Pinecrest Group Architectural and interior design 315 West 39 Street Suite 1104 New York, NY 10018

March 24, 2017

#### Scope of application

To:

Zoning Board of Appeals

Attn:

Village of Hastings-on-Hudson, Department of Buildings

Re:

Variance

Dear Sir or Madam:

Following a description of the proposed overall scope and the reasoning for the variance request:

The project consist in extending the existing structure to create an additional bedroom and bath on second floor, expanding the existing volume towards the west side of property and reframing the roof. All this is within the allowable set backs and height requirements.

Therefore the street façade would be extending and gives the opportunity to improve the entrance and create a more sheltered entry. To achieve this we suggest a straight run from the street onto the stoop – to have a cleaner, more balanced facade. The stoop itself does not require a variance, but we'd like to have it covered by the room extension. This to prevent rain and snow to accumulate at the main entry door and give shelter right before stepping into the house itself.

As per similar sheltered entries in the neighborhood and elsewhere in the village, we believe this element fits within the character of the surrounding architecture and blends in well with other similar entry situation.

We kindly request your approval for this variance allowing the open roof extension over the stoop.

Sincerely,

<u>Alex Stojanovic</u> Pinecrest Group Corp.

Zoning Board of Appeals
Application & Procedures for Application for
Variance/Interpretation/View Preservation



Case Number:		Date of Application:	
Property Addre	ess: 10 PEVON is son which the property is located	SEAN CAMUOU MY ed: Lot/Parcel: 2 Zo	
Standing of app Address: 61 Daytime phone		GN MCHTF-CT  HAPTINGS-ON-INOFOW  Fax number:	
ZBA action requ	uested for (See §295-146B & C):	•	Area Variance/s; View Preservation (See §295-82)
		variance or interpretation is rec	•
Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68F.1a	FRONT YAND MIN 30FT	30 FT	24 FT
		***************************************	
		20.000000000000000000000000000000000000	
*See example	below:	, , , , , , , , , , , , , , , , , , , ,	
295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft	19.5 ft
295-68A	Permitted Principal Use	Single Family Home	

Zoning Board of Appeals
Zoning Analysis



#### **ZONING REQUIREMENTS:**

YARD SETBACKS			
(Principal Structure)			

	REQUIRED	EXISTING	PROPOSED
FRONT	301	301	241
REAR	301	71'-2"	691-811
SIDE ONE	181	291	181
SIDE TWO	121	16'-5"	16'-5"
TOTAL OF TWO SIDES			

# YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

### **BUILDING HEIGHT**

	PERMITTED	EXISTING	PROPOSED
STORIES	21/2	2	2
FEET	351	21'-7"	281-6"

### LOT COVERAGE

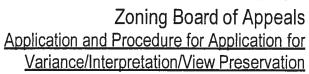
	PERMITTED	EXISTING	PROPOSED
LOT AREA	3049	908	1773
BLDG. COVERAGE/ % OF LOT AREA	25%	7.4 %	14,5 %
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	15,45 %	22,41 %

\*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

#### **OCCUPANCY AND USE**

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	SINGLE FHOLLY	ANGLE FAMILY	ANGLE FATILY

<sup>\*\*</sup> Single Family, Two Family, Commercial, Mixed Use etc.





