

Alex Stojanovic

Pinecrest Group
Architectural and interior design
315 West 39 Street
Suite 1104
New York, NY 10018

March 24, 2017

Scope of application

To: Zoning Board of Appeals
Attn: Village of Hastings-on-Hudson, Department of Buildings
Re: Variance

Dear Sir or Madam:

Following a description of the proposed overall scope and the reasoning for the variance request:

The project consist in extending the existing structure to create an additional bedroom and bath on second floor, expanding the existing volume towards the west side of property and reframing the roof. All this is within the allowable set backs and height requirements.

Therefore the street façade would be extending and gives the opportunity to improve the entrance and create a more sheltered entry. To achieve this we suggest a straight run from the street onto the stoop – to have a cleaner, more balanced facade. The stoop itself does not require a variance, but we'd like to have it covered by the room extension. This to prevent rain and snow to accumulate at the main entry door and give shelter right before stepping into the house itself.

As per similar sheltered entries in the neighborhood and elsewhere in the village, we believe this element fits within the character of the surrounding architecture and blends in well with other similar entry situation.

We kindly request your approval for this variance allowing the open roof extension over the stoop.

Sincerely,



Alex Stojanovic
Pinecrest Group Corp.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application & Procedures for Application for Variance/Interpretation/View Preservation



Case Number: Date of Application:

Property Owner: VANESSA AND SEAN CARROLL

Property Address: 10 DEVON WAY

Name all streets on which the property is located:

Sheet: 4.110 Block: 106 Lot/Parcel: 2 Zoning District:

Applicant: ALEX STOJANOVIC

Standing of applicant if not owner: DESIGN ARCHITECT

Address: 61 PINECREST DRIVE, HASTINGS-ON-HUDSON NY 10706

Daytime phone number: 917-717-2241 Fax number: -

Email address: AS@SHCO.COM

ZBA action requested for (See §295-146B & C):
☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68F.12	FRONT YARD MIN 30 FT	30 FT	24 FT
.....
.....
.....
.....
.....

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.....Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30'	30'	24'
REAR	30'	71'-2"	69'-8"
SIDE ONE	18'	29'	18'
SIDE TWO	12'	16'-5"	16'-5"
TOTAL OF TWO SIDES			

YARD SETBACKS (Accessory Structure)

N/A

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2	2
FEET	35'	21'-7"	28'-6"

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	3049	908	1773
BLDG. COVERAGE/ % OF LOT AREA	25%	7.4 %	14.5 %
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	15.45 %	22.41 %

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	SINGLE FAMILY	SINGLE FAMILY	SINGLE FAMILY

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



- List any previous application or appeal filed with the Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

.....

.....

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish, you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary, to describe and support your application) with required fee, to the Building Department, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK

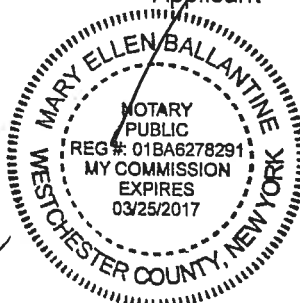
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 24th day
of March, 2017

Applicant

Mary Ellen Ballantine
Notary Public



VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation




STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON ss.:

Name : Vanessa Carroll, being duly sworn, deposes and says that
he/she resides at 10 DEVON WAY in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet _____ Block 106 and Lot 2 on the tax map, and that
he/she hereby authorized ALEX STOJANOVIC to make the annexed
application on his/her behalf and that the statement of fact contained in said application are true.


Owner

SWORN TO BEFORE ME THIS 28th DAY
OF March 2017

MARY ELLEN BALLANTINE
Notary Public, State of New York
Reg # 01BA6278291
Qualified in Westchester County
Commission Expires 3/25/2021


Notary Public

NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

SCALE: 1/4"=1' 0"	PROJ. No.: 1614
DATE: 6.10.2016.	DRAWN BY: SK
	CHECKED BY: AS

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PHOTOS 1-5: EXAMPLES OF HOUSES WITH COVERED ENTRY AREAS THAT CREATE A PROTECTED APPROACH TO A HOUSE



