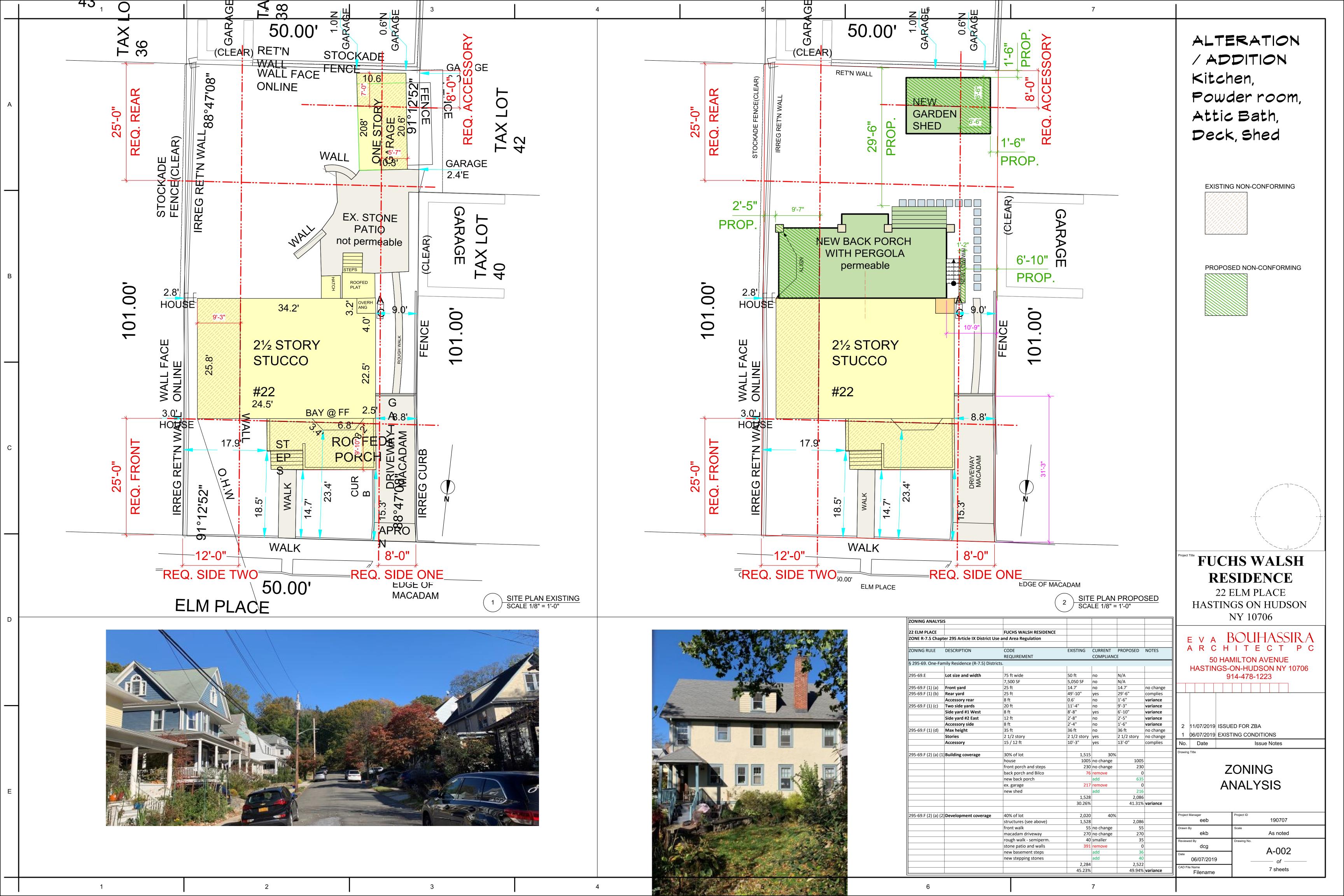
2 | 11/07/2019 | ISSUED FOR ZBA 06/07/2019 EXISTING CONDITIONS

