

Paid
\$200.00

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Case number:.....Date of application:.....

Property owner: Timothy Baer and Sarah Walters
Property address: 18 Kent Avenue, Hastings-on-Hudson, NY 10706
Name all streets on which the property is located:.....
Sheet: 4 120 Block: 120-127 Lot/Parcel: 20 Zoning District: R-10

Applicant: Christina Griffin Architect, pc
Standing of applicant if not owner: Architect
Address: 10 Spring Street, Hastings on Hudson, NY 10706
Daytime phone number: 914-478-0799 Fax number:
E-mail address: jm@cgastudio.com

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68.1a	Front Yard Setback Requirement of 30 ft	23.6 Ft Setback	24.2 Ft Setback to Addition
.....
.....
.....
.....
.....

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30 ft	23.6 ft	24.2 ft to addition
REAR	30 ft	38.4 ft	38.4 ft
SIDE ONE	12 ft	33.7 ft	19.8 ft
SIDE TWO	18 ft	+/- 41.1 ft	+/- 41.1 ft
TOTAL OF TWO SIDES	30 ft	+/- 74.8 ft	+/- 60.9 ft

YARD SETBACKS
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.	NA		
REAR	NA		
SIDE	NA		

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2 stories	2 1/2 stories	2 1/2 stories
FEET		26.4 ft front, 34.8 ft rear	26.4 ft front, 34.8 ft rear

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 sf	11,941 sf	11,941 sf
BLDG. COVERAGE/ % OF LOT AREA	25% max	10.6%	16%
DEVELOPMENT COVERAGE / % OF LOT AREA	35% max	22%	28%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single Family	Single Family	Single Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

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- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

NO

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

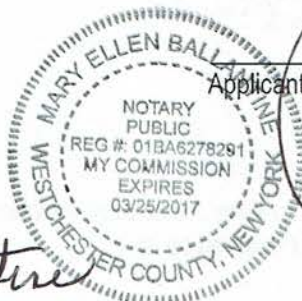
Submit nine (9) copies of the application along with the required fee, 8 copies of property survey showing the existing and proposed construction and 8 copies of all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) to the Office of the Building Inspector, no less than six (6) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 29th day
of Sept., 2016

Mary Ellen Ballantine
Notary Public



Applicant

[Handwritten Signature]

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON

Name : Sarah Walters, being duly sworn, deposes and says that
he/she resides at 18 Kent Avenue, Hastings on Hudson, NY in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 4.120 Block 120 127 and Lot 20 of the tax map, and that
he/she hereby authorized Christina Griffin Architect, pc to make the annexed
application in his/her behalf and that the statement of fact contained in said application are true.

Sarah Walters
Owner

SWORN TO BEFORE ME THIS 28th DAY
OF November 2006

Maria G. Cocucci
Notary Public

MARIA G. COCUCCI
Notary Public, State of New York
No. 60-4801829
Qualified in Westchester County
Commission Expires 4/9/18

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in
accordance with the foregoing and as required by law.

A D D I T I O N T O T H E
BAER-WALTERS RESIDENCE

18 KENT AVENUE, HASTINGS-ON-HUDSON, NY 10706

C H R I S T I N A G R I F F I N A R C H I T E C T P C

1 0 S p r i n g S t r e e t , H a s t i n g s - o n - H u d s o n , N Y 1 0 7 0 6



GENERAL NOTES

- These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- All construction shall comply fully with the Residential Code of NYS, existing building code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- Approved stamped set of building plans must be present on site for all inspections.
- A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.
- General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.
- Licensed electrician to file electrical permit.
- Licensed plumber to file plumbing permit.
- All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents,

- tested and ready for owner's use.
- All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
- Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- All construction sites shall conform to the 2010 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.
- General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.
- The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
- Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions

- All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.
- Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
- The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.
- Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.
- The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.
- Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.
- The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of

- are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.
- The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.
- Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.
- The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.
- New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.
- All insulation to comply with the Energy Efficiency Certificate required by 401.3 2010 Energy Conservation Construction Code of New York, prepared by the Architect.
- If blown or sprayed insulation used, Installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, data and post the certificate in a conspicuous location on the job site per N1101.5 of the 2010 Residential Code of New York State and submit an original signed copy for the Building Departments records.
- All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting

- from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
- Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.
- All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.
- Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following
 - Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.
 - Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.

- Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.
 - Final cleaning of all chrome and aluminum metal work.
 - Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.
- Finish materials and paint colors shall be reviewed and approved by the homeowner.
- The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.
- Energy Notes R-Values & U-Factors
NYS Energy Code
Climate Zone 4
- | | Required | Proposed |
|---------|----------|----------|
| Ceiling | R-38 | R-38 |
| Wall | R-13 | R-18 |
| Glazing | 0.35 | 0.32 |
| Floor | R-19 | R-30 |
- Design Criteria:
5750 Degree Days
15% Maximum Glazing
- Certification
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2010 Residential Code of New York State, and the 2010 New York State Energy Conservation Construction code.