List any previous application or appeal filed with the Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
List pending violation	ons on this property if any:		
	ed site plan for this property?:		77
Is there an Accesso	ory Apartment at this property?:	(Yes)	(No)
Does this property	have Boarder's Permit?:	(Yes)	(No
variance is necessary or area) sought. The explain the issue.  ubmit a flash drive and a troperty survey showing the hotographs, etc. as necessary	ibe the construction, addition or alterationary and demonstrate how the variance some criteria for the two types of variances. If you wish, you may also state your argueous of three (3) copies (residential) or eight (8) are existing and proposed construction and all others are, to describe and support your application) was at of scheduled meeting of the Zoning Board of	satisfies the criteria for the ty are attached. (If an interpre ument for how the issue sho copies (commercial), of the applic er supporting documents (plans, of with required fee, to the Building D	rpe of variance (use etation is sought, buld be resolved.) cation along with the drawings, site maps,
STATE OF NEW YORK			
	ay that all of the above statements and son with this application are true:	statements contained in all p	papers I have
Sworn to before me thing has the party of the same of	S at day  1 C REG# 01B.  MY COMM EXPIRED  03/25/2	pplicant  BAL  AN  IC  A6278291  ASSION  BOOK  BOOK  ACCORDANCE  A	
Notary Pyblic	TER CO	UNTY THE	

Zoning Board of Appeals

<u>Application and Procedure for Application for Variance/Interpretation/View Preservation</u>

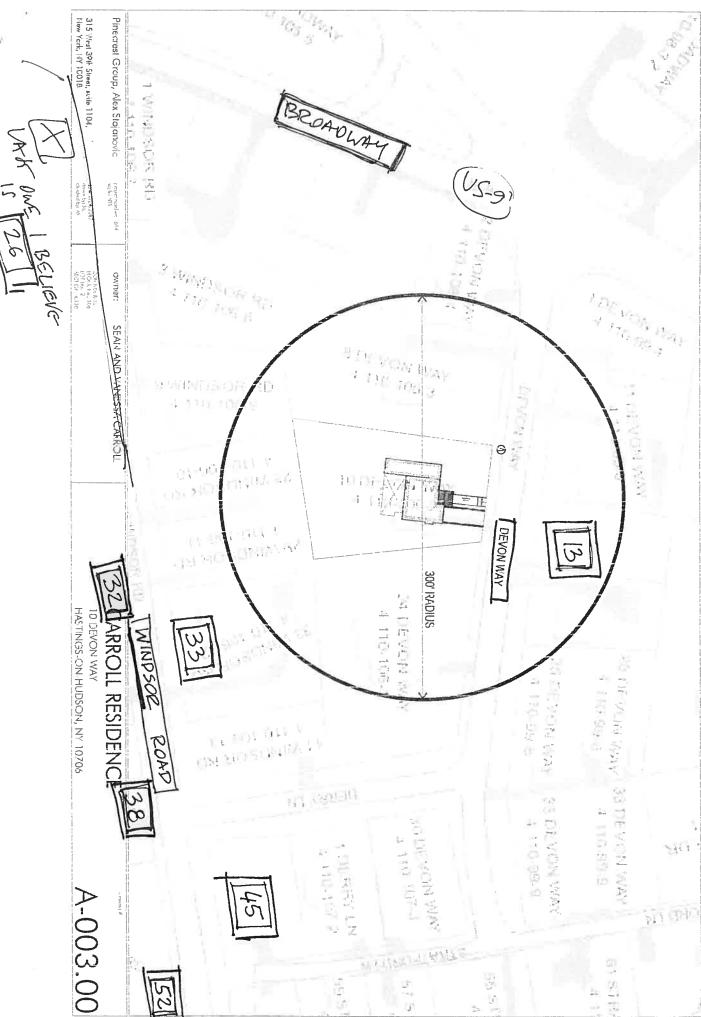


STATE OF NEW YORK
COUNTY OF WESTCHESTER
VILLAGE OF HASTINGS ON HUDSON 55

VILLAGE OF HASTINGS ON HUDSON ss.:	
	g duly sworn, deposes and says that in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/sh	
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson	aforesaid and known and
designated as SheetBlocklo6and Lot2	on the tax map, and that
he/she hereby authorized AVEX STODANOVIC	to make the annexed
application on his/her behalf and that the statement of fact contained in sa	id application are true.
Notary Public, 9 Reg # 01E	tchester County

### **NOTICE**

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.



