

**VILLAGE OF HASTINGS-ON-HUDSON**  
**Zoning Board of Appeals**  
Application and Procedure for Application for  
Variance/Interpretation/View Preservation



Case number: ..... Date of application: **September 27, 2021**

Property owner: **Libby Copeland and Danylo Berko**  
 Property address: **141 Farragut Avenue**  
 Name all streets on which the property is located: **Farragut Avenue**  
 Sheet: **4.80** Block: **71** Lot/Parcel: **37** Zoning District: **R-7.5**

Applicant: **Eva Bouhassira Architect PC**  
 Standing of applicant if not owner: **Architect**  
 Address: **50 Hamilton Avenue Hastings on Hudson NY 10706**  
 Daytime phone number: **914-582-9601** Fax number: .....  
 E-mail address: **Eva.Bouhassira.Architect@gmail.com**

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;  
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
<b>295-69.F(1)(d)(1)a</b>	<b>Wall height 23'</b>	<b>26'</b>	<b>26'</b>
<b>295-69.F(2)(a)(2)</b>	<b>Development cov. 40%</b>	<b>43.45%</b>	<b>44.08%</b>
<b>295-69.G</b>	<b>FAR 0.395</b>	<b>0.389</b>	<b>0.452</b>
.....	.....	.....	.....
.....	.....	.....	.....
.....	.....	.....	.....
.....	.....	.....	.....

\*See example below:

....295-68F.1a...	.....Front Yard Min. 30 ft. deep.....	.....26.5 ft.....	.....19.5 ft.....
...295-68A.....	.....Permitted Principal Use. ....	.....Single Family Home.....	.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON  
Zoning Board of Appeals  
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS  
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	25'	22.4'	22.4'
REAR	25'	63.2'	57'
SIDE ONE	8'	6'	8.8'
SIDE TWO	12'	17.1'	17.5'
TOTAL OF TWO SIDES	20'	23.1'	26.3'

YARD SETBACKS  
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.		35'	21'
REAR	8'	11.8'	11.8'
SIDE	8'	4.3'	4.3'

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES / FEET	2 1/2 STORES MAX. 35'	2 1/2 STORIES AND 36'	2 1/2 STORIES AND 36'
<del>FEET</del> WALL HEIGHT	MAX 23'	26'	26'

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	7,500	6,810	6,810
*BLDG. COVERAGE/ % OF LOT AREA	30%	21.72%	24.23%
*DEVELOPMENT COVERAGE / % OF LOT AREA	40%	43.45%	44.08%
	FAR 0.395	0.389	0.452

\*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	SINGLE FAMILY	SINGLE FAMILY	SINGLE FAMILY

\*\* Single Family, Two Family, Commercial, Mixed Use etc.

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



- ✓ List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....	.....	.....	.....
.....	.....	.....	.....

- ✓ List pending violations on this property if any:

.....

.....

- ✓ Is there an approved site plan for this property?: ..... ☐ (Yes) ..... ☒ (No)
- ✓ Is there an Accessory Apartment at this property?: ..... ☐ (Yes) ..... ☒ (No)
- ✓ Does this property have Boarder's Permit?: ..... ☐ (Yes) ..... ☒ (No)

- ✓ On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

\_\_\_\_\_  
Applicant

Sworn to before me this \_\_\_\_\_ day  
of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Notary Public

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for  
Variance/Interpretation/View Preservation



Name : Libby Copeland and Danylo Berko, being duly sworn, deposes and says that he/she resides at 141 Farragut Avenue in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.80 Block 71 and Lot 37 of the tax map, and that he/she hereby authorized Eva Bouhassira Architect PC to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

\_\_\_\_\_  
Owner

SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ 20\_\_\_\_

\_\_\_\_\_  
Notary Public

**NOTICE**

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.



OFFICE OF THE BUILDING INSPECTOR  
Village of Hastings On Hudson  
Municipal Building  
7 Maple Avenue  
Hastings On Hudson, New York 10706  
(914) 478-3400 Ext. 613  
Fax: (914) 478-4624  
BldgInsp@Hastingsgov.org

## ZBA Application Checklist

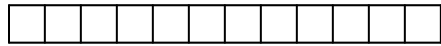
1. \_\_\_ Location plan showing the site and its neighbors within 300' radius.
2. \_\_\_ Site plan of lot showing existing structures and all required setback lines. If setback encroachments exist, they should be hatched and dimensioned.
3. \_\_\_ Site plan of lot showing proposed conditions and required setback lines. Proposed encroachments should be hatched (differently than existing) and dimensioned.
4. \_\_\_ Floor plans of existing structures showing all floors. Setback lines and encroachments, if any, should be shown.
5. \_\_\_ Elevations of existing structures, showing height encroachments, if any.
6. \_\_\_ Floor plans of proposed conditions clearly differentiating existing conditions from proposed modifications. Setback lines and proposed encroachments should be shown and the resulting areas calculated.
7. \_\_\_ Elevations of proposed conditions, showing height encroachments, if any.
8. \_\_\_ Perspective renderings are helpful, and should be encouraged, but not required.
9. \_\_\_ Photographs and other supporting documentation of site and its structures, neighboring sites and structures to the degree they are relevant.

For multiple family dwellings and commercial buildings **add** the following:

1. \_\_\_ Conceptual design of a maximum 'As of Right' development on the site so that the ZBA can accurately gauge the proposed variances and responsibly make its findings related to them. This is not an unreasonable request, and would give us better footing in evaluating proposals and eliminate our reliance on "well, we looked at it, and we couldn't make it work" story that we hear too much of (and as you know drives me nuts)

*For all of the above, schematic level drawings at a legible scale (1/8"=1'-0" or smaller) are generally all that are needed and should not create a burden for the applicant.*

E V A BOUHASSIRA  
A R C H I T E C T P C



50 HAMILTON AVENUE HASTINGS-ON-HUDSON NY10706  
Eva.Bouhassira.Architect@gmail.com PH 914-478-1223 FAX 866-290-9786

September 27, 2021

**Members of the Zoning Board of Appeals  
Village of Hastings on Hudson  
7 Maple Avenue  
Hastings on Hudson NY 10706**

**COPELAND and BERKO RESIDENCE  
141 Farragut Avenue**

Dear Members of the Zoning Board,

The Copeland and Berko Residence at 141 Farragut Avenue was built in 1921. As is, it has a first floor containing a living space (LR, DR, kitchen, powder room and hallways) of 799 SF and a second floor containing two bedrooms and one bathroom of 632 SF, for a total of 1,431 SF. It has an original finished attic space, used as an extra bedroom and home office, but only 213 SF of the area has headroom over 7 feet, which includes the stairway. In other words, the house is small. There is an unfinished above ground basement, used for utilities and storage, which has low ceilings and not much daylight.

The homeowners, raising two children, would like to improve the situation, primarily by enlarging the minimal kitchen and dining space, and adding a second bathroom upstairs. The solution which enables these improvements is a 7.5 feet deep rear addition, which adds a modest but very helpful 188 SF on both floors.

Currently there is a 308 SF deck with a side staircase. The deck is removed because of the addition and replaced with a new deck and stairs, at 291 SF kept intentionally about the same size and slightly less deep, so as not to overwhelm the yard.

The zoning implication of these changes are as follows: the previous deck and stairs extended into the north side yard. The new structures do not do that, they are entirely within the side and rear yards. The non-compliance has been removed.

The proposed wall heights exceed the wall height requirement. This is an existing house with the heights above the allowed, particularly in the rear, due to the slope of the site. As a result, there are three levels above grade. The addition follows the existing mass and heights. Although the new parts are less tall than the original home, they still exceed the requirement. The addition of a dormer to the existing roof in the front has the same consequence.

The coverage has increased. The building coverage is well below the required 30% existing. It is currently 21.72% and is proposed to become 24.23%, still in compliance.

The developmental coverage is required to be 40% of the lot, and the existing coverage is non-compliant at 43.45%. The proposed is 44.08% which is an increase of 0.63%.

When evaluating coverage, it's important to note that the lot is too small for the zone, it is 6,810 SF in a 7,500 SF zone. Therefore standard improvements result in higher coverage. For example, there's a garage in the rear, with a very long driveway leading to it, various paved areas built to work with the sloped terrain, and stone walls. There's also part of the neighbors' garage which was built across the line and is on the property. The homeowners would like to keep these areas unchanged, for practical reasons, as they were built to negotiate the existing slope, with the exception of a concrete pad behind the garage, which is to be removed.

As an alternate, we have considered removal of a section of the concrete parking area in front of the garage, which would bring the developmental coverage within the required percentage, however, in light of recent storms, we are leaning towards keeping it, as it stabilizes the ground in front of the garage, and has a built in drain. Additionally, current County and Village proposals aims to remove the available street parking, forcing the homeowners to rely on the driveway.

The project exceeds the FAR requirement, because although the living space in the house is limited, the basement, the attic and the freestanding two car garage are counted, against the undersized lot.

As an alternate, we're showing that without the garage the proposed FAR would be very close to the required. It helps to understand why this not very large house should exceed the FAR.

The addition is in the rear and will not change the appearance from the street side. It fits with the character of the neighborhood, which has many houses in a similar colonial style. These, as well as more recent ranch style homes, started out smaller and have been enlarged over time.

We believe that the proposed addition won't produce an undesirable change and doesn't have an adverse impact on the physical or environmental conditions in the neighborhood. The changes are in character with nearby properties. Due to the size and configuration of the house and lot, this benefit cannot be achieved by other alternatives. Therefore we respectfully request your approval.

Thank you for your review and consideration.

