

Paul J. Petretti
Civil Engineer & Land Surveyor
Certified Wetland Delineator
Certified Floodplain Manager

CIVIL ENGINEERING - LAND SURVEYING & MAPPING - SITE DESIGN & PLANNING
ENVIRONMENTAL & GEOTECHNICAL - DRAINAGE & STORMWATER QUALITY
EROSION & SEDIMENT CONTROL STORMWATER POLLUTION PREVENTION PLANS
FLOODPLAIN MANAGEMENT & HYDROLOGY

March 18, 2017
Revised April 4, 2017
August 2, 2017

Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, New York 10707

Attention: Mr. Matthew Collins, Chairman and Zoning Board of Appeals

Re: Subdivision Application of Dean L. Wetherell and Marie T. de Bethune
Wetherell, 196 Warburton Avenue, Hastings-on-Hudson, NY 10706.

Application for area variances

Dear Mr. Collins and Zoning Board:

As the representative of the applicants this office has an application before the Planning Board to create a two lot subdivision in the R-10 Zone that will create a new building lot and a lot for the existing house at 196 Warburton Avenue. We are appearing before the ZBA to request area variances for the two lots with less than 100 feet of width at front property line. Proposed Lot No. 1, a new building lot will have a mean width of 72.92 feet and proposed Lot No.2 for the existing residence will have a mean width of 74.01 feet. The proposed lots meet the required lot area of 10,000 square feet.

Section 295-68 One-Family Residence (R-10) Districts

A variance from section 295-68 E. Minimum Lot Width of 100 feet for proposed lot No. 1 to 72.92 feet, (average at the front and the rear with the rear measure line set parallel with the front line).

A variance from section 295-68 E. Minimum Lot Width of 100 feet for proposed lot No. 2 to 74.01 feet (average at the front and the rear with the rear measure line set parallel with the front line).

A variance for development coverage is required as set forth herein:

For Lot No. 2 a variance from Section 295-68 F. (2) (a) [2], Development coverage 35% to 39.12 %.

Proposed Lot No. 1, the new lot will comply for the minimum side, two sides, building coverage and development coverage with the proposed coverage's well below the required 25% (17.03 %) and 35% (23.54%). **Please take note that the site plan before you is a real location of a house and driveway that as I stated at the July 27, 2017 ZBA meeting it is based on a site plan brought before the Planning Board. This plan shows the house to be constructed; it is not a hypothetical.**

In response to the discussion at the July 27, 2017 ZBA meeting we are submitting a revised subdivision plan for consideration at the next ZBA that addresses the balancing of the average lot widths. We can accomplish the balancing with the average width of Lot -1 at 72.92 and Lot-2 at 74.01.

We are also submitting a revised zoning analysis sheet Z-3 that summaries our findings on the average lot area and lot width. The analysis was performed as follows. We used the Town of Greenburgh GIS to look at the lots on an individual basis in a graphic manner and the lots have attributes showing the lot size. The graphic of the lots shows the dimension of the lots and we calculated the average width. There are 62 lot locations in the area of the R-10 Zone that represent the way land development occurred in this area of the village. We did exclude the three (3) larges lots and we used the width of the two tax lots of our application taken together treating it as one lot. I believe the analysis is accurate.

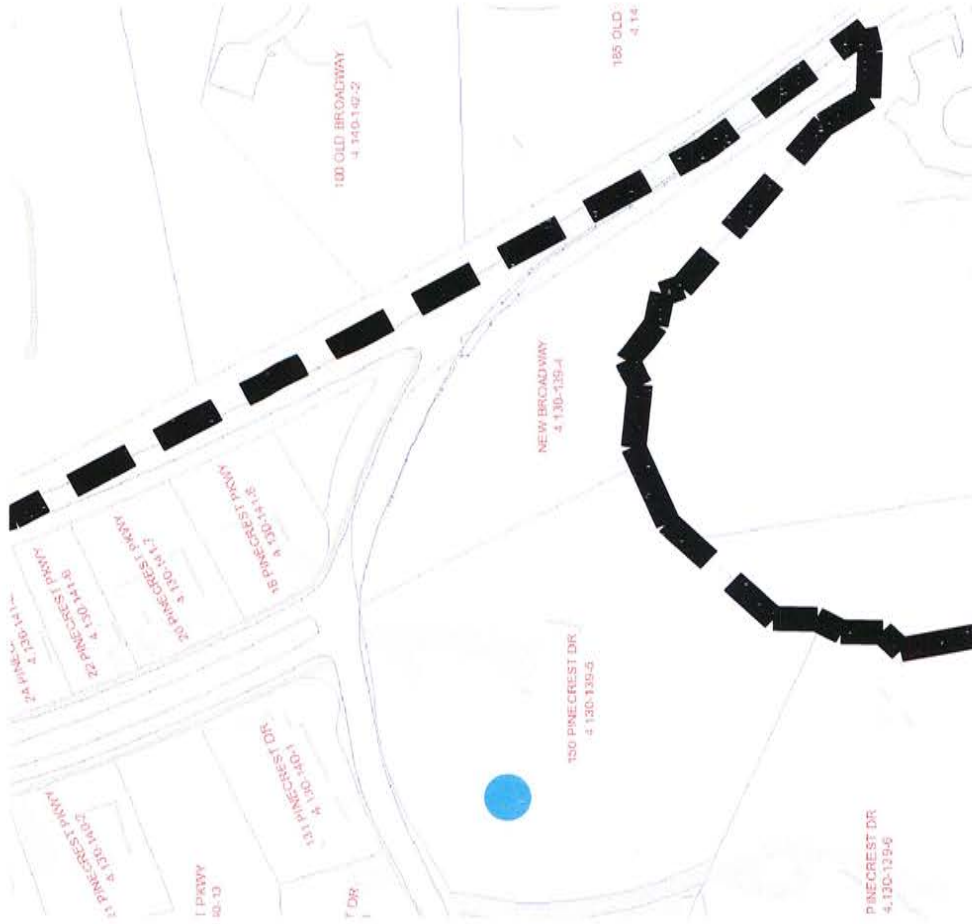
Please place this matter on the agenda of the Zoning Boards of Appeals at the earliest possible convenience. We appreciate the opportunity to bring this matter before the Zoning Board of Appeals in the Village of Hasting-on-Hudson.

Very truly yours,



Paul J. Petretti, P.E., L.S., CFM

cc: C:\My Documents\VOH Projects\196 Warburton Avenue\ 196 Warburton Avenue
Correspondence.doc
Applicant Dean L. Wetherell and Marie T. de Bethune
Project architect, Mr. Tomasz Lopinski
Linda Whitehead, Village Attouney



62	161	11,325	102
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SUMMARY

BASED ON 62 LOTS OF NEIGHBORHOOD
EXCLUDING 3 LARGEST LOTS

LOTS NON-CONFORMING BY AREA	26 out of 62	41.9 %
LOTS NON-CONFORMING BY WIDTH	39 out of 62	62.9 %
LOTS W/ WIDTH BELOW 75'	27 out of 62	43.5 %
AVERAGE WIDTH OF ALL LOTS	82.9'	
AVERAGE LOT WIDTH OF LOTS BELOW 75'	55.5'	
AVERAGE AREA OF ALL LOTS	11,300 SF	
LOTS W/ WIDTH < 71.21 (proposed LOT 1)	26 out of 63	41.2 %
LOTS W/ WIDTH < 74.01 (proposed LOT 2)	1 out of 63	1.6 %
AVERAGE WIDTH OF TWO LOTS TO IMMEDIATE NORTH OF PROPOSED IS 74.09' COMPARED TO AVERAGE WIDTH OF TWO PROPOSED LOTS 73.47'		

3 largest lots :

- 150 PINECREST DR: 102,366 SF
- 26 PINECREST DR: 64,468 SF
- 114 PINECREST DR: 43,124 SF

PROPOSED

LOT 1	10,930 SF	72.92 FT
LOT 2	11,017 SF	74.01 FT
AVERAGE OF LOT 1 & 2	10,973 SF	73.47 FT

05.17.2017
06.22.2017
08.03.2017

Table 1

NO	SDL	ADDRESS	LOT AREA	LOT WIDTH
1	4.100-96-13	1 PINECREST DR.	16117	128
2	4.100-96-14, 4.100-96-15	17 PINECREST DR.	17423	125
3	4.100-96-16	21 PINECREST DR.	13068	129
4	4.100-97-1 *	26 PINECREST DR. *	0	0
5	4.130-139-14	58 PINECREST DR.	11761	91
6	4.130-139-13	66 PINECREST DR.	3484	75
7	4.130-139-11	78 PINECREST DR.	5662	75.4
8	4.130-139-10	80 PINECREST DR.	10454	75.5
9	4.130-139-9	82 PINECREST DR.	15503	62
10	4.130-139-7 *	114 PINECREST DR. *	0	0
11	4.130-140-14	111 PINECREST DR.	18730	140
12	4.130-140-1	131 PINECREST DR.	14810	157
13	4.130-139-5 *	150 PINECREST DR. *	0	0
14	4.130-138-6	165 WARBURTON AVE.	12196	111
18	4.130-138-7	169 WARBURTON AVE.	6969	70
16	4.130-138-8	173 WARBURTON AVE.	6430	37
17	4.130-138-9	175 WARBURTON AVE.	12632	75
18	4.130-138-11	189 WARBURTON AVE.	7385	50.1
19	4.130-138-10	185 WARBURTON AVE.	21946	73.47
20	4.130-139-12	196 WARBURTON AVE. lot 12	0	0
21	4.130-139-24	162 WARBURTON AVE.	16988	125
22	4.130-139-22	168 WARBURTON AVE.	15245	136
23	4.130-139-21	176 WARBURTON AVE.	11761	98
24	4.130-139-20	184 WARBURTON AVE.	6098	50
25	4.130-138-19	192 WARBURTON AVE.	11761	100
26	4.130-139-18	196 WARBURTON AVE. lot 18	13939	100
27	4.130-139-17	196 WARBURTON AVE. lot 17	8007	44.5
28	4.130-139-16	200 WARBURTON AVE.	13504	72.4
29	4.130-139-15	204 WARBURTON AVE.	9583	51.5
30	4.100-95-2	177 SOUTH BROADWAY	10500	75
31	4.100-95-1	167 SOUTH BROADWAY	11325	102
32	4.100-95-42	165 SOUTH BROADWAY	11325	101.5
33	4.100-95-3 *	179 NEW BROADWAY *	32234	109.5
34	4.100-95-44	159 NEW BROADWAY	13068	114.5
35	4.100-95-4	191 NEW BROADWAY	19097	55
36	4.130-141-8	18 PINECREST PARKWAY	12632	94
37	4.130-141-7	20 PINECREST PARKWAY	13068	95
38	4.130-140-2	21 PINECREST PARKWAY	13939	104.5
39	4.130-141-6	22 PINECREST PARKWAY	8276	57
40	4.130-141-5	24 PINECREST PARKWAY	8276	57
41	4.130-141-4	30 PINECREST PARKWAY	9147	57
42	4.130-140-3	31 PINECREST PARKWAY	12632	104
43	4.130-140-4	33 PINECREST PARKWAY	6969	62
44	4.130-140-5	35 PINECREST PARKWAY	6534	60
45	4.130-141-3	36 PINECREST PARKWAY	11325	76
46	4.130-140-6	41 PINECREST PARKWAY	6098	64
47	4.130-141-2	42 PINECREST PARKWAY	8276	57
48	4.100-95-30	49 PINECREST PARKWAY	15245	59
49	4.130-141-1	50 PINECREST PARKWAY	15681	107
50	4.100-95-50	54 PINECREST PARKWAY	9147	63

51	4.100-95-49	64 PINECREST PARKWAY	6969	48
52	4.100-95-46	68 PINECREST PARKWAY	7405	48
53	4.100-95-47	72 PINECREST PARKWAY	6969	46
54	4.100-95-46	76 PINECREST PARKWAY	6969	44
55	4.100-95-45	80 PINECREST PARKWAY	13503	96
56	4.100-95-34	83 PINECREST PARKWAY	8534	50
57	4.100-95-35	87 PINECREST PARKWAY	6098	50
58	4.100-95-36	91 PINECREST PARKWAY	5227	50
59	4.100-95-37	95 PINECREST PARKWAY	5227	50
60	4.100-95-38	99 PINECREST PARKWAY	7405	55
61	4.100-95-49	107 PINECREST PARKWAY	7405	75
62	4.100-95-40	115 PINECREST PARKWAY	18730	150
63	4.100-95-43	161 PINECREST PARKWAY	11325	102

LOTS NON-CONFORMING BY AREA

27 OUT OF 63 - 43%

LOTS NON-CONFORMING BY WIDTH

40 OUT OF 63 - 63%

LOTS W/ WIDTH BELOW 75 FT.

