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**Baldwin & Franklin, Architects**  
73 Washington Avenue  
Hastings-on-Hudson, New York 10706  
Telephone (914) 693-5324  
Facsimile (914) 693-5676  
E-Mail [nedbaldwin@optonline.net](mailto:nedbaldwin@optonline.net)

**8 November 2019**

**to: the Chairman of the Hastings ZBA**

**re: Proposed alterations to 10 Maple Lane**

**Like the neighboring properties on Maple Lane, the lot size of #10 is smaller than permitted in the District 2R. The house is a totally non conforming structure due to front & side yard setback requirements & to the permitted lot coverage (see Existing Site Plan S1-E).**

**The existing 2 bedrooms on the attic floor have been in use since before 1970 & the access stair is not up to the current code as a means of egress. In order to remedy this a new dormer will be required on the West side to provide adequate headroom for a code compliant stair. This dormer would add to the existing non conformities of the house (see Proposed Site Plan S-1P).**

**At the first floor the only access to the rear yard is via steps from the kitchen door. The proposed renovation includes a sliding door onto a small deck which would cover the existing steps, basement entrance & concrete paving. We propose cascading steps from the deck at first floor level to the lawn at grade so that a railing would not be required (which confines a small deck area). This will encroach beyond the permitted side yard setback requirements for a deck (see Proposed Site Plan S-1P).**

**We ask for your favourable ruling on the required variances to permit the owners to correct a most unfortunate condition on the attic floor which they inherited when they bought the property and to vastly improve the relationship between the first floor living areas and the rear garden.**

**Yours sincerely,  
BALDWIN & FRANKLIN ARCHITECTS**



**Edward R. Baldwin**

**cc: Andrew Tucker and Rafaela de la Heurta (owners)  
encl: Drawings**

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number:..... Date of application: 7 November 2019

Property owner: Andrew Tucker and Rafaela de la Heurta

Property address: 10 Maple Lane

Name all streets on which the property is located: Maple Lane

Sheet: 4.30 Block: 21 Lot/Parcel: 6 Zoning District: 2R

Applicant: Edward R. Baldwin (Baldwin & Franklin Architects)

Standing of applicant if not owner: Architect

Address: 73 Washington Avenue, Hastings on Hudson, NY 10706

Daytime phone number: 914 693 5324 Fax number: 914 693 5676

E-mail address: nedbaldwin@optonline.net

ZBA action requested for (See §295-146B & C :

☐ Use Variance/s;  
☐ Interpretation;

☒ Area Variance/s;  
☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

| Section*           | Code Provision*                | Existing Condition*         | Proposed Condition*         |
|--------------------|--------------------------------|-----------------------------|-----------------------------|
| 295-55A# 295-70 2a | FRONT YARD 30' MIN.            | 5.6'                        | EXTENSION OF NON CONFORMITY |
| 295-55A# 295-70 c  | SIDE YARDS 30' MIN (12' & 18') | 4.6'                        | " " "                       |
| 295-55A            | PROHIBITION AGAINST            | EXTENSION OF NON CONFORMITY |                             |
| 295-70 3b          | LOT COVERAGE 25%               | 44.9%                       | 48%                         |
| 295-70 3c          | DECK CAN PROJECT 6'            | SIDE YARD 1 6.5'            | 8.6'                        |
|                    | MAX INTO REQUIRED SIDE YARD    | SIDE YARD 2 0.0'            | 8.5'                        |

\*See example below:

|           |                         |                    |                             |
|-----------|-------------------------|--------------------|-----------------------------|
| 295-55-1a | Front Yard Min 30' Deep | 205-1              | 10-11                       |
| 295-55A   | Permitted Principal Use | Single Family Home | Conversion to Dental Office |

VILLAGE OF HASTINGS-ON-HUDSON  
Zoning Board of Appeals  
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS  
(Principal Structure)

|                    | REQUIRED | EXISTING | PROPOSED                                |
|--------------------|----------|----------|---|
| FRONT              | 30' MIN  | 5.6'     | EXTENSION OF EXIST. NON-CONFORMITY 6.6' |
| REAR               | 30' MIN  | 39.8'    | 35.8'                                   |
| SIDE ONE           | 18' MIN  | 1.9'     | EXTENSION OF EXIST. NON-CONFORMITY 8.1' |
| SIDE TWO           | 12' MIN  | 2.7'     | 2.7'                                    |
| TOTAL OF TWO SIDES | 30' MIN  | 4.6'     | 4.6'                                    |

YARD SETBACKS  
(Accessory Structure)

|                    | REQUIRED | EXISTING | PROPOSED |
|--------------------|----------|----------|----------|
| TO PRINCIPAL BLDG. | N/A      |          |          |
| REAR               | N/A      |          |          |
| SIDE               | N/A      |          |          |

BUILDING HEIGHT

|         | PERMITTED | EXISTING | PROPOSED |
|---------|-----------|----------|----------|
| STORIES | 2 1/2     | 2 1/2    | 2 1/2    |
| FEET    | 35'       | 34'      | 35'      |

LOT COVERAGE

|  | PERMITTED     | EXISTING | PROPOSED |
|--|---------------|----------|----------|
| LOT AREA                                   | 10,000 SF MIN | 2,557 SF | 2,557 SF |
| *BLDG. COVERAGE/<br>% OF LOT AREA          | 25%           | 44.9%    | 48%      |
| *DEVELOPMENT<br>COVERAGE/<br>% OF LOT AREA | 40%           | 61.3%    | 61.3%    |

\*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

|               | PERMITTED  | EXISTING   | PROPOSED      |
|---------------|------------|------------|---------------|
| CURRENT USE** | TWO FAMILY | TWO FAMILY | SINGLE FAMILY |

\*\* Single Family, Two Family, Commercial, Mixed Use etc.

# VILLAGE OF HASTINGS-ON-HUDSON

## Zoning Board of Appeals

### Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

| Date of Appeal | Purpose of the Appeal | Resolution if any | Date of Action |
|----------------|-----------------------|-------------------|----------------|
| .....          | .....                 | .....             | .....          |
| .....          | .....                 | .....             | .....          |

- List pending violations on this property if any:

None

- Is there an approved site plan for this property?: ☒ (Yes) ☐ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 7<sup>th</sup> day  
of November, 2019

Mary Ellen Ballantine  
Notary Public

[Signature]  
Applicant

MARY ELLEN BALLANTINE  
Notary Public, State of New York  
Reg # 01BA6278291  
Qualified in Westchester County  
Commission Expires 3/25/2021

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for  
Variance/Interpretation/View Preservation



Name : Rafaela Maria DeLaHuerta being duly sworn, deposes and says that  
he/she resides at 10 Maple Lane #2 in the Village of Hastings-on-

Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,  
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and  
designated as Sheet 4.30 Block 21 and Lot 6 of the tax map, and that  
he/she hereby authorized BALDWIN & FRANKLIN Architects make the annexed  
application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK  
COUNTY OF WESTCHESTER ss.:

Rafaela Maria DeLaHuerta  
Owner

SWORN TO BEFORE ME THIS 5<sup>th</sup> DAY  
OF November 20 19

[Signature]  
Notary Public

REGINA K HOUGHTELING  
NOTARY PUBLIC-STATE OF NEW YORK  
No. 01HO6379161  
Qualified In Westchester County  
My Commission Expires 08-08-2022

**NOTICE**

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in  
accordance with the foregoing and as required by law.

## CODE OF THE VILLAGE OF HASTINGS ON HUDSON

### § 295-146. Variances.

- A. The Board of Appeals, on appeal from the decision or determination of the administrative officer charged with enforcement of this chapter, shall have the power to grant use variances and area variances, as defined herein.
- B. Use variances.
  - 1) "Use variance" shall mean the authorization by the Board of Appeals for the use of land for a purpose that is otherwise not allowed or is prohibited by the applicable zoning regulations.
  - 2) No use variance shall be granted by the Board of Appeals without a showing by the applicant that applicable zoning regulations and restrictions have caused unnecessary hardship. In order to prove such unnecessary hardship, the applicant shall demonstrate to the Board of Appeals that for each and every permitted use under the zoning regulations for the particular district where the property is located:
    - a. The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence;
    - b. The alleged hardship relating to the property in question is unique, and does not apply to a substantial portion of the district or neighborhood;
    - c. The requested use variance, if granted, will not alter the essential character of the neighborhood; and
    - d. The alleged hardship has not been self-created.
  - 3) The Board of Appeals, in the granting of a use variance, shall grant the minimum variance that it shall deem necessary and adequate to address the unnecessary hardship proved by the applicant, and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- C. Area variances.
  - 1) "Area variance" shall mean the authorization by the Board of Appeals for the use of land in a manner that is not allowed by the dimensional or physical requirements of the applicable zoning regulations.
  - 2) In determining whether to grant an area variance, the Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. In making such determination, the Board of Appeals shall also consider:
    - a. Whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.
    - b. Whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.
    - c. Whether the requested area variance is substantial.
    - d. Whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
    - e. Whether the alleged difficulty was self-created, which consideration shall be relevant to the Board of Appeals but shall not necessarily preclude the granting of the area variance.
  - 3) The Board of Appeals, in the granting of an area variance, shall grant the minimum variance that it shall deem necessary and adequate and at the same time preserve and protect the character of the neighborhood and the health, safety and welfare of the community.
- D. Imposition of conditions. The Board of Appeals shall, in the granting of both use variances and area variances, have the authority to impose such reasonable conditions and restrictions as are directly related to and incidental to the proposed use of the property. Such conditions shall be consistent with the spirit and intent of this chapter, and shall be imposed for the purpose of minimizing any adverse impact such variance may have on the neighborhood or community.

## CODE OF THE VILLAGE OF HASTINGS ON HUDSON

### § 295-82. View Preservation (VP) Districts

- A. Principal and accessory uses. Subject to the provisions of Subsection C below, the permitted principal and accessory uses for any lot or parcel in a VP District shall be the same as otherwise permitted in the district in which the lot or parcel is located.
- C. Approval by Planning Board and Board of Appeals.
  - (1) No building or structure shall be erected, altered, enlarged or moved in the district unless approved in accordance with the provisions of this section.
  - (2) Every application to permit the erection or exterior alteration of a building or structure in a VP District shall be referred by the Building Inspector to the Planning Board for its report and recommendations as to the best siting, dimensions and configuration of principal and accessory structures so as to cause the least possible obstruction of the view of the Hudson River and the Palisades for neighboring properties and adjacent public property and rights-of-way. The Planning Board shall issue its report and recommendations within 60 days after receipt of the application.
  - (3) After approval by the Planning Board, the plan for erection or exterior alteration of the building or structure shall be referred to the Board of Appeals, which shall conduct a public hearing on the plan. The Board of Appeals shall hold the hearing and render its decision within 60 days after the referral by the Planning Board.
  - (4) Joint notice of both the Planning Board meeting at which the application is to be considered and the Board of Appeals public hearing on the application shall be given at least 14 days before the Planning Board meeting. Notice shall be given as required in § 295-143C. In addition, notice shall be given to the Architectural Review Board and shall be published in a newspaper of general circulation in the Village not less than 10 days before both the Planning Board meeting and the Board of Appeals hearing.