Respectfully submitted,

Eva Klein Bouhassira, RA



Code section	Code Section Provisions	Indicate how the applicable provisions are addressed*
§ 160-8.A.	<p><u>Natural Resources Survey.</u></p> <p>Unless specifically waived by the Building Inspector, a Natural Resources Survey, on the form provided by the Village, must be submitted for all Applicable Projects that include any new landscaping, paving, or impact on stormwater quantity, or where there is an increase in the footprint of the structure. The Natural Resources Survey shall be prepared prior to, and coordinated with, any other Village approval processes such as site plan approval, general construction approval, steep slopes and view preservation approvals. The Natural Resources Survey shall identify all existing features, including: solar orientation, potential solar access for active or passive collection, designated trees as defined in Chapter 273-2 of the Hastings-on-Hudson Code, contours or spot elevations, native and other planting areas, wetlands, water bodies, rock outcroppings, and other distinguishing features on the lot.</p>	<p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
§ 160-8.B.	<p><u>Stormwater control.</u></p> <p>For all land disturbances greater than 500 square feet but less than 10,000 square feet, all additional runoff caused by construction or demolition must be contained on-site through the installation of one or more of the following: (1) vegetated swale, (2) on-site rain garden, (3) dry well, (4) rainwater cistern. (5) landscaping, (6) pervious pavement, or (7) other mechanism determined to be acceptable by the Building Inspector. (Chapter 250 of the Hastings-on-Hudson Code applies to all land disturbances.</p>	<p>.....</p> <p>.....</p> <p>.....</p> <p>will comply</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
§ 160-8.C.	<p><u>Heat island – non-roof.</u></p> <p>For any new or replacement site hardscape (including roads, driveways, sidewalks, courtyards, and parking areas) any combination of the following strategies must be used for at least 50% of the site hardscape:</p> <p>(1) Shade from existing tree canopy or from planted tree landscape within 5 years of installation. Tree landscaping must be in place at the time of occupancy;</p> <p>(2) Shade from structures covered by solar panels that produce energy;</p> <p>(3) Hardscape materials with an SRI of at least 0.29; or</p> <p>(4) An Open Grid Paving System that is at least 50% pervious.</p> <p>This requirement does not apply to replacement hardscape if replacement materials are to be matched to existing hardscape and less than 50% of the original hardscape is being replaced.</p>	<p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>will comply</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
§ 160-8.D.	<p><u>Irrigation.</u></p> <p>Any new irrigation systems must consist of high-efficiency equipment (i.e. trickle or drip irrigation) and/or climate-based controllers or other control techniques determined to be acceptable by the Building Inspector.</p>	<p>.....</p> <p>.....</p> <p>.....</p> <p>N/A</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>



VILLAGE OF HASTINGS-ON-HUDSON  
Green Code Compliance Checklist



§ 160-8.E.	<p><u>Invasive Plants.</u></p> <p>All existing Invasive Plants shall be removed from areas that are to be planted. Any new plants installed shall be non-invasive.</p>	<p>.....</p> <p>will comply</p> <p>.....</p>
§ 160-8.F.	<p><u>Bicycle racks.</u></p> <p>For any new construction or any Addition or Alteration to an existing building that increases the parking requirements for such building, secure bicycle racks for 5% or more of the estimated number of building users at peak periods must be provided. In no event shall there be less than one rack that can accommodate at least two bicycles.</p>	<p>.....</p> <p>N/A</p> <p>.....</p>
§ 160-8.H.	<p><u>Light trespass.</u></p> <p>For all new exterior lighting to be installed, light spillage upward or beyond site boundaries must be prevented by using one of the following lighting zones as it applies to the Applicable Project. Justification shall be provided to the Building Inspector for the selected lighting zone. Exceptions for safety or security lighting will be considered by the Building Inspector:</p> <ol style="list-style-type: none"> <li>1. Light Zone 2 - Low (primarily residential zones, neighborhood business districts; light industrial areas with limited nighttime use and residential mixed-use areas). Exterior lighting must be designed so that all site and building-mounted luminaires produce a maximum initial illuminance value no greater than 0.10 horizontal and vertical footcandles (1.0 horizontal and vertical lux) at the project boundary and no greater than 0.01 horizontal footcandles (0.1 horizontal lux) 10 feet (3 meters) beyond the project boundary. Documentation must be submitted to show that no more than 2% of the total initial designed fixture lumens (sum total of all fixtures on site) will be emitted at an angle of 90 degrees or higher from nadir (straight down).</li> <li>2. Light Zone 3 - Medium (commercial/ industrial, and high-density residential). Exterior lighting must be designed so that all site and building-mounted luminaires produce a maximum initial illuminance value no greater than 0.20 horizontal and vertical footcandles (2.0 horizontal and vertical lux) at the project boundary and no greater than 0.01 horizontal footcandles (0.1 horizontal lux) 15 feet (4.5 meters) beyond the site. Documentation must be submitted to show that no more than 5% of the total initial designed fixture lumens (sum total of all fixtures on site) are emitted at an angle of 90 degrees or higher from nadir (straight down).</li> </ol>	<p>.....</p> <p>will comply</p> <p>.....</p>
§ 160-9.A.	<p><u>Energy utilization equipment.</u></p> <ol style="list-style-type: none"> <li>1. Exterior lighting. Lighting controls for all exterior lighting shall comply with Section 9.4.1.3 of ANSI/ASHRAE/IESNA Standard 90.1-2007, without amendments.</li> <li>2. High efficiency heating equipment. For new construction only, all hot water boilers shall be condensing boilers with a minimum annual fuel utilization</li> </ol>	<p>.....</p> <p>will comply</p> <p>.....</p> <p>N/A</p> <p>.....</p>

VILLAGE OF HASTINGS-ON-HUDSON  
Green Code Compliance Checklist



	<p>efficiency ("AFUE") of at least 85% for oil burning and 92% for natural gas burning boilers.</p> <p>3. High efficiency cooling equipment. All new or replacement cooling equipment shall have a seasonal energy efficiency ratio ("SEER") of at least 16.</p> <p>4. Fixtures and appliances. All new or replacement appliances governed by Energy Star, such as but not limited to, dishwashers, refrigerators, freezers, washing machines, water heaters and room air conditioners, shall be compliant with Energy Star.</p>	<p>.....</p> <p>will comply</p> <p>.....</p> <p>will comply</p> <p>.....</p>
§ 160-9.B.	<p><u>Energy use controls.</u></p> <p>1. Electronic thermostat. All heating and cooling systems must be controlled with a programmable thermostat that allows for a variety of time-of-day and seasonal settings.</p> <p>2. Whole-building switch. A master whole-building switch must be installed to control applicable circuits and outlets (such as lights and major appliances), which can shift circuits to economy mode when the structure is not occupied. For residential projects subject to Part 2 Requirements, a whole building switch shall be installed in each residential unit. With respect to projects identified in § 160- 2.B(2) (Additions and Alterations), this section applies only when a new main electric panel is being installed.</p> <p>3. Zoned heating and cooling. New construction and Additions in excess of 1000 square feet shall have zoned controls for heating and cooling.</p>	<p>.....</p> <p>will comply</p> <p>.....</p> <p>N/A</p> <p>.....</p> <p>N/A</p> <p>.....</p>
§ 160-9.C.	<p><u>Energy Use Monitoring.</u></p> <p>1. Energy monitor dashboard. An Energy Monitor Dashboard must be installed to provide a reading of the energy use for the entire structure either via a central monitoring system or via submonitors if submeters are provided. This section does not apply to residential structures subject to Part 2 Requirements. This section also does not apply to Additions and Alterations unless a new heating, ventilation, and air conditioning ("HVAC") system is installed that serves the entire structure.</p> <p>2. Fundamental commissioning of building energy systems. For projects over 25,000 square feet, an independent expert must be hired to certify that the project's energy-related systems are installed, calibrated and perform according to the approved plans.</p>	<p>.....</p> <p>N/A</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>
§ 160-10	<p><u>Interior water use.</u></p> <p>A. Toilets and urinals. Any newly installed or replaced toilet or urinal must be either low flush toilets equal to or less than 1.28 gallons per flush ("gpf") or dual-flush toilets where the low flush feature is no more than 1.28 gpf.</p> <p>B. Showers. Any newly installed or replaced shower head must provide an average flow rate of no more than 2 gallons per minute ("gpm").</p> <p>C. Lavatory faucets. Any newly installed or replaced lavatory faucet must provide an average flow rate of no more than 2 gallons per minute ("gpm").</p>	<p>.....</p> <p>will comply</p> <p>.....</p> <p>.....</p> <p>.....</p> <p>.....</p>

# VILLAGE OF HASTINGS-ON-HUDSON

## Green Code Compliance Checklist



§ 160-11	<u>Materials and indoor environmental quality.</u>	
	<p>A. Paints, wood finish, and other finishing materials.</p> <p>1. Paints, coatings, and primers applied to interior surfaces shall not exceed the following VOC content limits (as established by Green Seal Standard GC-11, Paints, Edition 3.1, July 2013, as amended):</p> <p style="text-align: center;">Flat Paint: 50g/L flat Non-Flat Paint: 150g/L non-flat</p> <p>2. Clear wood finishes, floor coatings, stains, sealers, and shellacs, applied to interior surfaces, shall not exceed the following VOC content limits (as established by South Coast Air Quality Management District Rule 1113, Architectural Coatings, June 3, 2011, as amended):</p> <p style="text-align: center;">Varnish: 275g/L Laquer: 275g/L Shellac: 730 g/L clear, 550 g/L pigmented Sealers: 100 g/L waterproofing, 275 g/L sanding, 100 g/L all others</p> <p>3. Carpet adhesive shall not exceed a VOC content limit of 50g/L.</p> <p>4. No materials shall contain added urea formaldehyde.</p> <p>5. A list of permissible low-VOC finishes applicable to this section shall be maintained by the Building Department. Documentation of compliance with this section shall be submitted to the Building Inspector.</p>	<p>will comply</p>
	<p>B. Roofing materials. All new roofing materials used shall have an SRI of at least 0.78 for Low Slope Roofs and an SRI of at least 0.29 for Steep Slope Roofs. Green/Vegetated Roof areas that cover at least 50% of the roof will satisfy this provision. This section does not apply to Additions and Alterations if new roofing materials are to be matched in roof type or color to existing roof areas.</p> <p>C. Construction waste management. A minimum of 25% of construction waste by weight shall be recycled, repurposed and/or reused and not sent to a landfill or incinerator. Documentation of compliance with this section shall be submitted to the Building Inspector.</p>	<p>will comply</p> <p>will comply</p>

\*Indicate by notes such as, "see Note/Detail on Dwg #\_\_\_", or "NA", etc. where "NA" stands for "Not applicable".

Signature

September 27 2021

Date

Eva Bouhassira Architect PC

Name

architect

Title

**NOTICE OF UTILIZATION OF TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION IN RESIDENTIAL STRUCTURES**

(In accordance with Title 19 of the New York Codes, Rules and Regulations (NYCRR), Part 1265)

**Village of Hastings-on-Hudson Building Department**

Property Address \_\_\_\_\_

SBL #: \_\_\_\_\_

Property Owner Name: \_\_\_\_\_

Property Owner Address \_\_\_\_\_

Phone #: \_\_\_\_\_

Email Address: \_\_\_\_\_

PLEASE TAKE NOTICE THAT THE (check applicable line):

- \_\_\_\_\_ new residential structure
- \_\_\_\_\_ addition to existing residential structure
- \_\_\_\_\_ rehabilitation to existing residential structure

TO BE CONSTRUCTED OR PERFORMED AT THE SUBJECT PROPERTY REFERENCED ABOVE, WILL UTILIZE (check each applicable line):

- \_\_\_\_\_ truss type construction (TT)
- \_\_\_\_\_ pre-engineered wood construction (PW)
- \_\_\_\_\_ timber construction (TC)

IN THE FOLLOWING LOCATION(S) (check each applicable line):

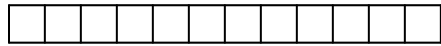
- \_\_\_\_\_ floor framing, including girders and beams (F)
- \_\_\_\_\_ roof framing (R)
- \_\_\_\_\_ floor framing and roof framing (FR)

SIGNATURE: \_\_\_\_\_  DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

CAPACITY: \_\_\_\_\_ Owner \_\_\_\_\_ Owner's Representative

E V A BOUHASSIRA  
A R C H I T E C T P C



50 HAMILTON AVENUE HASTINGS-ON-HUDSON NY10706  
Eva.Bouhassira.Architect@gmail.com PH 914-478-1223 FAX 866-290-9786

September 27, 2021

**Village of Hastings on Hudson  
7 Maple Avenue  
Hastings on Hudson NY 10706**

**COPELAND and BERKO RESIDENCE  
141 Farragut Avenue  
Hastings on Hudson NY 10706**

**LOT [SBL] SECTION 4.80 BLOCK 71 LOT 37**

LAND SURVEY BY SUMMIT LAND SURVEYING P.C., COMPLETED ON June 16, 2021

THE SURVEY WHICH IS BEING SUBMITTED IS "AS THE PROPERTY CURRENTLY EXISTS".