28 OUT OF 63 - 44%

AVERAGE AREA OF ALL LOTS (SF)

10571.68

AVERAGE AREA OF ALL LOTS (SF)*

11211.00

AVERAGE WIDTH OF ALL LOTS (FT)

81.18

AVERAGE WIDTH OF LOTS < 75 FT (FT)

52.48

* excluding 4 largest lots

...

...

PROPOSED LOT 1

...

...

PROPOSED LOT 2

**AVERAGE WIDTH OF LOTS TO IMMEDIATE NORTH
OF PROPOSED IS 61.95 COMPARED TO
AVERAGE WITH OF TWO PROPOSED LOTS**

LEGEND

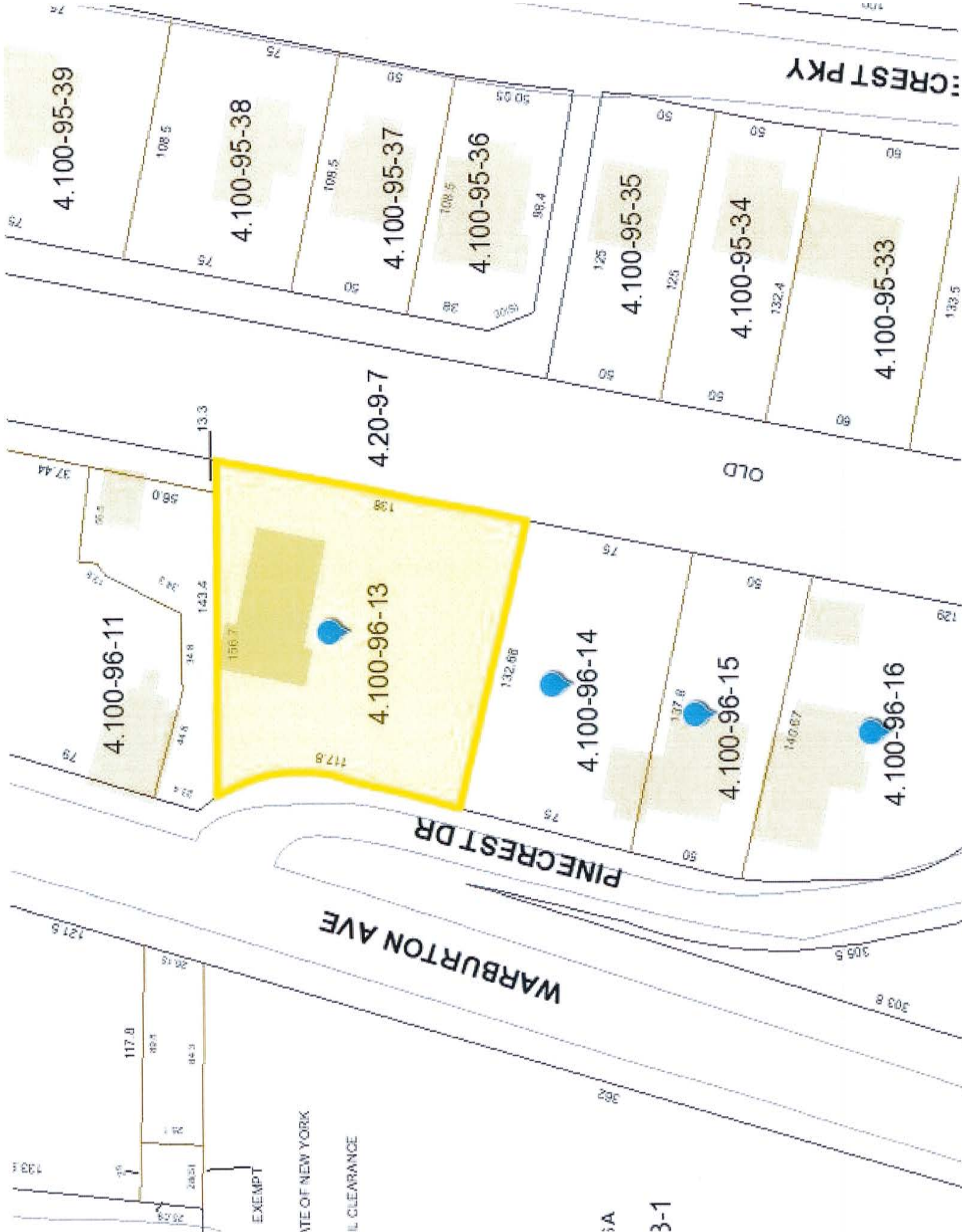
LOTS CONFORMING TO R-10

LOTS W/ WIDTH > 75 FT < 100 FT

LOTS W/ WIDTH < 75 FT

LOT AREA < 100 FT

End



4.100-95-39

4.100-95-38

4.100-95-37

4.100-95-36

4.100-95-35

4.100-95-34

4.100-95-33

4.100-96-11

4.100-96-13

4.100-96-14

4.100-96-15

4.100-96-16

WARBURTON AVE

PINECREST DR

OLD PINECREST PKY

EXEMPT

SITE OF NEW YORK

117.0

3-1

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application & Procedures for Application for Variance/Interpretation/View Preservation



Proposed Subdivision Lot No. 1

Case Number: Date of Application: March 14, 2017 Rev. August 2, 2017

Property Owner: Dean Wetherell
Property Address: 196 Warburton Avenue
Name all streets on which the property is located: 196 Warburton Avenue
Sheet: 004.130 Block: 140 Lot/Parcel: 17 & 18 Zoning District: R-10

Applicant: Dean Wetherell
Standing of applicant if not owner: Applicant is the owner
Address: 196 Warburton Avenue
Daytime phone number: 914-584-0742 Fax number: N/A
Email address: deanwetherell deanwetherell@gmail.com

ZBA action requested for (See §295-146B & C):
☐ Use Variance/s; ☐ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 E	Min. Lot Width, 100'	N/A	72.92
.....
.....
.....
.....
.....

*See example below:

295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft	19.5 ft
295-68A	Permitted Principal Use	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)	Proposed Subdivision Lot 1		
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	REQUIRED	EXISTING	PROPOSED
FRONT	30.00	N/A	30.17
REAR	30.00	N/A	82.65
SIDE ONE	12.00	N/A	12.17
SIDE TWO			
TOTAL OF TWO SIDES	30.00	N/A	30.00

YARD SETBACKS (Accessory Structure)
--

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	N/A	N/A	N/A
REAR	N/A	N/A	N/A
SIDE	N/A	N/A	N/A

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	N/A	2 1/2
FEET	35	N/A	Less Than 35

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 S.F.	N/A	10,930 S.F.
BLDG. COVERAGE/ % OF LOT AREA	25%	N/A	17.03%
DEVELOPMENT COVERAGE / % OF LOT AREA	35.00%	N/A	23.54

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	1- Family	1-Family	1-Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with the Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
N/A			

- List pending violations on this property if any:

None

- Is there an approved site plan for this property?: ☐ (Yes) ☐ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☐ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☐ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish, you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary, to describe and support your application) with required fee, to the Building Department, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Applicant Dean Wetherell

Sworn to before me this _____ day
of March, 201 7

Notary Public

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

**Application and Procedure for Application for
Variance/Interpretation/View Preservation**



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON ss.:

Name : Dean Wetherell, being duly sworn, deposes and says that
he/she resides at 196 Warburton Avenue in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 004.130 Block 140 and Lot 17 & 18 on the tax map, and that
he/she hereby authorized Paul J. Petretti, P.E., L.S., CFM to make the annexed
application on his/her behalf and that the statement of fact contained in said application are true.

Owner Dean Wetherell

SWORN TO BEFORE ME THIS _____ DAY
OF August 20 17

Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in
accordance with the foregoing and as required by law.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application & Procedures for Application for Variance/Interpretation/View Preservation



Proposed Subdivision Lot No. 2

Case Number:..... Date of Application: March 14, 2017, Rev. August 2, 2017

Property Owner: Dean Wetherell
Property Address: 196 Warburton Avenue
Name all streets on which the property is located: 196 Warburton Avenue
Sheet: 004.130 Block: 140 Lot/Parcel: 17 & 18 Zoning District: R-10

Applicant: Dean Wetherell
Standing of applicant if not owner: Applicant is the owner
Address: 196 Warburton Avenue
Daytime phone number: 914-584-0742 Fax number: N/A
Email address: deanwetherell deanwetherell@gmail.com

ZBA action requested for (See §295-146B & C): ☐ Use Variance/s; ☐ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 E.	Min. Lot Width, 100'	N/A	74.01
295-68 F.(2)(a)	Development Coverage	N/A	39.12
[2]			

*See example below:

295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft.	19.5 ft.
295-68A	Permitted Principal Use	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with the Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
N/A			

- List pending violations on this property if any:

None

- Is there an approved site plan for this property?: ☐ (Yes) ☐ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☐ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☐ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish, you may also state your argument for how the issue should be resolved.)

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Applicant Dean Wetherell

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VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)	Proposed Subdivision lot No. 2		
--	--------------------------------	--	--

	REQUIRED	EXISTING	PROPOSED
FRONT	30.00	33.6	33.6
REAR	30.00	68.6	68.6
SIDE ONE	12.00	10.6	10.6
SIDE TWO			23.30
TOTAL OF TWO SIDES	30.00		33.90

YARD SETBACKS (Accessory Structure)
--

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	N/A	N/A	N/A
REAR	N/A	N/A	N/A
SIDE	N/A	N/A	N/A

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	N/A	2 1/2
FEET	35	Less Than 35	Less Than 35

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 S.F.	N/A	11,017 S.F.
BLDG. COVERAGE/ % OF LOT AREA	25.00%	N/A	15.29%
DEVELOPMENT COVERAGE / % OF LOT AREA	35.00%	N/A	39.12%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	1- Family	1-Family	1-Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON ss.:

Name : Dean Wetherell, being duly sworn, deposes and says that
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Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 004.130 Block 140 and Lot 17 & 18 on the tax map, and that
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application on his/her behalf and that the statement of fact contained in said application are true.

Owner Dean Wetherell

SWORN TO BEFORE ME THIS _____ DAY
OF August 20 17

Notary Public

NOTICE

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accordance with the foregoing and as required by law.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals Application & Procedures for Application for Variance/Interpretation/View Preservation



Proposed Subdivision Lot No. 1

Case Number: Date of Application: March 14, 2017 Rev. August 2, 2017

Property Owner: Dean Wetherell
 Property Address: 196 Warburton Avenue
 Name all streets on which the property is located: 196 Warburton Avenue
 Sheet: 004.130 Block: 140 Lot/Parcel: 17 & 18 Zoning District: R-10

Applicant: Dean Wetherell
 Standing of applicant if not owner: Applicant is the owner
 Address: 196 Warburton Avenue
 Daytime phone number: 914-584-0742 Fax number: N/A
 Email address: deanwetherell deanwetherell@gmail.com

ZBA action requested for (See §295-146B & C):
☐ Use Variance/s; ☐ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 E	Min. Lot Width, 100'	N/A	72.92
.....
.....
.....
.....
.....
.....