# I N D E X   O F   D R A W I N G S

**L-1** LOCATION PLAN SHOWING THE SITE AND ITS NEIGHBORS WITHIN 300' RADIUS.

**S-1E** EXISTING SITE PLAN SHOWING EXISTING STRUCTURES & ALL REQUIRED  
SETBACK LINES.

**AB-0** AS-BUILT BASEMENT PLAN

**AB-1B** AS-BUILT REAR YARD PLAN

**AB-3** AS-BUILT THIRD FLOOR PLAN

**A-1** PROPOSED FIRST FLOOR PLAN

**A-2** PROPOSED SECOND FLOOR PLAN

## A-4 EXISTING & PROPOSED NORTH ELEVATION

**A-6E**                      EXISTING WEST ELEVATION

**A-6P** PROPOSED WEST ELEVATION

Rafaela de la Huerta &  
Andrew Tucker  
10 Maple Lane  
Hastings-on-Hudson, NY 10706  
(914) 479 8277

Baldwin & Franklin Architects  
73 Washington Avenue  
Hastings-on-Hudson,  
N.Y. 10706  
(914) 693 5324

TBD

# INTERIOR ALTERATIONS, NEW DECK & NEW DORMER

**10 MAPLE LANE**  
HASTINGS-on-HUDSON, N.Y. 10706



## "AS- BUILT" SURVEY OF NUMBER 10 MAPLE LANE

**SITUATED IN THE VILLAGE OF HASTINGS-ON-HUDSON  
TOWN OF GREENBURGH  
COUNTY OF WESTCHESTER  
STATE OF NEW YORK**

PREPARED BY:

**MIHALCZO LAND SURVEYING PLLC**  
**24 BERKSHIRE ROAD**  
**YONKERS, NEW YORK 10710**  
**(914) 476-1453 (914) 969-2341 FAX**

Edward G. Mihalcz  
EDWARD G. MIHALCZO, L.S.  
N.Y.S. LICENSE # 36181

**DATE: AUGUST 8, 2019**

**SURVEY PREPARED FOR:**

ANDREW J. TUCKER AND  
RAFAELA DE LA HUERTA

THIS "AS-BUILT" SURVEY WAS PREPARED ARCHITECTURAL  
DESIGN PURPOSES AND BUILDING DEPARTMENT REVIEW

*THERE WERE NO STAKES SET AS PART OF THIS SURVEY*

THIS SURVEY IS NOT TO BE USED FOR "TITLE" PURPOSES

**THIS SURVEY IS NOT TO BE UPDATED BY "VISUAL INSPECTION"**

ALL CERTIFICATIONS HEREON ARE VALID FOR THE MAP  
AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR  
THE IMPRESSED SEAL OF THE SURVEYOR WHOSE  
SIGNATURE APPEARS HEREON

**GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE  
TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS**

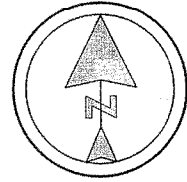
UNAUTHORIZED ALTERATION OF THIS DOCUMENT IN ANY WAY  
CONSTITUTES A VIOLATION OF THE NEW YORK STATE  
EDUCATION LAW 7209(2)

**COPYRIGHT 2019 MIHALCZO LAND SURVEYING PLLC  
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THIS SURVEY IS BASED UPON INFORMATION PROVIDED  
BY CLIENT OR CLIENT'S REPRESENTATIVE AND SUBJECT  
TO THE FINDINGS OF A COMPLETE TITLE REPORT

ENCROACHMENTS BELOW GRADE AND OR SUB GRADE  
FEATURES IF ANY NOT VISIBLE AT TIME OF SURVEY ARE  
NOT SHOWN ON THIS MAP

**MAPLE LANE**  
(FORMERLY STEPHAN'S LANE)



S 80°41'45"E 25.00'  
 90.5'  
 75.00'  
 101.30'  
 104.01'  
 WARBURTON AVENUE  
 BROADWAY  
 (AS IT EXISTED ON JULY 10, 1901)  
 2 1/2 STORY FRAME DWELLING OVER BASEMENT  
 COVERED PORCH  
 2 STORY FRAME  
 FRAME GARAGE  
 COMPOSITE SHED  
 AREA = 2357 SQ. FT.  
 N 16°02'00"E  
 S 15°56'00"W  
 N 74°28'40"W 25.00'  
 LOT 3 AS PER FILED MAP # 266  
 PARCEL ALSO KNOWN AS PORTION OF LOT 2 SHOWN ON MAP ENTITLED "MAP OF PROPERTY BELONGING TO H. KATTENHORN", SAID MAP FILED IN THE WEST CO. COUNTY CLERK'S OFFICE ON JULY 5, 1855 MAP NUMBER 266  
 LAND CONVEYED BY GEORGE H. GIBBON TO JOHN A. NIDEPOTH JR. AND GRACE NIDEPOTH HIS WIFE BY DEED DATED DECEMBER 3, 1933 AND RECORDED DECEMBER 8, 1933 IN LIBER 3281 PAGE 461  
 LAND CONVEYED BY MARGUERITE E. BYRNES AND DOROTHY E. MARTIN TO MICHAEL J. KULSHA AND YLMA KULSHA HIS WIFE BY DEED DATED SEPTEMBER 18, 1961 RECORDED SEPTEMBER 23, 1961 IN LIBER 6144 PAGE 309

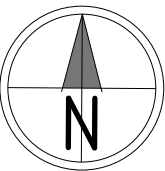
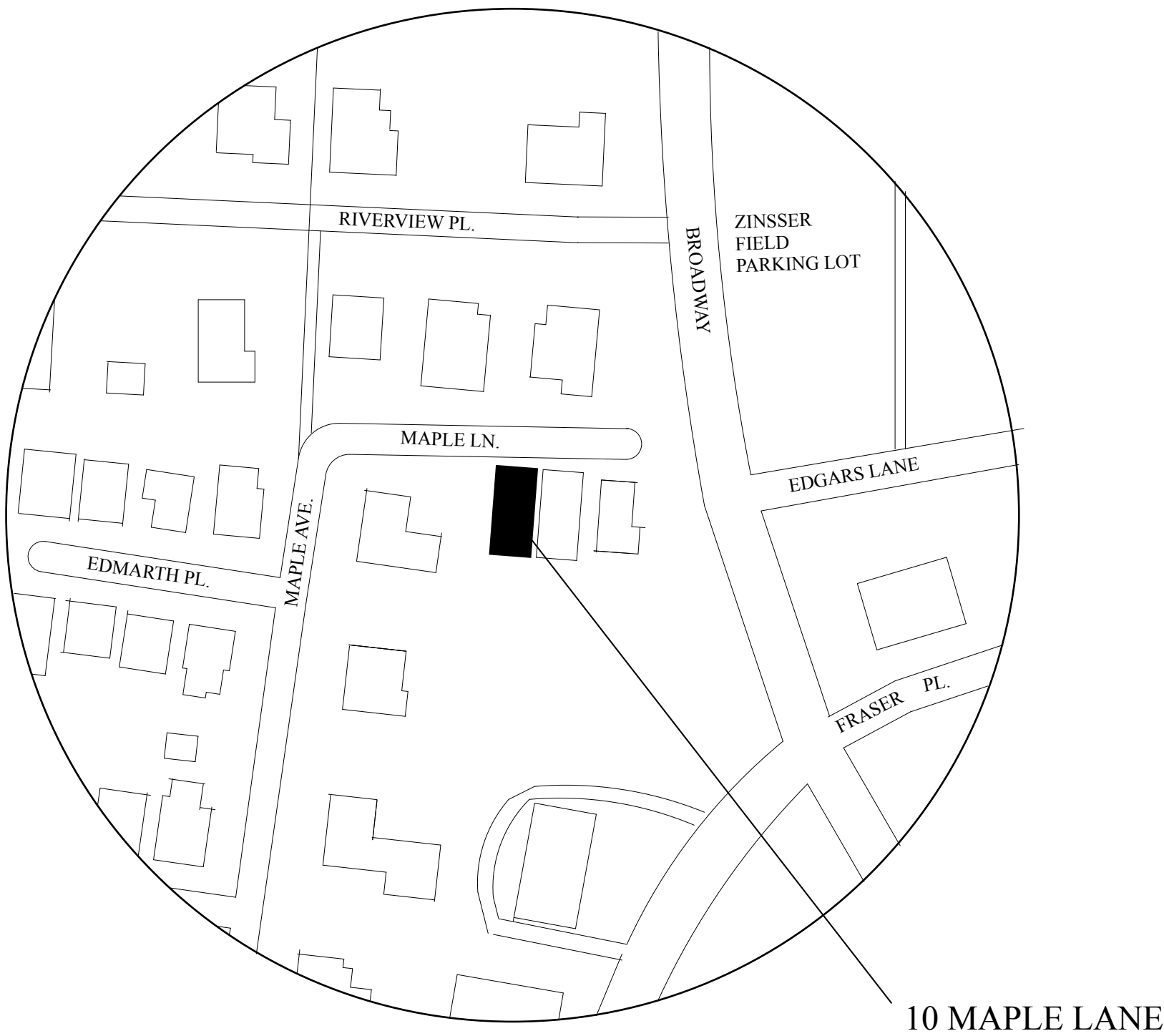
PARCEL ALSO KNOWN AS PORTION OF LOT 2 SHOWN ON MAP ENTITLED "MAP OF VALUABLE PROPERTY BELONGING TO H. KATTENHORN ", SAID MAP FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE ON JULY 5, 1855 MAP NUMBER 266