---

Libby I. Copeland  
Danylo R. Berko  
Homeowners



## ADDITION AND RENOVATION

<b>A-001 Z</b>	TITLE SHEET AND NOTES
<b>A-002 L</b>	LOCATION PLAN
<b>A-002 Z</b>	ZONING ANALYSIS
<b>A-003</b>	FIRST FLOOR
<b>A-004</b>	SECOND FLOOR
<b>A-005</b>	ATTIC FLOOR
<b>A-006</b>	BASEMENT
<b>A-007</b>	ELEVATION EXISTING
<b>A-008</b>	ELEVATIONS PROPOSED

1. Remove the existing deck.
2. Build a two-story rear addition and a new deck.
3. Modify the existing walls as shown.
3. Install a new kitchen, bathroom and powder room as shown.

THE SURVEY WHICH IS BEING  
SUBMITTED IS "AS THE PROPERTY  
CURRENTLY EXISTS".

LAND SURVEY BY SUMMIT LAND  
SURVEYING P.C., COMPLETED ON  
June 16, 2021



E V A BOUHASSIRA  
A R C H I T E C T P C  
50 HAMILTON AVENUE  
HASTINGS-ON-HUDSON NY 10706  
914-478-1223

[illegible]

Project Manager rsev	Project ID 201218
Drawn By eehv	Scale As noted
Reviewed By dcg	Drawing No. A-001Z _____ of _____
Date 12/18/2020	
AD File Name CB	





111

107

103

97

89

83

81



ROSEDALE AVE.

FARRAGUT AVE.



1 PROPERTIES WITHIN 300'  
A-002L SCALE 1/4" = 1'-0"

125

129

135

141

147

153



117

121

123

159

163

167

LIST OF DRAWINGS

- A-001 Z TITLE SHEET AND NOTES
- A-002 L LOCATION PLAN
- A-002 Z ZONING ANALYSIS
- A-003 FIRST FLOOR
- A-004 SECOND FLOOR
- A-005 ATTIC FLOOR
- A-006 BASEMENT
- A-007 ELEVATION EXISTING
- A-008 ELEVATIONS PROPOSED

COPELAND BERKO  
RESIDENCE  
141 FARRAGUT AVENUE  
HASTINGS ON HUDSON  
NY 10706

EVA BOUHASSIRA  
ARCHITECT PC  
50 HAMILTON AVENUE  
HASTINGS-ON-HUDSON NY 10706  
914-478-1223

02 09/27/2021 ISSUED FOR ZBA  
01 12/28/2020 EXISTING CONDITIONS

No. Date Issue Notes

LOCATION PLAN

Project Manager	rsev	Project ID	201218
Drawn By	eehv	Scale	As noted
Reviewed By	dgc	Drawing No.	A-002L
Date	12/18/2020		of
CAD File Name	CB		



# COPELAND BERKO RESIDENCE

## 141 FARRAGUT AVENUE

### HASTINGS ON HUDSON NY 10706

#### SITE PLAN AND ZONING ANALYSIS

##### LIST OF DRAWINGS

A-001 Z	TITLE SHEET AND NOTES
A-002 L	LOCATION PLAN
A-002 Z	ZONING ANALYSIS
A-003	FIRST FLOOR
A-004	SECOND FLOOR
A-005	ATTIC FLOOR
A-006	BASEMENT
A-007	ELEVATION EXISTING
A-008	ELEVATIONS PROPOSED

##### SCOPE OF WORK

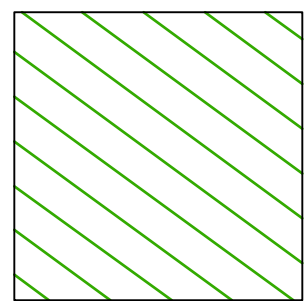
1. Remove the existing deck.
2. Build a two-story rear addition and a new deck.
3. Modify the existing walls as shown.
3. Install a new kitchen, bathroom and powder room as shown.

LOT [SBL]  
SECTION 4.80 BLOCK 71 LOT 37

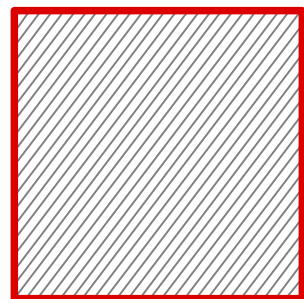
THE SURVEY WHICH IS BEING  
SUBMITTED IS "AS THE PROPERTY  
CURRENTLY EXISTS".

LAND SURVEY BY SUMMIT LAND  
SURVEYING P.C., COMPLETED ON  
June 16, 2021

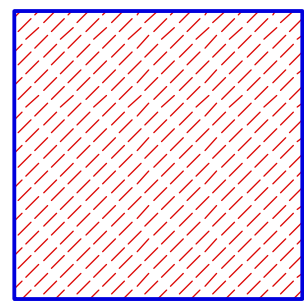
ZONING ANALYSIS						
September 27 2021						
141 Farragut Avenue ZONE R-7.5 Chapter 295 Article IX District Use and Area Regulation						
R-7.5						
ZONING RULE	DESCRIPTION	CODE REQUIREMENT	EXISTING	CURRENT COMPLIANCE	PROPOSED COMPLIANCE	
§ 295-69. One-Family Residence (R-7.5) Districts:						
295-69.E	Lot size	7,500	6,810	ex. NON compliant	6,810	no change
295-69.F (1) (a)	Lot width	75'	58.83'	ex. NON compliant	58.83'	no change
295-69.F (1) (b)	Front yard West	25'	22.4'	ex. NON compliant	22.4'	no change
295-69.F (1) (c)	Rear yard East	25'	63.2'	complies	57'	complies
295-69.F (1) (d)	Accessory rear	8'	11.8'	complies	11.8'	no change
295-69.F (1) (e)	Two side yards	20'	23.1'	complies	26.5'	COMPLIES
295-69.F (1) (f)	Side yard 1 North	8'	6.0'	ex. NON compliant	8.8'	COMPLIES
295-69.F (1) (g)	Side yard 2 South	12'	17.1'	complies	17.5'	COMPLIES
295-69.F (1) (h)	Accessory side	8'	4.3'	ex. NON compliant	4.3'	no change
295-69.F (1) (i)	Wall height	23'	19.5' front, 26' rear	ex. NON compliant	26' front, 24.9' rear	VARIANCE
295-69.F (1) (j)	Max height	35'	29' front, 36' rear	ex. NON compliant	29' front, 36' rear	no change
295-69.F (1) (k)	Stories	2 1/2	2 1/2	complies	2 1/2	no change
295-69.F (1) (l)	Accessory Garage	15' sloped/ 12' flat roof	12'	complies	12'	no change
295-69.F (2) (a) (1)	Building coverage	30% of lot	21.72%	complies	24.23%	COMPLIES
295-69.F (2) (a) (2)	existing house		799		799	
295-69.F (2) (a) (3)	deck and stairs		308	demo	0	
295-69.F (2) (a) (4)	garage		372		372	
295-69.F (2) (a) (5)	addition		188		188	
295-69.F (2) (a) (6)	new deck and stairs		291		291	
295-69.F (2) (a) (7)	total		1,479		1,650	
295-69.F (2) (a) (8)	Development coverage	40% of lot	43.45%	ex. NON compliant	44.08%	VARIANCE
295-69.F (2) (a) (9)	structures (see above)	1479	1650		1650	39.68%
295-69.F (2) (a) (10)	driveway	720	720		720	0
295-69.F (2) (a) (11)	walkways terrace patio	408	386		386	53
295-69.F (2) (a) (12)	pad behind garage	53	-53	demo	-53	28
295-69.F (2) (a) (13)	other neighbor's garage	28	no change		no change	271
295-69.F (2) (a) (14)	stone walls	271	no change		no change	271
295-69.F (2) (a) (15)	alt. demo part of driveway					-300
295-69.F (2) (a) (16)	total	2,959	3,002		3,002	5,702
295-69.G	FAR	0.395	0.389	complies	0.452	VARIANCE
295-69.G	basement above ground	632	632		632	
295-69.G	first floor (house+garage)	1171	1171	add 188	1359	
295-69.G	second floor	632	632	add 188	820	
295-69.G	attic w headroom over 7 feet	213	213	dormer add 51	264	
295-69.G	total	2,448	2,448		3,075	
ALTERNATE						
SF house only						
632						
632						
799						
188						
820						
213						
2276						
0.334						
0.397						
0.055						
0.055						
0.389						
0.452						