No. Date

Drawing Title TITLE SHEET

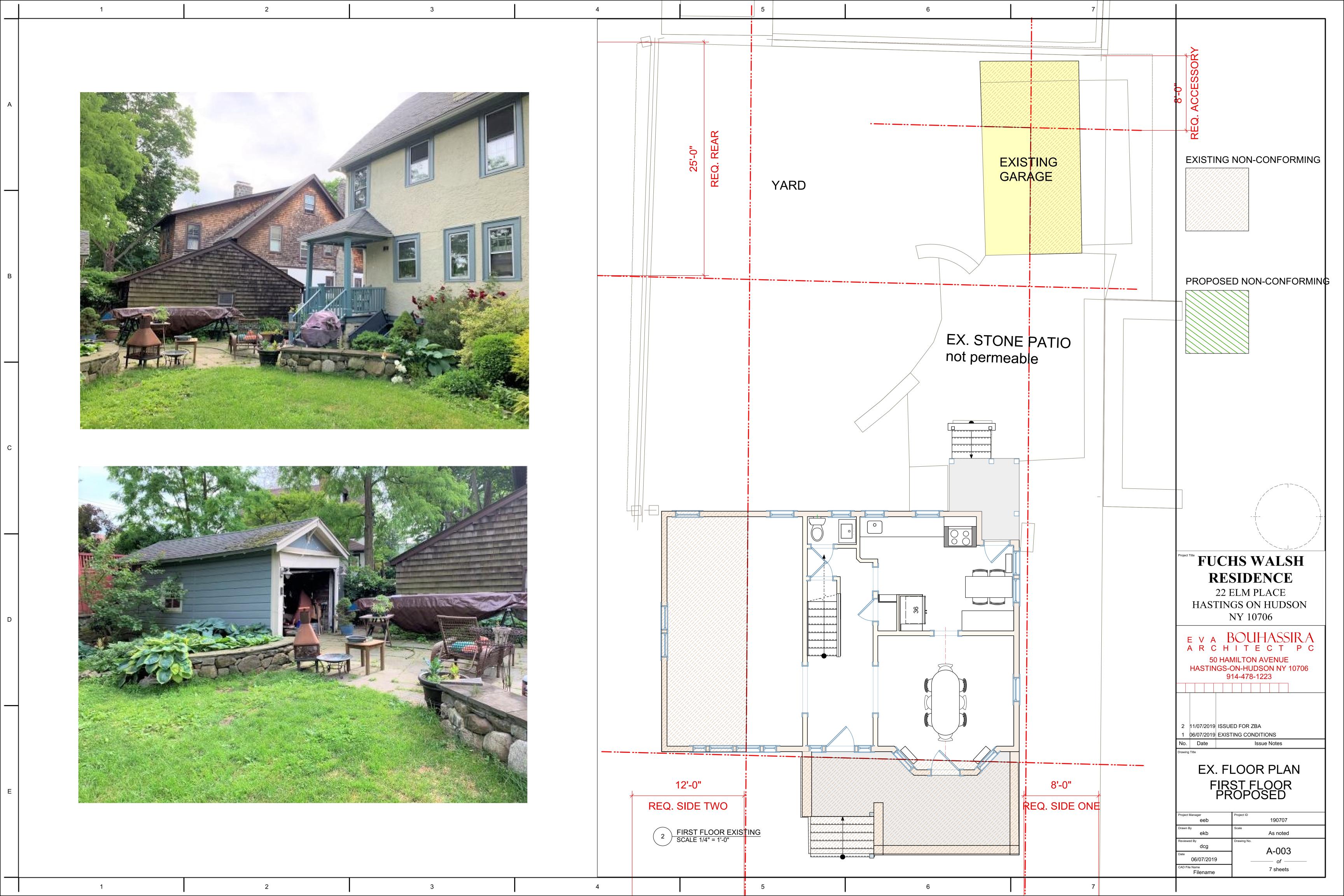