TAX DESIGNATION

**SECTION: 4.30**

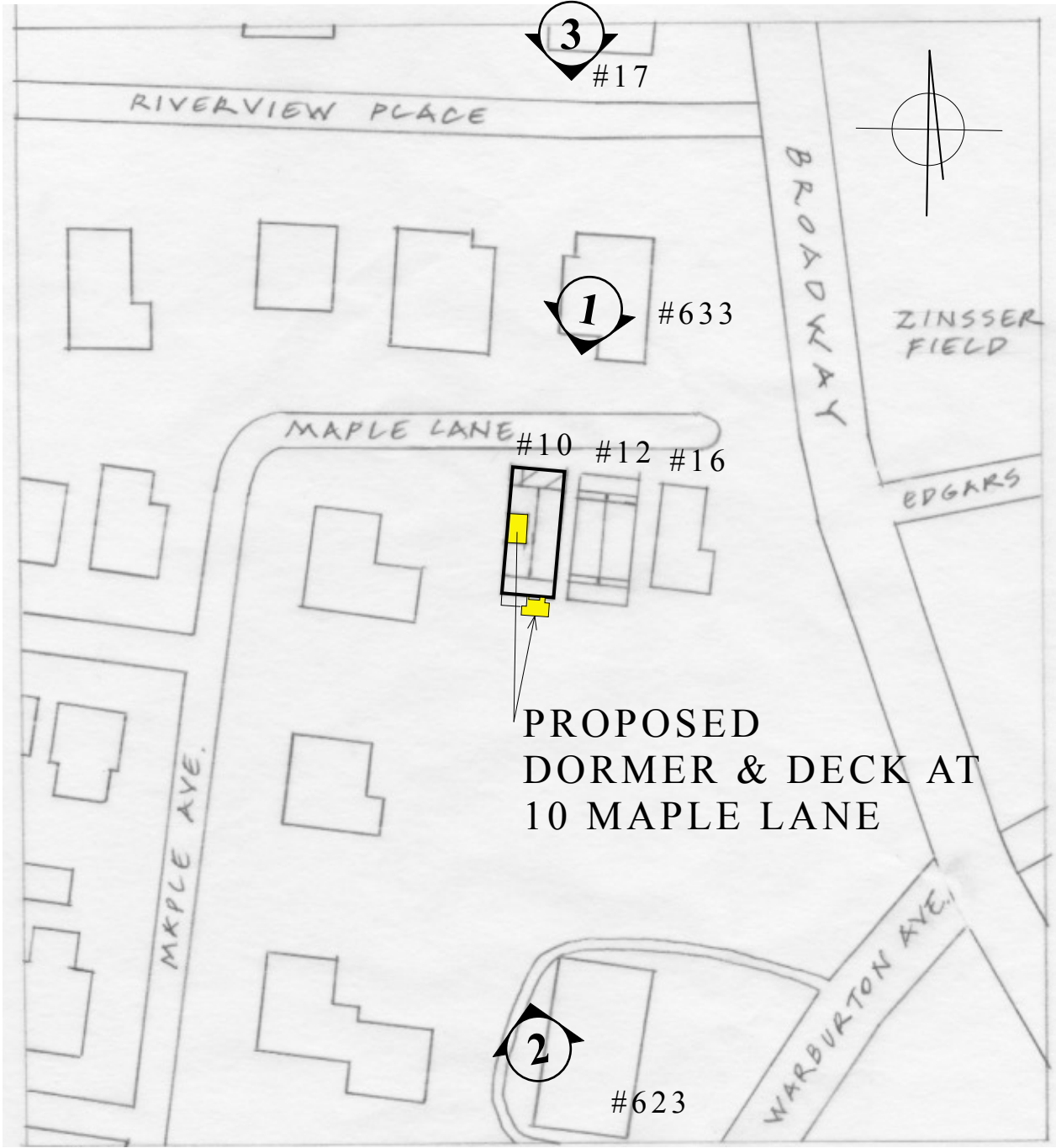
BLOCK: 21

**LOT: 6**



LOCATION PLAN SHOWING THE SITE AND  
ITS NEIGHBORS WITHIN 300’ RADIUS

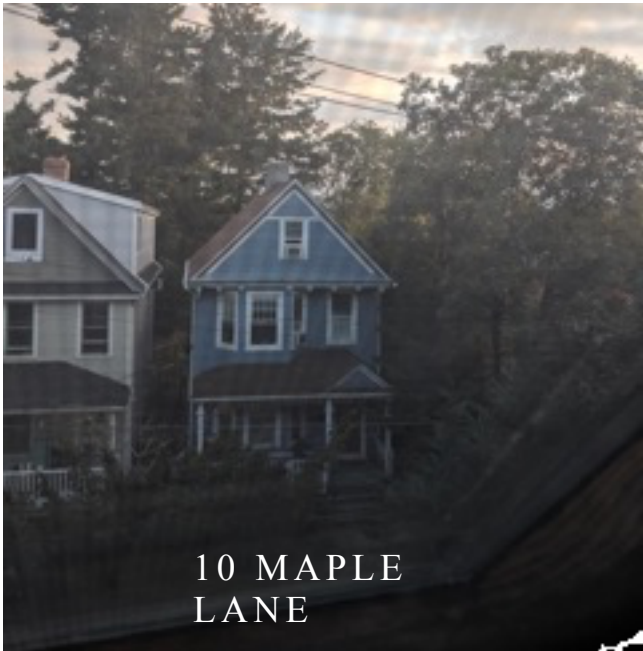
|  |  |                          |                                    |
|--|--|--------------------------|------------------------------------|
| <b>Baldwin &amp; Franklin Architects</b><br>73 Washington Avenue<br>Hastings-on-Hudson, N.Y. 10706<br><br>Tel: (914) 693 5324<br>Fax: (914) 693 5676 | <b>Project</b> 10 MAPLE LANE<br>HASTINGS-ON-HUDSON, N.Y. 10706 | <b>Date</b> 07 NOV. 2019 | <b>Sheet No.</b><br><br><b>L-1</b> |
|  |  | <b>Scale</b>             |                                    |
|  | <b>Sheet Title</b> LOCATION PLAN                               | <b>Project No.</b> 1901  |                                    |
|  |  | <b>Drawn</b> AR          |                                    |



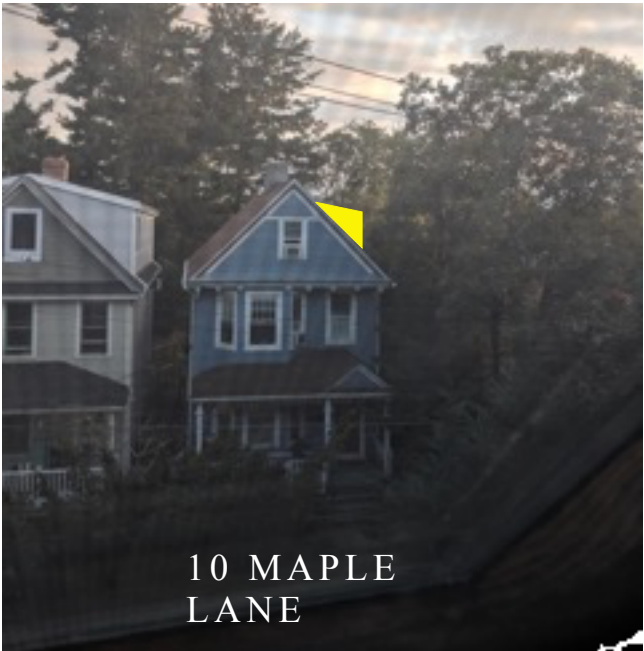
2 PHOTO TAKEN FROM PARKING LOT OF 623 BROADWAY OFFICE BUILDING



3 PHOTO TAKEN FROM SIDEWALK OF 17 RIVERVIEW PLACE



1 PHOTO SHOWING EXISTING CONDITIONS. NOTE FULL LENGTH NEW DORMERS AT #12 MAPLE LANE ON BOTH EAST & WEST SIDES OF ROOF. PHOTO TAKEN FROM THIRD FLOOR OF 633 NORTH BROADWAY



1 SAME PHOTO SHOWING PROPOSED DORMER AT #10 MAPLE LANE.

**Baldwin & Franklin Architects**  
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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706

**Sheet Title** RELEVANT PHOTOS

**Date** 07 NOV..2019

**Scale**

**Project No.** 1901

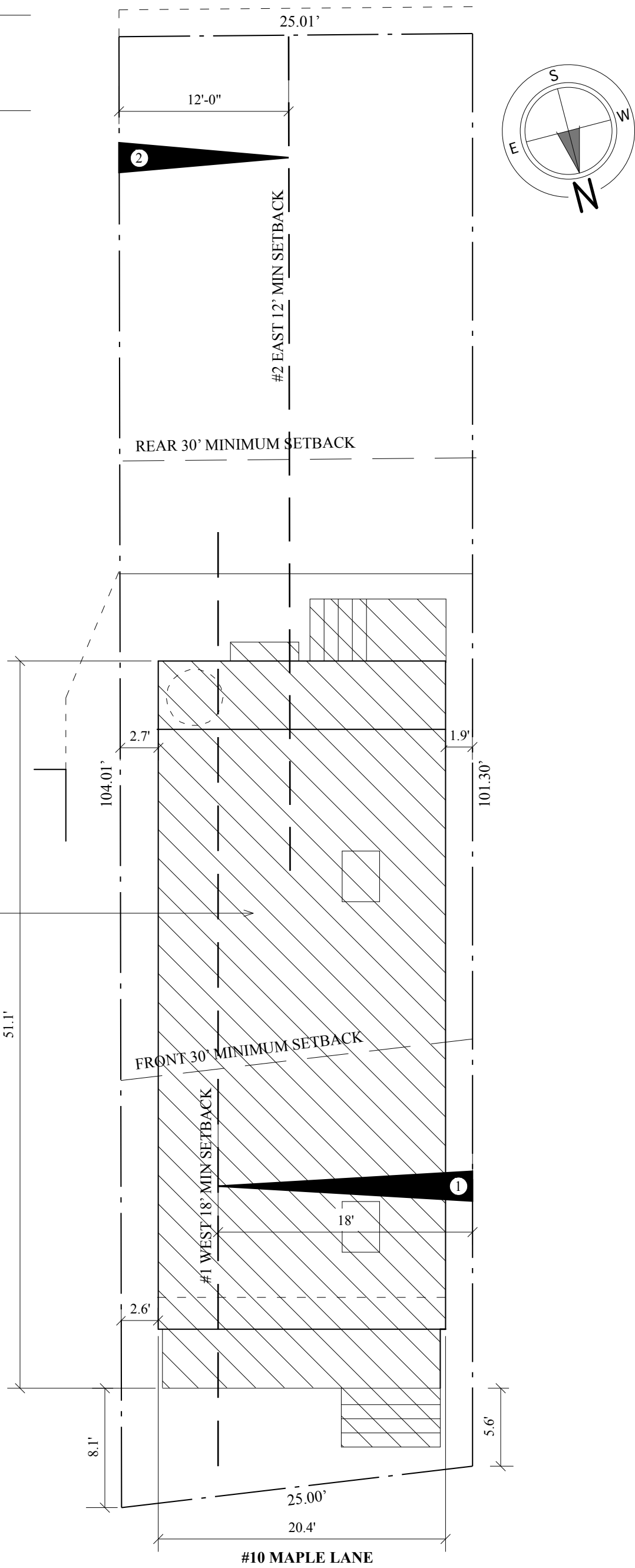
**Drawn** AR

**Sheet No.**

**PHOTOS**

SITE PLAN OF LOT SHOWING EXISTING  
STRUCTURES AND ALL REQUIRED  
SETBACK LINES.

THE ENTIRETY OF THE  
BUILDING IS HATCHED &  
ENCROACHING BECAUSE OF  
THE SIDEYARD  
REQUIREMENTS  
(TOTAL OF 30' MINIMUM WHEN  
THE LOT IS ONLY 25' WIDE).



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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706

**Sheet Title** EXISTING SITE PLAN

**Date** 07 NOV. 2019

**Scale** 1/8"=1'-0"

**Project No.** 1901

**Drawn** AR

**Sheet No.**

**S-1E**



ZONING ANALYSIS ——— 10 MAPLE LANE

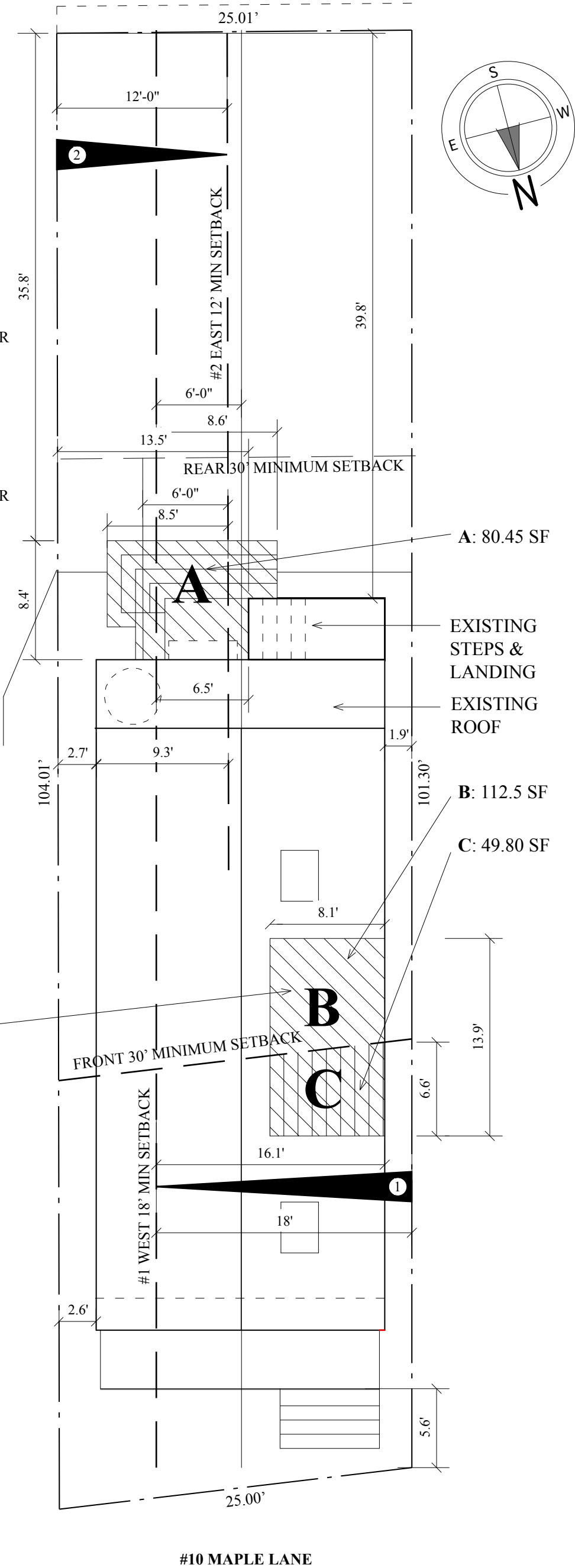
DISTRICT IS 2R  
LOT AREA IS 2557 SF

|                             | REQUIRED                 | EXISTING            | PROPOSED          | DIFFERENCE                                     |
|-----------------------------|--------------------------|---------------------|-------------------|--|
| COVERAGE                    | 25 % max.<br>(639.25 SF) | 44.9 %<br>(1148 SF) | 48 %<br>(1228 SF) | + 3.1%<br>80.45 SF (AREA A)<br>VARIANCE        |
| SETBACKS                    |                          |                     |                   |  |
| FRONT<br>W/ 295-55 A *      | 30’ min.                 | 5.6’                | SAME              | PROPOSED DORMER<br>ENCROACHES<br>6.6’ VARIANCE |
| BACK:                       | 30’ min.                 | 39.8’               | 35.8’             | 4’ NO VARIANCE                                 |
| SIDEYARDS:                  |                          |                     |                   |  |
| # 1 (WEST)<br>W/ 295-55 A * | 18’ min.                 | 1.9’                | SAME              | PROPOSED DORMER<br>ENCROACHES<br>8.1’ VARIANCE |
| # 2 (EAST)                  | 12’ min.                 | 2.7’                | SAME              | NO CHANGE                                      |
| BOTH:                       | 30’ min.                 | 4.6’                | SAME              | NO CHANGE                                      |
| DECK CODE                   |                          |                     |                   |  |
| 295 -20 B 6                 |                          |                     |                   |  |
| SIDE #1:                    | 6.0’ max                 | 6.5’                | 8.6’              | 2.6’ VARIANCE                                  |
| SIDE #2:                    | 6.0’ max                 | 0.0’                | 8.5’              | 2.5’ VARIANCE                                  |
| HEIGHTS:                    |                          |                     |                   |  |
|                             | 35’ max.                 | 34’                 | SAME              | NO CHANGE                                      |