INSULATION AND FENESTRATION
REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4	0.35	0.60	38	13
MASS WALL R-VALUE ²	FLOOR R-VALUE	BASEMENT ¹ WALL R-VALUE	SLAB ¹ R-VALUE & DEPTH	CRAWL SPACE ¹ WALL R-VALUE
5/10 ³	19	10/13 ²	10, 2FT ²	10/13 ²

- R-VALUE ARE MINIMUMS. U-FACTORS. R-19 INSULATION SHALL BE PERMITTED TO BE COMPRESSED INTO 2X6 CAVITY.
- THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.
- THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION, THE SECOND TO FRAMING CAVITY INSULATION; EITHER INSULATION MEETS THE REQUIREMENTS.
- R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.
- THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE EXTERIOR OF THE MASS WALL.

DESIGN REQUIREMENTS for the 2010
RESIDENTIAL CODE OF NEW YORK STATE
CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

			SUBJECT TO DAMAGE FROM				
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 psf	100-110	C	severe	42" min	medium to heavy	yes	NO

Christina Griffin

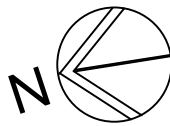
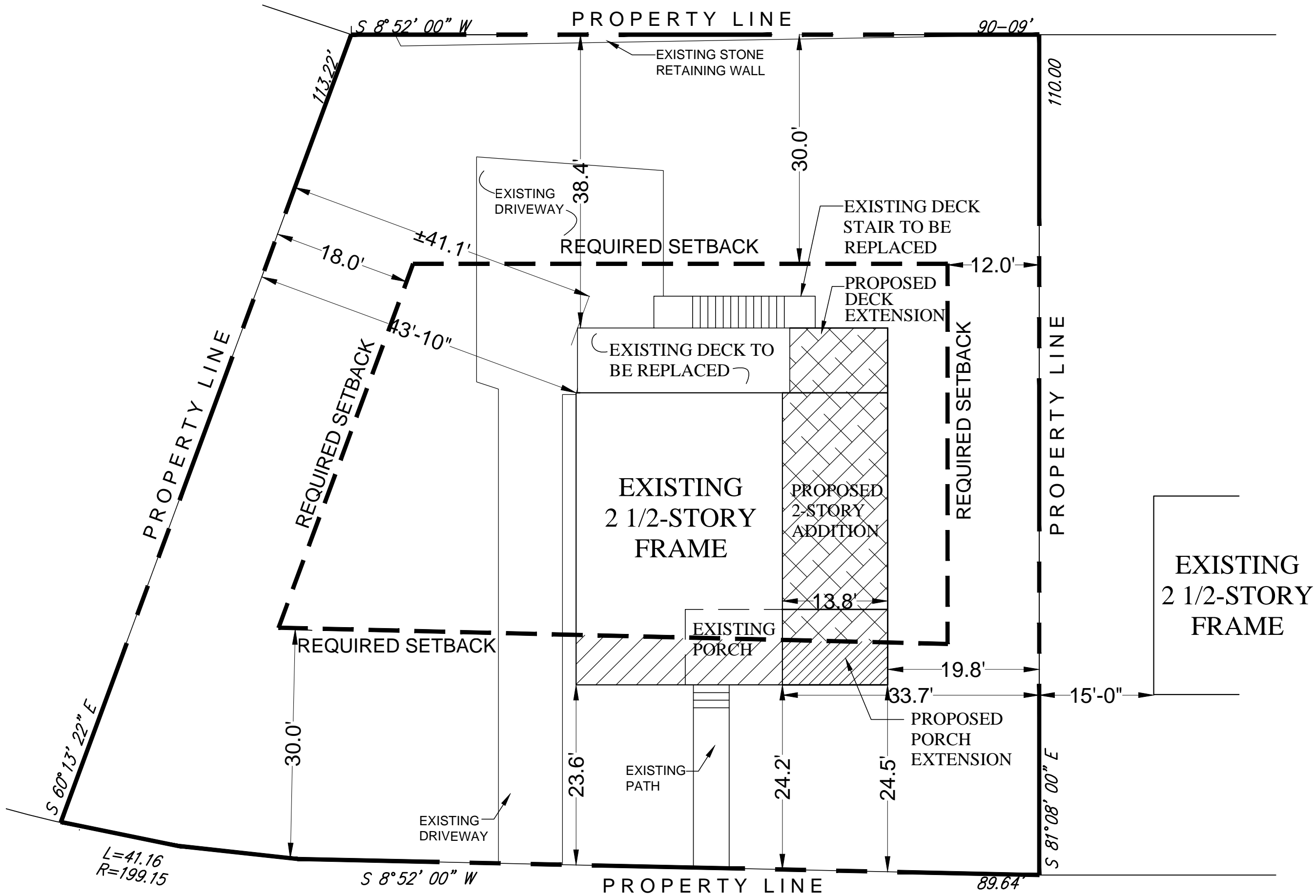
DATES