*See example below:

295-68F 1a	Front Yard Min. 30 ft. deep	26.5 ft.	19.5 ft.
295-68A	Permitted Principal Use	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30.00	N/A	30.17
REAR	30.00	N/A	82.65
SIDE ONE	12.00	N/A	12.17
SIDE TWO			
TOTAL OF TWO SIDES	30.00	N/A	30.00

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	N/A	N/A	N/A
REAR	N/A	N/A	N/A
SIDE	N/A	N/A	N/A

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	N/A	2 1/2
FEET	35	N/A	Less Than 35

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 S.F.	N/A	10,930 S.F.
BLDG. COVERAGE/ % OF LOT AREA	25%	N/A	17.03%
DEVELOPMENT COVERAGE / % OF LOT AREA	35.00%	N/A	23.54

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	1- Family	1-Family	1-Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



- List any previous application or appeal filed with the Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
N/A			

- List pending violations on this property if any:
None

- Is there an approved site plan for this property?: ☐ ..(Yes) ☐ ..(No)
- Is there an Accessory Apartment at this property?: ☐ ..(Yes) ☐ ..(No)
- Does this property have Boarder's Permit?: ☐ ..(Yes) ☐ ..(No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish, you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary, to describe and support your application) with required fee, to the Building Department, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

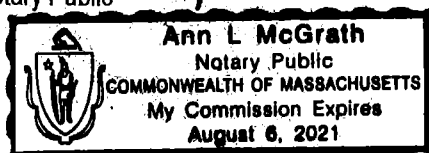
STATE OF NEW YORK *MASSACHUSETTS*
COUNTY OF WESTCHESTER ss: *Barnstable*

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Dean Wetherell
Applicant Dean Wetherell

Sworn to before me this 14 day
of March, 2017

August
Ann L McGrath
Notary Public



VILLAGE OF HASTINGS-ON-HUDSON

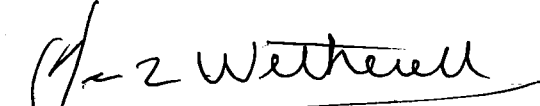
Zoning Board of Appeals

**Application and Procedure for Application for
Variance/Interpretation/View Preservation**

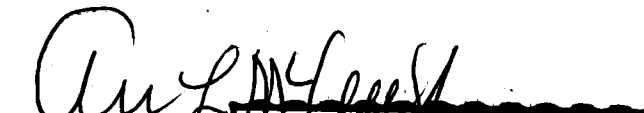
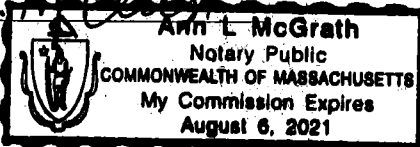


STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON ss.:

Name : Dean Wetherell, being duly sworn, deposes and says that
he/she resides at 196 Warburton Avenue in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 004.130 Block 140 and Lot 17 & 18 on the tax map, and that
he/she hereby authorized Paul J. Petretti, P.E., L.S., CFM to make the annexed
application on his/her behalf and that the statement of fact contained in said application are true.


Owner Dean Wetherell

SWORN TO BEFORE ME THIS 14 DAY
OF Augst 2017


Notary Public


NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in
accordance with the foregoing and as required by law.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals Application & Procedures for Application for Variance/Interpretation/View Preservation



Proposed Subdivision Lot No. 2

Case Number:.....Date of Application: March 14, 2017, Rev. August 2, 2017

Property Owner: Dean Wetherell

Property Address: 196 Warburton Avenue

Name all streets on which the property is located: 196 Warburton Avenue

Sheet: 004.130 Block: 140 Lot/Parcel: 17 & 18 Zoning District: R-10

Applicant: Dean Wetherell

Standing of applicant if not owner: Applicant is the owner

Address: 196 Warburton Avenue

Daytime phone number: 914-584-0742 Fax number: N/A

Email address: deanwetherell deanwetherell@gmail.com

ZBA action requested for (See §295-146B & C):

☐ Use Variance/s;

☐ Area Variance/s;

☐ Interpretation;

☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 E.	Min. Lot Width, 100'	N/A	74.01
295-68 F.(2)(a)	Development Coverage	N/A	39.12
[2]			

*See example below:

295-68F.3a	Front Yard Min. 30 ft. deep	26.5 ft.	19.5 ft.
295-68A	Permitted Principal Use	Single Family Home	Conversion to Dental Office

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with the Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
N/A			

- List pending violations on this property if any:
None

- Is there an approved site plan for this property?: ☐ (Yes) ☐ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☐ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☐ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish, you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary, to describe and support your application) with required fee, to the Building Department, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF ~~NEW YORK~~ *Massachusetts*
COUNTY OF ~~WESTCHESTER~~ ss.: *Barnstable*

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Dean Wetherell
Applicant Dean Wetherell

Sworn to before me this 14 day
of August, 201 7

Ann L McGrath
Notary Public
Ann L McGrath
Notary Public
COMMONWEALTH OF MASSACHUSETTS
My Commission Expires
August 6, 2021

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30.00	33.6	33.6
REAR	30.00	68.6	68.6
SIDE ONE	12.00	10.6	10.6
SIDE TWO			23.30
TOTAL OF TWO SIDES	30.00		33.90

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	N/A	N/A	N/A
REAR	N/A	N/A	N/A
SIDE	N/A	N/A	N/A

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	N/A	2 1/2
FEET	35	Less Than 35	Less Than 35

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 S.F.	N/A	11,017 S.F.
BLDG. COVERAGE/ % OF LOT AREA	25.00%	N/A	15.29%
DEVELOPMENT COVERAGE / % OF LOT AREA	35.00%	N/A	39.12%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	1- Family	1-Family	1-Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation



Massachusetts
STATE OF NEW YORK
COUNTY OF WESTCHESTER *Barnstable*
VILLAGE OF HASTINGS-ON-HUDSON ss.:
Eastham

Name : Dean Wetherell, being duly sworn, deposes and says that
he/she resides at 196 Warburton Avenue in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 004.130 Block 140 and Lot 17 & 18 on the tax map, and that
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application on his/her behalf and that the statement of fact contained in said application are true.

Dean Wetherell

Owner
Dean Wetherell

SWORN TO BEFORE ME THIS 14 DAY
OF August 20 17

Ann L. McGrath

Notary Public
Ann L. McGrath
Notary Public
COMMONWEALTH OF MASSACHUSETTS
My Commission Expires
August 6, 2021

NOTICE

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accordance with the foregoing and as required by law.

Table 1						
	RESUBDIVISION TO 196 WARBURTON AVE.	ZONING ANALYSIS				
	HASTINGS-ON HUDSON, NY 10706					
SBL	ADDRESS	LOT AREA	LOT WIDTH			
1	4.100-96-13	1 PINECREST DR.	16117	128		
2	4.100-96-14, 4.100-96-15	17 PINECREST DR.	17423	125		
3	4.100-96-16	21 PINECREST DR.	13068	129		
4	4.100-97-1	26 PINECREST DR.	0	0	64468	344
5	4.130-139-14	58 PINECREST DR.	11761	91		
6	4.130-139-13	66 PINECREST DR.	3484	75		
7	4.130-139-11	78 PINECREST DR.	5662	75.4		
8	4.130-139-10	80 PINECREST DR.	10454	75.5		
9	4.130-139-9	82 PINECREST DR.	15503	62		
10	4.130-139-7	114 PINECREST DR.	0	0	43124	110
11	4.130-140-14	111 PINECREST DR.	18730	140		
12	4.130-140-1	131 PINECREST DR.	14810	157		
13	4.130-139-5	150 PINECREST DR.	0	0	102366	265
14	4.130-138-6	165 WARBURTON AVE.	12196	111		
18	4.130-138-7	169 WARBURTON AVE.	6969	70		
16	4.130-138-8	173 WARBURTON AVE.	6430	37		
17	4.130-138-9	175 WARBURTON AVE.	12632	75		
18	4.130-138-11	189 WARBURTON AVE.	7385	50.1		
19	4.130-138-10	185 WARBURTON AVE.	15245	100.5		
20	4.130-139-12	196 WARBURTON AVE. lot 12	7385	49.5		
21	4.130-139-24	162 WARBURTON AVE.	16988	125		
22	4.130-139-22	168 WARBURTON AVE.	15245	136		
23	4.130-139-21	176 WARBURTON AVE.	11761	98		
24	4.130-139-20	184 WARBURTON AVE.	6098	50		
25	4.130-138-19	192 WARBURTON AVE.	11761	100		
26	4.130-139-18	196 WARBURTON AVE.	21947	146.94		
27	4.130-139-16	200 WARBURTON AVE.	13504	72.4		
28	4.130-139-15	204 WARBURTON AVE.	9583	74.8		
29	4.100-95-2	177 SOUTH BROADWAY	10500	75		
30	4.100-95-1	167 SOUTH BROADWAY	11325	102		
31	4.100-95-42	165 SOUTH BROADWAY	11325	101.5		
32	4.100-95-3	179 NEW BROADWAY *	32234	109.5		
33	4.100-95-44	159 NEW BROADWAY	13068	114.5		
34	4.100-95-4	191 NEW BROADWAY	19097	55		
35	4.130-141-8	18 PINECREST PARKWAY	12632	94		
36	4.130-141-7	20 PINECREST PARKWAY	13068	95		
37	4.130-140-2	21 PINECREST PARKWAY	13939	104.5		
38	4.130-141-6	22 PINECREST PARKWAY	8276	57		
39	4.130-141-5	24 PINECREST PARKWAY	8276	57		
40	4.130-141-4	30 PINECREST PARKWAY	9147	57		
41	4.130-140-3	31 PINECREST PARKWAY	12632	104		
42	4.130-140-4	33 PINECREST PARKWAY	6969	62		
43	4.130-140-5	35 PINECREST PARKWAY	6534	60		
44	4.130-141-3	36 PINECREST PARKWAY	11325	76		
45	4.130-140-6	41 PINECREST PARKWAY	6098	64		
46	4.130-141-2	42 PINECREST PARKWAY	8276	57		
47	4.100-95-30	49 PINECREST PARKWAY	15245	59		
48	4.130-141-1	50 PINECREST PARKWAY	15681	107		

49	4.100-95-50	54 PINECREST PARKWAY	9147	63		
50	4.100-95-49	64 PINECREST PARKWAY	6969	48		
51	4.100-95-48	68 PINECREST PARKWAY	7405	48		
52	4.100-95-47	72 PINECREST PARKWAY	6969	46		
53	4.100-95-46	76 PINECREST PARKWAY	6969	44		
54	4.100-95-45	80 PINECREST PARKWAY	13503	96		
55	4.100-95-34	83 PINECREST PARKWAY	6534	50		
56	4.100-95-35	87 PINECREST PARKWAY	6098	50		
57	4.100-95-36	91 PINECREST PARKWAY	5227	50		
58	4.100-95-37	95 PINECREST PARKWAY	5227	50		
59	4.100-95-38	99 PINECREST PARKWAY	7405	55		
60	4.100-95-49	107 PINECREST PARKWAY	7405	75		
61	4.100-95-40	115 PINECREST PARKWAY	18730	150		
62	4.100-95-43	161 PINECREST PARKWAY	11325	102		
	LOTS NON-CONFORMING BY AREA	26 OUT OF 62 - 41.9%				
	LOTS NON-CONFORMING BY WIDTH	39 OUT OF 62 - 62.9%				
	LOTS W/ WIDTH BELOW 75 FT.	27 OUT OF 62 - 43.5%				
	AVERAGE AREA OF ALL LOTS (SF) excluding 3	11,300.02				
	AVERAGE WIDTH OF ALL LOTS (FT) excluding 3	82.92				
	AVERAGE WIDTH OF LOTS < 75 FT (FT)	55.47				
	PROPOSED LOT 1		10930	72.92		
	PROPOSED LOT 2		11017	74.01		
	AVERAGE WIDTH OF LOTS TO IMMEDIATE NORTH OF PROPOSED IS 74.09 FT COMPARED TO AVERAGE WITH OF TWO PROPOSED LOTS	73.47				
	LEGEND					
		LOTS CONFORMING TO R-10				
		LOTS W/ WIDTH > 75 FT < 100 FT				
		LOTS W/ WIDTH < 75 FT				
		LOT AREA < 100 FT				
		PROPOSED LOT				
		3 LARGE LOTS EXCLUDED				

SUBDIVISION MAP
OF
PALISADES VIEW
VILLAGE OF HASTINGS-ON-HUDSON
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK.