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5

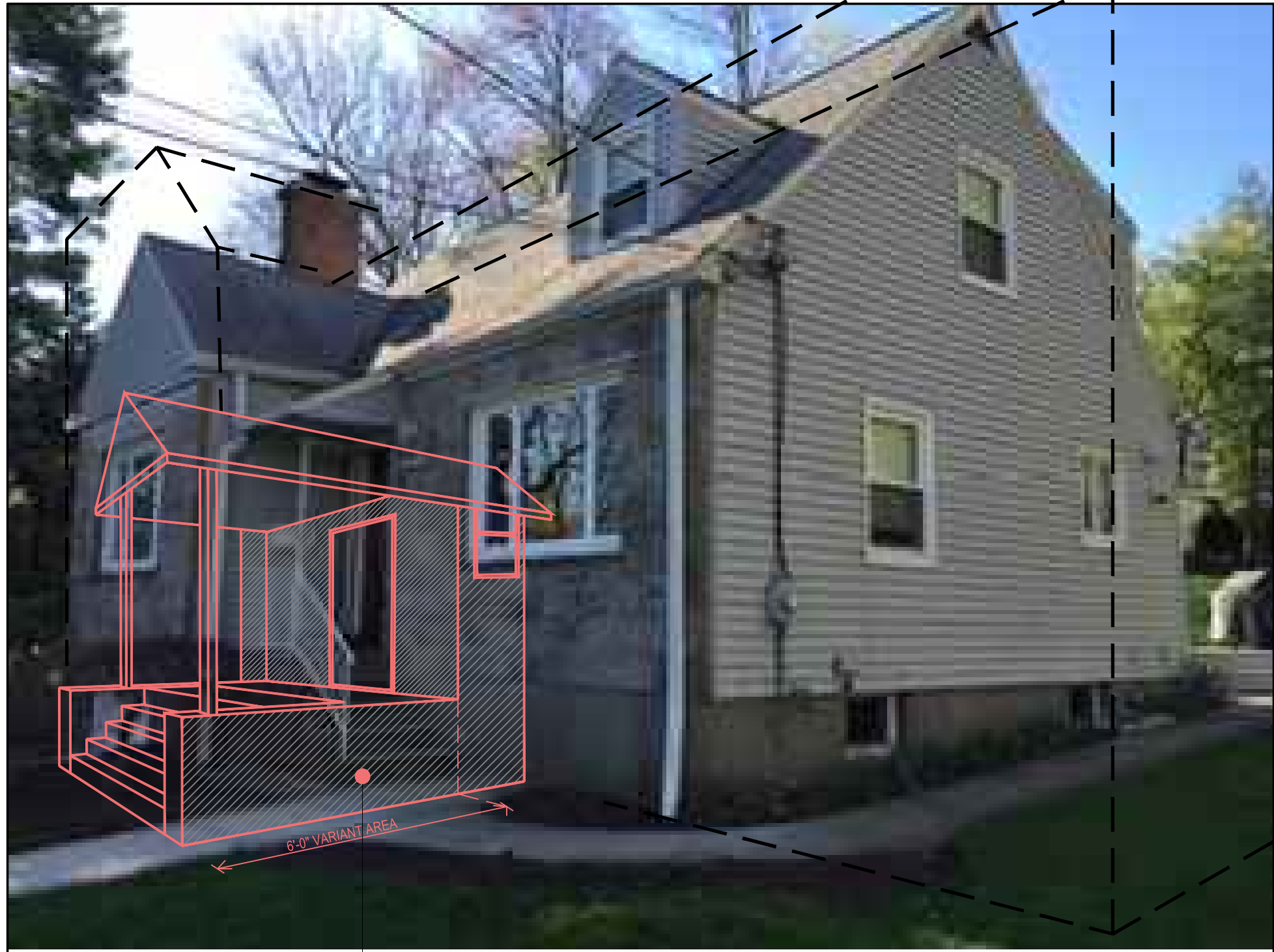
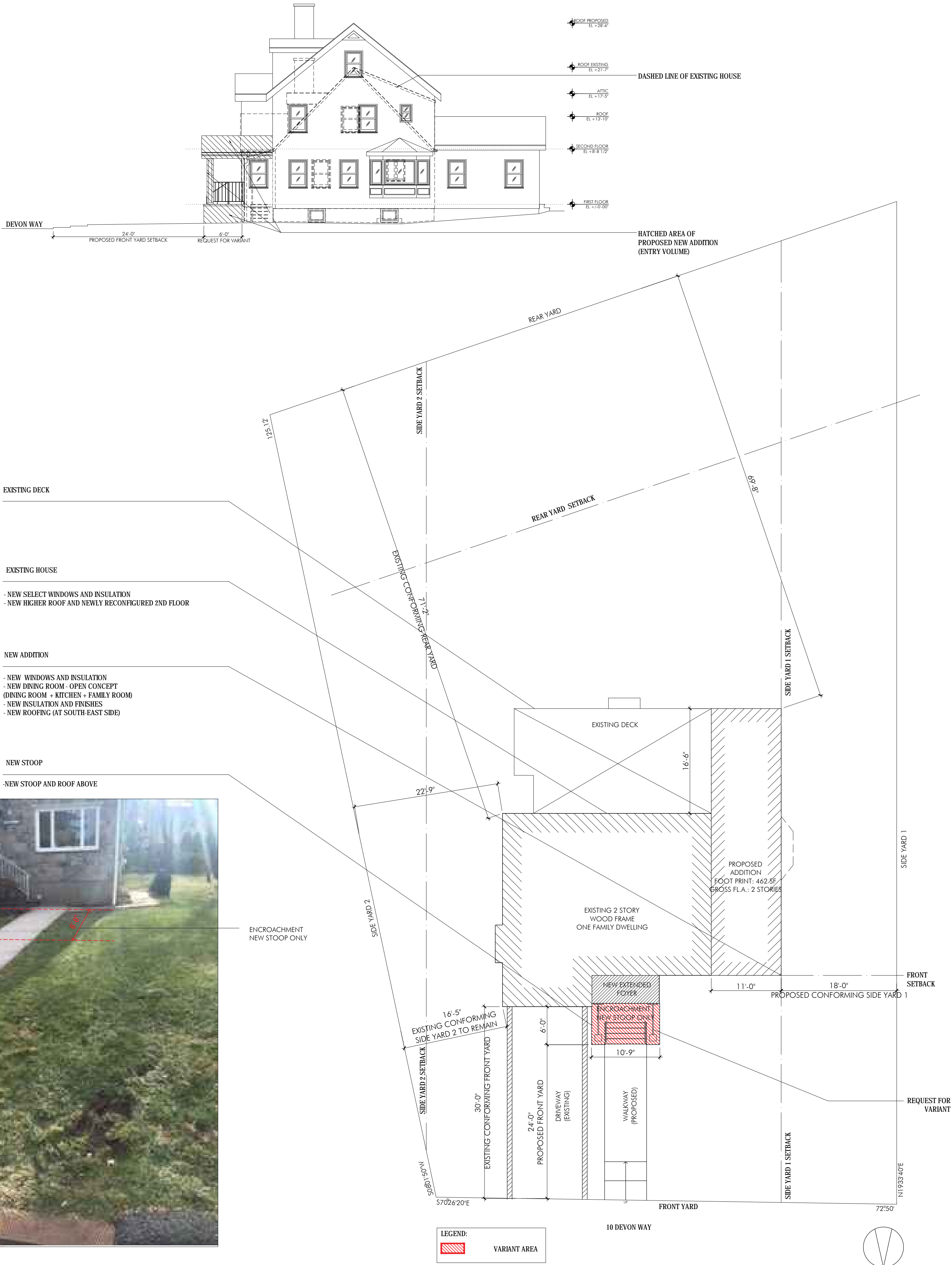


PHOTO 6

ILLUSTRATION OF NEW STOOP - VARIANT REQUEST

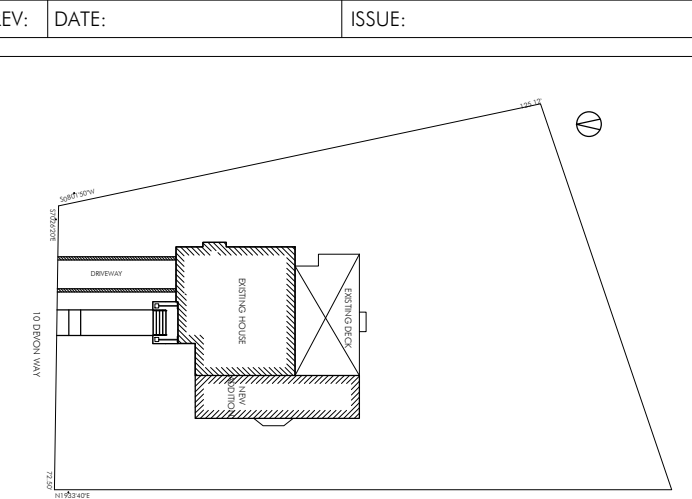


PHOTO 7



Pincrest Group, Alex Stojanovic Design Architect
315 West 39th Street, suite 1104, New York, NY 10018