DESIGN DRAWINGS	5-25-16
DESIGN DRAWINGS	7-2-16
DESIGN DRAWINGS	7-14-16
PRELIMINARY BID DOCUMENTS	8-24-16
ZONING BOARD SUBMISSION	9-29-16
REVISED ZONING BOARD SUBMISSION	10-12-16

LIST of DRAWINGS

TITLE SHEET	GENERAL NOTES, ZONING DATA, CLIMATIC & GEOGRAPHIC CRITERIA, LIST OF DRAWINGS, DATES
S-1	SITE PLAN
A-1	BASEMENT &
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	PHOTOGRAPHS of SITE and NEIGHBORING PROPERTIES

COVERAGE CALCULATIONS		TABLE OF ZONING DATA		ZONING DISTRICT: R-10		LOCATION MAP 300' RADIUS	
LOT AREA	11,941 SF		REQUIRED	EXISTING	PROPOSED		
WALLS	63 SF	LOT AREA	10,000 SF	11,941 SF	11,941 SF		
STEPS & SIDEWALK	200 SF	OCCUPANCY AND USE	ONE-FAMILY	ONE-FAMILY	ONE-FAMILY		
DRIVEWAY	1,148 SF	LOT WIDTH FRONTAGE	100 FT	110.85 FT (AVG.)	110.85 FT (AVG.)		
DECK FOOTPRINT	236 SF EXIST. / 350 SF NEW	BUILDING COVERAGE	25 % MAX	10.6 %	16 %		
PORCH FOOTPRINT	125 SF EXIST. / 262 SF NEW	DEVELOPMENT COVERAGE	35 % MAX	22 %	28 %		
PRINCIPAL BUILDING FOOTPRINT	906 SF EXIST. / 1,297 SF NEW	FRONT YARD SETBACK	30 FT	23.6 FT	23.6 FT / 24.2 FT TO ADDITION	VARIANCE REQUIRED	
		REAR YARD SETBACK	30 FT	38.4 FT	38.4 FT		
BUILDING COVERAGE	1,267 SF EXIST. (10.6%) 1,910 SF NEW (16%)	SIDE ONE	12 FT	33.7 FT	19.8 FT		
Principal Building, Porch, & Deck		SIDE TWO	18 FT	+/- 41.1 FT	+/- 41.1 FT		
DEVELOPMENT COVERAGE	2,678 SF EXIST. (22%) 3,321 SF EXIST. (28%)	TWO TOTAL SIDE YARDS	30 FT	+/- 74.8 FT	+/- 60.9 FT		
Principal Building, Porch, Deck, Driveway & Impervious Surfaces		BUILDING HEIGHT	2 1/2 STORIES / 35 FT	2 1/2 STORIES / 26.4 FT FROM FRONT GRADE 34.8 FT FROM REAR GRADE	2 1/2 STORIES / 26.4 FT FROM FRONT GRADE 34.8 FT FROM REAR GRADE		
		PARKING SPACES		2 SPACES AT DRIVEWAY	2 SPACES AT DRIVEWAY		
		CURB CUT	MAX. 2 CURB CUTS TOTALING 24 FT.	EXIST.	EXIST.		
		DRIVEWAY SLOPE	MAX. 8% & MAX. 3% W/ 30 FT OF FRONT PROPERTY LINE OR 50 FT OF CENTER OF STREET	EXIST.	EXIST.		



SITE PLAN
SCALE: 1/8" = 1'-0"

ADDITION TO THE
BAER-WALTERS RESIDENCE
18 KENT AVENUE, HASTINGS-ON-HUDSON, NY 10706

Christina Griffin Architect PC

10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Date

DESIGN DRAWINGS 7-2-16
DESIGN DRAWINGS 7-14-16
PRELIMINARY BID DOCS. 8-24-16
ZONING BOARD SUBMISSION 9-29-16
REVISED ZONING BOARD SUBMISSION 10-12-16