COUNTY SHEET No. 40, COUNTY BLOCK No. 4391

A RE-SUBDIVISION OF LOTS 18 & 19, AND PART OF AN UNNUMBERED LOT BLOCK AS SHOWN ON A CERTAIN FILED MAP ENTITLED "MAP ONE OF PINECREST-ON-THE-HUDSON, HASTINGS, WESTCHETSER COUNTY, NEW YORK PROPERTY OF METROPOLIS EXTENSION CO. DATED JULY 1 ST. 19099, MADE BY M. LORIN, C.E., AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS ON JULY 26, 1909 AS MAP NO. 1867.

THE PREMISES SHOWN HEREON BE LOTS 17 & 18, BLOCK 140, MAP 004.130 AS SHOWN ON THE TAX MAP OF THE VILLAGE OF HASTINGS-ON-HUDSON, TOWN OF GREENBURGH

WESTCHESTER COUNTY DEPARTMENT OF HEALTH
NEW ROCHELLE, NEW YORK

EXISTING PUBLIC WATER/PUBLIC SEWER

APPROVED PURSUANT TO CHAPTER 873, ARTICLE X, SECTIONS 873.951 AND 873.1021 OF THE WESTCHESTER COUNTY SANITARY CODE SUBJECT TO THE PROVISION OF PUBLIC WATER SUPPLY AND PUBLIC SANITARY SEWER FACILITIES TO SERVE ALL STRUCTURES INTENDED FOR HUMAN OCCUPANCY CONSTRUCTED HEREIN.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS PLAT SHOWING ENDORSEMENT, ANY EXEMPTIONS, CHANGES, ADDITIONS OR ALTERATIONS OF ANY KIND EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE ON THIS PLAN AFTER THIS APPROVAL, SHALL INVALIDATE THIS APPROVAL.

DATE:
APPROVED BY THE ASSISTANT COMMISSIONER OF HEALTH ON BEHALF OF THE DEPARTMENT OF HEALTH

APPROVED BY THE PLANNING BOARD OF THE VILLAGE OF HASTINGS-ON-HUDSON

APPROVED BY THE PLANNING BOARD OF THE VILLAGE OF HASTINGS-ON-HUDSON BY
RESOLUTION DATED

KATHLEEN SULLIVAN, CHAIRPERSON DATE

OWNERS CERTIFICATION

THE UNDERSIGNED OWNERS OF THE PROPERTY SHOWN HEREON IS FAMILIAR WITH THIS MAP AND THE LEGENDS, NOTES AND CONDITIONS SHOWN HEREON, THE CONDITIONS OF THE APPROVAL, THE SEORA FINDINGS AND DETERMINATION, THE RESOLUTION FOR THE APPROVAL OF THIS SUBDIVISION AND PERMITS REQUIRED AND APPROVES THE SAME FOR FILING WITH THE COUNTY CLERKS OFFICE, DIVISION OF LAND RECORDS.

MARIE T. DUBETHUNE WETHERELL DATE

DEAN WETHERELL DATE

ALL TAXES DUE TO DATE HAVE BEEN PAID

ANNE M. POVELLA RECEIVER OF TAXES TOWN OF GREENBURGH DATE

SUSAN MAGGIOTTO VILLAGE CLERK DATE

SUEZ WATER NEW YORK INC.
360 WEST NYACK ROAD
NEW YORK 10994
PROPOSED WATER MAIN AND APPEARANCES APPROVED BY UNITED WATER NEW ROCHELLE
DATE:
BY: FRANK MCGLYNN NEW BUSINESS MANAGER.

SUBDIVISION MAP PREPARED BY:

PAUL J. PETRETTI
CIVIL ENGINEER AND LAND SURVEYOR
30 CLOUD AVENUE, DOBBS FERRY, NEW YORK 10522
Phone Number 914-674-9827 E-Mail PJP@CSELS84ol.com

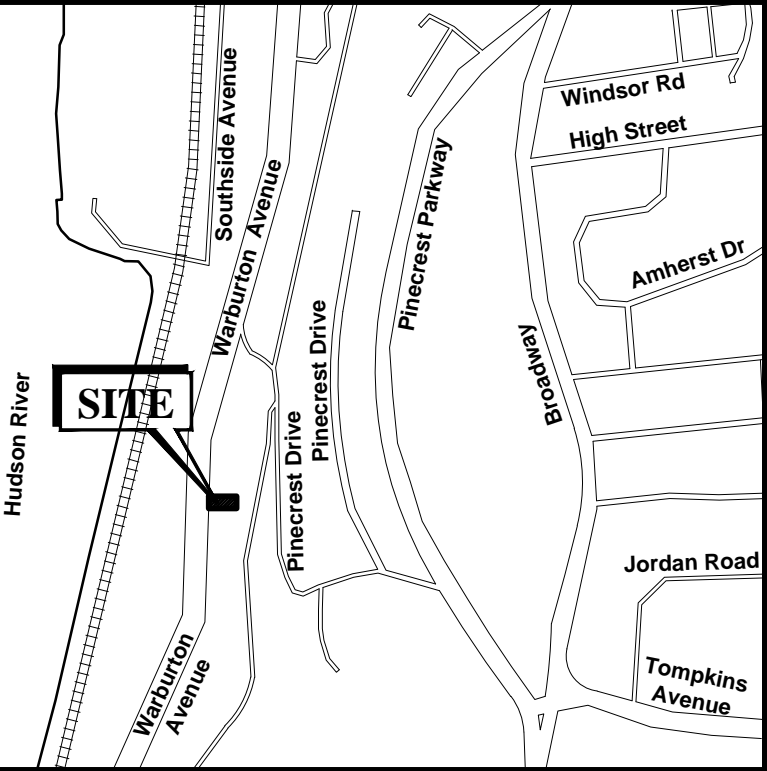
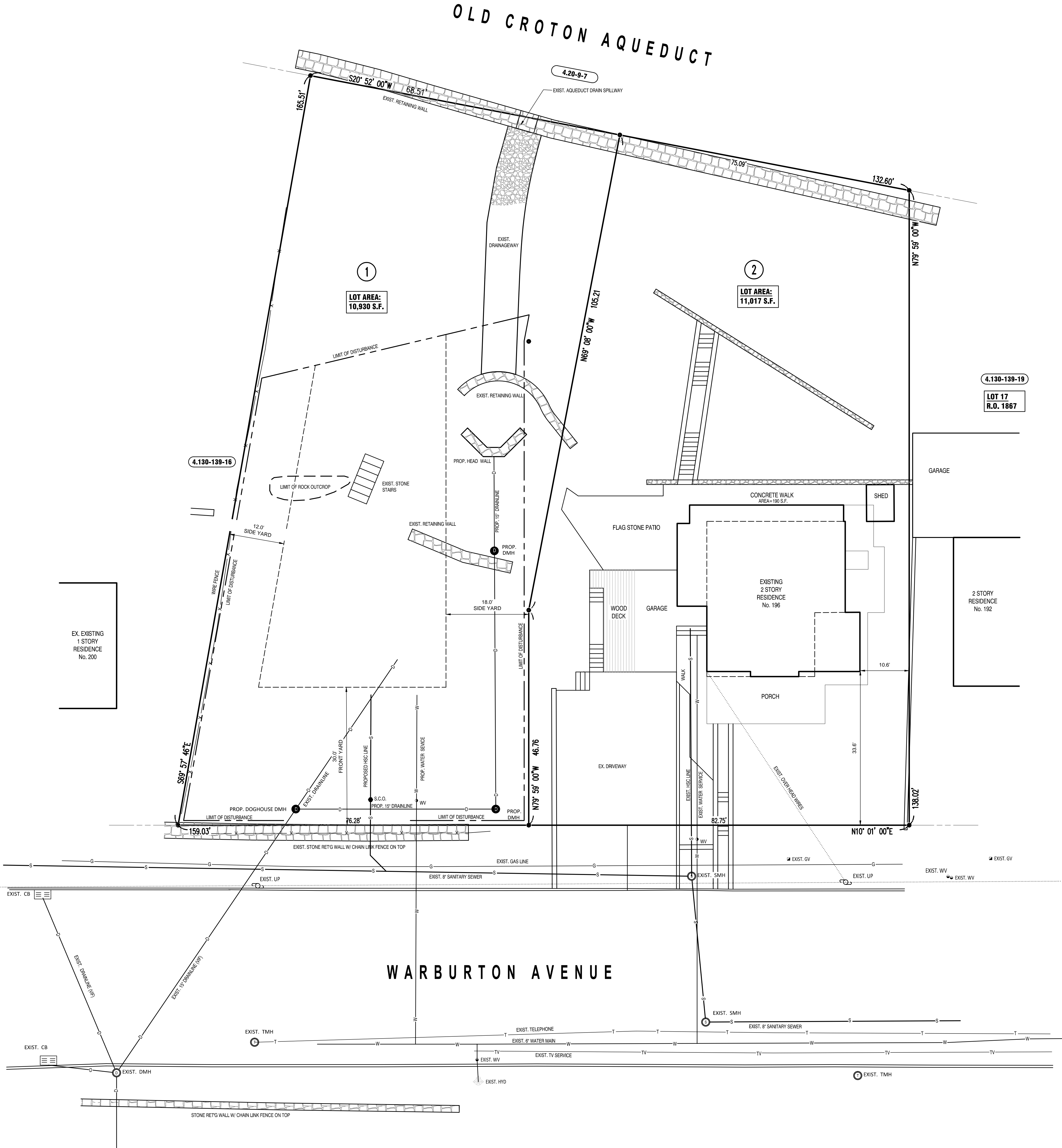
I, PAUL J. PETRETTI, P.E., THE SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THE SURVEY OF THE PROPERTY SHOWN HEREON IS BASED ON A FIELD SURVEY COMPLETED ON FEBRUARY 28, 2017
REVISED ON APRIL 4, 2017, REVISED ON JULY 31, 2017.