Cook & Cook Architects Architects of Record
8 Haymaker Lane, Levittown, NY 11756



KEY PLAN:
ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

PROJECT
CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

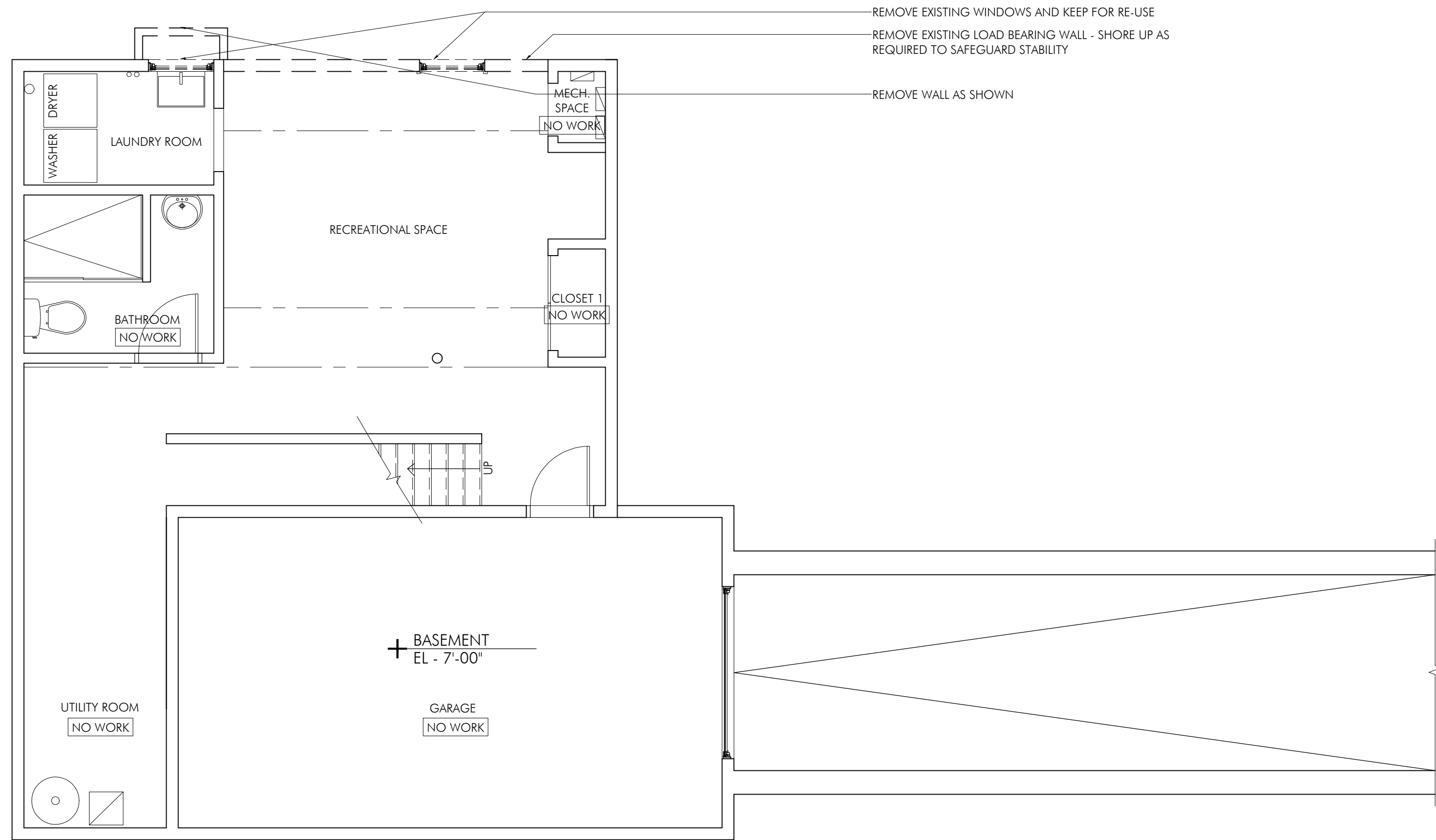
OWNER
VANESSA AND SEAN CARROLL

SITE PLAN
PHOTOS/ILLUSTRATION

A-002.00

SCALE: 1/4"=1'-0"
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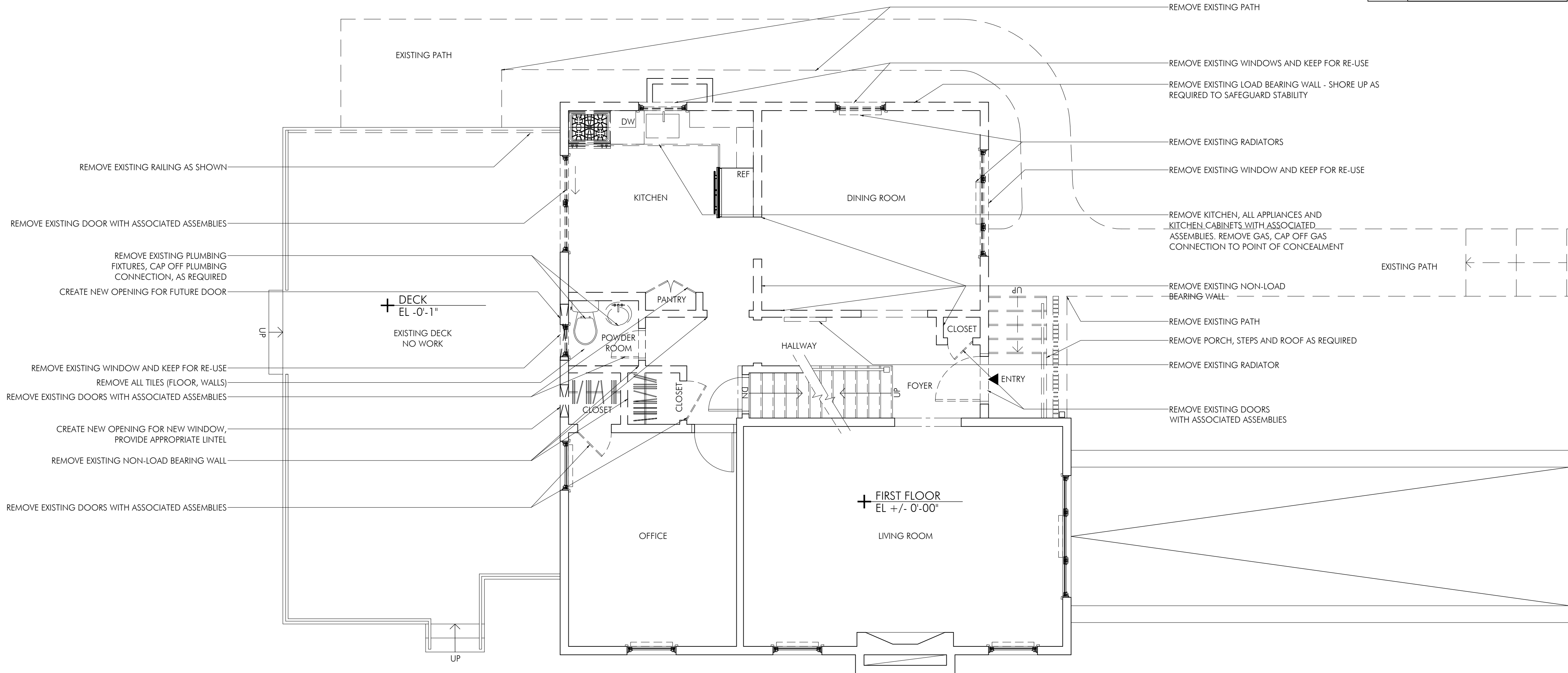
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0 BASEMENT