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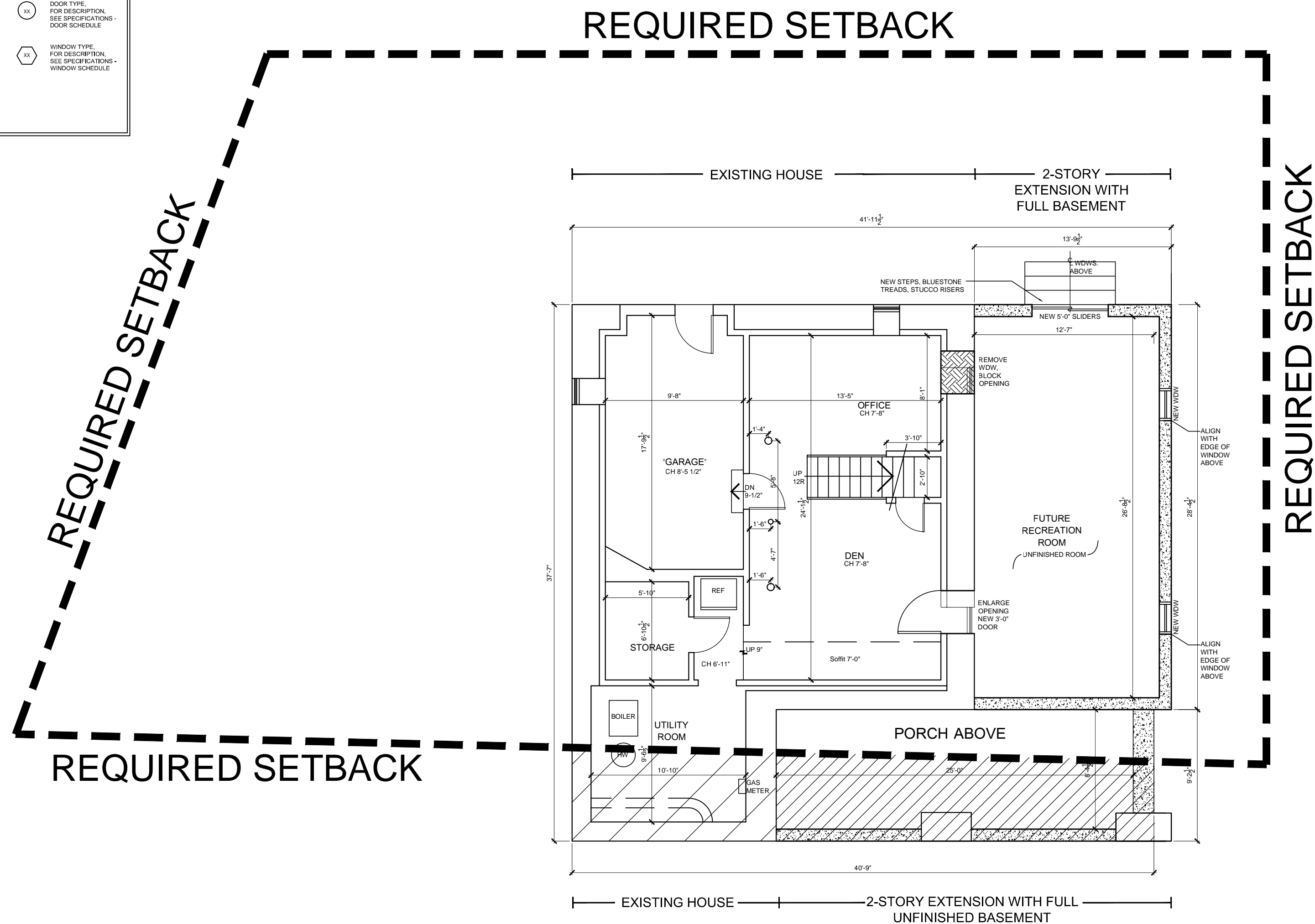
SITE PLAN

Scale

AS SHOWN

LEGEND

	INTERIOR WALL: 5/8" gypsum board ea. side of 2 x 4s @ 16" o.c.		ELEVATION NO. 1 ELEVATION SHEET NO.
	INTERIOR WALL WITH ACoustICAL INSULATION: 5/8" gypsum board each side of 2 x 4s @ 16" o.c. Blue Jeans acoustical insul.		ELEVATION NO. 1 ELEVATION SHEET NO. SECTION DETAIL
	3/4" HOUR FIRE RATED WALL: 5/8" fire code gypsum board on outer side of 2x4s @ 16" o.c.		
	EXTERIOR WALL: Cement stucco or T&G clear cedar siding, 1" rigid insulation, house wrap, 5/8" Advantech engineered panel, 2x6 studs 16" o.c., R-19 batt insulation 5/8" gypsum board		DOOR TYPE, FOR DESCRIPTION, SEE SPECIFICATIONS - DOOR SCHEDULE
	FOUNDATION WALL: 10" reinforced concrete wall, stucco finish above grade, troweled on waterproofing below grade		WINDOW TYPE, FOR DESCRIPTION, SEE SPECIFICATIONS - WINDOW SCHEDULE
	FOUNDATION WALL W/ STONE VENEER: 4" stone veneer, 8" reinforced concrete wall		



BASEMENT PLAN

SCALE: 1/4" = 1'-0"