DETAIL AT ENTRY STOOP

**TABLE R 401.4.1 TABLE R 301.5 TABLE R 301.2.2.2** TABLE 3.1- NAILING SCHEDULE PRESUMPTIVE LOAD BEARING VALUES MINIMUM UNIFORM DISTRIBUTED LIVE LOADS WIND BORNE DEBRIS PROTECTION FASTENING **GENERAL NOTES:** OF FOUNDATION MATERIALS (IN POUNDS PER SQUARE FOOT) SCHEDULE FOR WOOD STRUCTURAL **DESCRIPTION OF BUILDING ELEMENTS** NUMBER OF COMMON NAILS NAIL SPACING **DIVISION 1 GENERAL REQUIREMENTS** NAILING AND STRAPPING AT EXTERIOR WINDOW/ DOOR HEADERS **ROOF FRAMING** 1. ALL CONSTRUCTION SHALL COMPLY WITH LIVE LOAD FASTENER TYPE FASTER SPACING (REQUIRED FOR ALL NEW CONSTRUCTION AND NEW ALL APPLICABLE NEW YORK STATE AND LOCAL RAFTER TO TOP PLATE (TOE NAILED) PER RAFTER CODES AND THE NEW YORK STATE ENERGY CODE. CLASS OF MATERIAL LOAD BEARING PRESSURE ADDITIONS) CEILING JOIST TO TOP PLATE (TOE NAILED) PER JOIST (2015 RESIDENTIAL CODE OF NEW YORK STATE.) EXTERIOR BALCONIES PANEL SPAN > 4 FT SPAN >6 FT SPAN 12000 PSF <4 FT < 6 FT <= 8FT 2.CONTRACTOR TO VERIFY ALL DIMENSIONS IN CEILING JOIST TO PARALLEL RAFTER **NAILING SCHEDULE "B"** SEDIMENTARY AND FOLIATED ROCK 4000 PSF PASSENGER VEHICLE GARAGES (WOOD FRAME CONSTRUCTION MANUAL ROUGH FIELD DO NOT SCALE DRAWINGS. REPORT ANY 6-16d EACH LAP (FACE-NAILED) SANDY GRAVEL AND/ OR GRAVEL 3000 PSF ATTICS WITHOUT STORAGE OPENING REQUIREMENTS FOR WINDOW OPENINGS DISCREPANCIES TO THE ARCHITECT BEFORE  $2 - \frac{1}{2}$ " #6 16" OC 12" OC 9" OC **CEILING JOIST LAPS OVER PARTITION** (GW & GP) ATTICS WITH STORAGE PROCEEDING WITH THE WORK. WOOD SCREWS (FACE-NAILED) 6-16d EACH LAP ATTICS ACCESSED WITH FIXED STAIRWAYS SAND, SILTY SAND, CLAYEY SAND 3.GENERAL NOTES AND TYPICAL DETAILS APPLY. 2000 PSF C D E F SILTY GRAVEL AND CLAYEY GRAVEL ROOMS OTHER THEN SLEEPING ROOMS THROUGHOUT THE JOB. COLLAR TIE TO RAFTER (FACE NAILED) 2-10d ER TIE 16" OC  $2 - \frac{1}{2}$ " #6 16" OC SLEEPING ROOMS (SW, SP, SM, SC, GM, & GC) 2'-0" 2 (1) 2X4 4.CONTRACTOR IS RESPONSIBLE FOR **BLOCKING TO RAFTER (TOE-NAILED)** WOOD SCREWS 2-8d EACH END CLAY, SANDY CLAY, SILTY CLAY, STAIRS 4'-0" 4 (1) 2X4 CONSTRUCTION MEANS AND METHODS. NO EACH END RIM BOARD TO RAFTER (END NAILED) 2-16d CLAYEY SILT AND SANDY SILT GUARDRAILS AND HAND RAILS 6'-0" 6 (2) 2X4OR (1) 2X6 3 3 3 LACK OF DETAIL OR SPECIFICATION EXCUSES a. THE TABLE IS BASED ON 110 MPH WIND SPEEDS ON A 