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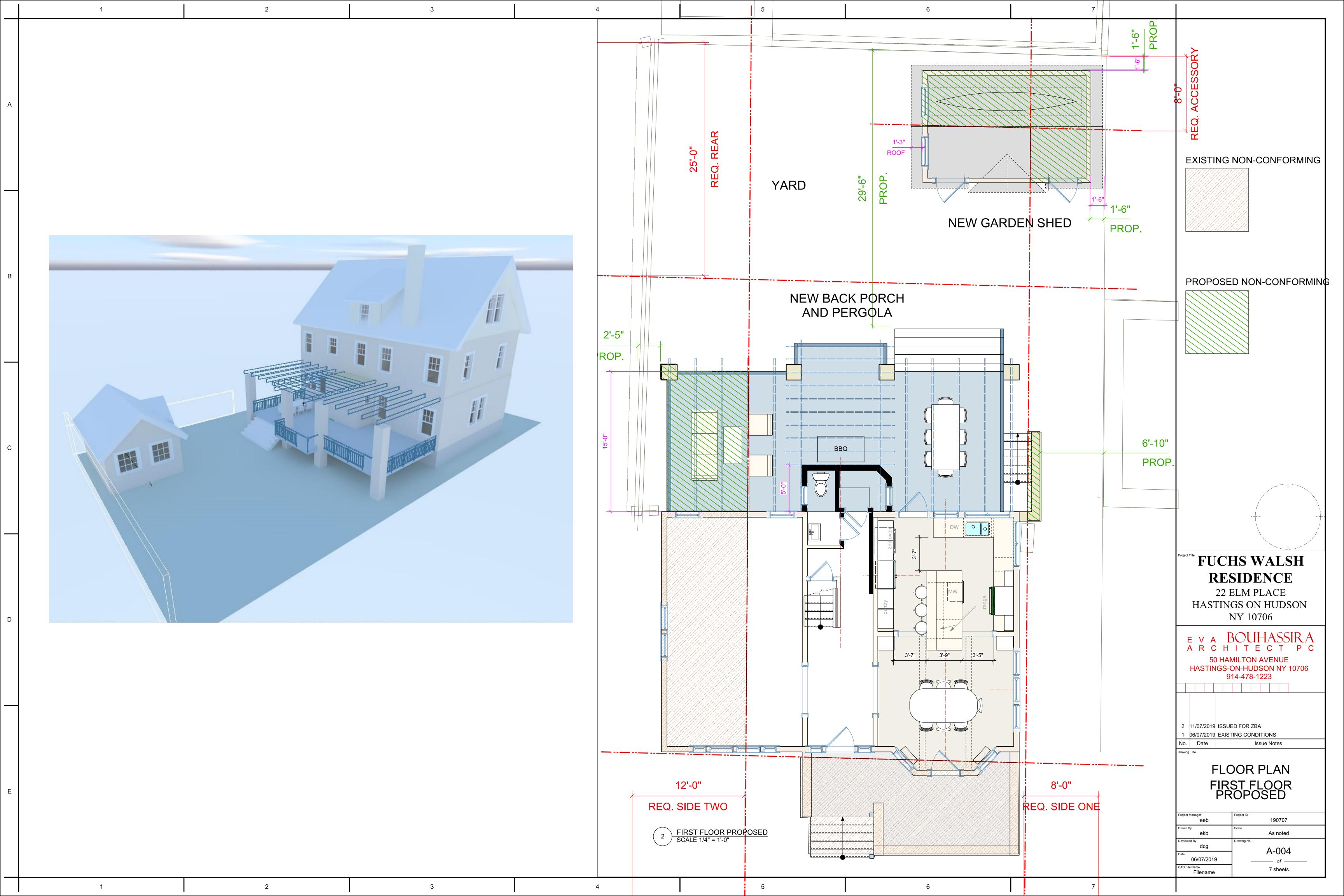