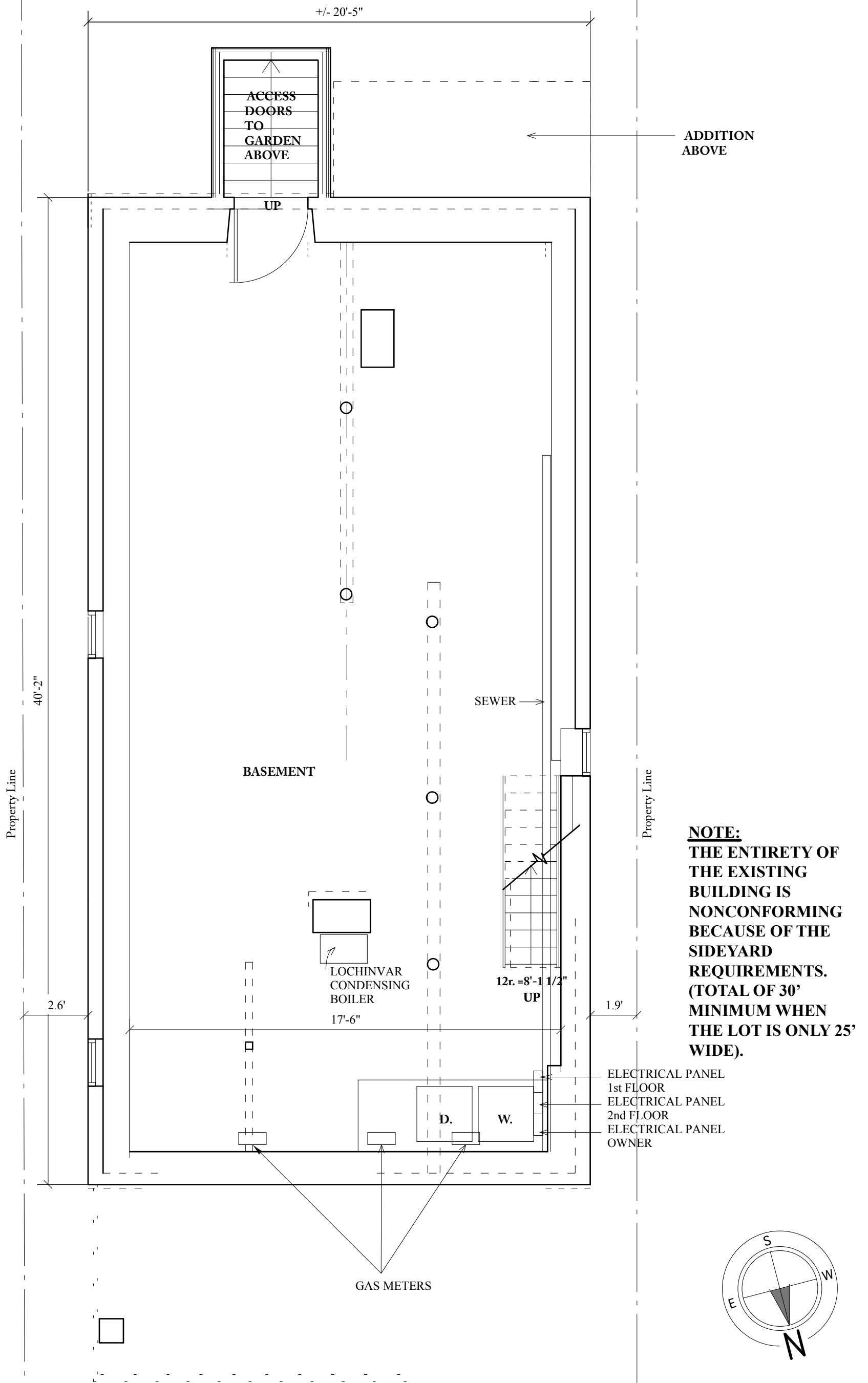
\* 295-55 A: Prohibition Against Extension of Nonconformity.

NOTE:  
The area of the proposed attic floor with a ceiling height of 7’ is 305.2 SF or 37.4% of the total floor area of the second floor (815.5 SF). 37.4 % is less than 50%, therefore this floor does not constitute a full story and the house remains 2 ½ stories.

PROPOSED SHED  
DORMER  
ENCROACHES  
BOTH INTO  
WEST 18’ SIDEYARD  
SETBACK & FRONT 30’  
SETBACK.



|  |  |                          |                                     |
|--|--|--------------------------|-------------------------------------|
| <b>Baldwin &amp; Franklin Architects</b><br>73 Washington Avenue<br>Hastings-on-Hudson, N.Y. 10706<br><br>Tel: (914) 693 5324<br>Fax: (914) 693 5676 | <b>Project</b> 10 MAPLE LANE<br>HASTINGS-ON-HUDSON, N.Y. 10706 | <b>Date</b> 07 NOV. 2019 | <b>Sheet No.</b><br><br><b>S-1P</b> |
|  |  | <b>Scale</b> 1/8"=1'-0"  |                                     |
|  | <b>Sheet Title</b> PROPOSED SITE PLAN                          | <b>Project No.</b> 1901  |                                     |
|  |  | <b>Drawn</b> AR          |                                     |



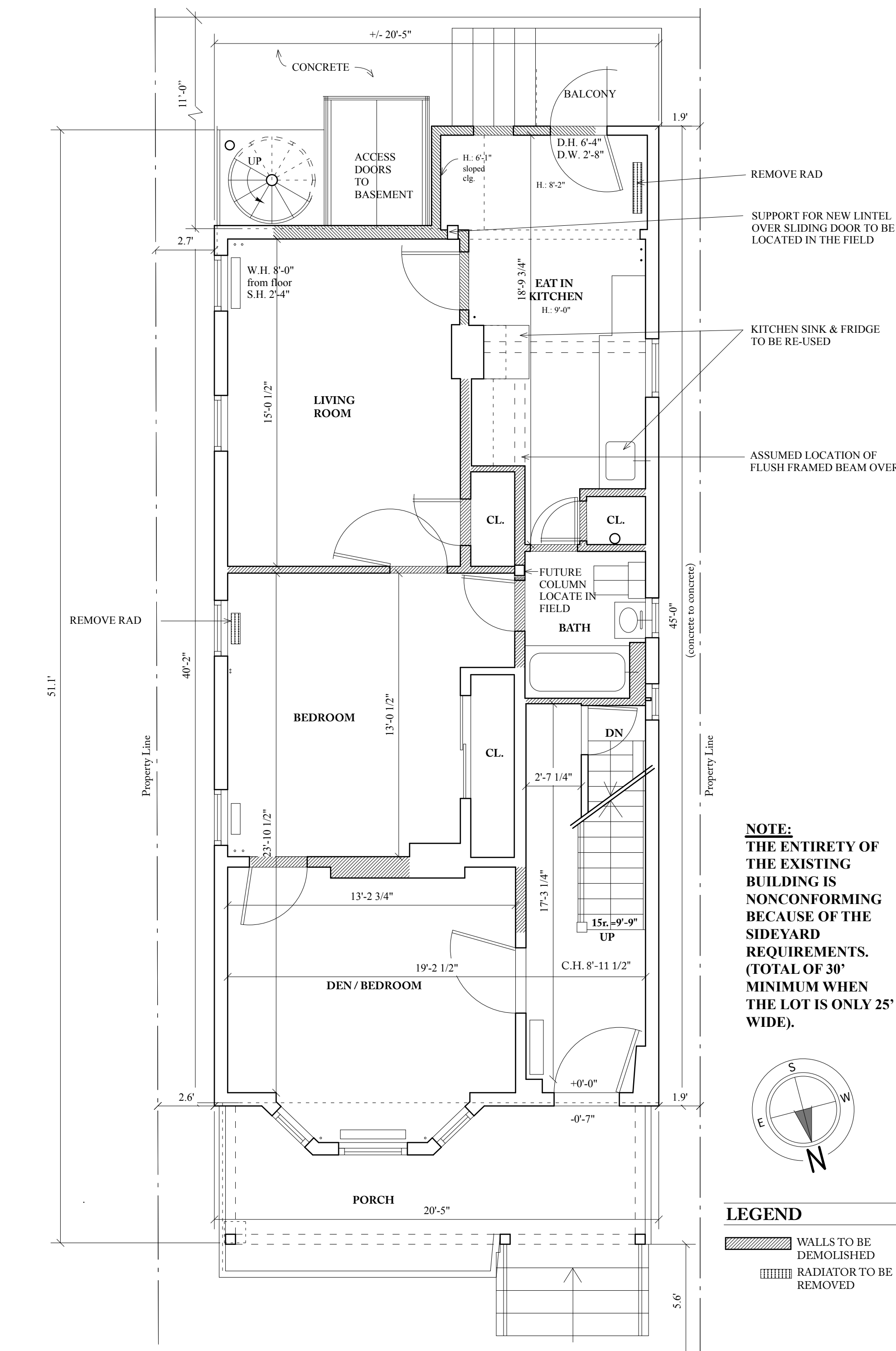
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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706  
**Sheet Title** AS BUILT BASEMENT  
FLOOR PLAN

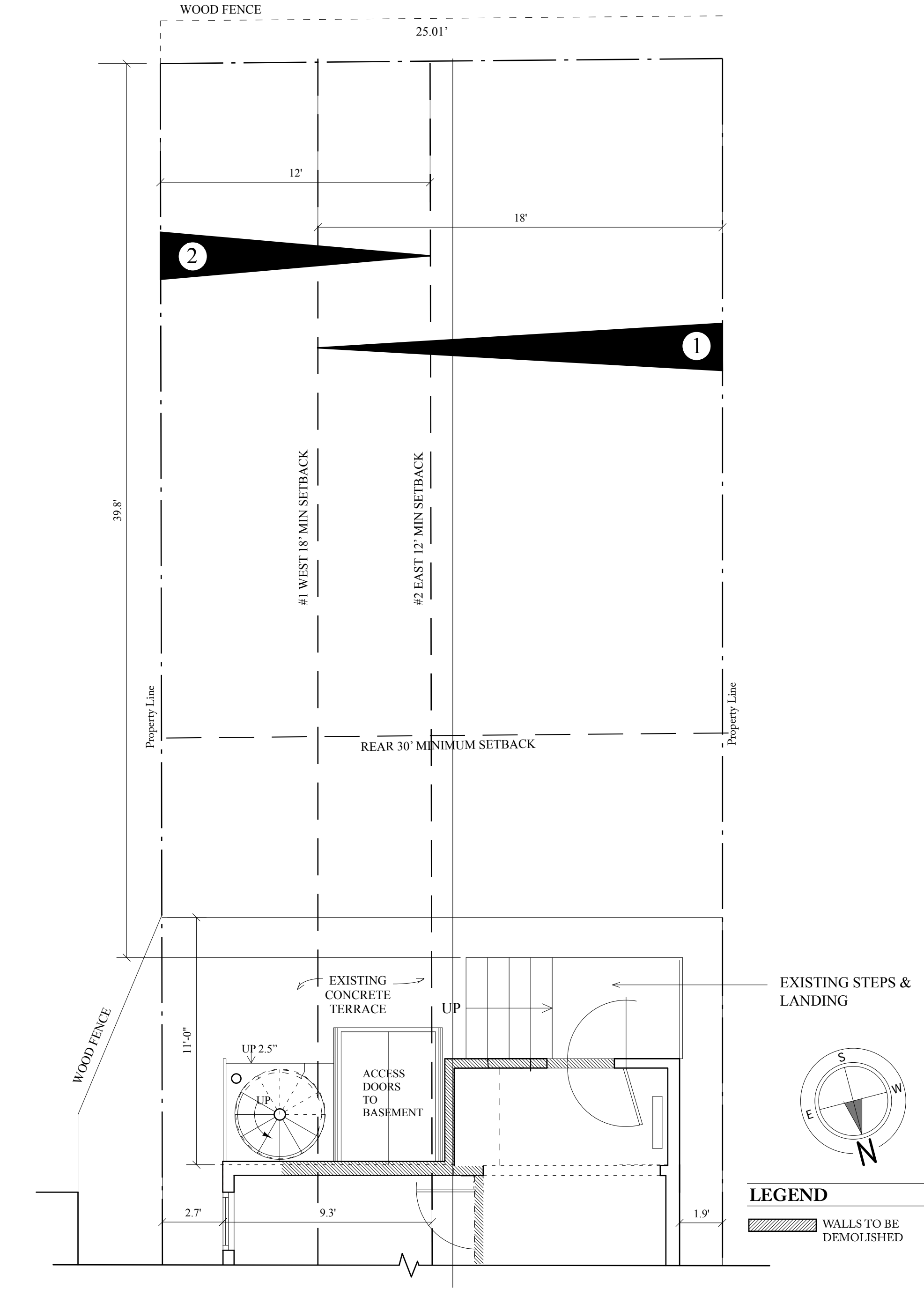
**Date** 07 NOV. 2019  
**Scale** 1/4"=1'-0"  
**Project No.** 1901  
**Drawn** AR