SCALE: 1/4"=1'-0"

SYMBOL	LEGEND
	EXISTING WALL
	TO BE REMOVED



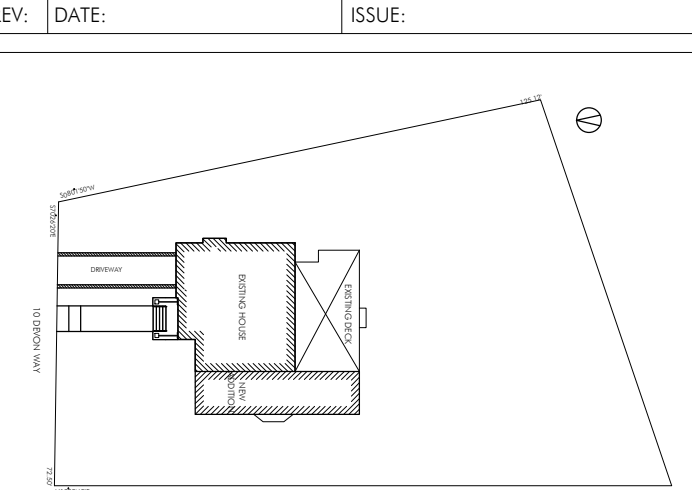
1 FIRST FLOOR

SCALE: 1/4"=1'-0"

SYMBOL	LEGEND
	EXISTING WALL
	TO BE REMOVED

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SECTION: 4.110

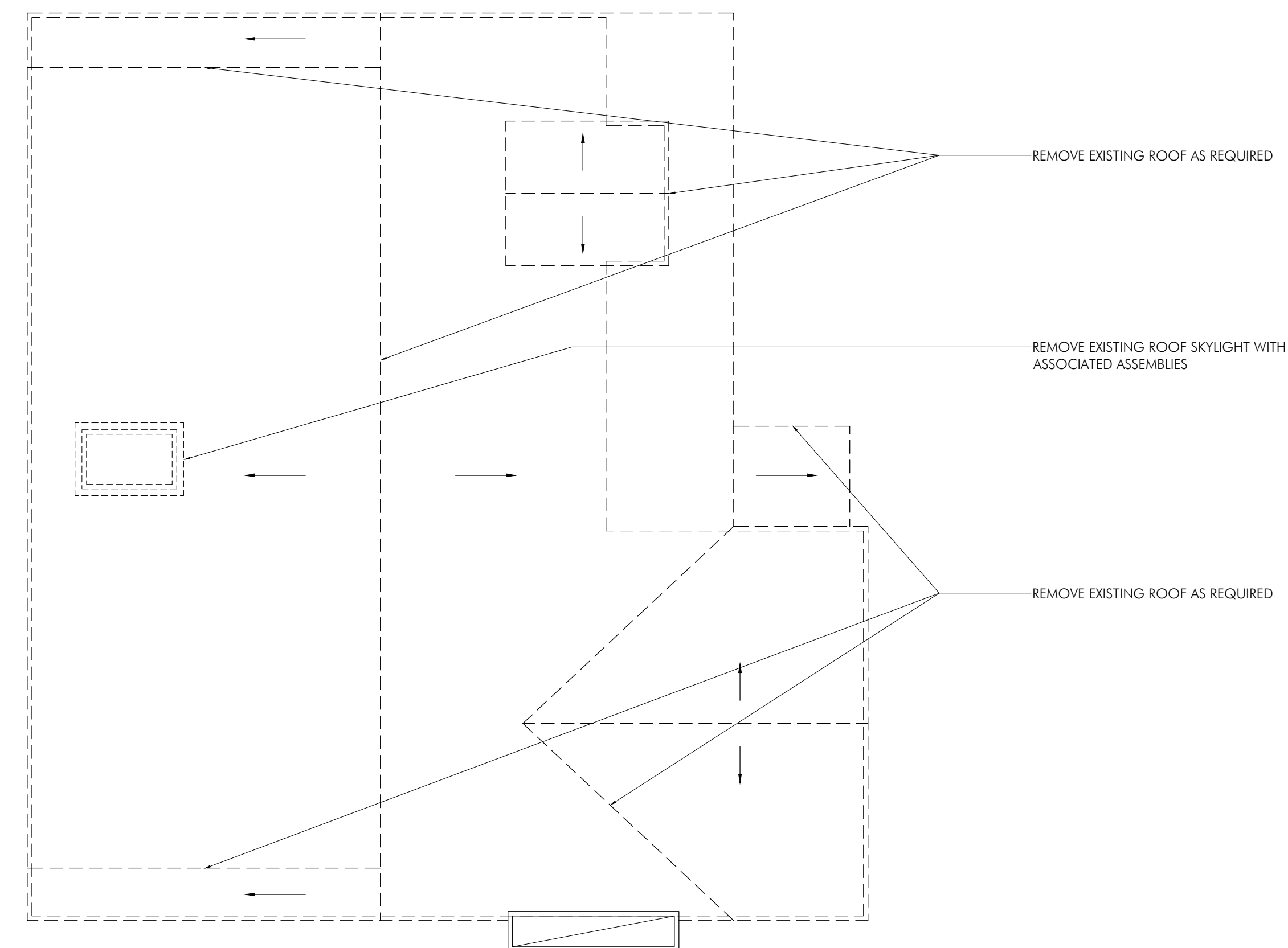
PROJECT
CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

OWNER
VANESSA AND SEAN CARROLL

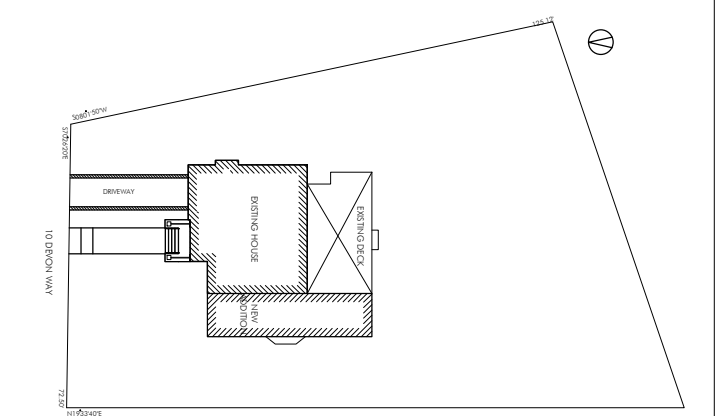
**DEMOLITION PLAN-
BASEMENT AND
FIRST FLOOR**

DM-100.00

SCALE: 1/4"=1'-0" PROJ. No.: 1614
DATE: 6.10.2016. DRAWN BY: SK
CHECKED BY: AS



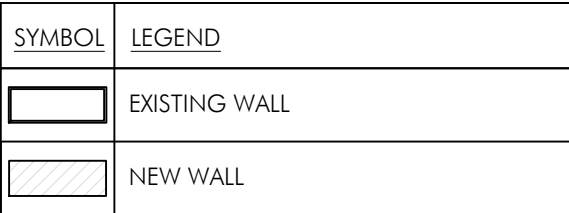
3 ROOF PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