ADDITION TO THE

ADDITION TO THE
BAER-WALTERS RESIDENCE

18 KENT AVENUE, HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

CHRISTINA GRIFFIN ARCHITECTS
10 Spring Street

10 Spring Street
Hastings-on-Hudson, New York 10706

914.478.0799 tel 914.478.0806 fax

914.4/8.0/99 tel 914.4/8.0806 fax
www.christinagriffinarchitect.com

www.christinagriffinarchitect.com

03/2025

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DESIGN DRAWINGS 7-14-16
PRELIMINARY BID DOCS 8-24-16
ZONING BOARD SUBMISSION 9-29-16
REVISED ZONING BOARD SUBMISSION 10-12-16

Drawing Title

Scale: AS SHOWN

A-1

LEGEND

INTERIOR WALL:
5/8" gypsum board ea. side
of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2 x 4s @ 16" o.c.
Blue Jeans acoustical insul.

3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2x4s @ 16" o.c.

EXTERIOR WALL:
Cement stucco or T&G clear cedar siding,
1" rigid insulation, house wrap,
5/8" Advantech engineered panel,
2x6 studs 16" o.c., R-19 batt insulation
5/8" gypsum board

FOUNDATION WALL:
10" reinforced concrete wall, stucco
finish above grade, troweled on
waterproofing below grade

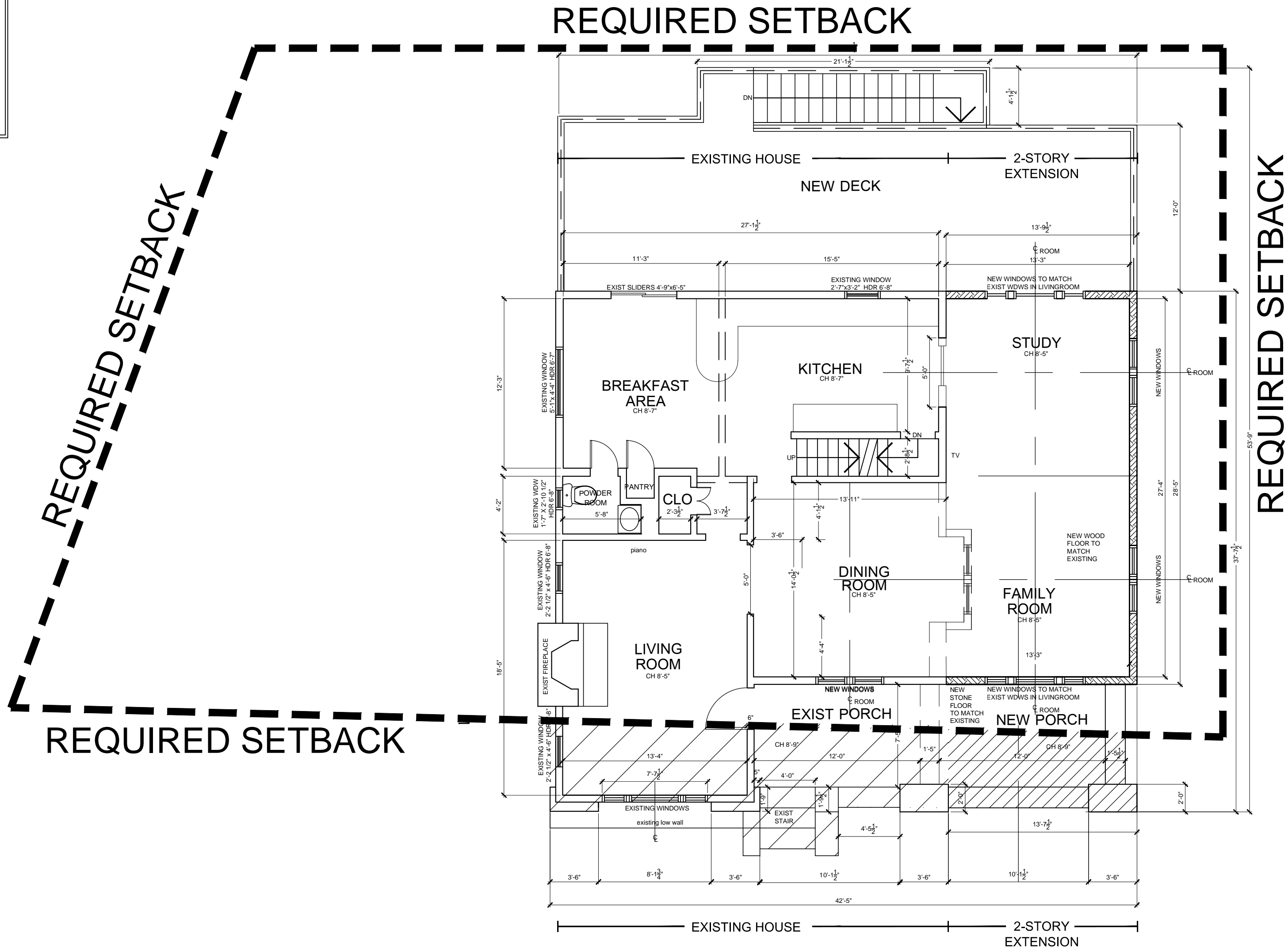
FOUNDATION WALL W/ STONE VENEER:
4" stone veneer, 8" reinforced concrete wall

ELEVATION
NO.
ELEVATION
SHEET NO.