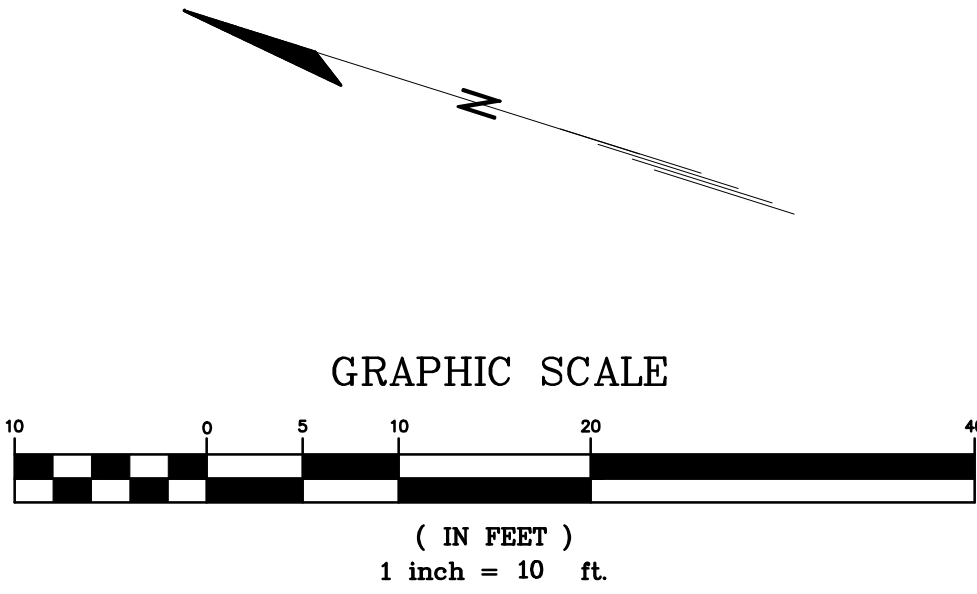
N. Y. S. P. E. LIC. NO. 055191

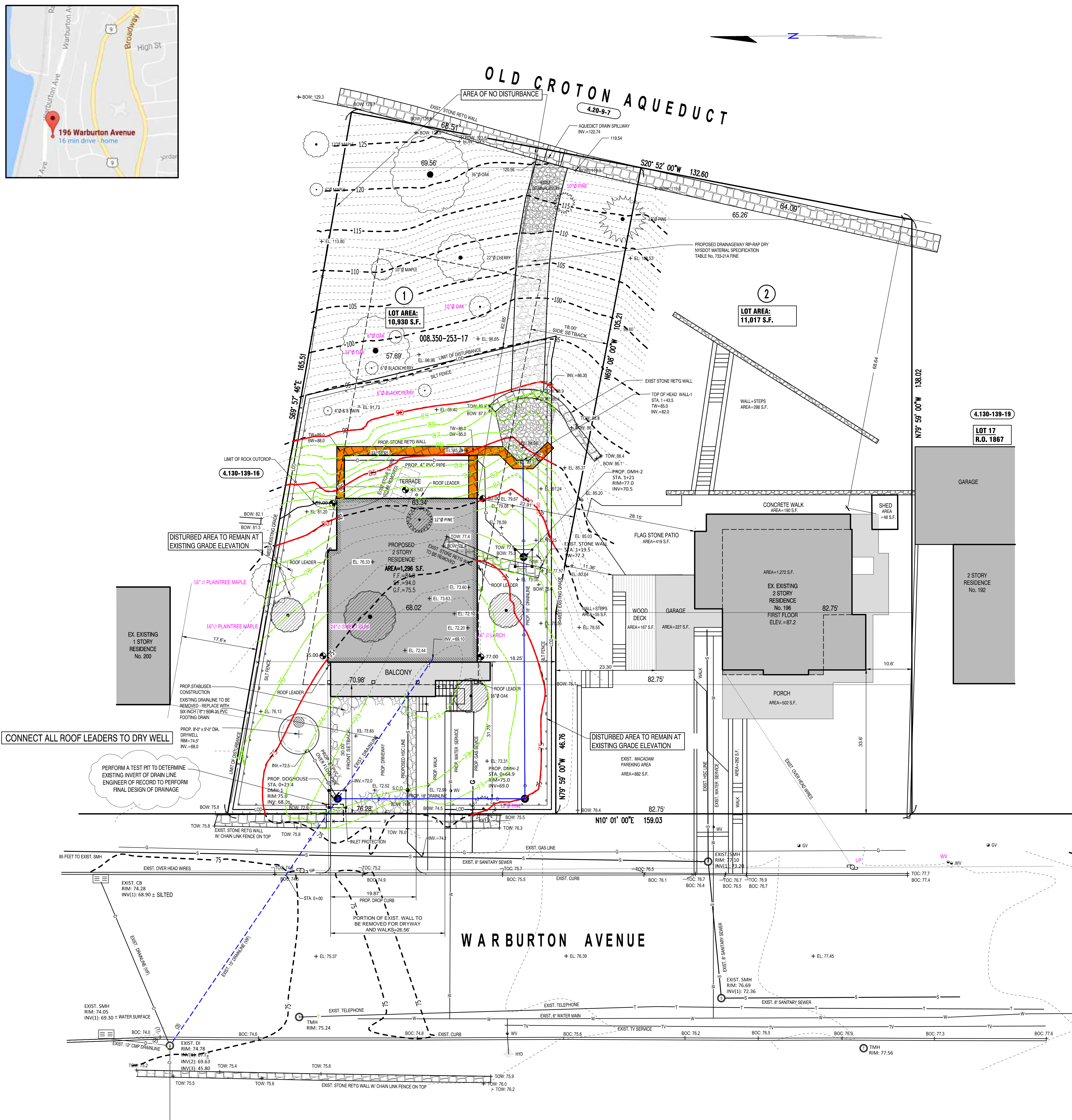


N. Y. S. L. S. LIC. NO. 049371



SITE LOCATION MAP
SCALE: N.T.S.





	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
TOW	TOP OF WALL
BOW	BOTTOM OF WALL
TUC	TOP OF CURB
B/C	BOTTOM OF CURB
	TREES TO BE REMAIN
	TREES TO BE REMOVED
	TREES TO BE PLANTED
	100
	100
	LIMIT OF DISTURBANCE
	DRAINLINE
	SANITARY SERVICE LINE
	WATER MAIN
	WATER SERVICE
	HOUSE SEWER SERVICE
	SEWER MANHOLE
	TELEPHONE MANHOLE
	CATCH BASIN
	YARD DRAIN
	PROPOSED WATER VALVE
	EXISTING HYDRANT
	PROPOSED HYDRANT
	EXISTING UTILITY POLE
	PROPOSED SEWER CLEAN OUT
	PROPOSED STONE RET'G WALL
	ANTI - TRACKING PAD
	SILT FENCE
	TREE PROTECTION
	FILTER FABRIC INLET PROTECTION

UNLESS OTHERWISE SHOWN AS PROPOSED
ALL FEATURES AND UTILITIES SHOWN ON
THE PLAN ARE EXISTING.

VILLAGE OF HASTINGS-ON-HUDSON GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF THE CONSTRUCTION INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THE CONTRACTOR SHALL PROTECT OR, IF NOT THEY ARE SHOWN ON THE PROJECT PLANS, THEY ARE TO BE LOCATED BY THE PROPOSED PLAN. THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES AND THE CONTRACTOR HAS BEEN ADVISED OF SUCH PLANS MAY BE ENGAGED ON THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES AND SHALL CONSTANTLY PROVIDE WITH CAUTION TO PREVENT UNDESIRABLE INTERRUPTIONS TO UTILITY SERVICE.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES WHETHER UNDERGROUND OR OVERHEAD AND SHALL MAINTAIN IN PROPER WORKING AND OPERATING CONDITION ALL UTILITIES. IF TEMPORARY UTILITIES CONNECTIONS SERVICES ARE REQUIRED, THE CONTRACTOR SHALL SEE TO IT THAT THEY ARE PROVIDED, AND IT SHALL BE HIS RESPONSIBILITY TO MAINTAIN SUCH TEMPORARY FACILITIES FOR THE DURATION OF THE PROJECT.
3. THE CONTRACTOR SHALL CONTACT ALL OF THE APPROPRIATE PARTIES WITH JURISDICTION OVER THE UTILITIES ENTERING ON OR NEAR THE PROJECT AREA PRIOR TO THE INITIATION OF CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE STATE OF NEW YORK DEPARTMENT OF LABOR, BOARD OF STANDARDS AND APPEALS INDUSTRIAL CODE RULE 3-1. CONSTRUCTION, EXCAVATION AND DEMOLITION OPERATIONS AT OR NEAR UNDERGROUND FACILITIES' EFFECTIVE APRIL 1, 1978. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ALL APPLICABLE REQUIREMENT OF INDUSTRIAL CODE RULE 3-5. INFORMATION IS AVAILABLE AT 1-800-962-7862.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY THE VILLAGE OF HASTINGSON ON HUDSON, THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) OR ANY OTHER AGENCY WITH JURISDICTION OVER THE PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS FOR ALL NECESSARY INSURANCES REQUIRED BY THE VILLAGE OF HASTINGSON ON HUDSON OR ANY OTHER AGENCY WITH JURISDICTION OVER THIS PROJECT.
7. THE CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OR REPLACEMENT OF ALL (OFF-SITE) NATURAL AND MAN MADE FEATURES DISTURBED BY (HIS) CONSTRUCTION ACTIVITIES WHETHER SHOWN ON THE PROPOSED PLAN OR ENCOUNTERED IN THE FIELD. IT IS THE INTENTION OF THE PROJECT PLAN TO SHOW ONLY MAJOR FEATURES TO BE PROTECTED, RESTORED OR REPLACED. HOWEVER, OTHER PHYSICAL FEATURES MAY BE ENCOUNTERED WHICH WILL REQUIRE RESTORATION OR REPLACEMENT WHETHER OR NOT THEY ARE SHOWN ON THE PLAN.
8. THE CONTRACTOR SHALL VERIFY ALL THE FIELD CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR FILLING AND QUANTITY OF WORK. NO ALLOWANCES SHALL BE MADE ON THE BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLECT ON HIS PART.
9. I HEREBY ACKNOWLEDGE THAT SUBSURFACE INVESTIGATIONS AND BORINGS HAVE NOT BEEN PERFORMED. SUBSURFACE INFORMATION IS NOT AVAILABLE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SUBSURFACE CONDITIONS AND SATISFYING ALL CONTRACTUAL CONDITIONS WITH RESPECT TO UNPRESSED CONDITIONS PRIOR TO ENTERING INTO AGREEMENT TO PERFORM THE WORK SHOWN HEREON.

STEEP SLOPE CERTIFICATION

- (A)
A PLAN SUBMITTED UNDER THE SEAL OF A LICENSED PROFESSIONAL ENGINEER SHOWING AND CERTIFYING THE FOLLOWING:
- (A)
ALL EXISTING AND PROPOSED NATURAL AND ARTIFICIAL DRAINAGE COURSES AND OTHER FEATURES FOR THE CONTROL OF DRAINAGE, EROSION AND WATER.
THE PLANS SHOW ALL NATURAL DRAINAGE PATHS AND FEATURES.
- (B)
THE CALCULATED VOLUME OF WATER RUNOFF FROM THE SLOPE(S) AND FROM THE LOT IN QUESTION, AS UNIMPROVED.
VOLUME OF RUNOFF FROM THE SLOPES = AREA X RUNOFF COEFFICIENT X
6 INCHES OF RAINFALL = AREA X 0.60 X 6 /12" = 2,572 SF. X 0.60 X 6 /12" = 771.6 CUBIC FEET.
- (C)
THE CALCULATED VOLUME OF WATER RUNOFF FROM THE SLOPE(S) AND FROM THE LOT IN QUESTION, AS IMPROVED.
VOLUME OF RUNOFF FROM THE SLOPES = AREA X RUNOFF COEFFICIENT X
6 INCHES OF RAINFALL = AREA X 0.60 X 6 /12" = 2,572 SF. X 0.30 X 6 /12" = 1,157.4 CUBIC FEET.
- (D)
THE DISTANCE, LOCATION AND CAPACITY OF ALL NATURAL AND ARTIFICIAL DRAINAGE COURSES AND FACILITIES WITHIN 500 FEET OF THE LOT WHICH ARE OR WILL BE USED TO CARRY OR CONTAIN THE WATER RUNOFF FROM THE SLOPE(S) AND THE LOT.
THE PLANS SHOW ALL NATURAL AND ARTIFICIAL DRAINAGE COURSES AND FACILITIES.
- (E)
A STATEMENT MADE UNDER THE SEAL OF A LICENSED PROFESSIONAL ENGINEER CERTIFYING THAT

(A)
THE PROPOSED ACTIVITY WILL DISTURB THE STEEP SLOPE AREA TO THE MINIMUM EXTENT POSSIBLE; AND

THE PROPOSED ACTION, THE CONSTRUCTION OF A HOUSE AND RELATED FEATURES, WILL IMPACT THE STEEP SLOPES TO THE MINIMUM EXTENT POSSIBLE. THE STEEPEST AND WOODED PORTION OF THE LOT WITH THE DRAINAGE WAY THAT CONVEYS RUNOFF FROM THE OLD CROTON ADEQUATELY WILL NOT BE DISTURBED.
- (B)
THE PROPOSED MITIGATION MEASURE WILL PREVENT, TO THE MAXIMUM EXTENT PRACTICAL, THE ADVERSE EFFECT OF ANY DISTURBANCE OF THE STEEP SLOPE AREA ON THE ENVIRONMENT AND ANY NEIGHBORING PROPERTIES.