**Sheet No.**

**AB-0**

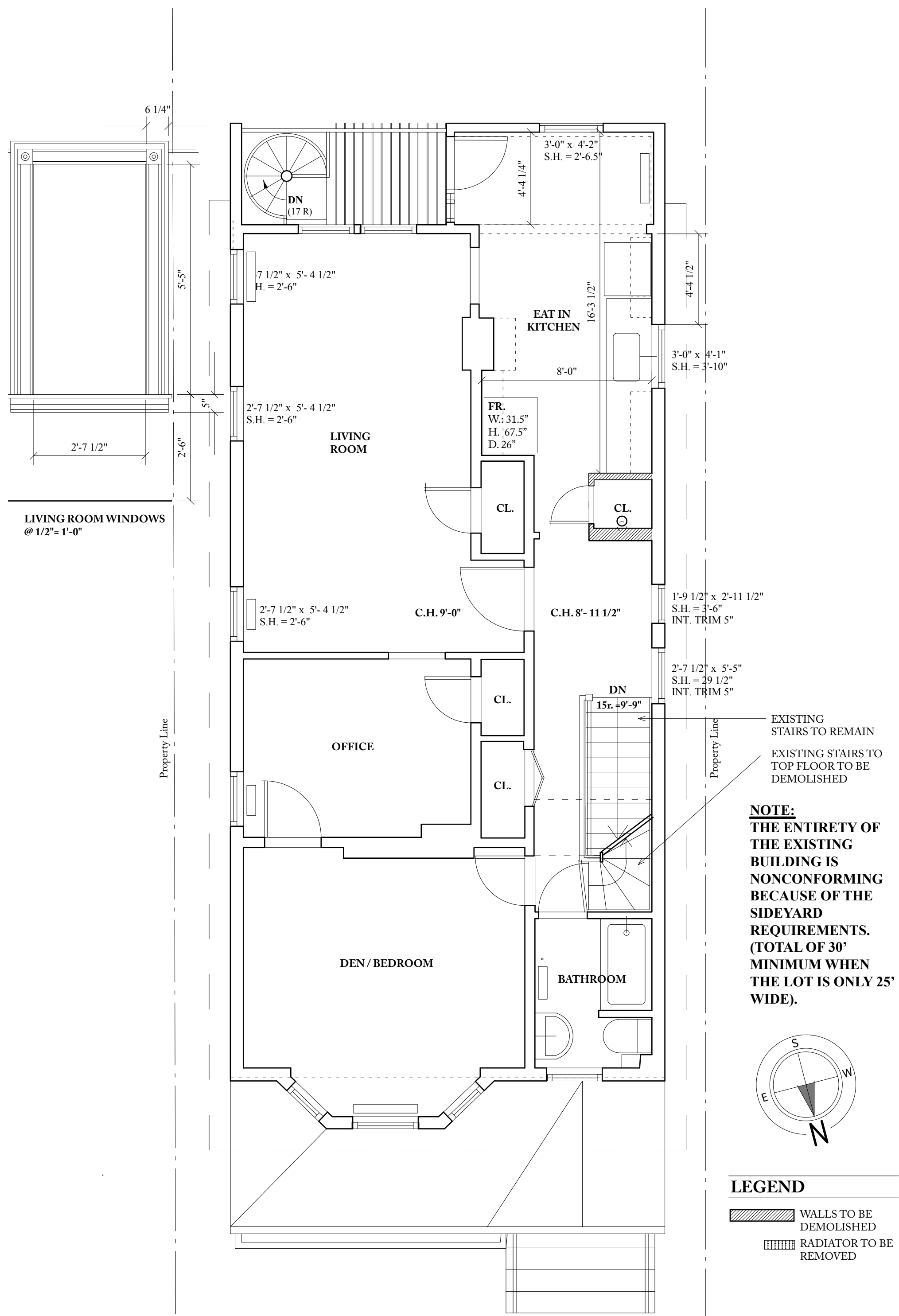


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|  |                    |  | <b>Scale</b>       | 1/4"=1'-0"   | <b>AB-1</b>      |
|  | <b>Sheet Title</b> | AS BUILT FIRST FLOOR PLAN<br>SHOWING DEMOLITION WORK | <b>Project No.</b> | 1901         |                  |
|  |                    |  | <b>Drawn</b>       | AR           |                  |



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|  |  | <b>Scale</b> 1/4"=1'-0"  |                                      |
|  | <b>Sheet Title</b> EXISTING REAR YARD PLAN                     | <b>Project No.</b> 1901  |                                      |
|  |  | <b>Drawn</b> AR          |                                      |





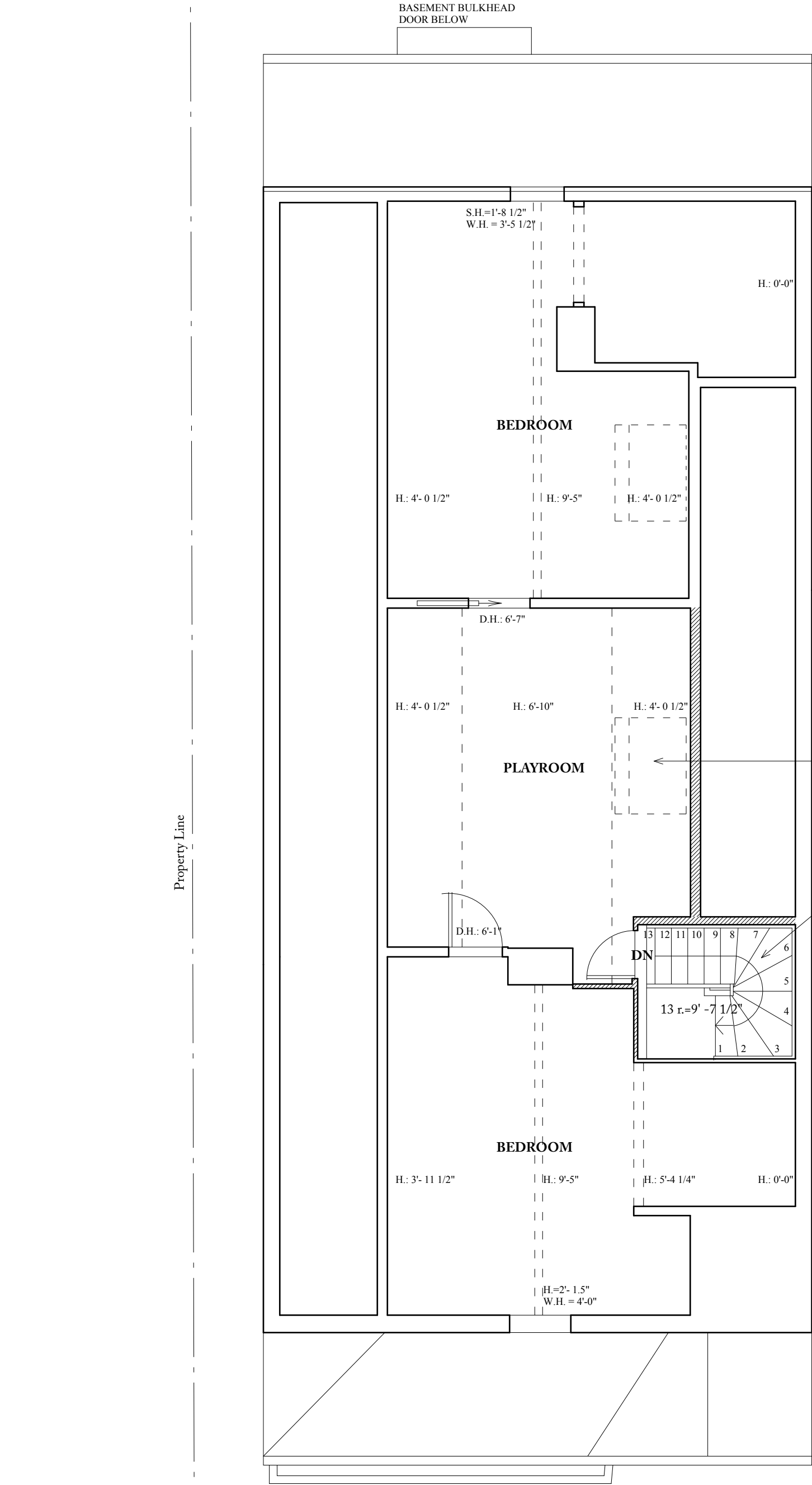
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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706  
**Sheet Title** AS BUILT SECOND FLOOR PLAN  
SHOWING DEMOLITION WORK

**Date** 07 NOV. 2019  
**Scale** 1/4"=1'-0"  
**Project No.** 1901  
**Drawn** AR

**Sheet No.**

**AB-2**



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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706

**Sheet Title** AS BUILT ATTIC FLOOR PLAN  
SHOWING DEMOLITION WORK

**Date** 07 NOV. 2019

**Scale** 1/4"=1'-0"

**Project No.** 1901

**Drawn** AR

**Sheet No.**

**AB-3**

Scope of the Work

General:

Make all changes required for the installation of new electrical work, plumbing and heating work, and heat pump line set work.

After all finishes have been restored finish paint all plaster, drywall, wood trim and doors as per the specifications.

Make good all hardwood floors after removal of partitions and installation of new openings

Exterior Work:

Construct steps to extend bulkhead door steps to new deck level.

Interior Work:

There are no Architectural changes in the Basement .

Plumbing and Heating:

Install new drain riser for future 3rd floor bath. Hookup to existing sewer is not required.