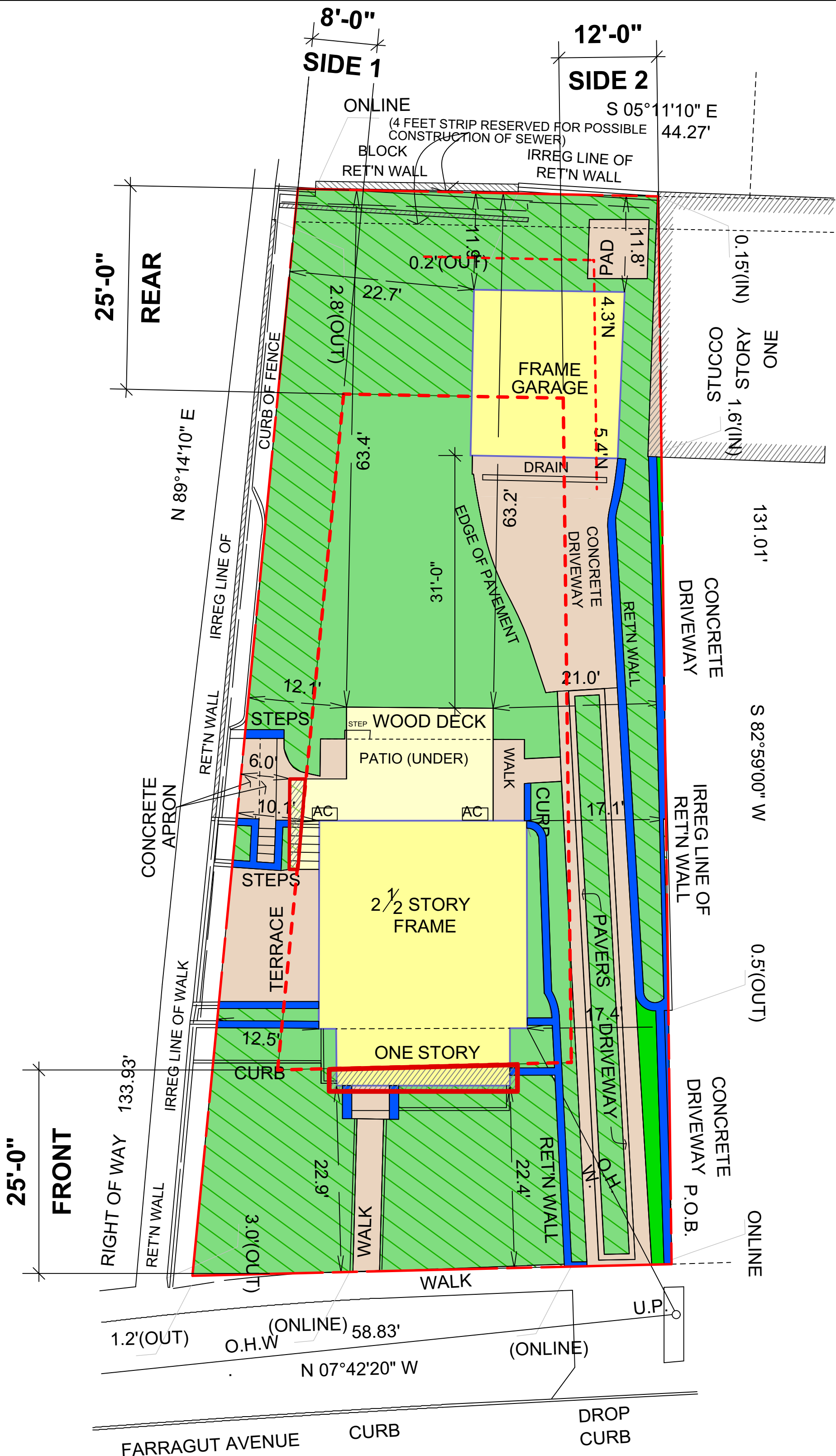
REQUIRED YARDS



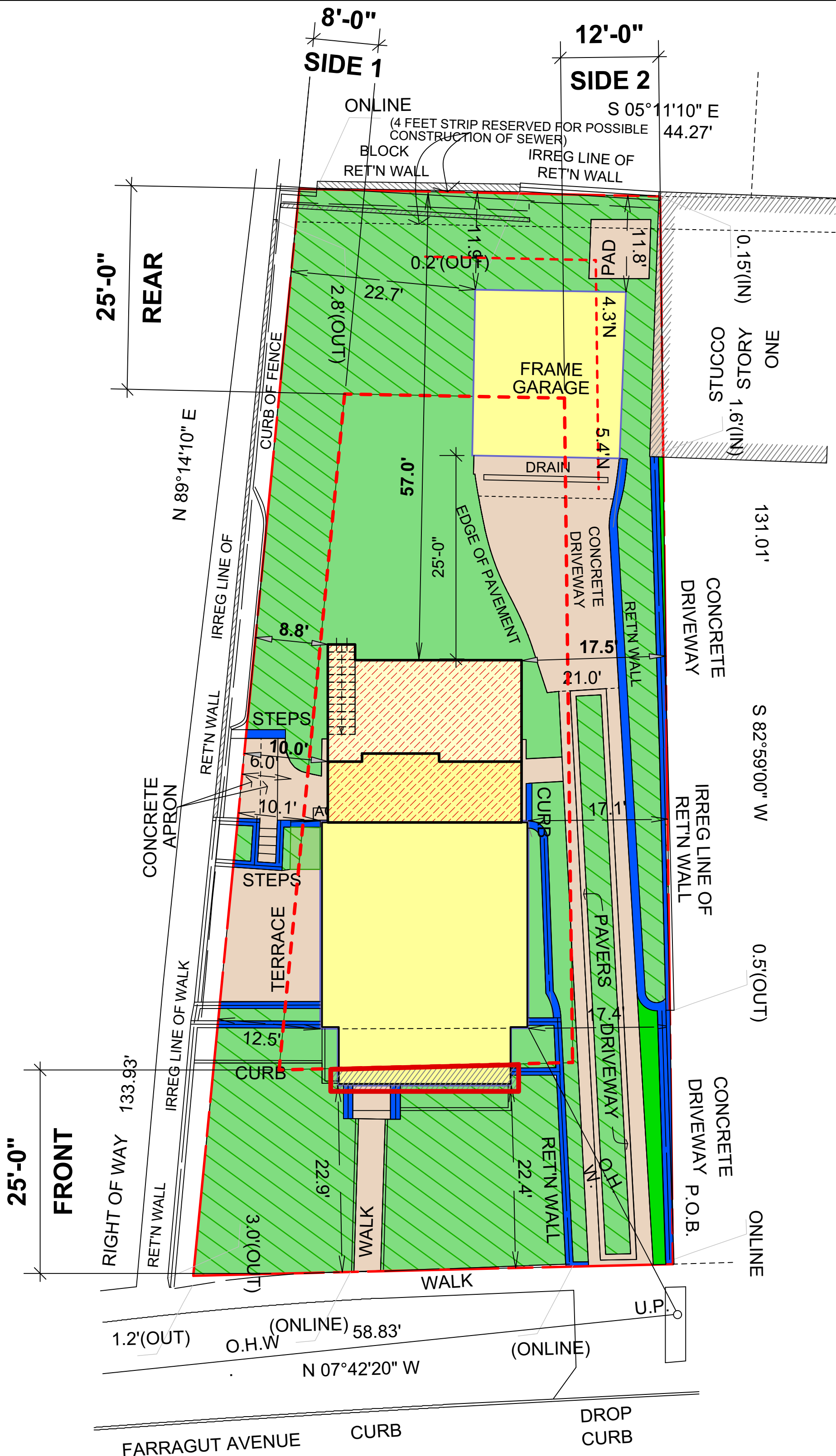
EXISTING SETBACK  
NON-CONFORMING  
AREA



PROPOSED SETBACK  
CONFORMING  
AREA



1 ZONING ANALYSIS EXISTING CONDITIONS  
A-002 SCALE 1/4" = 1'-0"



2 ZONING ANALYSIS PROPOSED  
A-002 SCALE 1/4" = 1'-0"

COPELAND BERKO  
RESIDENCE  
141 FARRAGUT AVENUE  
HASTINGS ON HUDSON  
NY 10706

EVA BOUHASSIRA  
ARCHITECT P.C.  
50 HAMILTON AVENUE  
HASTINGS-ON-HUDSON NY 10706  
914-478-1223

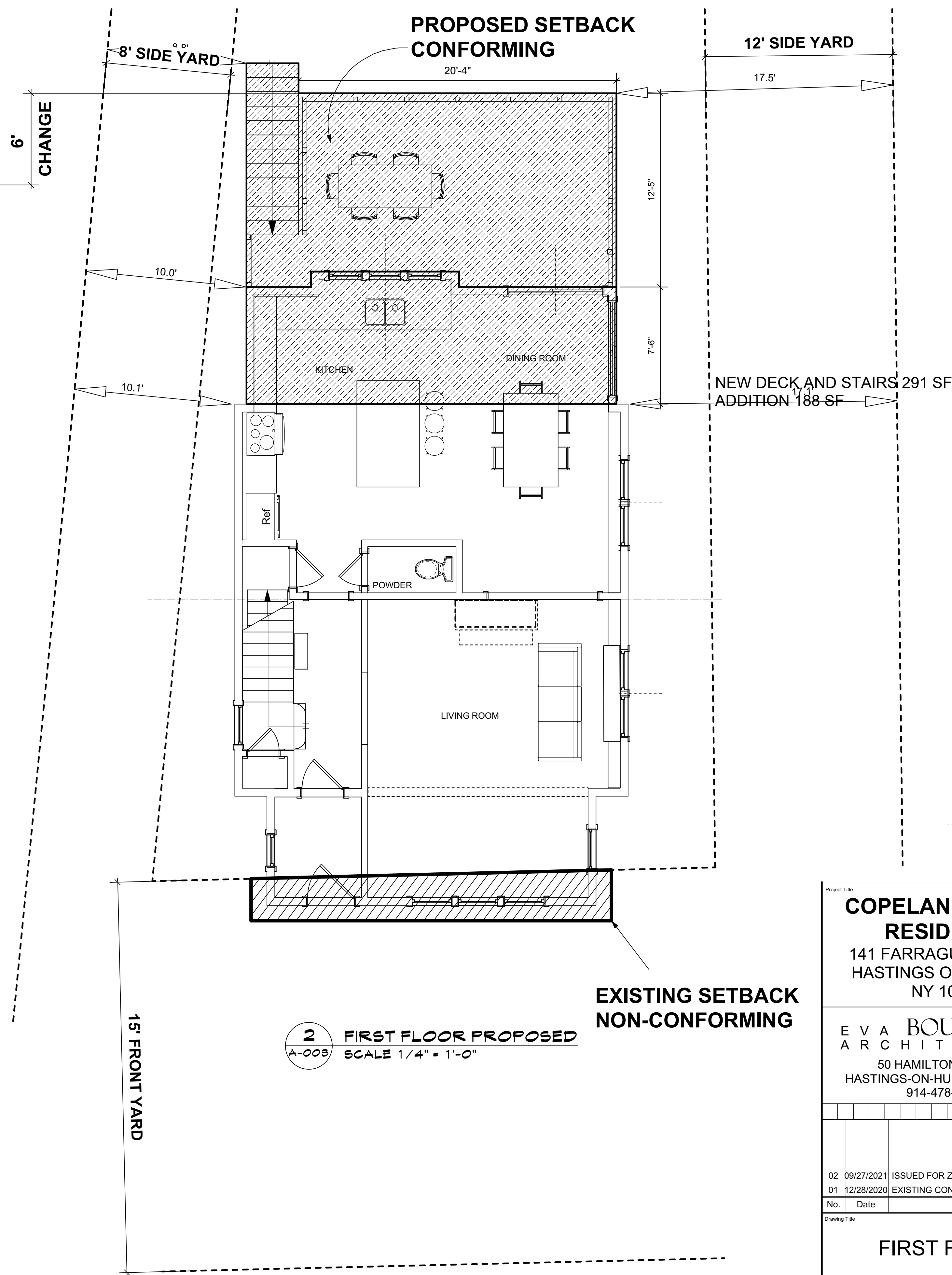
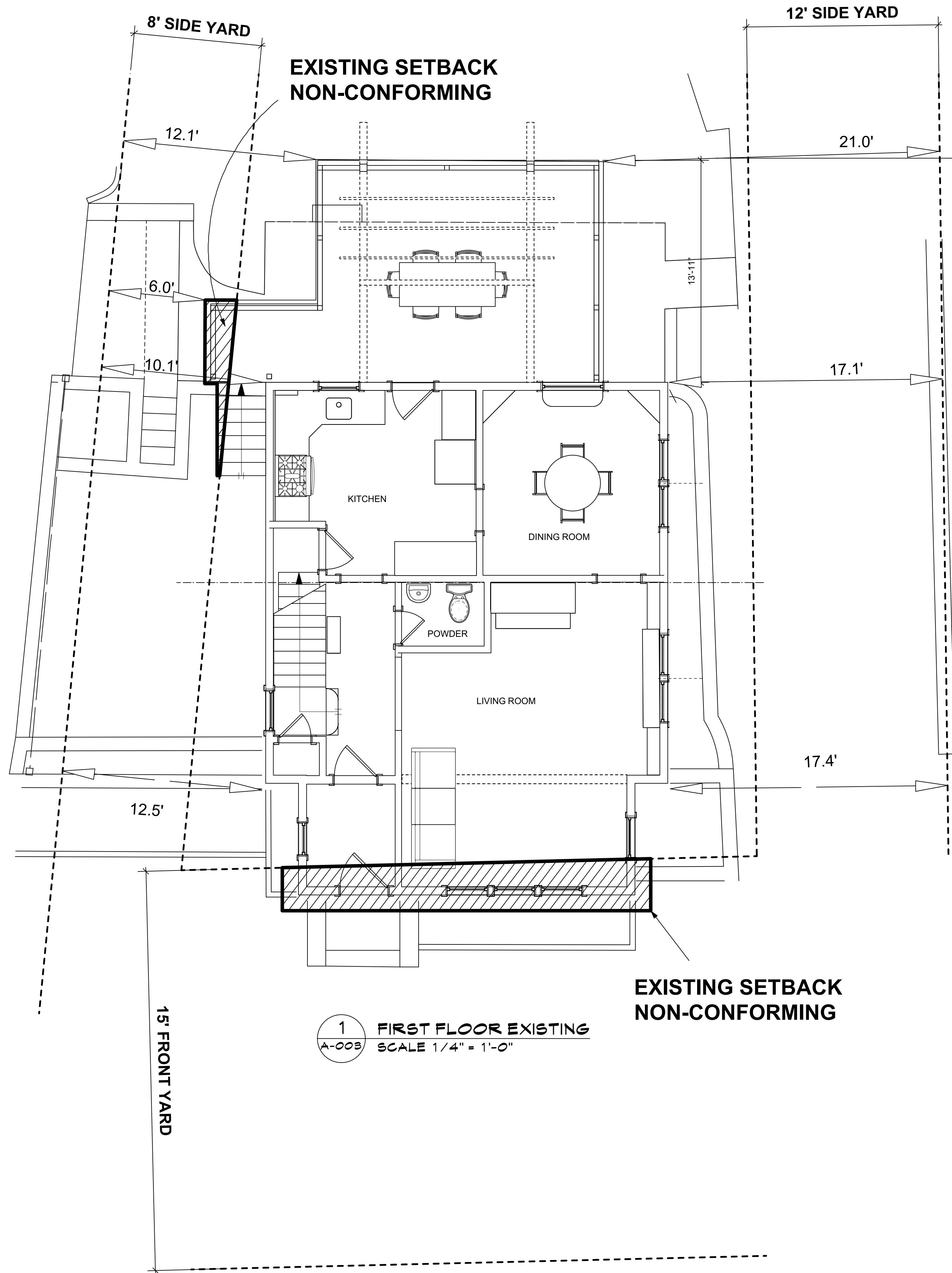
No.	Date	Issue Notes
02	09/27/2021	ISSUED FOR ZBA
01	12/28/2020	EXISTING CONDITIONS