ELEVATION
NO.
SECTION DETAIL
SHEET NO.

DOOR TYPE.
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE

WINDOW TYPE.
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

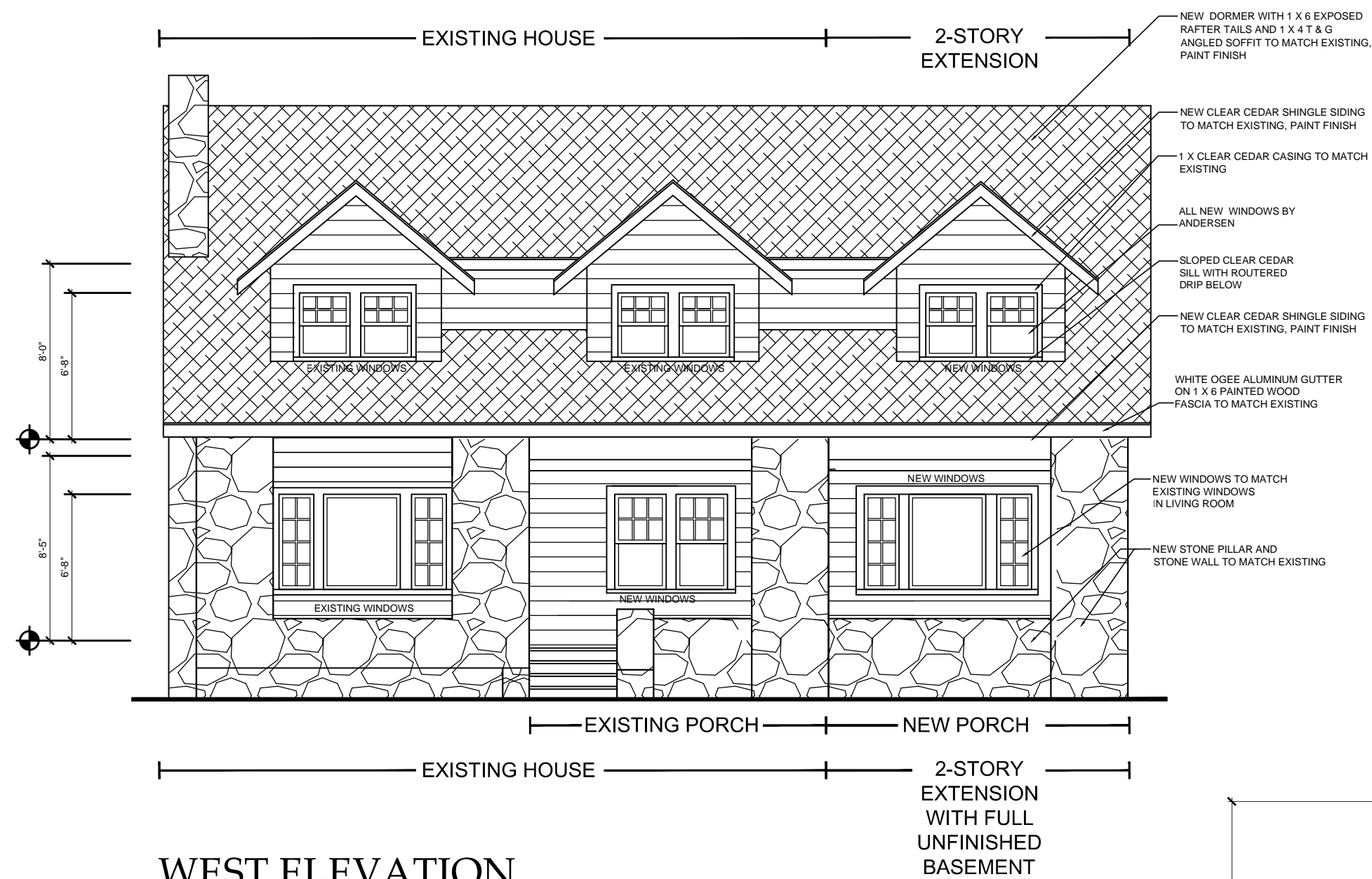