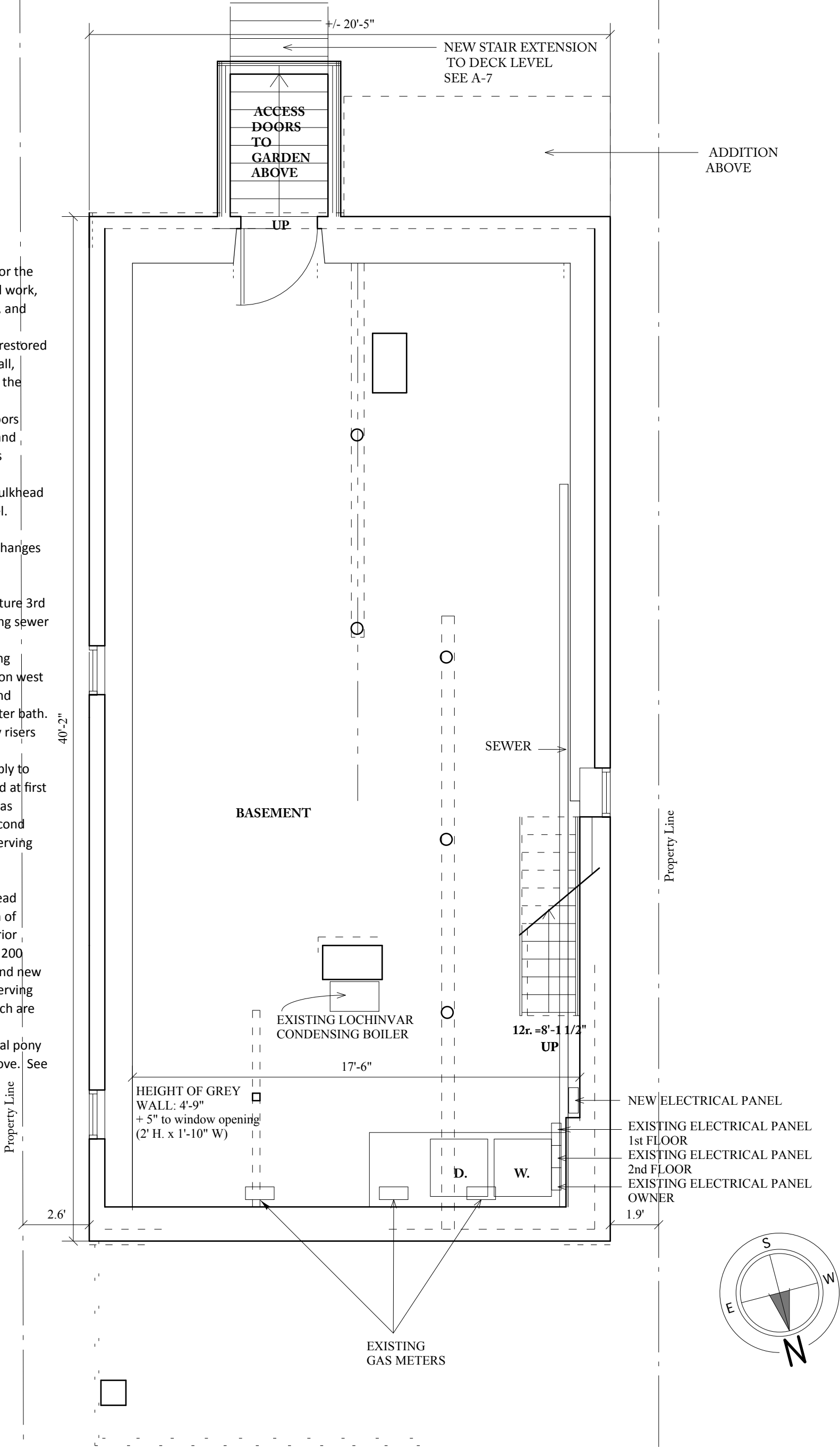
Relocate existing riser serving existing kitchens and baths on west wall to serve new kitchen and powder room and new master bath. Install new 3/4” H&C supply risers to serve all of the above.

Remove and cap steam supply to two radiators being removed at first floor. Gas meters to remain as existing. Remove pipe to second floor kitchen. Modify that serving 1st fl as required.

Electrical:

Install new 200 amp overhead service to house at location of existing service. Install exterior meter box and new interior 200 amp nonfused disconnect and new service panel with splitter serving all three existing panels which are to be maintained.

Run new feeders to new local pony panels at all three levels above. See Specs.



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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706

**Sheet Title** PROPOSED BASEMENT  
FLOOR PLAN

|                    |              |
|--------------------|--------------|
| <b>Date</b>        | 07 NOV. 2019 |
| <b>Scale</b>       | 1/4"=1'-0"   |
| <b>Project No.</b> | 1901         |
| <b>Drawn</b>       | AR           |

**Sheet No.**

**A-0**

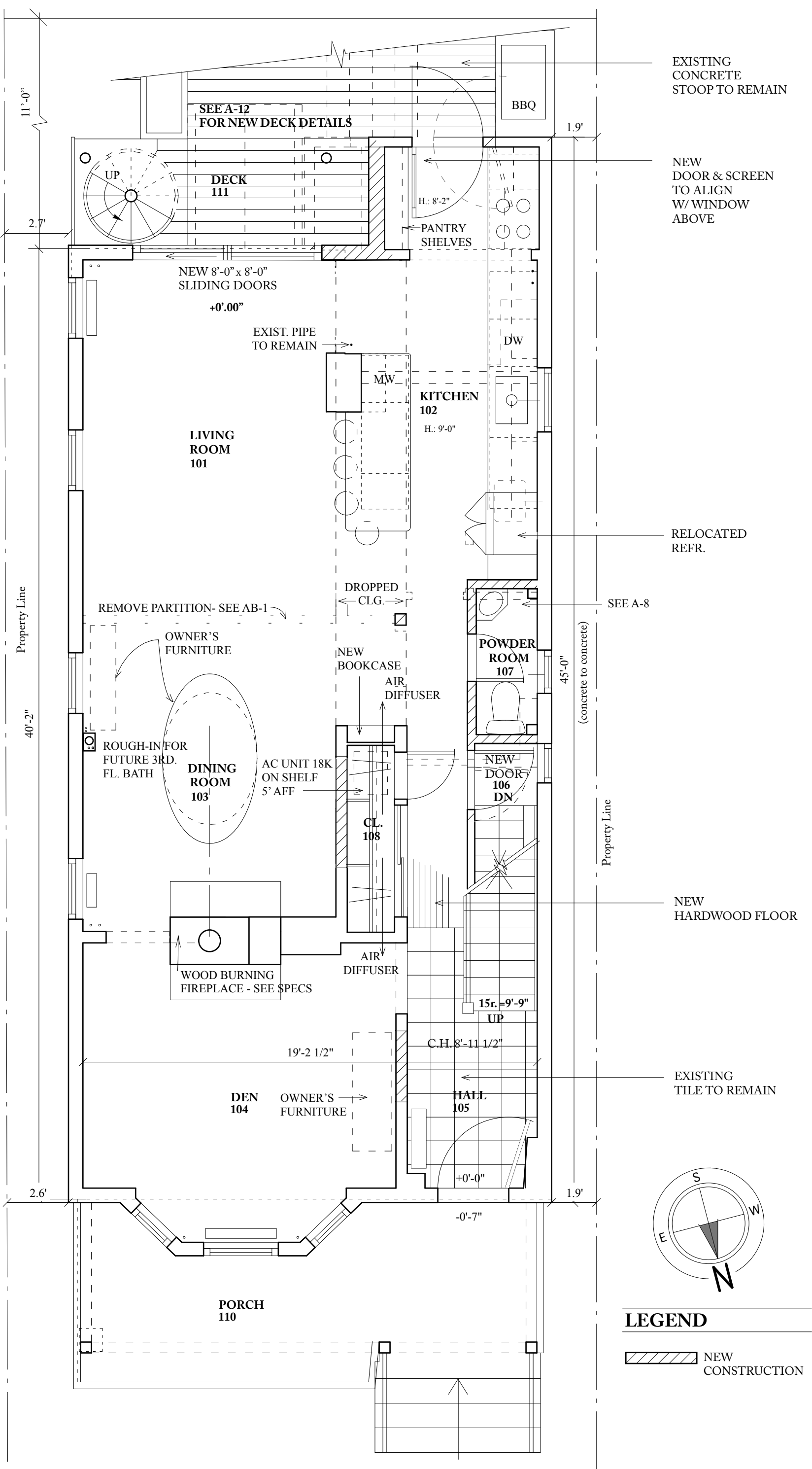
Scope of the Work

**General:**  
Make all changes required for the installation of new electrical work, plumbing and heating work, and heat pump line set work.  
After all finishes have been restored finish paint all plaster, drywall, wood trim and doors as per the specifications.  
Make good all hardwood floors after removal of partitions and installation of new openings

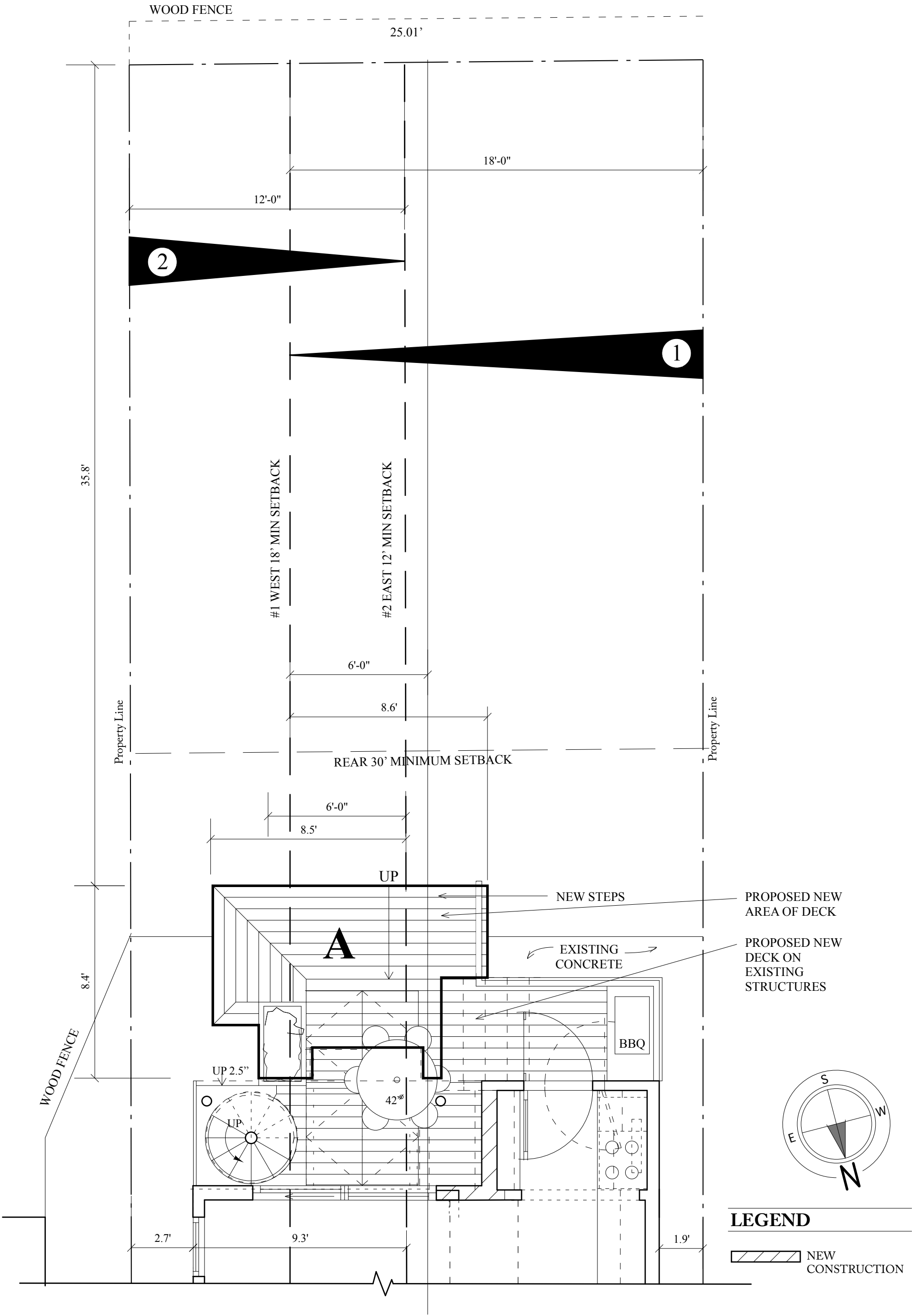
**Exterior Work:**  
Construct new deck, steps, and planter as specified.  
Note hatch doors required in deck to get access to basement bulkhead door.  
Install new 8'x8' sliding door at LR as spec'd.  
Install new steel pipe column to support second floor addition.  
Install new kitchen entry and main entry door as shown.  
Remove non loadbearing partitions as shown. Make good ceilings and floors as required.  
Construct new hall closet and mechanical space as shown.  
Install new prefabricated wood burning fireplace as shown and specified complete with Class A insulated chimney.  
Install new Powder Room with recycled door and new hardwood floor as shown. At Entry Hall 105 Cut back existing tile and extend hardwood flooring as required. Construct entirely new kitchen reusing only the existing R/F and kitchen sink.