RUNOFF FROM THE STEEP SLOPES, ESPECIALLY THAT FROM THE OLD CROTON ADEQUATE DRAIN, WILL BE CONVEYED TO THE EXISTING DRAINAGE WORKS BY WAY OF A NEW DRAIN LINE AND THE LAND DISTURBANCE WILL NOT HAVE ANY ADVERSE IMPACT ON THE STEEP SLOPES, THE ENVIRONMENT AND ANY NEIGHBORING PROPERTIES.

RUNOFF FROM THE DISTURBED STEEP SLOPES, THE IMPROVED AREA WITH THE HOUSE AND DRIVEWAY AND RELATED IMPERVIOUS AREA, WILL BE CONNECTED TO A DRYWELL WITH AN OVSFLOW TO THE PROPOSED DRAINAGE DRAIN LINE.

APPROVAL NOTES

"THE VILLAGE ENGINEER AND BUILDING INSPECTOR MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS."

CUT AND FILL

OUT = 115 CUBIC YARDS
FILL = 12 CUBIC YARDS
NET EXPORT = 103 CUBIC YARDS

	Required	Lot 1
AREA (sq. ft.)	10,000	10,930
Width	100	72.92 *
Front yard (ft.)	30	30.17
Side Yard (ft.)	12	12.17
2 Side yards (ft.)	30	30.50
Rear Yard (ft.)	30	82.65
Building Coverage (%)	25%	17.03%
Development Coverage (%)	35%	23.54%
Height of Building (ft.)	35	34.9

* VARIANCE REQUIRED

$$\text{AVERAGE LOT WIDTH} = \frac{76.28+69.56}{2} = 72.92$$


	Required	Lot 2
AREA (sq. ft.)	10,000	11,017
Width	100	74.01 *
Front yard (ft.)	30	33.6 **
Side Yard (ft.)	12	10.6 **
2 Side yards (ft.)	30	33.90
Rear Yard (ft.)	30	68.64 **
Building Coverage (%)	25%	15.29%
Development Coverage (%)	35%	39.12% *
Height of Building (ft.)	35	<35

* VARIANCE REQUIRED

EXISTING

$$\text{AVERAGE LOT WIDTH} = \frac{82.75+65.26}{2} = 74.01$$

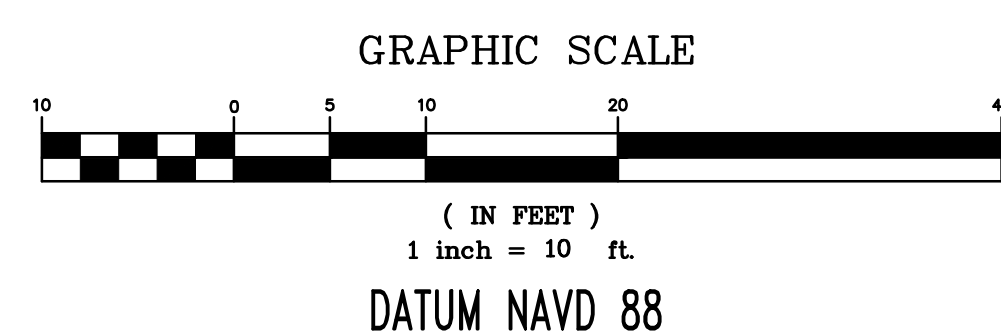
SITE, GRADING AND UTILITY

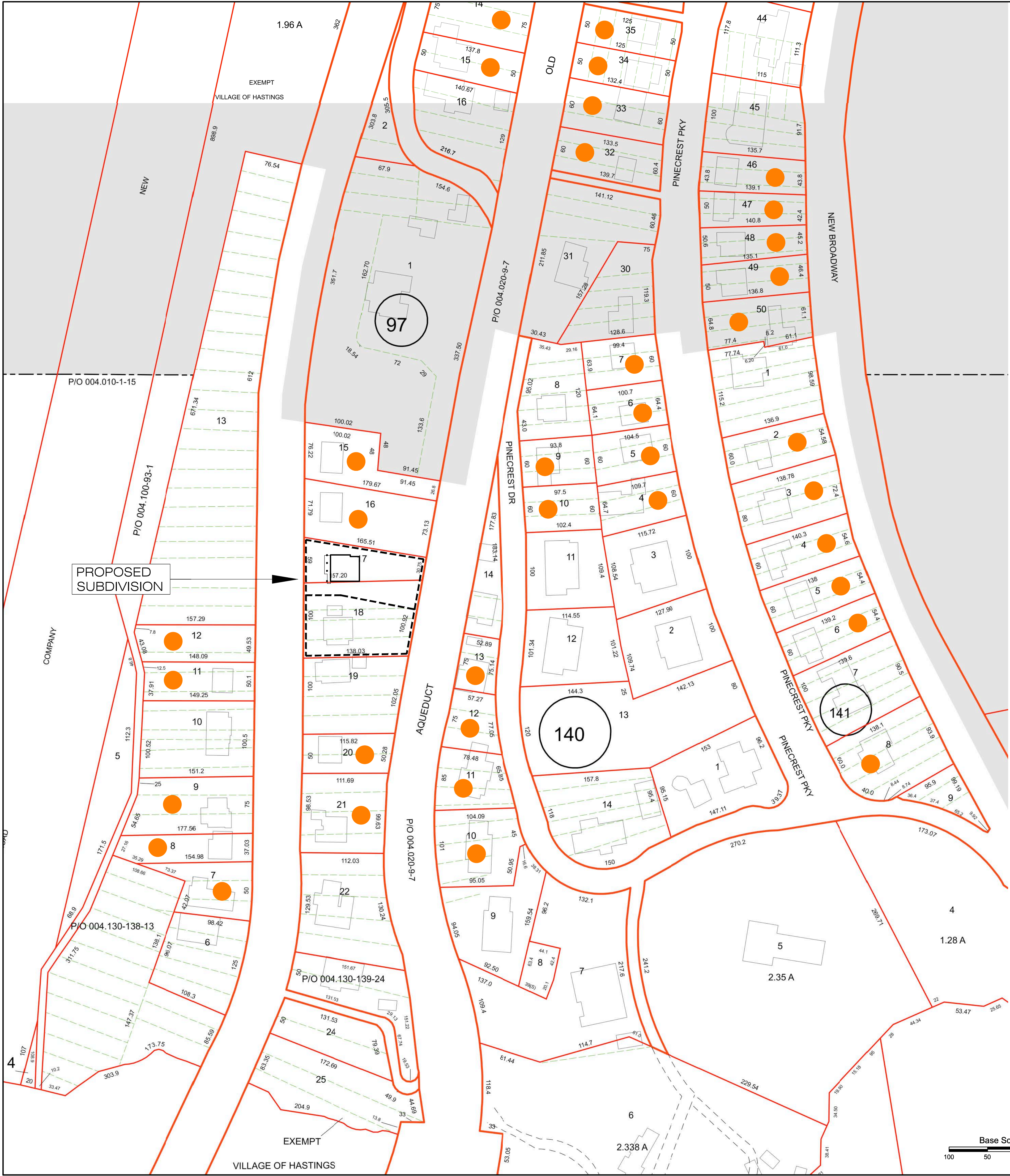
	REVISIONS		CONSTRUCTION PLANS		<div style="font-size: 48pt; text-align: center;">1</div> <div style="font-size: 48pt; text-align: center;">3</div>
	NO.	DATE	DESCRIPTION	PREPARED FOR	
	1	4.4.2017	AS PER PUP	SUBDIVISION MAP OF PALISADES VIEW VILLAGE OF HASTINGS-ON-HUDSON TOWN OF GREENBURGH WESTCHESTER COUNTY, NEW YORK	
	2	4.26.2017	MAY 2017 P.B. MEETING		
	3	6.19.2017	AS PER PUP		
	4	7.31.2017	FOR ZBA		
ORIGINAL: FEBRUARY 10, 2017			PAUL J. PETRETTI CIVIL ENGINEER & LAND SURVEYOR 30 GOULD AVENUE, DOBBS FERRY, NEW YORK 10522		
N.Y.S.P.E. No. 55191			CIVIL ENGINEERING - LAND SURVEYING & MAPPING - SITE DESIGN & PLANNING ENVIRONMENTAL & GEOTECHNICAL - DRAINAGE & STORMWATER QUALITY EROSION & SEDIMENT CONTROL STORMWATER POLLUTION PREVENTION PLANS Phone Number 914-674-9827 Cell 914-672-1518 E-Mail PJP2CS@aol.com		

ENCROACHMENTS BELOW GRADE AND OR SUB-GRADE FEATURES, IF ANY, NOT
LOCATED OR SHOWN HEREON.

ANY ALTERATION OR ADDITIONS TO THE PLANS AND SPECIFICATIONS SHOWN HEREON
IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT
AS PER SECTION 7209, SUBDIVISION 2.

OWNER/APPLICANT
**DEAN WETHERELL &
 MARIE T. DeBETHUME WETHERELL**
 196 WARBURTON AVENUE
 HASTINGS -ON-HUDSON
 NEW YORK 10706
 PHONE No. 1-914-584-0742





● LOTS NON-CONFORMING BY LOT WIDTH
IN R-10 ZONE

PART OF
TAX MAP OF
TOWN OF
GREENBURGH
VILLAGE OF HASTINGS
WESTCHESTER COUNTY, NEW YORK
SECTION NUMBER: 004.130

TLCONCEPT LLC

269 BROADWAY 4G, DOBBS FERRY, NEW YORK 10522
ph. 973 689 45 96 thomas@tlcme.com

DRAWN:

RESUBDIVISION
to 196 Warburton Ave.
Hastings-on-Hudson,
New York, 10706

PROJECT:

CHECKED:

PAUL J. PETRETTI

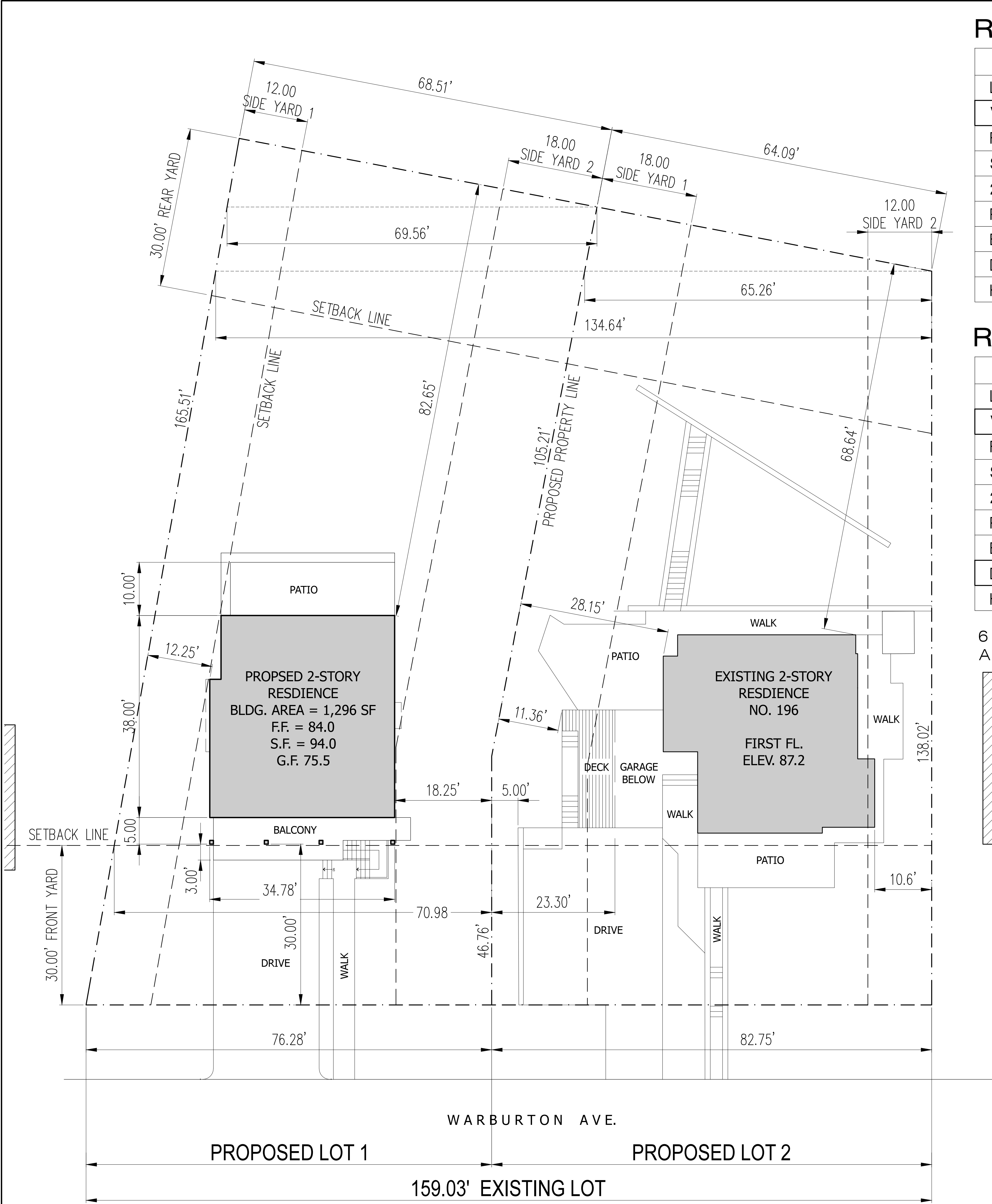
CIVIL ENGINEER & LAND SURVEYOR
30 GOULD AVENUE, DOBBS FERRY, NEW YORK 10522

CIVIL ENGINEER

zoning
r-10 analysis

04.26.2017 PB REVISIONS
08.03.2017 REVISIONS

Z1



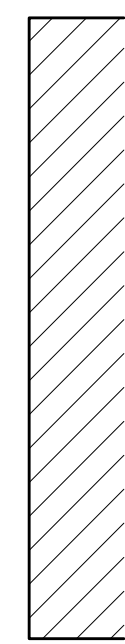
R-10 ZONING TABLE LOT - 1

	REQUIRED	PROPOSED
LOT AREA (sq. ft.)	MIN. 10,000	10,930
WIDTH (ft.)	MIN. 100	72.92
FRONT YARD (ft.)	MIN. 30	30.17
SIDE YARD (ft.)	MIN. 12	12.17
2 SIDE YARDS (ft.)	MIN. 30	30.50
REAR YARD (ft.)	MIN. 30	82.65
BUILDING COVERAGE (%)	MIN. 25	17.03
DEVELOPMENT COVERAGE (%)	MIN. 35	23.54
HEIGHT OF BUILDING (FT.)	MIN. 35	34.9

R-10 ZONING TABLE LOT - 2

	REQUIRED	PROPOSED
LOT AREA (sq. ft.)	MIN. 10,000	11,017
WIDTH (ft.)	MIN. 100	74.01
FRONT YARD (ft.)	MIN. 30	33.60
SIDE YARD (ft.)	MIN. 12	10.6
2 SIDE YARDS (ft.)	MIN. 30	33.9
REAR YARD (ft.)	MIN. 30	68.64
BUILDING COVERAGE (%)	MIN. 25	15.29
DEVELOPMENT COVERAGE (%)	MIN. 35	39.12
HEIGHT OF BUILDING (FT.)	MIN. 35	< 35

6 FT. DECK PROJECTION
ALLOWED



* VARIANCE REQUIRED
** EXISTING

TLCONCEPT llc
269 BROADWAY 4G, DOBBS FERRY, NEW YORK 10522
ph. 973 689 45 96 thomas@tlcme.com

DRAWN:

RESUBDIVISION
to 196 Warburton Ave.
Hastings-on-Hudson,
New York, 10706

PROJECT:

CHECKED:

PAUL J. PETRETTI
CIVIL ENGINEER & LAND SURVEYOR
30 GOULD AVENUE, DOBBS FERRY, NEW YORK 10522
CIVIL ENGINEER

zoning
calculations

04.26.2017 PB REVISIONS
08.03.2017 REVISIONS

LOT SIZE ANALYSIS BASED ON 62 LOTS OF NEIGHBORHOOD

	STREET	LOT AREA	LOT WIDTH
	PINECREST DR.	SF.	FT.
1	1	16,117	128
2	17	17,423	125
3	21	13,068	129
4	26	64,468	344
5	58	11,761	91
6	66	3,484	75
7	78	5,662	75.4
8	80	10,454	75.5
9	82	15,503	62 <71.21
10	114	43,124	110
11	111	18,730	140
12	131	14,810	157
13	150	102,366	265

	STREET	LOT AREA	LOT WIDTH
	WARBURTON AVE.	SF.	FT.
14	165	12,196	111
15	169	6,969	70 <71.21
16	173	6,430	37 <71.21
17	175	12,632	75
18	189	7,405	50.1 <71.21
19	185	15,245	100.5
20	196 LOT 12	7,385	49.5 <71.21
21	162	16,988	125
22	168	15,245	136
23	176	11,761	98
24	184	6,098	50 <71.21
25	192	11,761	100
26	196 LOT 18	21,947	146.94
27	200	13,504	72.4 <74.01
28	204	9,583	51.5 <71.21

LEGEND

LOTS CONFORMING TO R-10	
LOTS W/ WIDTH BETWEEN 75' and 99'	
LOTS W/ WIDTH BELOW 75'	
LOTS W/ AREA BELOW 10,000	
3 LOTS EXCLUDED FROM AREA CALCULATIONS	

	STREET	LOT AREA	LOT WIDTH
	SOUTH BROADWAY	SF.	FT.
29	177	10,500	75
30	167	11,325	102
31	165	11,325	101.5
	NEW BROADWAY		
32	179	32,234	109.5
33	159	13,068	114.5
34	191	19,097	55 <71.21

	STREET	LOT AREA	LOT WIDTH
	PINECREST PKWY.	SF.	FT.
35	18	12,632	94
36	20	13,068	95
37	21	13,939	104.5
38	22	8,276	57 <71.21
39	24	8,276	57 <71.21
40	30	9,147	57 <71.21
41	31	12,632	104
42	33	6,969	62 <71.21
43	35	6,534	60 <71.21
44	36	11,325	76
45	41	6,098	64 <71.21
46	42	8,276	57 <71.21
47	49	15,245	59 <71.21
48	50	15,681	107
49	54	9,147	63 <71.21
50	64	6,969	48 <71.21
51	68	7,405	48 <71.21
52	72	6,969	46 <71.21
53	76	6,969	44 <71.21
54	80	13,503	96
55	83	6,534	50 <71.21
56	87	6,098	50 <71.21
57	91	5,227	50 <71.21
58	95	5,227	50 <71.21
59	99	7,405	55 <71.21
60	107	7,405	75
61	115	18,730	150
62	161	11,325	102

SUMMARY

BASED ON 62 LOTS OF NEIGHBORHOOD
EXCLUDING 3 LARGEST LOTS

LOTS NON-CONFORMING BY AREA	26 out of 62	41.9 %
LOTS NON-CONFORMING BY WIDTH	39 out of 62	62.9 %
LOTS W/ WIDTH BELOW 75'	27 out of 62	43.5 %
AVERAGE WIDTH of ALL LOTS	82.9'	
AVERAGE LOT WIDTH OF LOTS BELOW 75'	55.5'	
AVERAGE AREA OF ALL LOTS	11,300 SF	
LOTS W/ WIDTH < 71.21 (proposed LOT 1)	26 out of 63	41.2 %
LOTS W/ WIDTH < 74.01 (proposed LOT 2)	1 out of 63	1.6 %
AVERAGE WIDTH OF TWO LOTS TO IMMEDIATE NORTH OF PROPOSED IS 74.09' COMPARED TO AVERAGE WIDTH OF TWO PROPOSED LOTS 73.47'		

3 largest lots :
150 PINECREST DR: 102,366 SF
26 PINECREST DR: 64,468 SF
114 PINECREST DR: 43,124 SF