Drawing Title

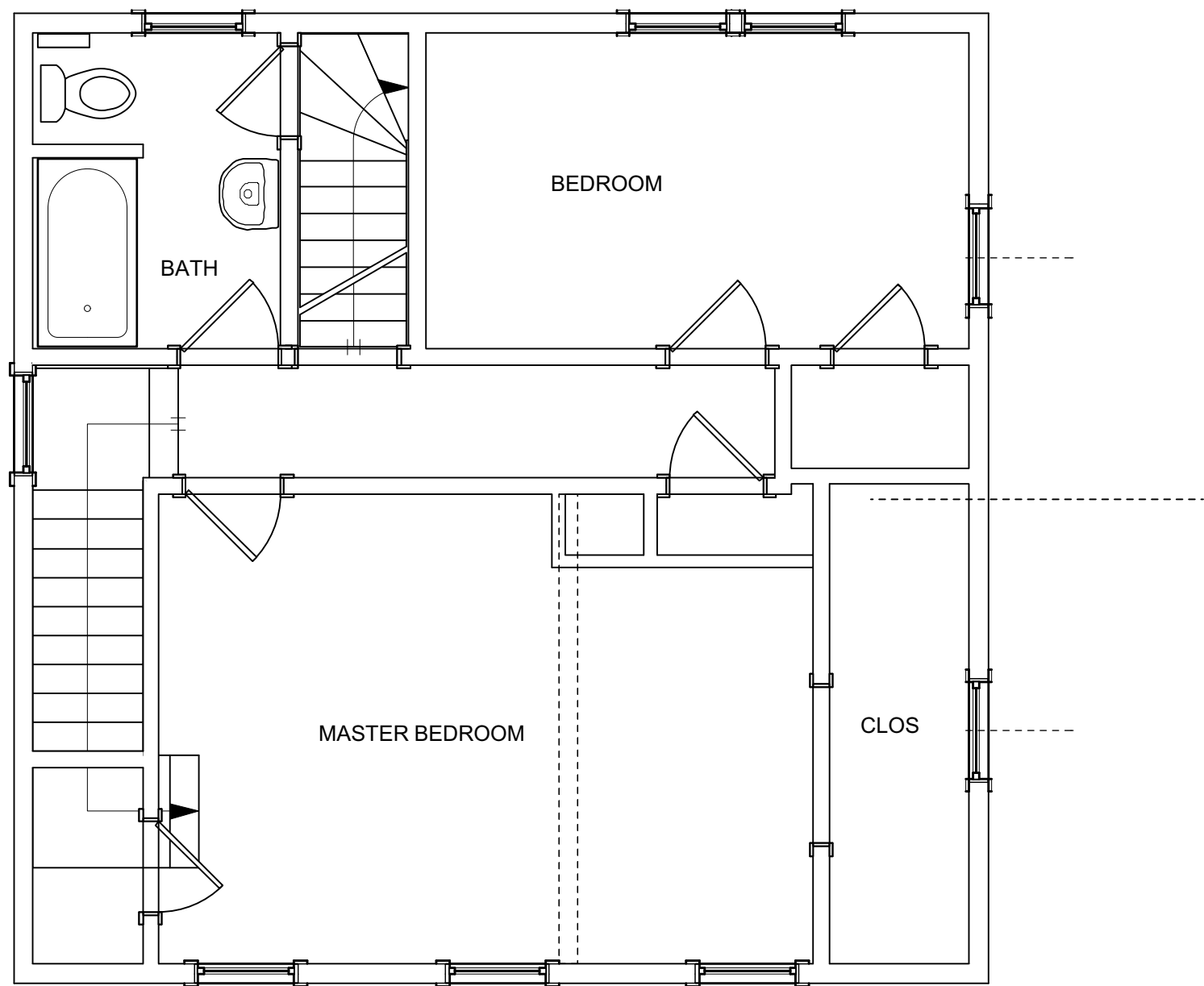
ZONING  
ANALYSIS

Project Manager	rsev	Project ID	201218
Drawn By	eehv	Scale	As noted
Reviewed By	dcg	Drawing No.	A-002Z
Date	12/18/2020		of
CAD File Name	CB		

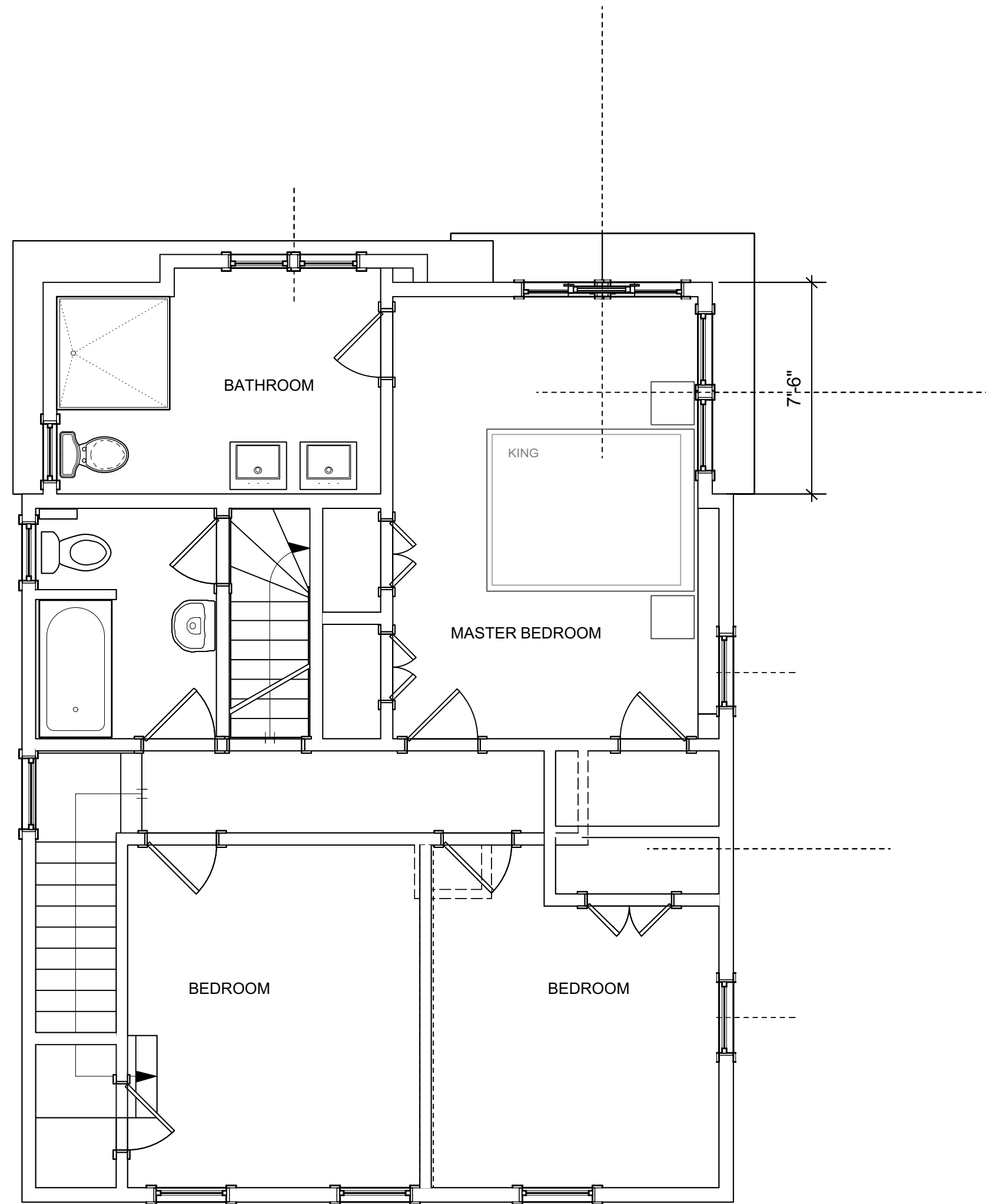




Project Title		<b>COPELAND BERKO RESIDENCE</b>	
		141 FARRAGUT AVENUE HASTINGS ON HUDSON NY 10706	
		E V A BOUHASSIRA A R C H I T E C T P C	
		50 HAMILTON AVENUE HASTINGS-ON-HUDSON NY 10706 914-478-1223	
02	09/27/2021	ISSUED FOR ZBA	
01	12/28/2020	EXISTING CONDITIONS	
No.	Date	Issue Notes	
Drawing Title			
FIRST FLOOR			
Project Manager		Project ID	
rsev		201218	
Drawn By		Scale	
eehv		As noted	
Reviewed By		Drawing No.	
dcg		A-003  of	
Date			
12/18/2020			
CAD File Name			
CB			