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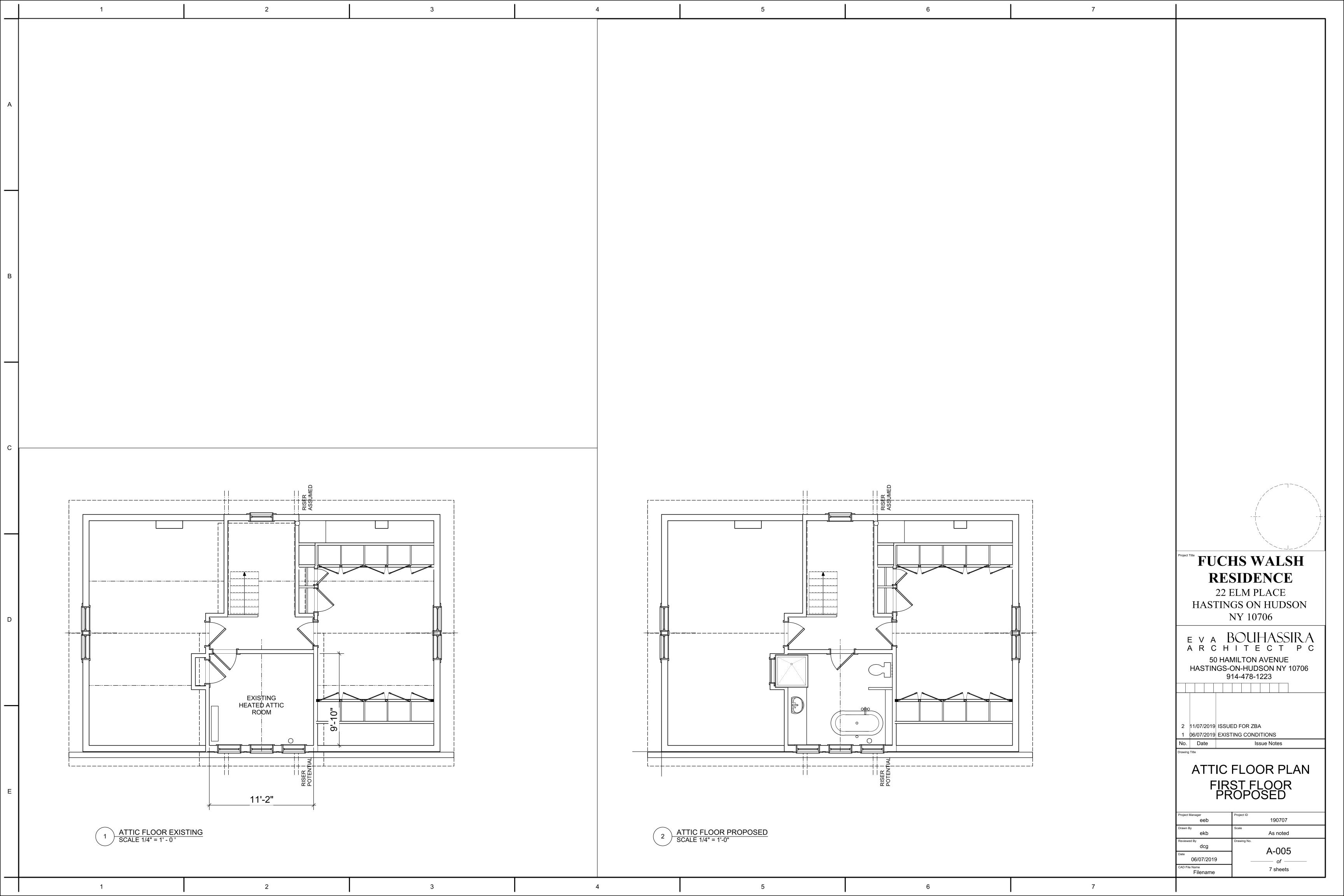