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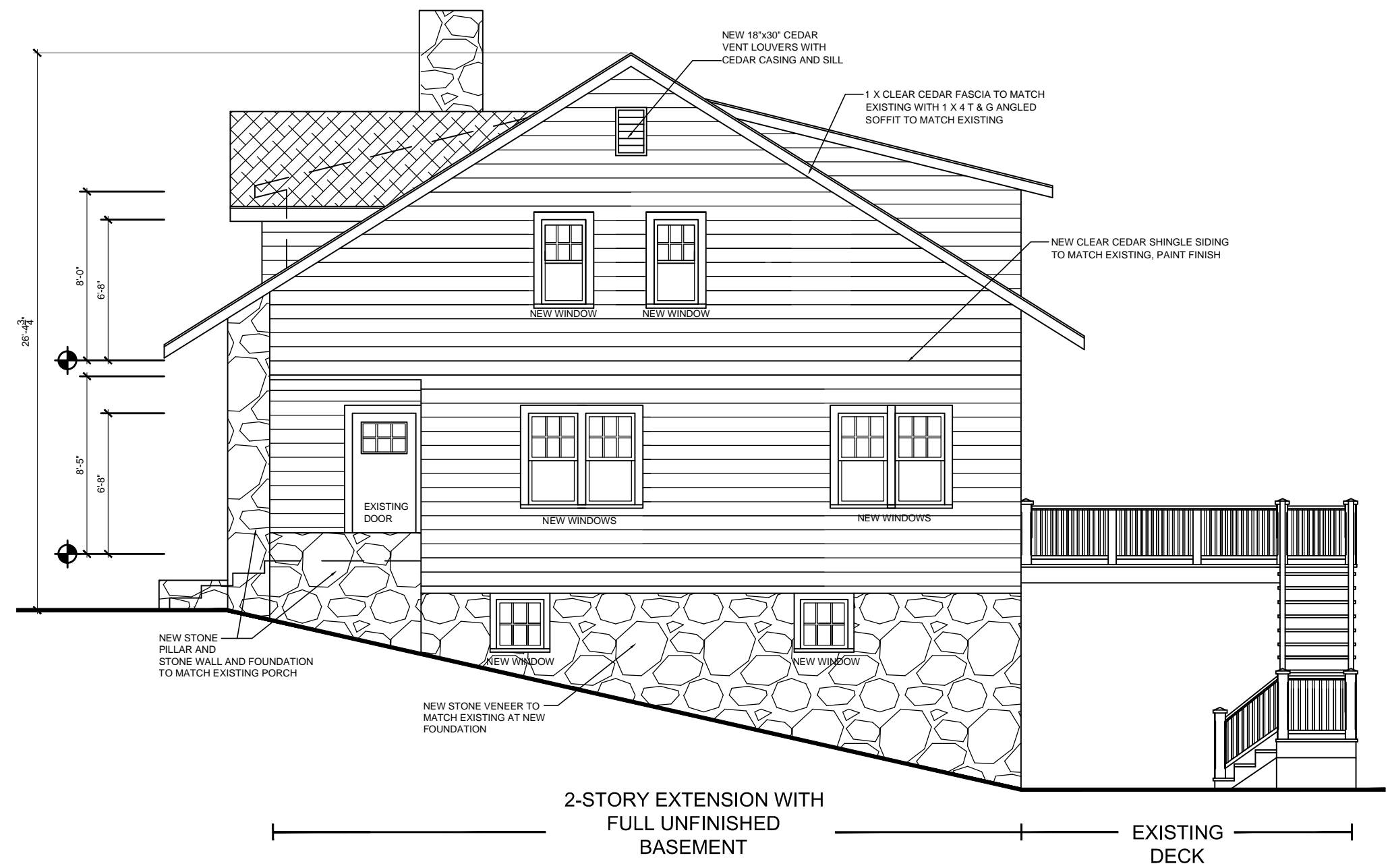
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WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ADDITION TO THE