**1 SECOND FLOOR EXISTING**  
A-004 SCALE 1/4" = 1'-0"



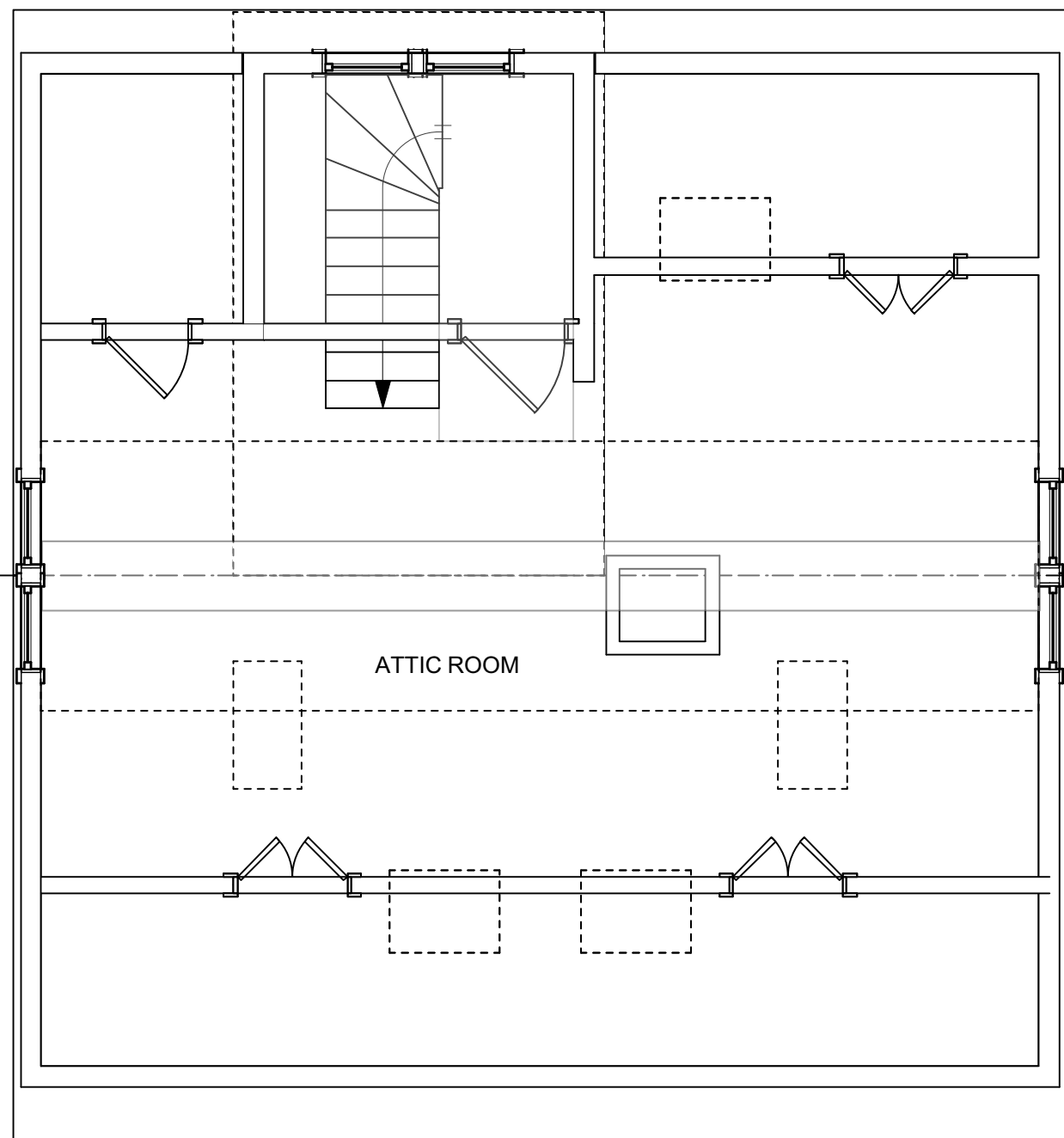
**2 SECOND FLOOR PROPOSED**  
A-004 SCALE 1/4" = 1'-0"

Project Title

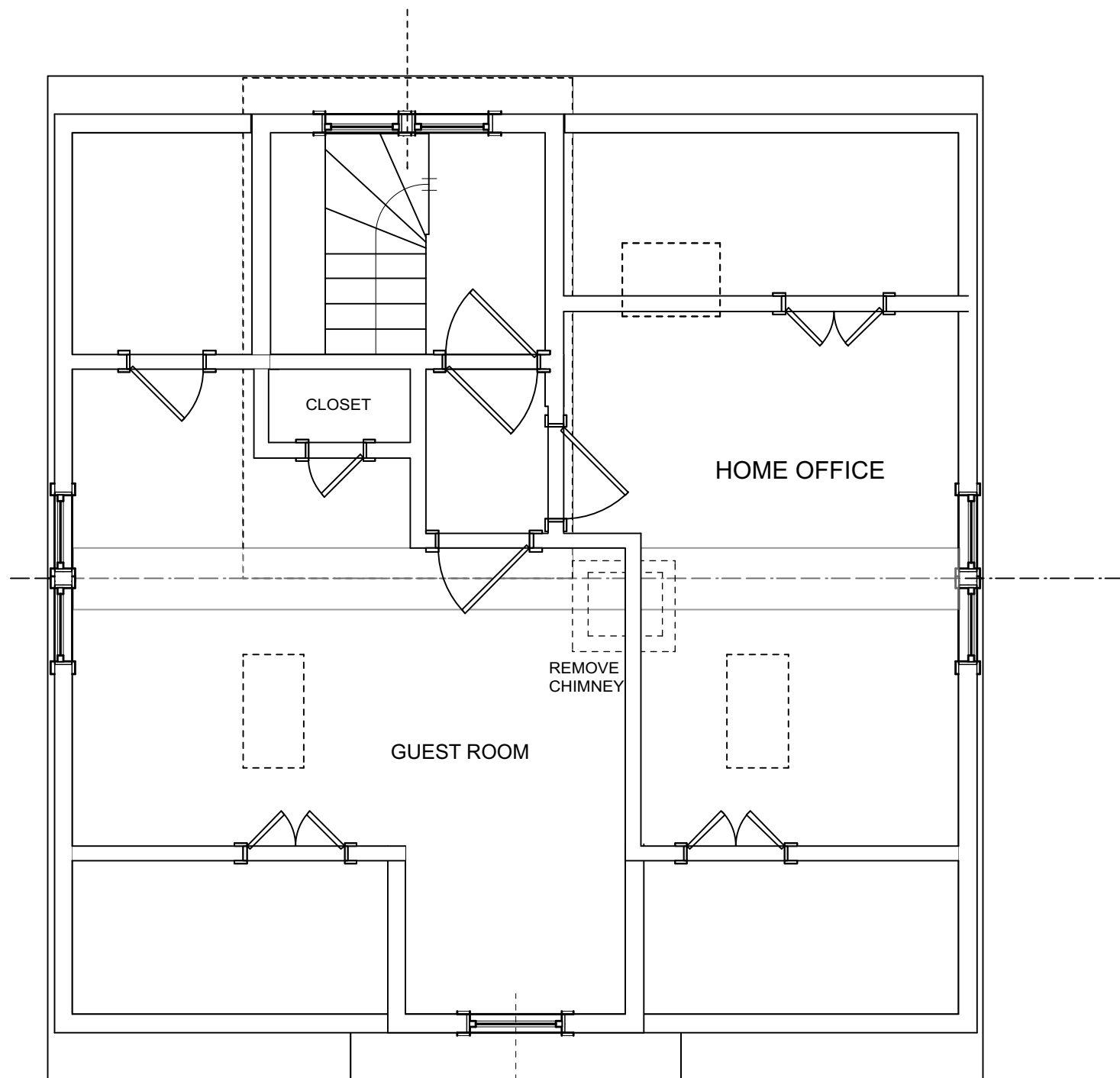
**COPELAND BERKO  
RESIDENCE**  
141 FARRAGUT AVENUE  
HASTINGS ON HUDSON  
NY 10706

E V A BOUHASSIRA  
ARCHITECT P C  
50 HAMILTON AVENUE  
HASTINGS-ON-HUDSON NY 10706  
914-478-1223

02 09/27/2021 ISSUED FOR ZBA	
01 12/28/2020 EXISTING CONDITIONS	
No.	Date
Issue Notes	
Drawing Title	
SECOND FLOOR	
Project Manager	Project ID
rsev	201218
Drawn By	Scale
eehv	As noted
Reviewed By	Drawing No.
dcg	A-004
Date	_____ of _____
12/18/2020	
CAD File Name	
CB	



1 ATTIC FLOOR EXISTING  
A-005 SCALE 1/4" = 1'-0"



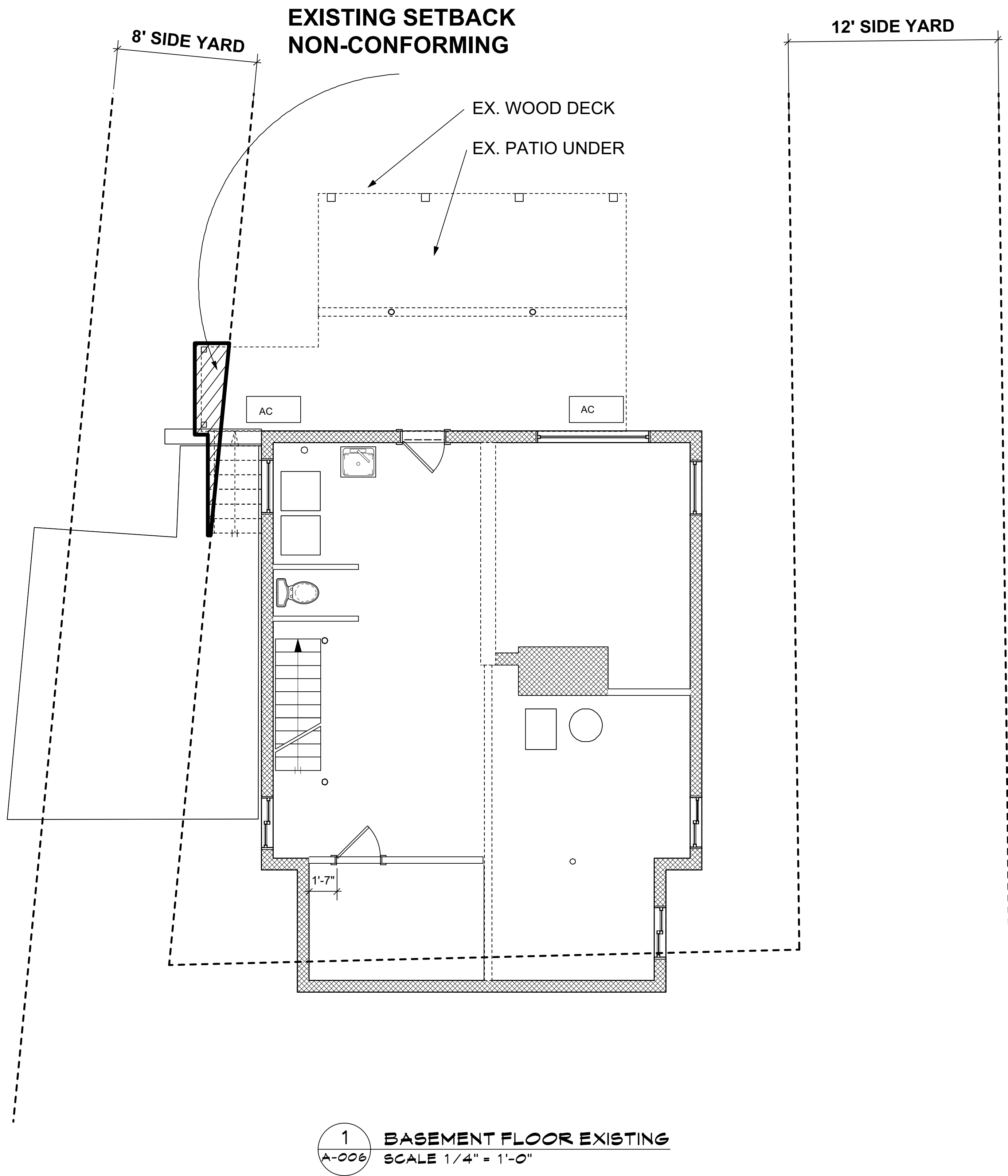
2 ATTIC FLOOR PROPOSED  
A-005 SCALE 1/4" = 1'-0"