[illegible]

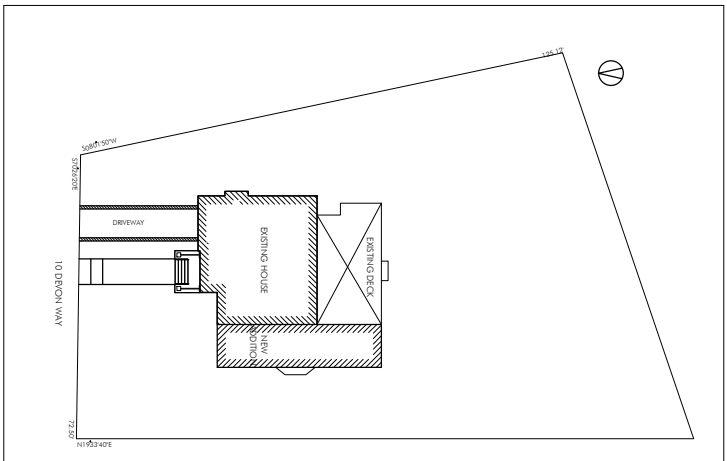
PROJECT CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

DEMOLITION PLAN- SECOND FLOOR AND ROOF PLAN

SCALE: 1/4"=1' 0"	PROJ. No.: 1614
DATE: 6.10.2016.	DRAWN BY: SK
	CHECKED BY: AS



0 BASEMENT PLAN
SCALE: $\frac{1}{4}" = 1'-0"$

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KEY PLAN:
ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

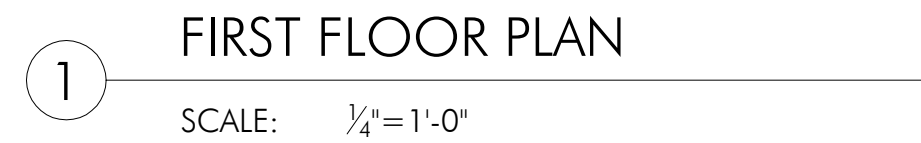
PROJECT CARROLL RESIDENCE



OWNER VANESSA AND SEAN CARROLL

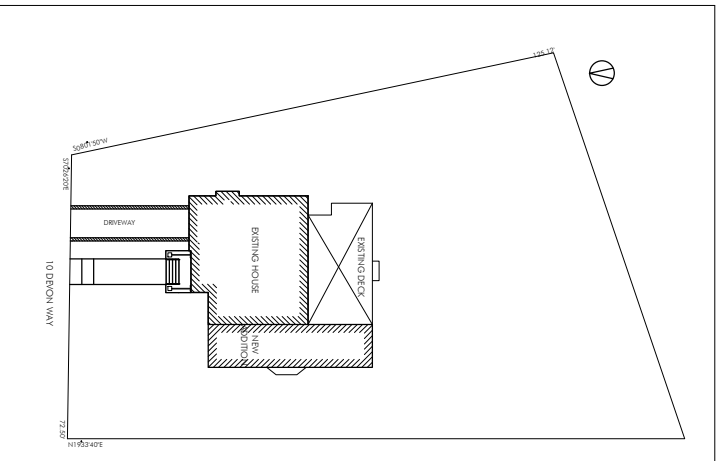
BASEMENT PLAN -
PROPOSED

A-100.00

SCALE: 1/4" = 1' 0"	PROJ. No.: 1614
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SYMBOL	LEGEND
	EXISTING WALL
	NEW WALL

[illegible]

KEY PLAN:
ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

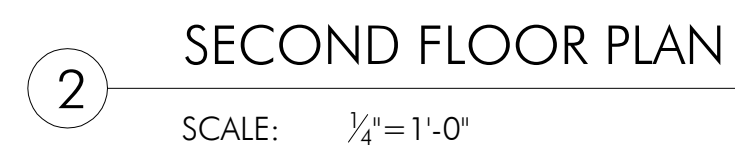
PROJECT CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706



OWNER VANESSA AND SEAN CARROLL

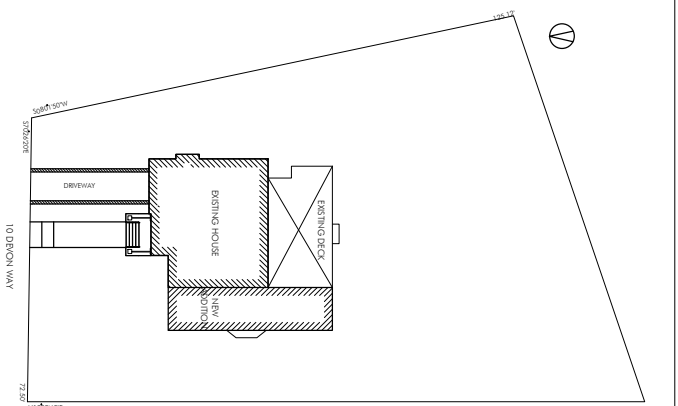
FIRST FLOOR PLAN -
PROPOSED

A-101.00

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SYMBOL	LEGEND
	EXISTING WALL
	NEW WALL

[illegible]