**Plumbing and Heating:**  
Remove and cap two steam radiators as shown. Plumb new kitchen and powder room .  
Install ducted heat pump indoor unit as specified.

**Electrical:**  
Install all new lighting and power distribution as shown on electrical drawings and specified. Maintain as much of the existing system as possible.



|  |             |   |             |              |                             |
|--|-------------|---|-------------|--------------|-----------------------------|
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|  |             |   | Scale       | 1/4"=1'-0"   |                             |
|  | Sheet Title | PROPOSED FIRST FLOOR PLAN                       | Project No. | 1901         |                             |
|  |             |   | Drawn       | AR           |                             |



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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706

**Sheet Title** PROPOSED REAR YARD & DECK  
PLAN

**Date** 07 NOV. 2019

**Scale** 1/4"=1'-0"

**Project No.** 1901

**Drawn** AR

**Sheet No.**

**A-1B**

Scope of the Work

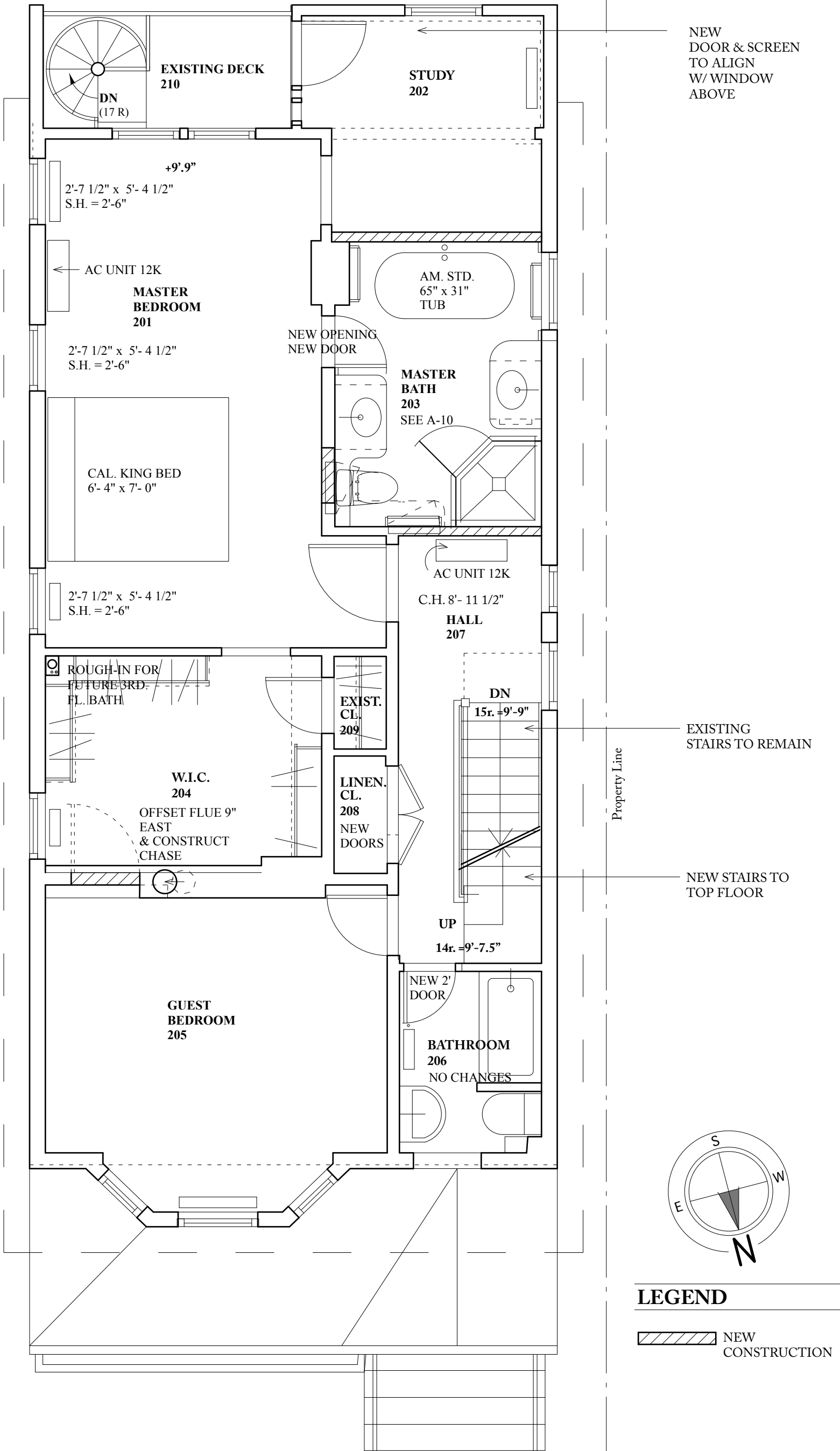
**General:**  
Make all changes required for the installation of new electrical work, plumbing and heating work, and heat pump line set work. After all finishes have been restored finish paint all plaster, drywall, wood trim and doors as per the specifications.  
Make good all hardwood floors after removal of partitions and installation of new openings

**Exterior:**  
Install new window in Study 202 as spec'd.

**Interior:**  
Make plan revisions to create new Master Bath 203 and new dressing room 204 and new closets 208 and 209. Frame chase for ground floor fireplace chimney offsetting chimney 9" east at this level. See section on A-?  
Close door opening on south wall of Guest BR 205.  
There are no changes other than paint in Bath 206.  
Construct new stair platform up 1 riser above existing stair and new stair and all associated railings and newels to 3rd floor.

**Plumbing and Heating:**  
All rough and finish plumbing as required for new Master Bath as specified.  
Install riser as spec'd for future 3rd Fl Bath.

**ASHP work:**  
Install floor mounted indoor unit at MBR. Install wall mounted cassette indoor unit at stair hall 207 where shown and as specified. Note that both line sets descend from 3rd floor attic space within east exterior wall.



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**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706

**Sheet Title** PROPOSED SECOND FLOOR PLAN

**Date** 07 NOV. 2019  
**Scale** 1/4"=1'-0"  
**Project No.** 1901  
**Drawn** AR

**Sheet No.**

**A-2**

Scope of the Work

**General:**  
Make all changes required for the installation of new electrical work, plumbing and heating work, and heat pump line set work.  
After all finishes have been restored finish paint all plaster, drywall, wood trim and doors as per the specifications.  
Make good all hardwood floors after removal of partitions and installation of new openings

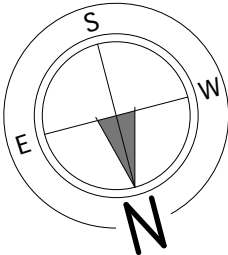
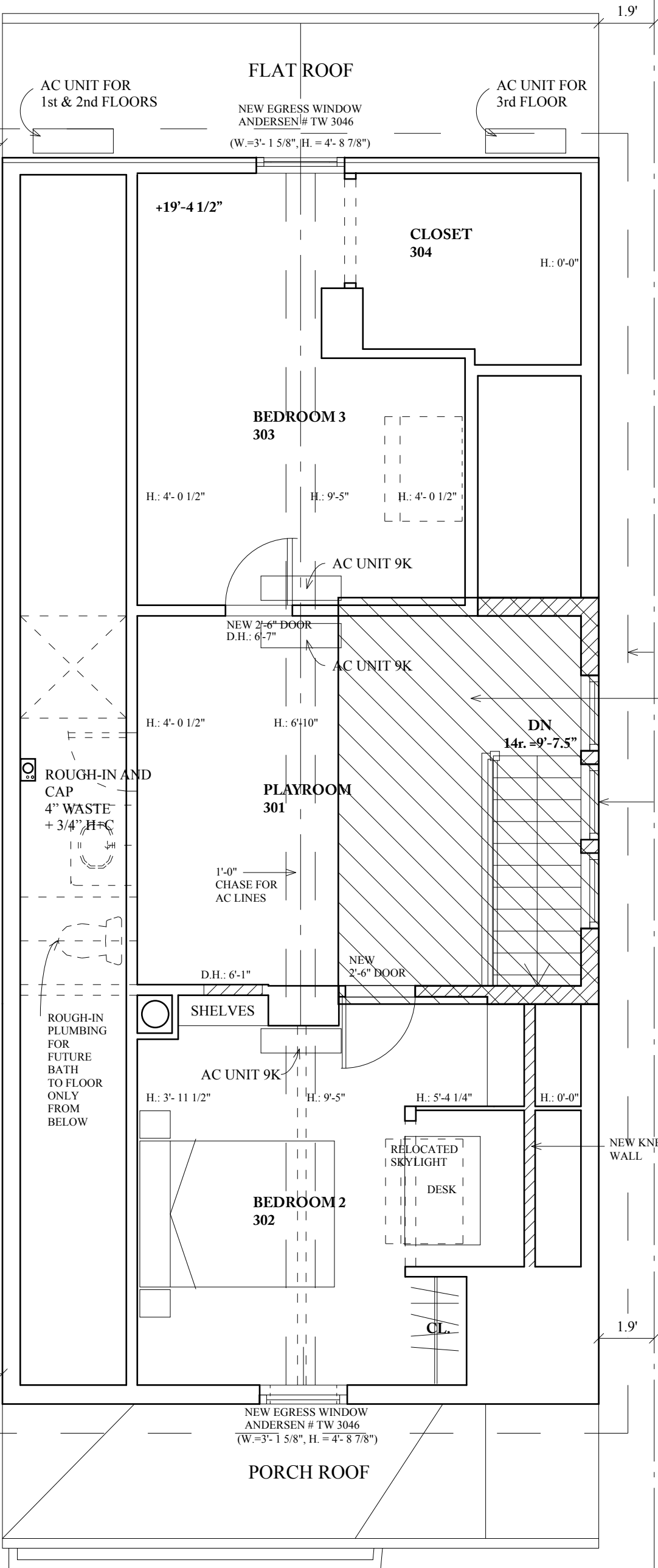
**Exterior:**  
Install new egress windows in Bedroom 302 and 303 as spec'd.  
Relocate existing Velux roof window from playroom area (now a MBR) to BR 302 where shown  
Demolish roof and construct new 12' long shed dormer at Playroom 301 on west side of the house to create headroom for the new stair.  
Exterior siding and trim is to be as specified.  
Install three fixed Fire Resistive windows as specified in the face of the dormer.  
Complete installation of new fireplace chimney above roof with weather cap and damper and braced to existing masonry chimney.

**Interior:**  
Install guard railings at new stairway.  
Gut all ceilings and fill all rafter cavities with 5 1/2" of closed cell spray foam insulation as specified.  
Do the same at the new dormer.  
Complete plan as shown restoring and extending all existing finishes as required

**Plumbing and Heating:**  
There is no plumbing as provisions for a future bath (which would require a new shed dormer on the east side) terminate at floor level.  
Existing electric baseboard convectors are to be removed.

**ASHP System work:**  
Install three wall cassette type indoor units at all three rooms as shown and specified. Line sets are to run in small dropped ceiling area under the roof ridge.  
Install two outdoor units wall mounted as shown above flat roof on south end of house. Units to be as specified.

**Electrical:**  
Install all new lighting and power distribution work as described on drawing E-3 including new sub shown in closet 304.  
Install service disconnects and power feeds to each ASHP outdoor units A and B as shown.