Project Title

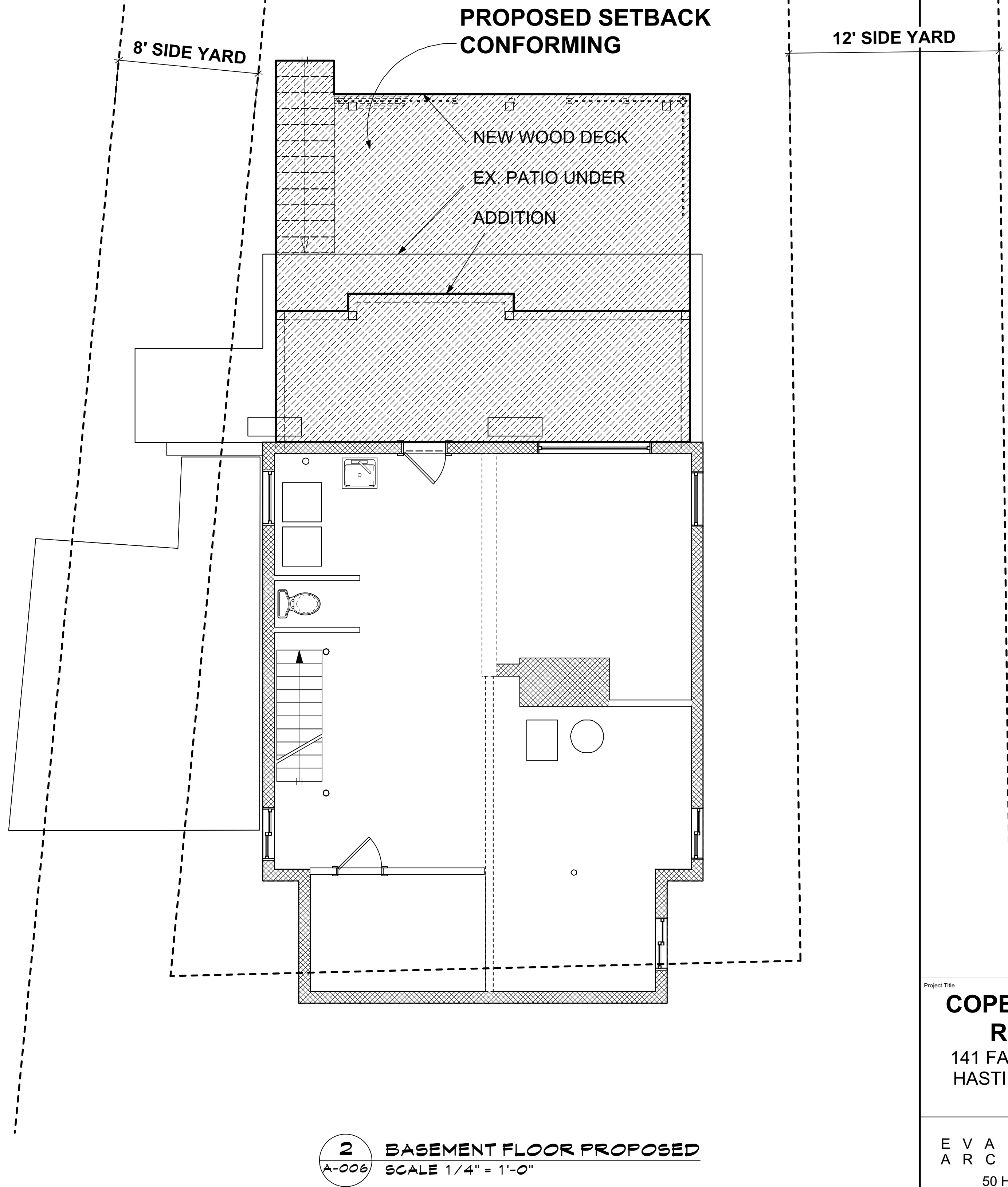
**COPELAND BERKO  
RESIDENCE**  
141 FARRAGUT AVENUE  
HASTINGS ON HUDSON  
NY 10706

**E V A BOUHASSIRA  
ARCHITECT P C**  
50 HAMILTON AVENUE  
HASTINGS-ON-HUDSON NY 10706  
914-478-1223

02		09/27/2021		ISSUED FOR ZBA							
01		12/28/2020		EXISTING CONDITIONS							
No.		Date		Issue Notes							
Drawing Title											
ATTIC FLOOR											
Project Manager				Project ID							
rsev				201218							
Drawn By				Scale							
eehv				As noted							
Reviewed By				Drawing No.							
dcg				A-005  _____ of _____							
Date											
12/18/2020											
CAD File Name											
CB											



**1 BASEMENT FLOOR EXISTING**  
A-006 SCALE 1/4" = 1'-0"



**2 BASEMENT FLOOR PROPOSED**  
A-006 SCALE 1/4" = 1'-0"

**COPELAND BERKO RESIDENCE**  
141 FARRAGUT AVENUE  
HASTINGS ON HUDSON NY 10706

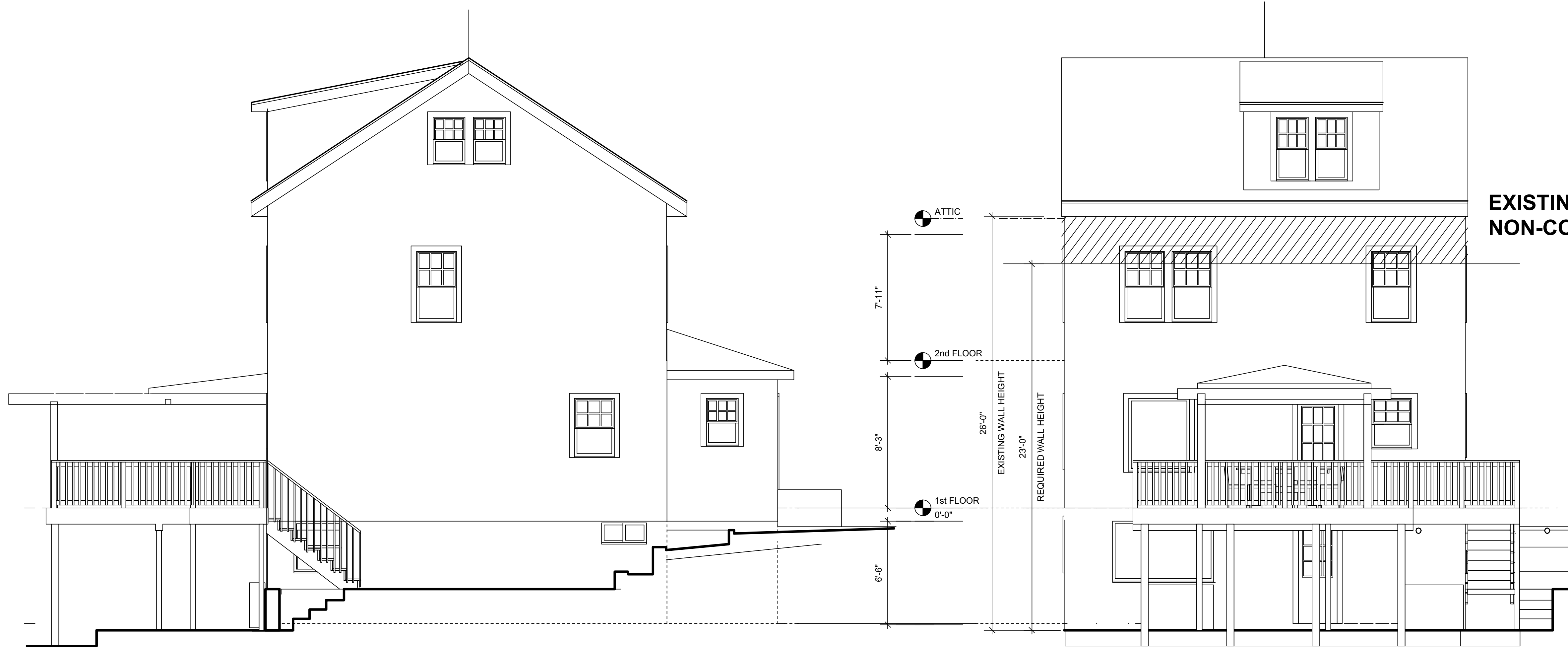
**EVA BOUHASSIRA ARCHITECT PC**  
50 HAMILTON AVENUE  
HASTINGS-ON-HUDSON NY 10706  
914-478-1223