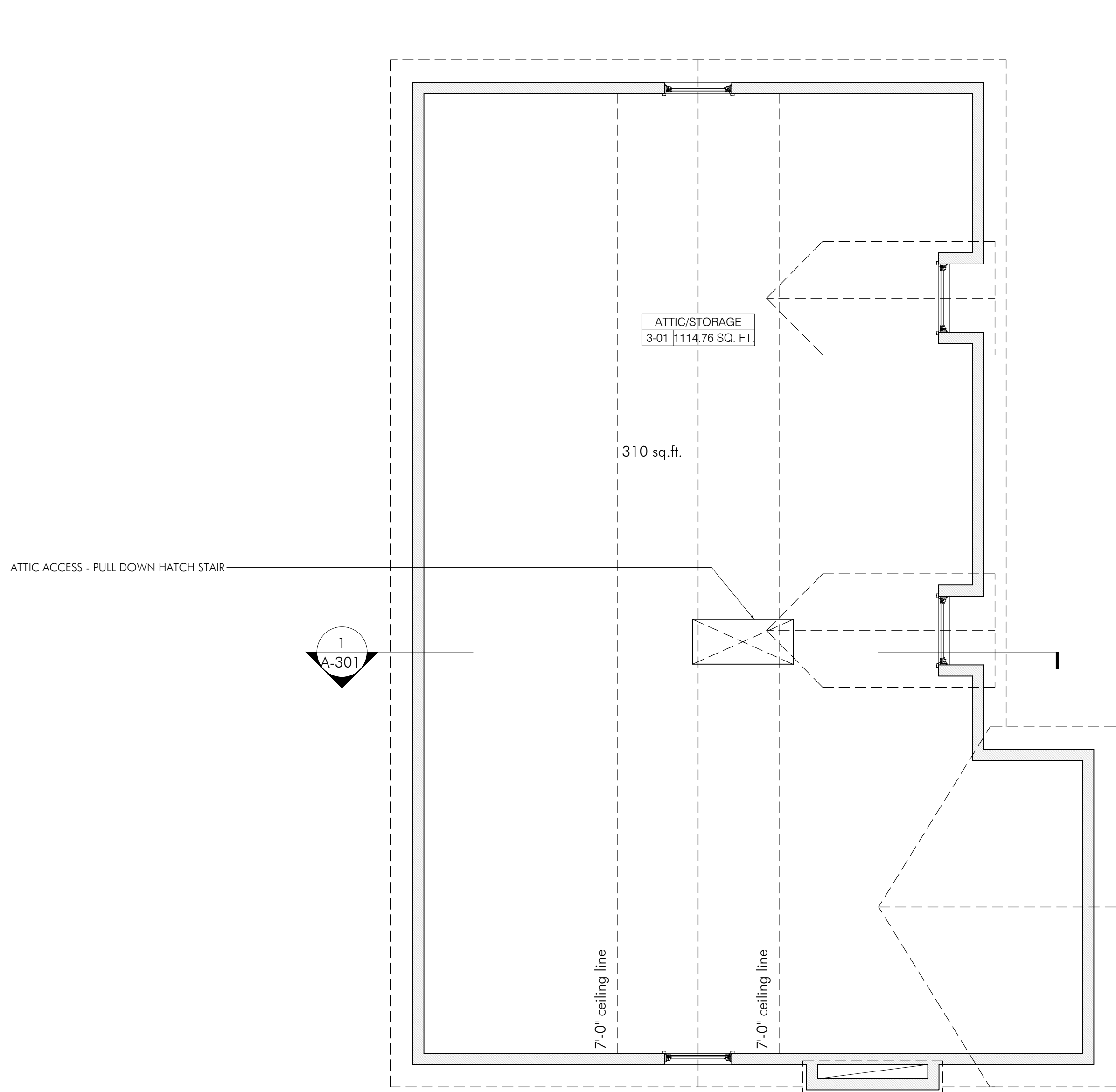
PROJECT CARROLL RESIDENCE
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HASTINGS-ON-HUDSON, NY 10706

SECOND FLOOR PLAN PROPOSED

A-102.00

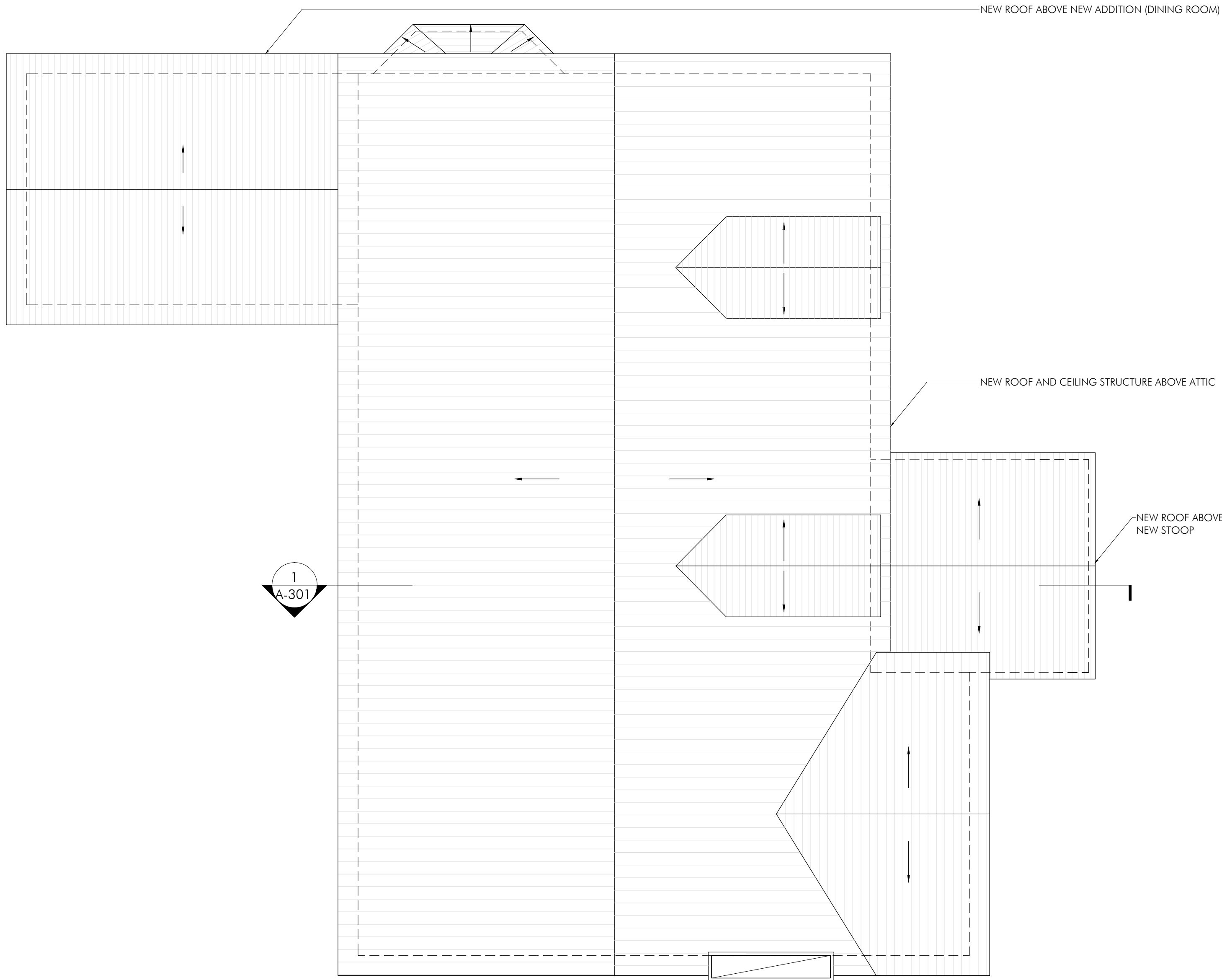
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DATE: 6.10.2016.	DRAWN BY: SK
	CHECKED BY: AS

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3 ATTIC PLAN
SCALE: 1/4"=1'-0"