PROPOSED

LOT 1	10,930 SF	72.92 FT
LOT 2	11,017 SF	74.01 FT
AVERAGE OF LOT 1 & 2	10,973 SF	73.47 FT

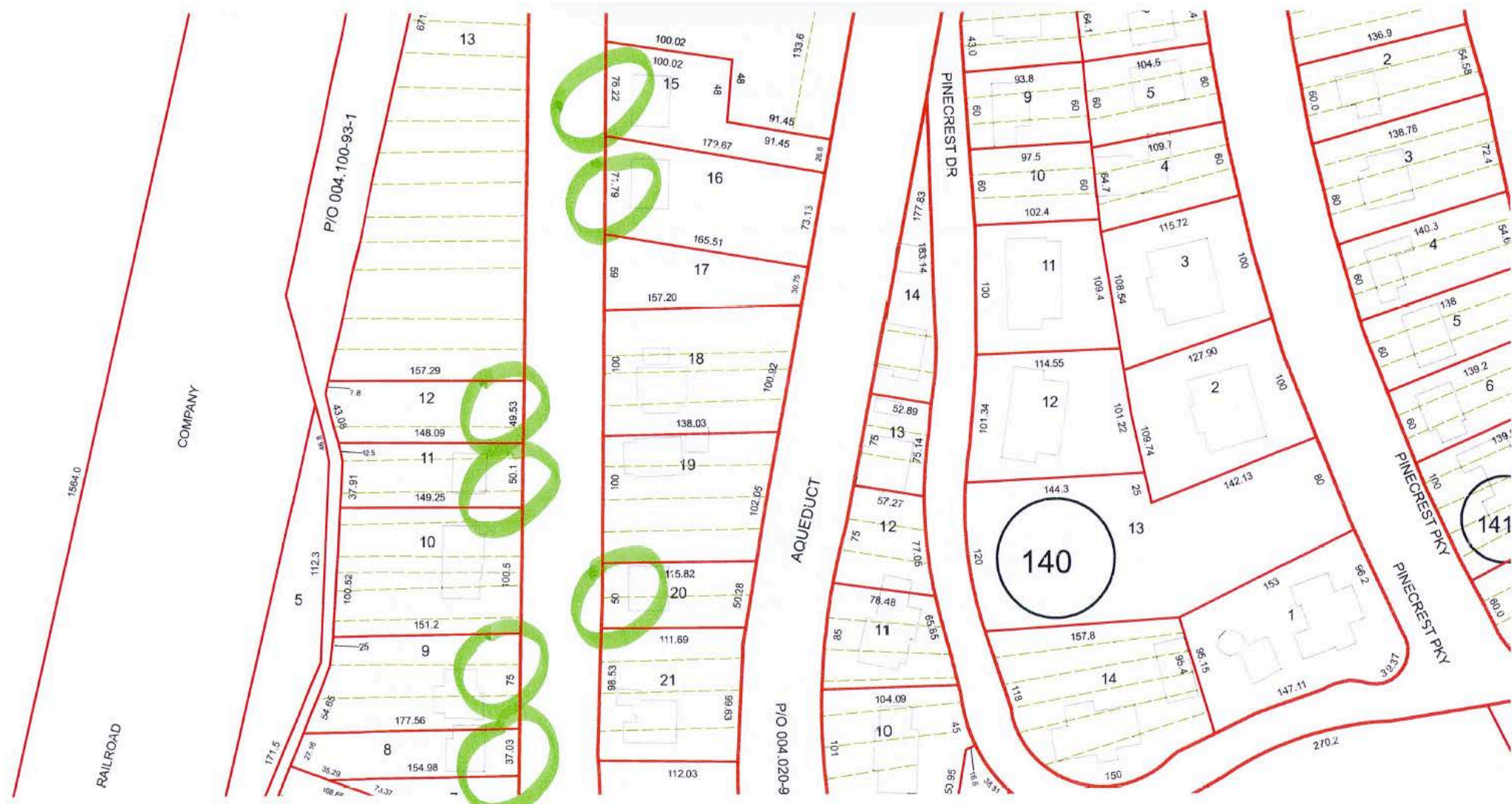


Table 1						
RESUBDIVISION TO 196 WARBURTON AVE.		ZONING ANALYSIS				
HASTINGS-ON HUDSON, NY 10706						
SBL	ADDRESS	LOT AREA	LOT WIDTH			
1	4.100-96-13	1 PINECREST DR.	16117	128		
2	4.100-96-14, 4.100-96-15	17 PINECREST DR.	17423	125		
3	4.100-96-16	21 PINECREST DR.	13068	129		
4	4.100-97-1	26 PINECREST DR.	0	0	64468	344
5	4.130-139-14	58 PINECREST DR.	11761	91		
6	4.130-139-13	66 PINECREST DR.	3484	75		
7	4.130-139-11	78 PINECREST DR.	5662	75.4		
8	4.130-139-10	80 PINECREST DR.	10454	75.5		
9	4.130-139-9	82 PINECREST DR.	15503	62		
10	4.130-139-7	114 PINECREST DR.	0	0	43124	110
11	4.130-140-14	111 PINECREST DR.	18730	140		
12	4.130-140-1	131 PINECREST DR.	14810	157		
13	4.130-139-5	150 PINECREST DR.	0	0	102366	265
14	4.130-138-6	165 WARBURTON AVE.	12196	111		
18	4.130-138-7	169 WARBURTON AVE.	6969	70		
16	4.130-138-8	173 WARBURTON AVE.	6430	37		
17	4.130-138-9	175 WARBURTON AVE.	12632	75		
18	4.130-138-11	189 WARBURTON AVE.	7385	50.1		
19	4.130-138-10	185 WARBURTON AVE.	15245	100.5		
20	4.130-139-12	196 WARBURTON AVE. lot 12	7385	49.5		
21	4.130-139-24	162 WARBURTON AVE.	16988	125		
22	4.130-139-22	168 WARBURTON AVE.	15245	136		
23	4.130-139-21	176 WARBURTON AVE.	11761	98		
24	4.130-139-20	184 WARBURTON AVE.	6098	50		
25	4.130-138-19	192 WARBURTON AVE.	11761	100		
26	4.130-139-18	196 WARBURTON AVE.	21947	146.94		
27	4.130-139-16	200 WARBURTON AVE.	13504	72.4		
28	4.130-139-15	204 WARBURTON AVE.	9583	74.8		
29	4.100-95-2	177 SOUTH BROADWAY	10500	75		
30	4.100-95-1	167 SOUTH BROADWAY	11325	102		
31	4.100-95-42	165 SOUTH BROADWAY	11325	101.5		
32	4.100-95-3	179 NEW BROADWAY *	32234	109.5		
33	4.100-95-44	159 NEW BROADWAY	13068	114.5		
34	4.100-95-4	191 NEW BROADWAY	19097	55		
35	4.130-141-8	18 PINECREST PARKWAY	12632	94		
36	4.130-141-7	20 PINECREST PARKWAY	13068	95		
37	4.130-140-2	21 PINECREST PARKWAY	13939	104.5		
38	4.130-141-6	22 PINECREST PARKWAY	8276	57		
39	4.130-141-5	24 PINECREST PARKWAY	8276	57		
40	4.130-141-4	30 PINECREST PARKWAY	9147	57		
41	4.130-140-3	31 PINECREST PARKWAY	12632	104		
42	4.130-140-4	33 PINECREST PARKWAY	6969	62		
43	4.130-140-5	35 PINECREST PARKWAY	6534	60		
44	4.130-141-3	36 PINECREST PARKWAY	11325	76		
45	4.130-140-6	41 PINECREST PARKWAY	6098	64		
46	4.130-141-2	42 PINECREST PARKWAY	8276	57		
47	4.100-95-30	49 PINECREST PARKWAY	15245	59		
48	4.130-141-1	50 PINECREST PARKWAY	15681	107		

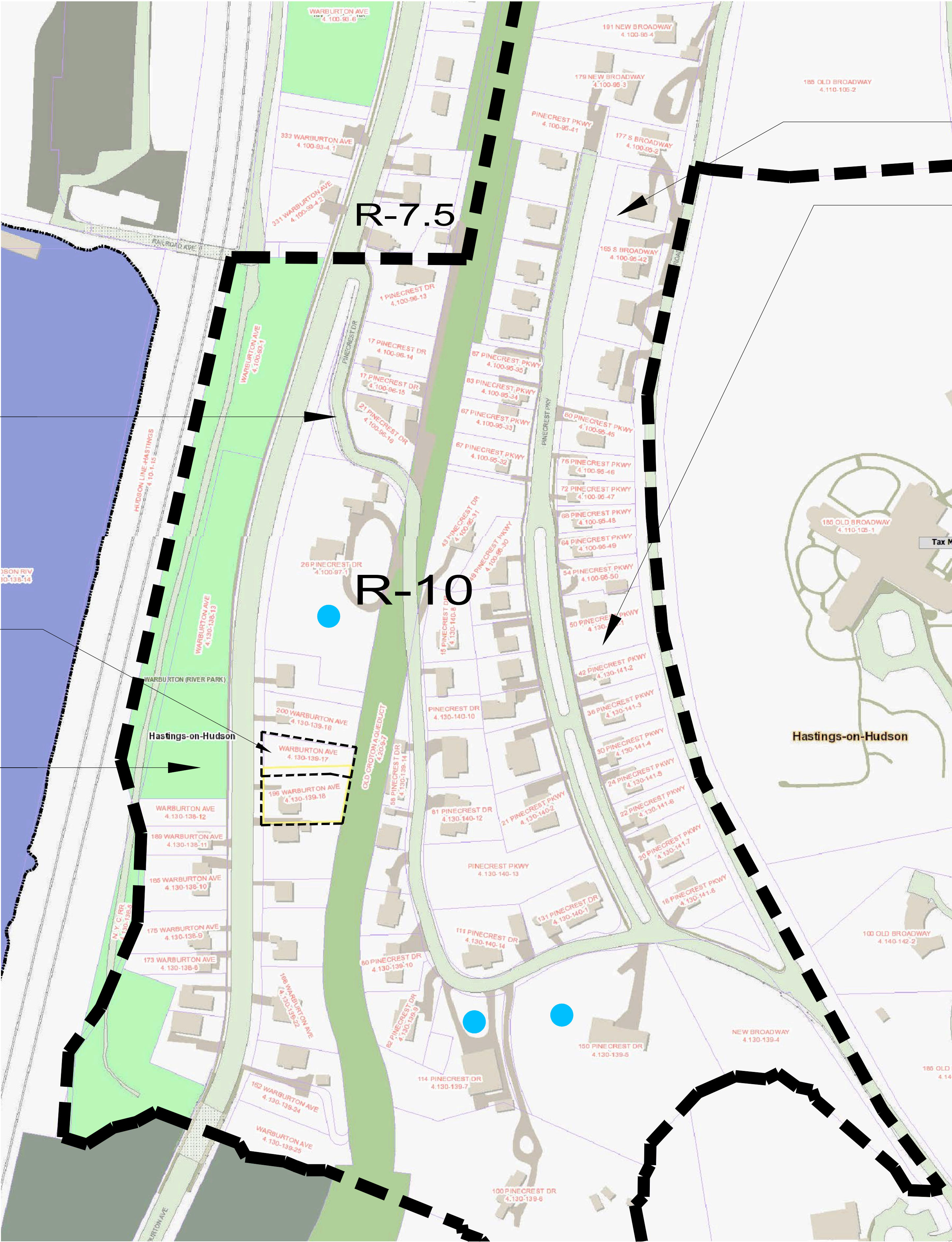
49	4.100-95-50	54 PINECREST PARKWAY	9147	63		
50	4.100-95-49	64 PINECREST PARKWAY	6969	48		
51	4.100-95-48	68 PINECREST PARKWAY	7405	48		
52	4.100-95-47	72 PINECREST PARKWAY	6969	46		
53	4.100-95-46	76 PINECREST PARKWAY	6969	44		
54	4.100-95-45	80 PINECREST PARKWAY	13503	96		
55	4.100-95-34	83 PINECREST PARKWAY	6534	50		
56	4.100-95-35	87 PINECREST PARKWAY	6098	50		
57	4.100-95-36	91 PINECREST PARKWAY	5227	50		
58	4.100-95-37	95 PINECREST PARKWAY	5227	50		
59	4.100-95-38	99 PINECREST PARKWAY	7405	55		
60	4.100-95-49	107 PINECREST PARKWAY	7405	75		
61	4.100-95-40	115 PINECREST PARKWAY	18730	150		
62	4.100-95-43	161 PINECREST PARKWAY	11325	102		
	LOTS NON-CONFORMING BY AREA	26 OUT OF 62 - 41.9%				
	LOTS NON-CONFORMING BY WIDTH	39 OUT OF 62 - 62.9%				
	LOTS W/ WIDTH BELOW 75 FT.	27 OUT OF 62 - 43.5%				
	AVERAGE AREA OF ALL LOTS (SF) excluding 3 large lots	11,300.02				
	AVERAGE WIDTH OF ALL LOTS (FT) excluding 3 large lots	82.92				
	AVERAGE WIDTH OF LOTS < 75 FT (FT)	55.47				
	PROPOSED LOT 1		10930	72.92		
	PROPOSED LOT 2		11017	74.01		
	AVERAGE WIDTH OF LOTS TO IMMEDIATE NORTH OF PROPOSED IS 74.09 FT COMPARED TO AVERAGE WITH OF TWO PROPOSED LOTS <u>73.47 FT</u>					
	LEGEND					
		LOTS CONFORMING TO R-10				
		LOTS W/ WIDTH > 75 FT < 100 FT				
		LOTS W/ WIDTH < 75 FT				
		LOT AREA < 100 FT				
		PROPOSED LOT				
		3 LARGE LOTS EXCLUDED				

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LOTS CONFORMING TO R-10	
LOTS W/ WIDTH BETWEEN 75' and 99'	
LOTS W/ WIDTH BELOW 75'	
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3 LOTS EXCLUDED FROM AREA CALCULATIONS	



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3 largest lots :
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PROPOSED		
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LOT 2	11,017 SF	74.01 FT
AVERAGE OF LOT 1 & 2	10,973 SF	73.47 FT

DRAWN:

RESUBDIVISION
to 196 Warburton Ave.
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PROJECT:

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zoning
r-10 analysis