02	09/27/2021	ISSUED FOR ZBA
01	12/28/2020	EXISTING CONDITIONS

No.	Date	Issue Notes
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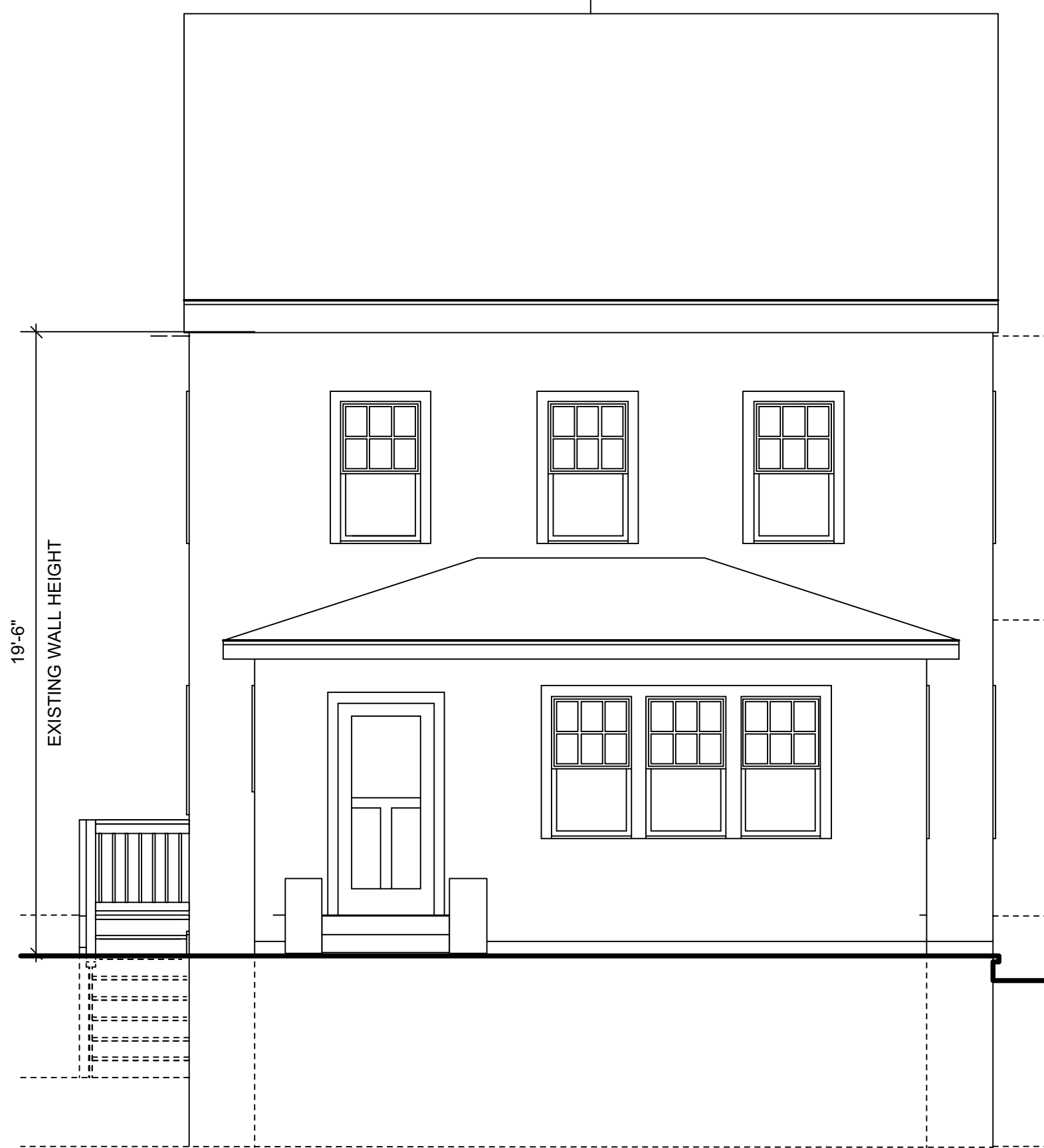
Drawing Title	
BASEMENT	
Project Manager	Project ID
rsev	201218
Drawn By	Scale
eehv	As noted
Reviewed By	Drawing No.
dco	A-006
Date	_____ of _____
12/18/2020	
CAD File Name	
CB	





1 EXISTING SIDE ELEVATION NORTH  
A-007 SCALE 1/4" = 1'-0"

2 EXISTING REAR ELEVATION EAST  
A-007 SCALE 1/4" = 1'-0"



3 EXISTING FRONT ELEVATION WEST  
A-007 SCALE 1/4" = 1'-0"



4 EXISTING SIDE ELEVATION SOUTH  
A-007 SCALE 1/4" = 1'-0"



**COPELAND BERKO  
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HASTINGS-ON-HUDSON NY 10706  
914-478-1223

02 09/27/2021 ISSUED FOR ZBA  
01 12/28/2020 EXISTING CONDITIONS

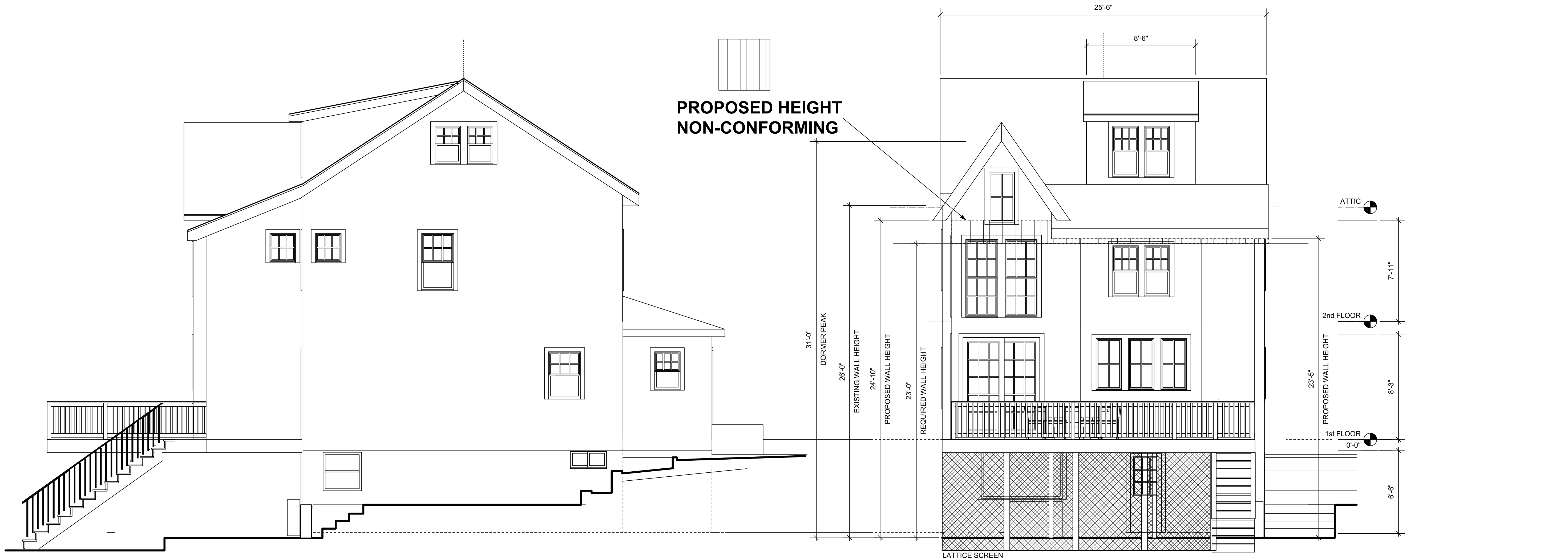
No. Date Issue Notes

Drawing Title

**ELEVATIONS  
EXISTING**

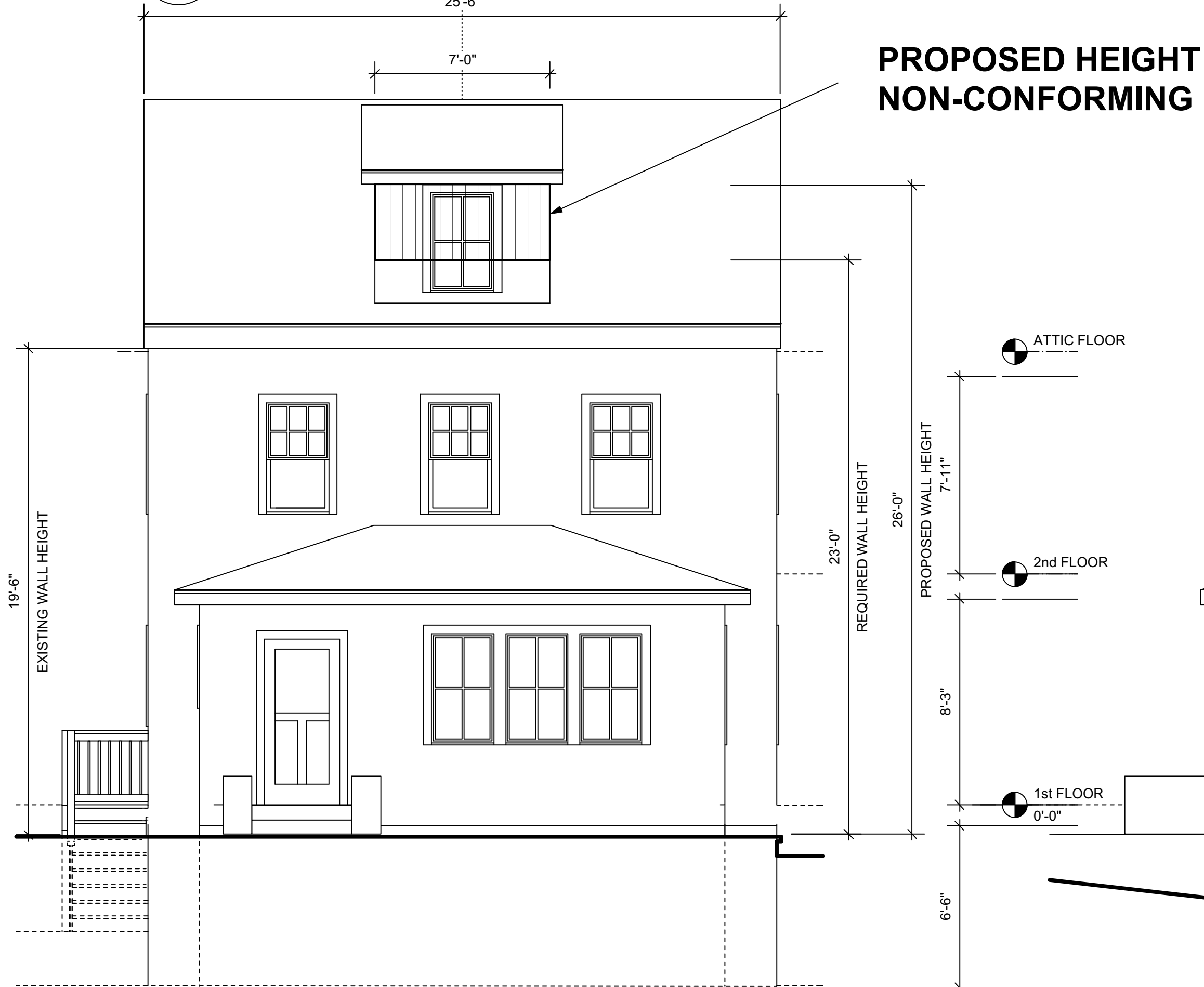
Project Manager	rsev	Project ID	201218
Drawn By	eehv	Scale	As noted
Reviewed By	dvg	Drawing No.	A-007
Date	12/18/2020		of
CAD File Name	CB		





1 PROPOSED SIDE ELEVATION NORTH  
A-008 SCALE 1/4" = 1'-0"

2 PROPOSED REAR ELEVATION EAST  
A-008 SCALE 1/4" = 1'-0"



3 PROPOSED FRONT ELEVATION WEST  
A-008 SCALE 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION SOUTH  
A-008 SCALE 1/4" = 1'-0"

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01 12/28/2020 EXISTING CONDITIONS

No. Date Issue Notes

Drawing Title

**ELEVATIONS  
PROPOSED**

Project Manager	rsev	Project ID	201218
Drawn By	eehv	Scale	As noted
Reviewed By	dgc	Drawing No.	A-008
Date	12/18/2020		of
CAD File Name	CB		