SYMBOL	LEGEND
	EXISTING WALL
	NEW WALL

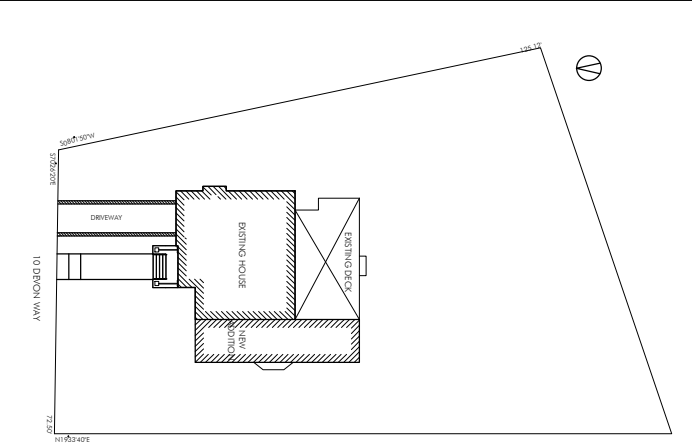


4 ROOF PLAN
SCALE: 1/4"=1'-0"

Pincrest Group, Alex Stojanovic Design Architect
315 West 39th Street, suite 1104, New York, NY 10018

Cook & Cook Architects Architects of Record
8 Haymaker Lane, Levittown, NY 11756

REV: DATE: ISSUE:



KEY PLAN:
ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

PROJECT CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

OWNER VANESSA AND SEAN CARROLL

ATTIC AND ROOF PLAN
PROPOSED

A-103.00

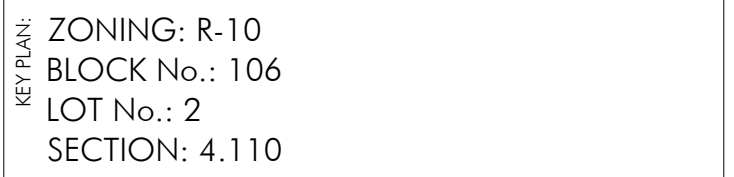
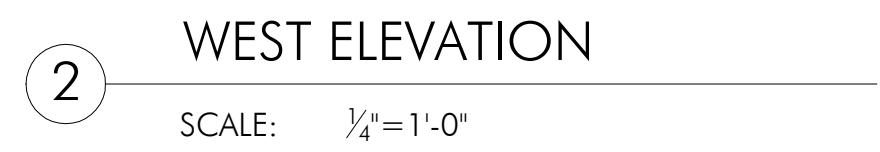
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DATE: 6.10.2016.	DRAWN BY: SK
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OWNER VANESSA AND SEAN CARROLL

EAST ELEVATION

SCALE: 1/4" = 1' 0"	PROJ. No.: 1614
DATE: 6.10.2016.	DRAWN BY: SK
	CHECKED BY: AS



OWNER VANESSA AND SEAN CARROLL

WEST ELEVATION

A-201.00

SCALE: 1/4"=1'0"	PROJ. No.: 1614
DATE: 6.10.2016.	DRAWN BY: SK
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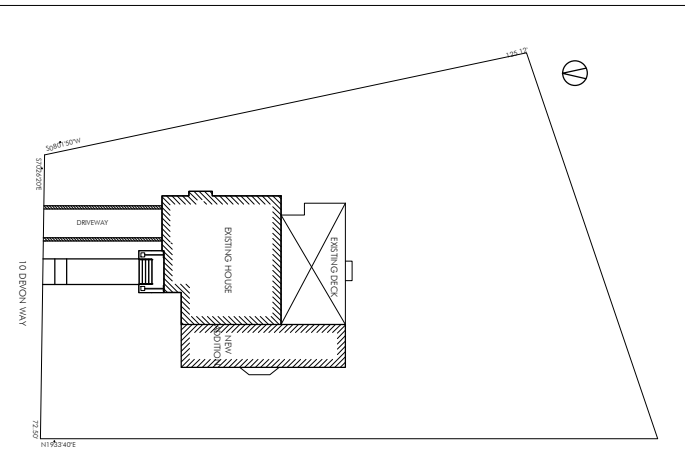
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Pinecrest Group, Alex Stojanovic Design Architect
315 West 39th Street, suite 1104, New York, NY 10018

Cook & Cook Architects Architects of Record
8 Haymaker Lane, Levittown, NY 11756

REV: DATE: ISSUE:



KEY PLAN:
ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

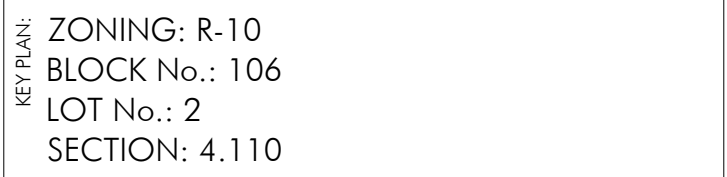
PROJECT
CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