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DESIGN DRAWINGS 7-2-16

PRELIMINARY BID DOCS. 8-24-16

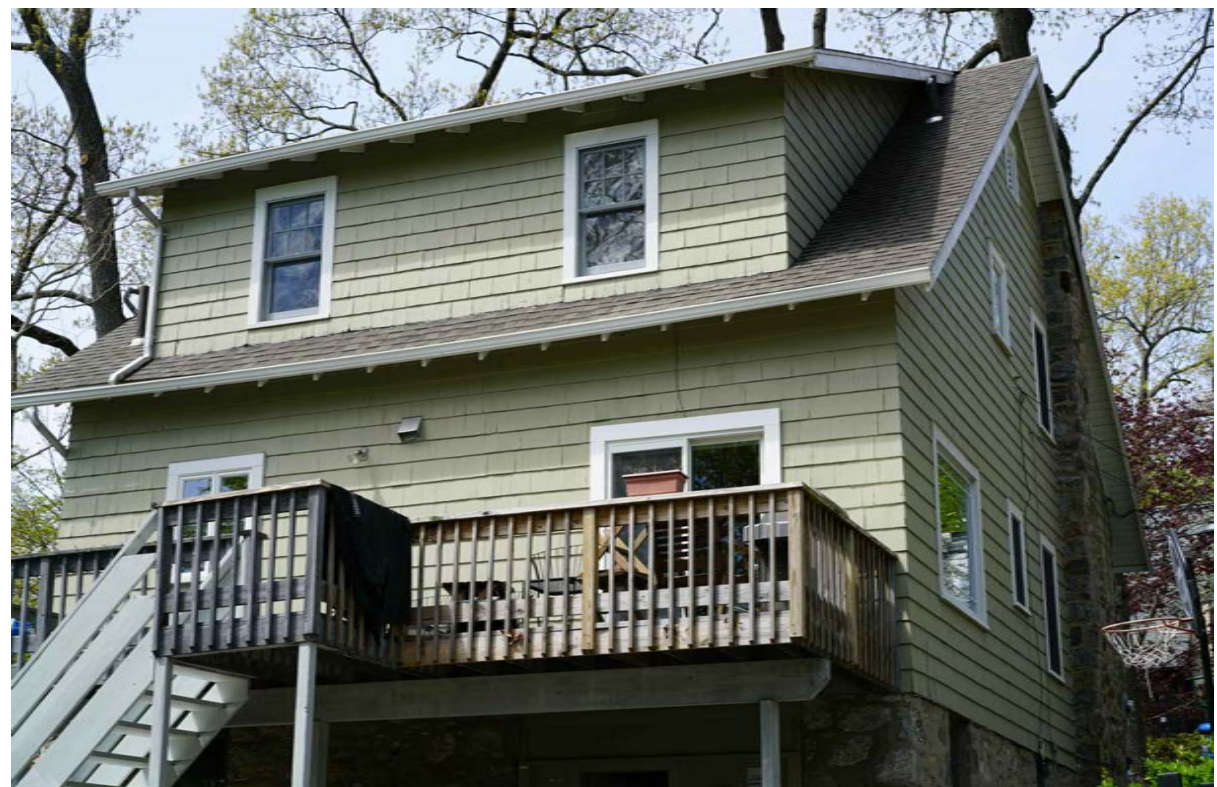
ZONING BOARD SUBMISSION 9-29-16

REVISED ZONING BOARD SUBMISSION 10-12-16

Drawings Title
ELEVATIONS

Scale
AS SHOWN

A-4



EXISTING HOUSE AT 18 KENT AVENUE



1 KENT AVENUE



5 KENT AVENUE



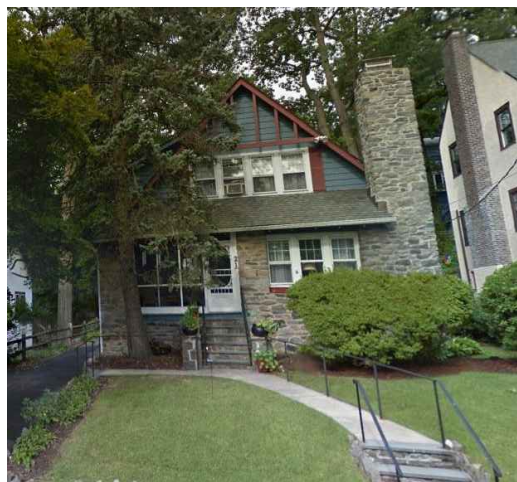
7 KENT AVENUE



13 KENT AVENUE



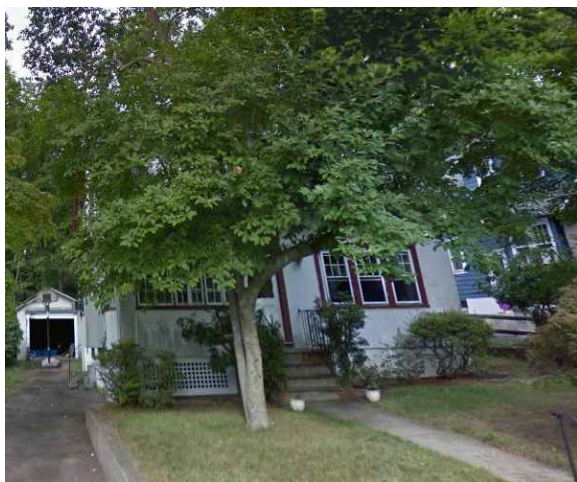
15 KENT AVENUE



19 KENT AVENUE



20 KENT AVENUE



23 KENT AVENUE



25 KENT AVENUE

NEIGHBORING PROPERTIES

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Drawings Title
PHOTOS
Scale
AS SHOWN