33 (CL, ML, MH AND CH) SNOW LOAD CONTRACTOR FROM COMPLYING WITH ALL WALL FRAMING 8'-0" 8 (2) 2X4OR (1) 2X6 3 3 3 FOOT MEAN ROOF HEIGHT DEAD LOAD APPLICABLE CODES AND REGULATIONS TOP PLATE TO TOP PLATE (FACE NAILED) PER FOOT (2) 2X6 b. FASTENERS SHALL BE INSTALLED AT OPPOSING ENDS OF | 4 | 4 | 4 | 4 a. WHEN SOIL TEST ARE REQUIRED BY R401.4 THE 5.NO WORK IS TO COMMENCE BEFORE ALL 5 5 5 WOOD STRUCTURAL PANEL. TOP PLATES AT INTERSECTIONS (FACE NAILED) 4-16d JOINTS EACH SIDE (2) 2X6 ALLOWABLE BEARING CAPACITIES OF THE SOIL PROPER BUILDING PERMITS AND OTHER c. NAILS SHALL BE 10d COMMON OR 12d BOX NAILS STUD TO STUD (FACE NAILED) 2-16d 24" O.C. APPLICABLE PERMITS ARE OBTAINED. SHALL BE PART OF THE RECOMMENDATIONS. TABLE R 301.6, 301.7 d. WHERE SCREWS ARE ATTACHED TO MASONRY OR HEADER TO HEADER (FACE NAILED) 16d ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS 16" O.C ALONG 6.ALL PLUMBING WORK IS TO BE PERFORMED BY MASONRY/ STUCCO THEY SHOULD BE ATTACHED UTILIZING b. WHEN IN PLACE SOILS WITH ALLOWABLE BEARING FDFFEATES OR BOTTOM PLATE TO STUD A LICENSED PLUMBER UNDER THE ALL STRAPPING TO BE 14 X 20 GAUGE STEEL VIBRATION RESISTANT ANCHORS HAVING A MINIMUM JURISDICTION HE/SHE IS WORKING. PLUMBER | CAPACITY OF LESS THAN 1500 PSF ARE LIKELY TO BE 2-16d PER 2"X4" STUD (END NAILED) OR SIMPSON EQUIVALENT (COILED STRAP) ALL ULTIMATE WITHDRAWAL CAPACITY OF 490 POUNDS. MUST FILE FOR PLUMBING PERMIT AND OBTAIN PRESENT ON THE SITE, THE ALLOWABLE BEARING ALLOWABLE STRUCTURAL MEMBER 3-16d PER 2"X6" STUD STRAPPING SHALL BE INSTALLED PRIOR TO ALL INSPECTIONS AND APPROVALS FOR THE CAPACITY SHALL BE DETERMINED BY A SOILS DEFLECTION R301.1.2.13 WIND SPEED CONVERSION WHEN REFERENCED SHEATHING. 4-16d PER 2"X 8" STUD INVESTIGATION. PLUMBING WORK. DOCUMENTS ARE BASED ON FASTEST MILE WIND SPEEDS. RAFTERS HAVING SLOPES OF GREATER 7.ALL ELECTRICAL WORK IS TO BE PREFORMED BOTTOM PLATE TO FLOOR JOIST, BAND JOIST 4- 16d PER 2"X8" STUD THE THREE SECOND GUST WIND VELOCITIES OF FIGURE BY A LICENSED ELECTRICIAN IN THE THAN 32 WITH NO FINISHED CEILING **TABLE R 301.2.1** R301.2(4) SHALL BE CONVERTED TO FASTEST MILE WIND END JOIST OR BLOCKING (FACE NAILED) 4- 16d1.2 PER FOOT JURISDICTION OF THE WORK. AT THE ATTACHED TO RAFTERS **CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA** VELOCITIES USING TABLE