OWNER
VANESSA AND SEAN CARROLL

NORTH ELEVATION

A-202.00

SCALE: 1/4"=1'-0" PROJ. No.: 1614
DATE: 6.10.2016. DRAWN BY: SK
CHECKED BY: AS

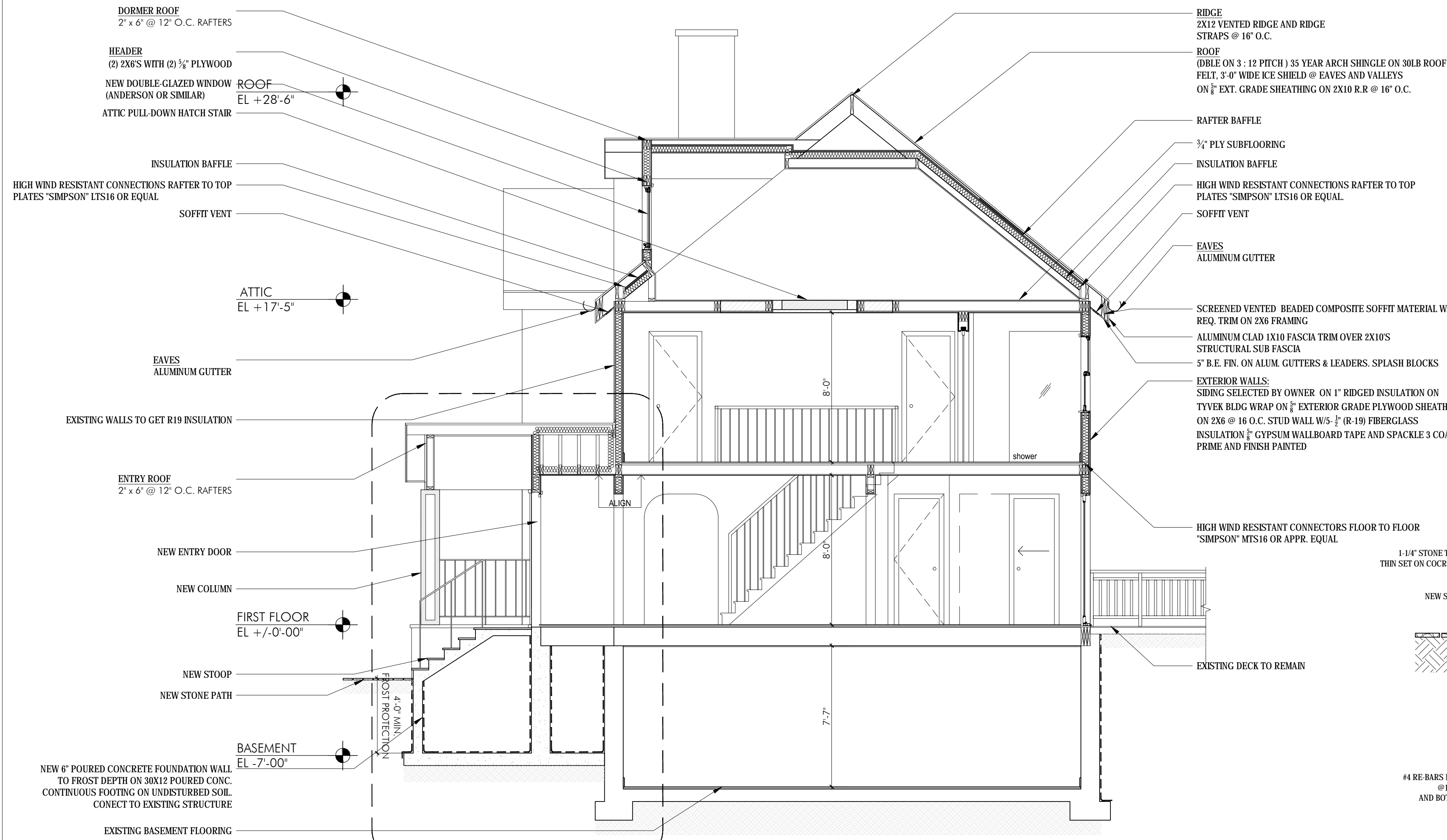


OWNER VANESSA AND SEAN CARROLL

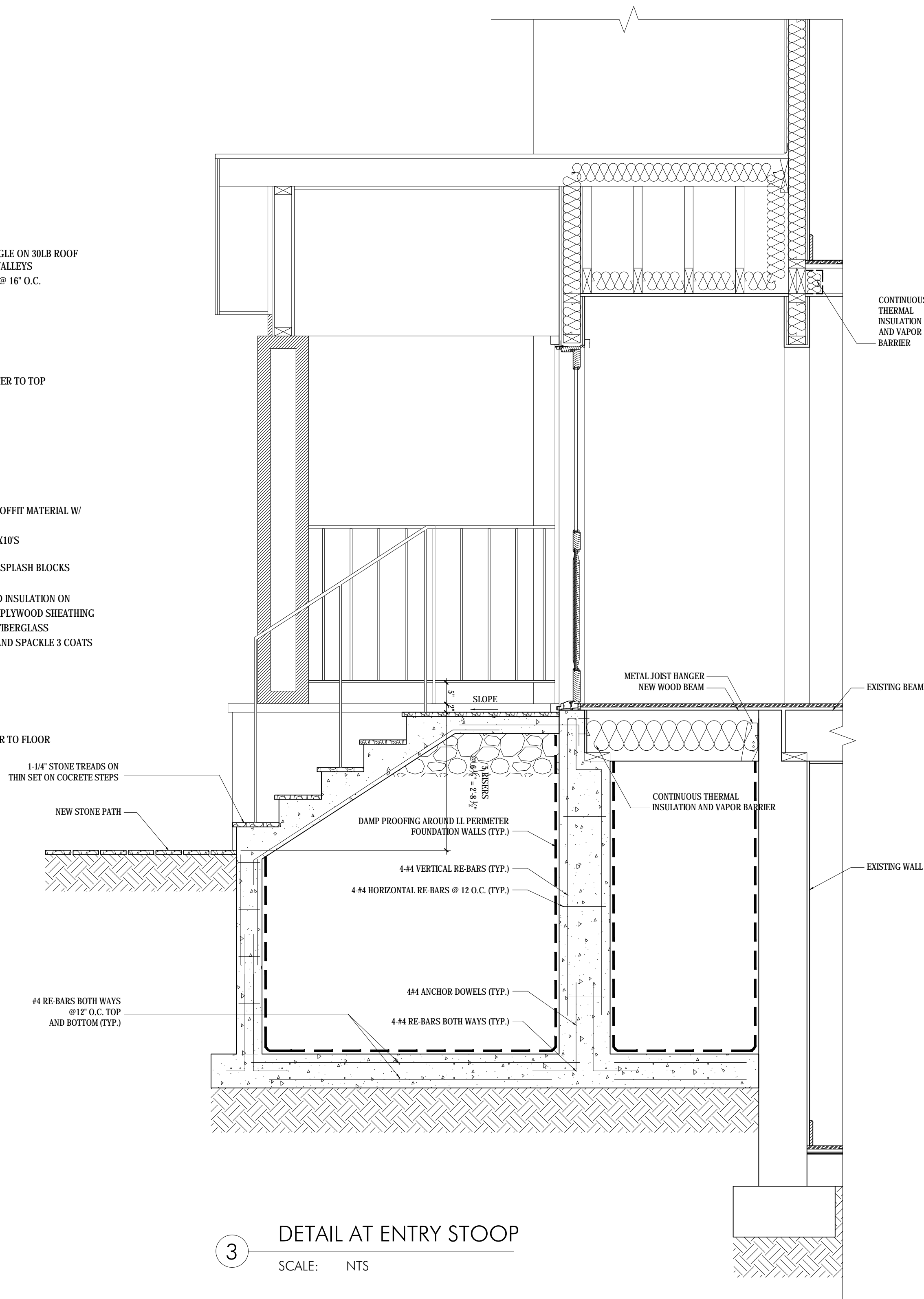
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2 NORTH-SOUTH SECTION
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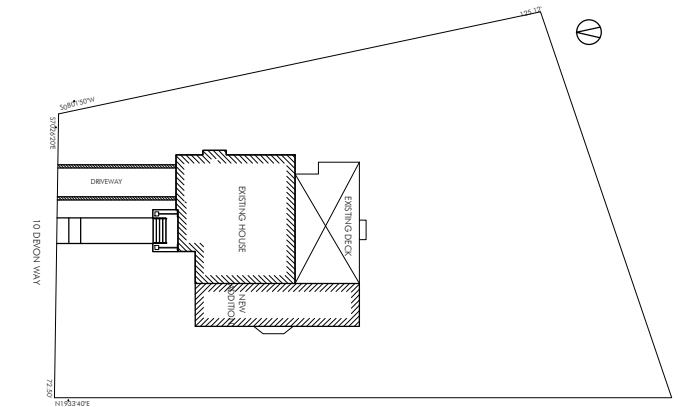


3 DETAIL AT ENTRY STOOP
SCALE: NTS

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8 Haymaker Lane, Levittown, NY 11756

REV: DATE: ISSUE:



KEY PLAN: ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

PROJECT CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

OWNER VANESSA AND SEAN CARROLL

NORTH-SOUTH
SECTION
DETAIL AT ENTRY
STOOP

A-301.00

SCALE: 1/4"=1'-0" PROJ. No.: 1614
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CHECKED BY: AS