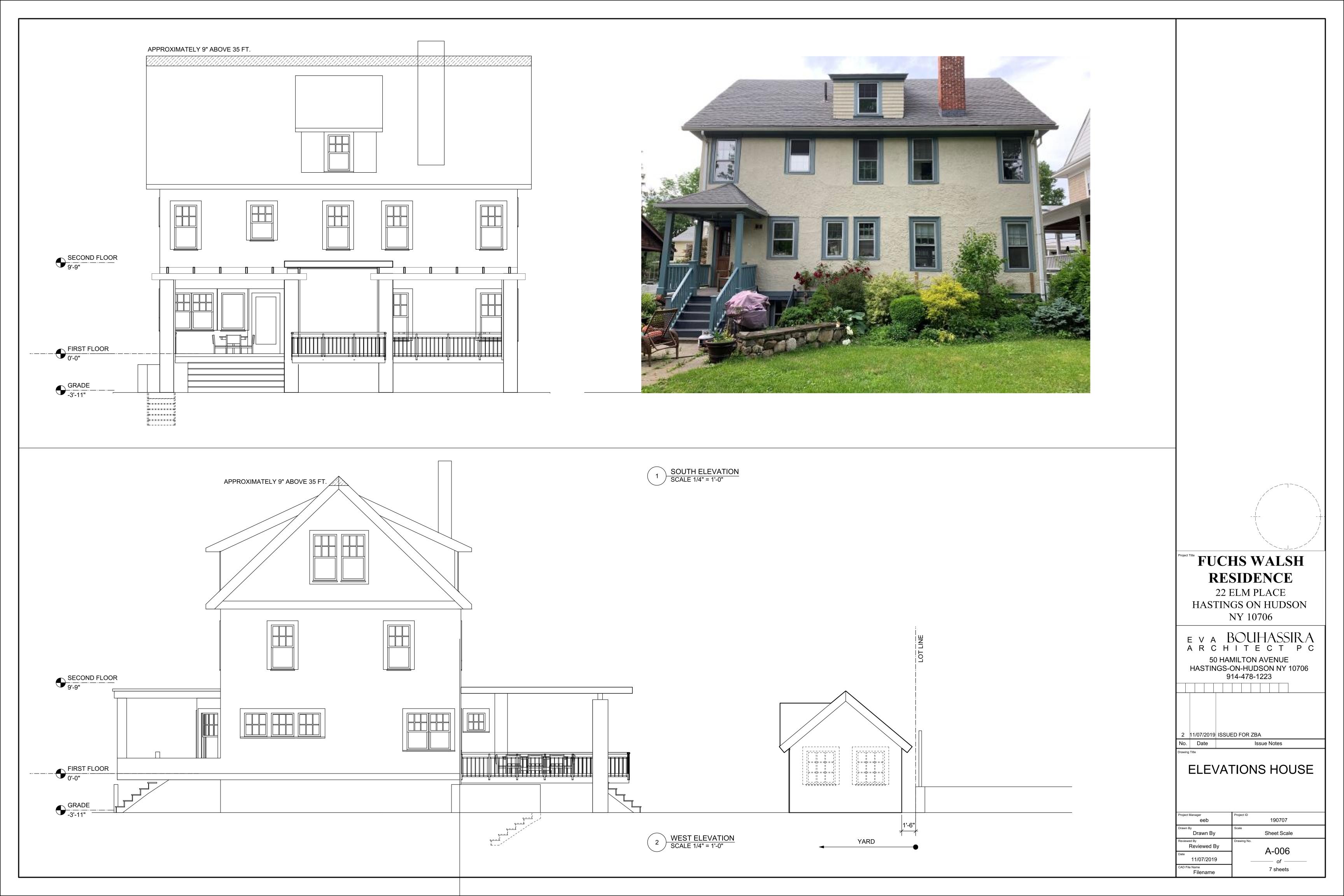


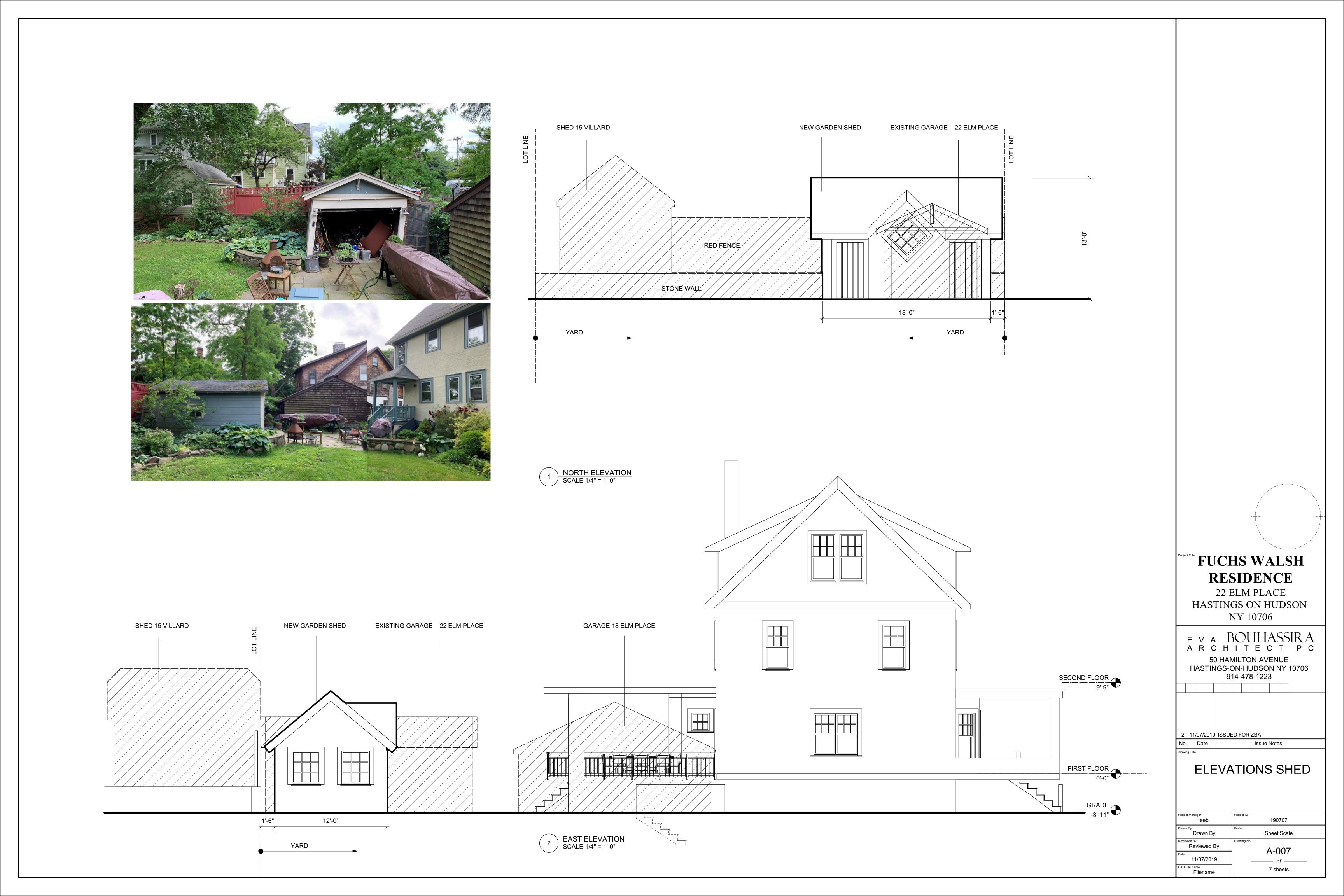












VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

<u>Application and Procedure for Application for Variance/Interpretation/View Preservation</u>