LEGEND

NEW CONSTRUCTION

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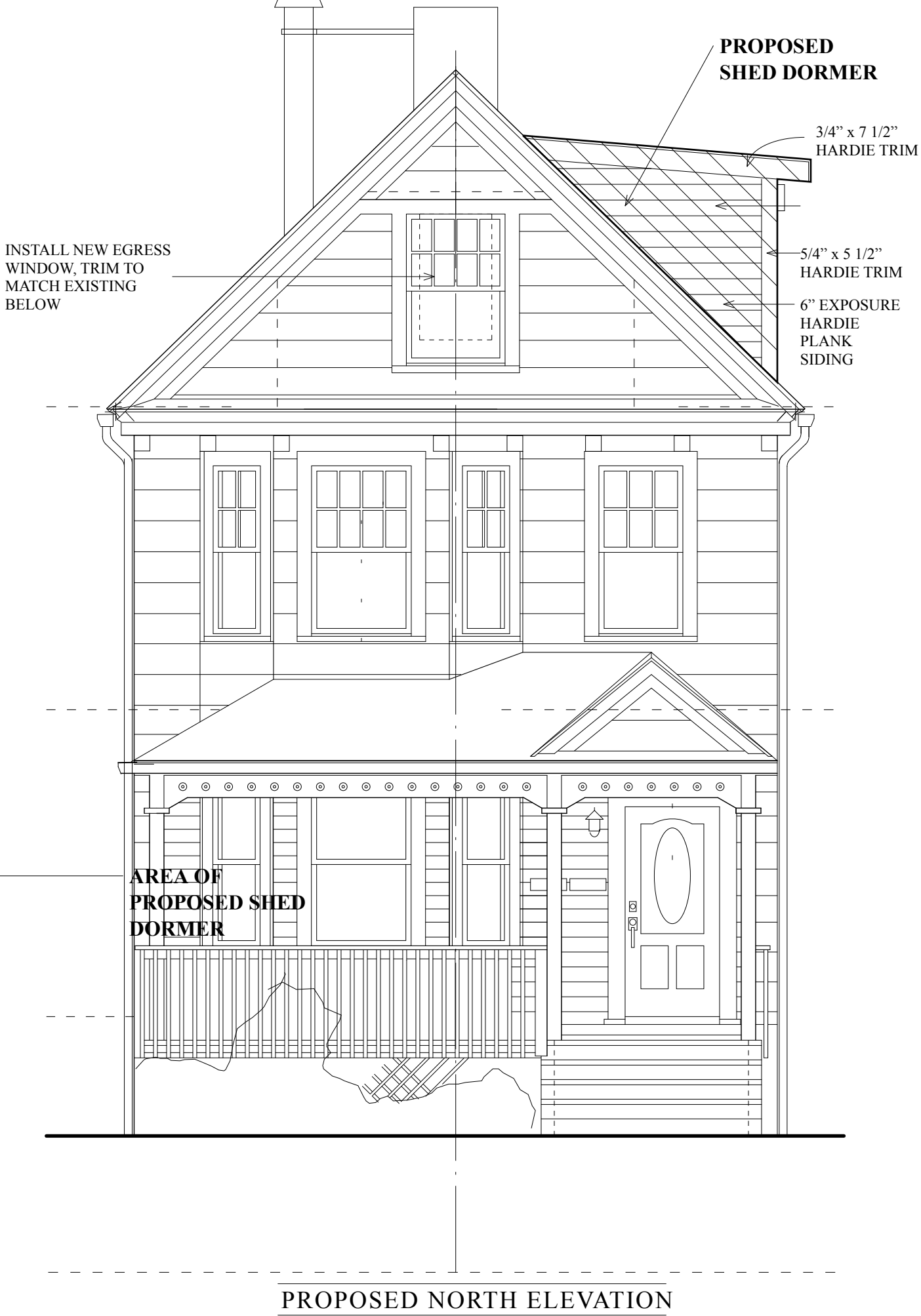
**Project** 10 MAPLE LANE  
HASTINGS-ON-HUDSON, N.Y. 10706

**Sheet Title** PROPOSED ATTIC FLOOR PLAN

**Date** 07 NOV. 2019  
**Scale** 1/4"=1'-0"  
**Project No.** 1901  
**Drawn** AR

**Sheet No.**

**A-3**

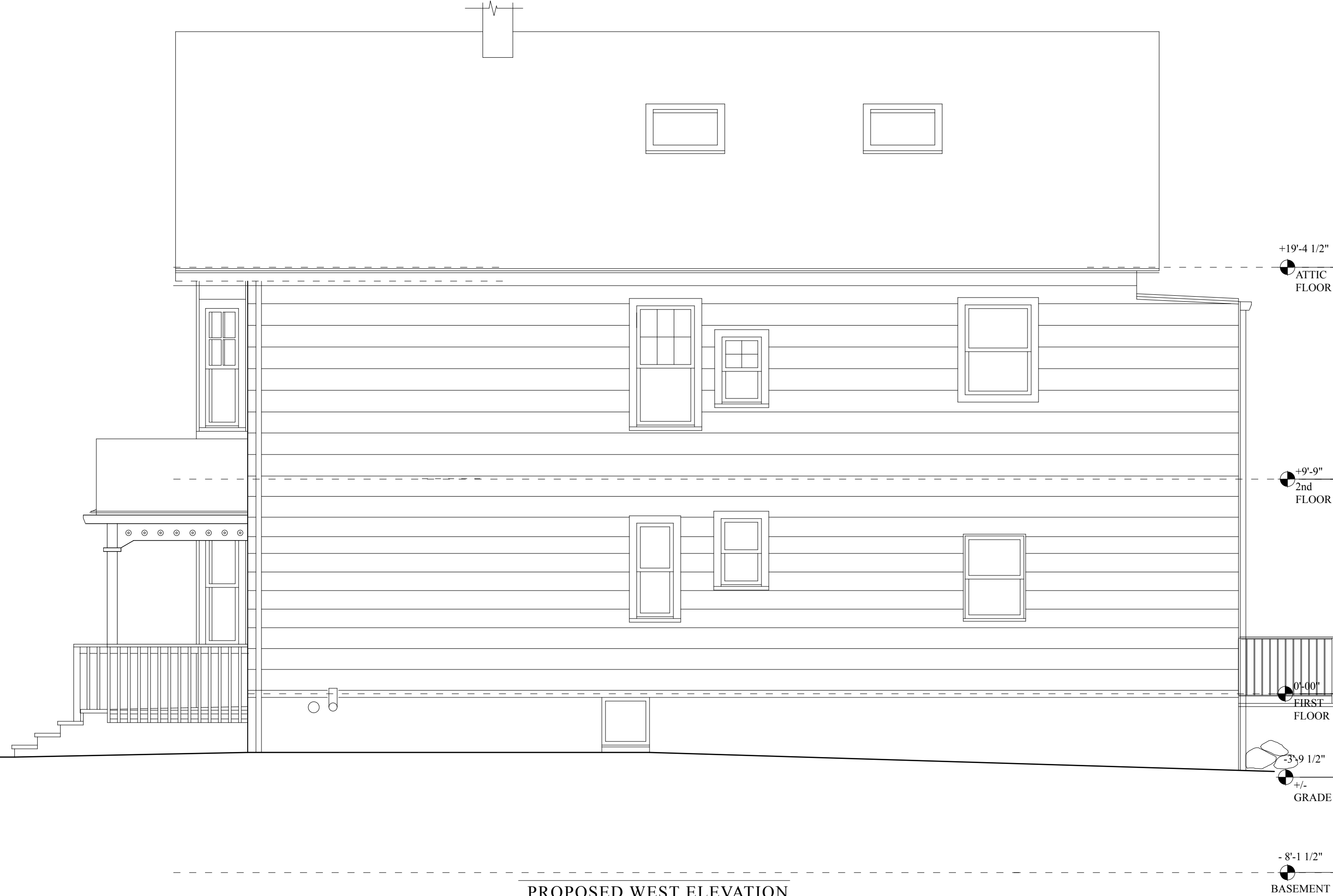


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|  | <b>Sheet Title</b><br>EXISTING & PROPOSED<br>NORTH ELEVATION      | <b>Scale</b> 1/4"=1'-0"  |            |
|  |   | <b>Project No.</b> 1901  |            |
|  |   | <b>Drawn</b> AR          |            |



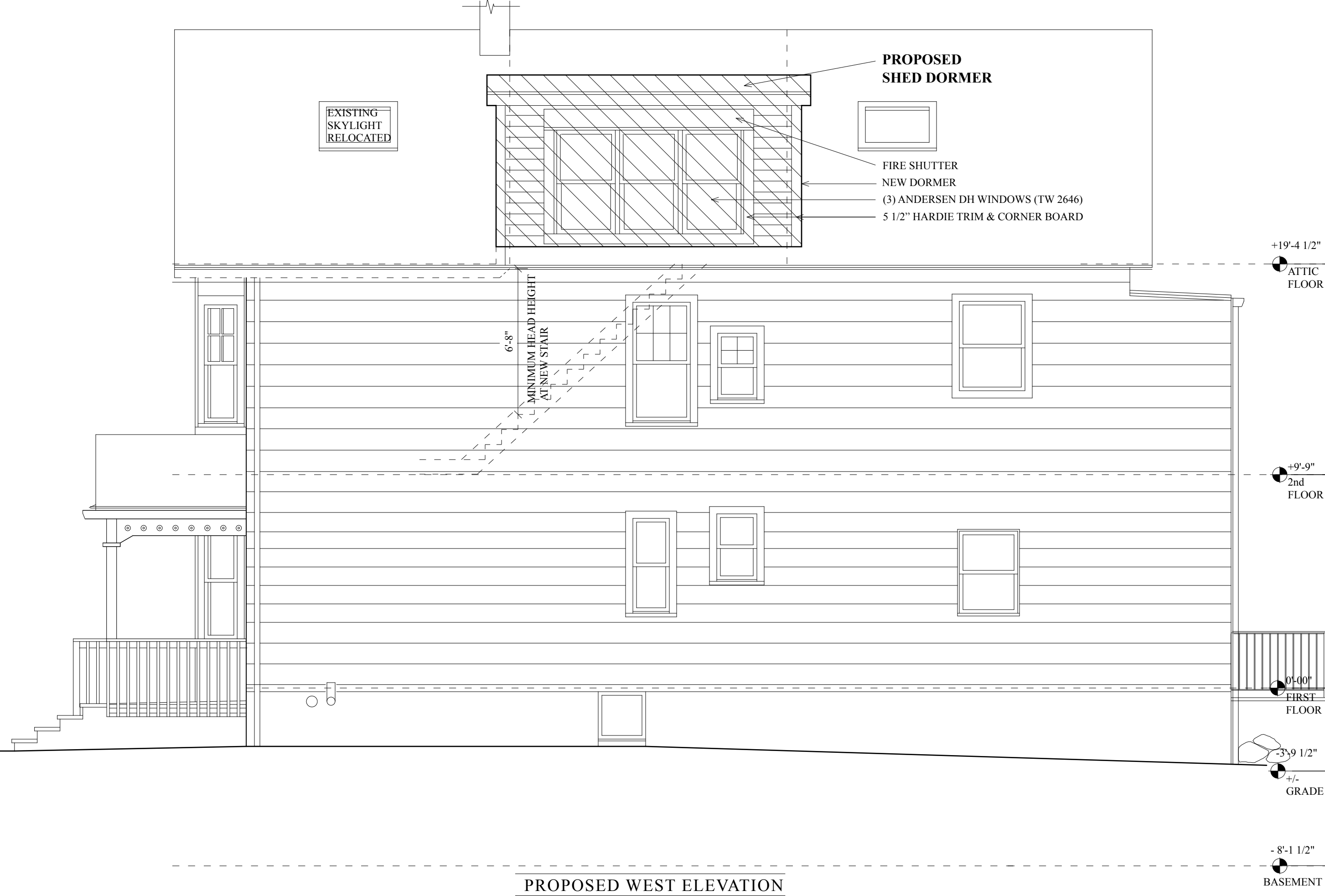


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|  |   | <b>Scale</b><br>1/4"=1'-0"  |                         |
|  | <b>Sheet Title</b><br>EXISTING AND PROPOSED SOUTH ELEVATION       | <b>Project No.</b><br>1901  | <b>Drawn</b><br>AR      |



|  |   |                          |  |                         |  |
|--|---|--------------------------|--|-------------------------|--|
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|  |   | <b>Scale</b> 1/4"=1'-0"  |  | <b>Project No.</b> 1901 |  |
|  | <b>Sheet Title</b> EXISTING WEST ELEVATION                        | <b>Drawn</b> AR          |  | <b>Project No.</b> 1901 |  |
|  |   |                          |  | <b>Drawn</b> AR         |  |

A-6E



PROPOSED WEST ELEVATION

|  |  |  |                          |                  |
|--|--|--|--------------------------|------------------|
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|  | <b>Sheet Title</b> PROPOSED WEST ELEVATION                     |  | <b>Scale</b> 1/4"=1'-0"  | <b>A-6P</b>      |
|  |  |  | <b>Project No.</b> 1901  |                  |
|  |  |  | <b>Drawn</b> AR          |                  |