Case number:		Date of application: No	vember 2019				
	_{er:} Marek Fuchs and L _{ess:} 22 Elm Place	orraine Walsh					
Name all streets Sheet: 4.4	s on which the property is loca	ted: Elm Place Lot/Parcel: 38 z	Zoning District: R-7.5				
	a Bouhassira Architec						
Standing of app	olicant if not owner: archite	ect					
		tings on Hudson NY					
		Fax number: 866-2	290-9786				
E-mail address: Eva.Bouhassira.Architect@gmail.com							
ZBA action requested for (See §295-146B & C : Use Variance/s;							
List code sections & provisions from which the variance or interpretation is requested:							
Section 5	Code Provision*	Existing Condition*	Proposed Condition*				
F(1) b F(1) c	REAR ACE. 8 SIDE 8'+12'=20	8'-8"+2'-8=11-4"	6-10+2-5"=9-3				
262061	SIDE ACC. 8'	2'-4"	1'-6"				
F(2)9(1)	BUDG COV 30%		41.51 %				
+(2)a(2)	DEV COV 40%	45.23 %	49.74 70				
*See example below:							
295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft	19.5 ft				

FUCHS WALSH 22 ELM PLACE R-7.5

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals **Zoning Analysis**



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	25'	14.7'	14.7'
REAR	25'	49'-10"	29'-6"
SIDE ONE	8'	8'-8"	6'-10"
SIDE TWO	12'	2'-8"	2'-5"
TOTAL OF TWO SIDES	20'	11'-4"	9'-3"

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED	
TO PRINCIPAL BLDG.				
REAR	8	0.6'	1-6"	
SIDE	8'	2'-4"	1'-6"	

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2'2	21/2	2'2
FEET	35'	35'-5"	35'-5"

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	7,500 SF	5,050 SF	5,050 SF
*BLDG. COVERAGE/ % OF LOT AREA	30%	30.26%	41,31%
*DEVELOPMENT COVERAGE / % OF LOT AREA	40%	45, 23%	49,94%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	ONE FAM.	ONE FAM.	ONE FAM.

^{**} Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

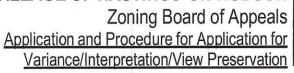
Zoning Board of Appeals <u>Application and Procedure for Application for Variance/Interpretation/View Preservation</u>



List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Res	olution if any	Date of Action
List pending viola	ations on this property if any:	,	1	,
			<u> </u>	
Is there an appro	oved site plan for this property?:		(Yes)	(No)
Is there an Acce	ssory Apartment at this property?:		(Yes)	(No)
Does this proper	ty have Boarder's Permit?:		(Yes)	(No)
variance is necestor area) sought. explain the issue Submit a flash drive and property survey showing photographs, etc. as necessary	cribe the construction, addition or alter- essary and demonstrate how the varian. The criteria for the two types of variar. If you wish you may also state your a total of three (3) copies (residential) or eight the existing and proposed construction and all essary to describe and support your application or to the date of scheduled meeting of the Z	ce satisfies the offices are attache argument for how (8) copies (commel other supporting don) with required fee	criteria for the ty d. (If an interpr w the issue sho ercial), of the applic ocuments (plans, o e, to the Office of the	rpe of variance (use retation is sought, uld be resolved.) cation along with the drawings, site maps,
STATE OF NEW YO				
I hereby depose and	say that all of the above statements a ion with this application are true:	nd statements c	ontained in all p	papers I have
Sworn to before me tof, 2		Applicant		
Notary Public				

VILLAGE OF HASTINGS-ON-HUDSON





Name :		, being o	luly sworn, deposes and says that
he/she resides at			in the Village of Hastings-on-
Hudson in the County of Westchest	er, in the State of	of New York, that he/she i	s the owner of all that certain lot,
parcel of land, in fee, lying and bein	g in the Village	of Hastings-on-Hudson at	oresaid and known and
designated as Sheet	Block	and Lot	of the tax map, and that
he/she hereby authorized			_to make the annexed
application in his/her behalf and tha	t the statement	of fact contained in said a	application are true.
STATE OF NEW YORK COUNTY OF WESTCHESTER ss.:			
Owner			
SWORN TO BEFORE ME THIS OF20	DAY		
Notary Public			

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.