R301.2.1.3. FLOOR FRAMING COMPLETION OF THE WORK ELECTRICIAN IS TO INTERIOR WALLS AND PARTITIONS 1/180 OBTAIN UNDERWRITERS CERTIFICATE OR ANY FLOORS AND PLASTER CEILINGS 1/360 **TABLE R 201.2.1.3** JOIST TO SILL TOP PLATE OR GIRDER GROUND WIND SEISMIC WINTER ICE SHIELD OTHER APPROVED CERTIFICATION BY THE 1/240 **EQUIVALENT BASIC WIND SPEEDS** ALL OTHER STRUCTURAL MEMBERS PER JOIST (TOE NAILED) DESIGN DESIGN UNDERLAYMENT LOCAL JURISDICTION. EXTERIOR WALLS WITH PLASTER 2-8d EACH END BRIDGING TO JOIST (TOE NAILED) CATEGORY TEMP. ABOVE WALL LOAD 8.ALL MECHANICAL PLUMBING AND ELECTRICAL STUCCO FINISH 3 SEC GUST 85 90 100 105 110 120 125 130 140 145 150 160 170 BLOCKING TO JOIST (TOE NAILED EACH END SHEATHING ATTACHMENT DIAGRAM WORK MUST BE COORDINATED BY THE EXTERIOR WALLS- WIND LOADS FASTEST 70 75 80 85 90 100 105 110 120 125 120 140 150 BLOCKING TO SILL OR TOP PLATE (TOE NAILED) **EACH BLOCK** 3-16d 20 PSF | 110 MPH 11 ° F | 2'-0" GENERAL CONTRACTOR 1/240 WITH BRITTLE FINISH LEDGER STRIP TO BEAM (FACE NAILED) 3-16d **EACH JOIST** 9.ALL FOOTINGS TO BEAR ON VIRGIN COMPACTED EXTERIOR WALLS- WIND LOADS SHADED AREA TO BE NAILED AT 8" NON-SHADED AREAS TO BE NAILED SOIL WITH THE BEARING CAPACITY OF 1 TON WITH FLEXIBLE FINISHES 1/120 JOIST ON LEDGER TO BEAM (TOE- NAILED) 3-16d PER JOIS **SUBJECT TODAMAGE FROM 1.2** AT 12" O.C. EXCEPT AT OPENINGS WHICH O.C. EXCEPT AT RIDGES WHICH PER SQUARE FOOT. DEPTH OF FOOTING IS LINEAR INTERPOLATION IS PERMITTED BAND JOIST TO HOIST (END-NAILED) 3-16d PER JOIST SHOULD BE NAILED AT 8" O.C. SHOULD BE NAILED AT 4" O.C. DETERMINED BY LOCAL JURISDICTION **EMERGENCY EGRESS NOTES** BAND JOIST TO SILL OR TOP PLATE NAILING AND STRAPPING (SEE TABLE BELOW) DECAY **TERMITES** ( SEE LOCATIONS ON PLANS) WEATHERING PER FOOT (TOE- NAILED) 2-16d1 (REQUIRED FOR ALL NEW CONSTRUCTION AND NEW 10.ALL CONCRETE IS TO OBTAIN A MINIMUM ADDITIONS) COMPRESSIVE STRENGTH OF 4000 PSI. AFTER 28 ROOF SHEATHING R310.1.1 MINIMUM OPENING AREA DAYS 5 TO 7% AIR ENTRAPMENT PER R.402.2. 6" EDGE STRUCTURAL PANELS DIAGONAL ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MODERATE TO SLIGHT TO 3'-0" 11.DO NOT BACKFILL FOUNDATION UNTIL THE FIRST **BOARD SHEATHING** 12" FIELD **HEAVY MODERATE** HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET FLOOR FRAMING HAS BEEN INSTALLED OR THE ALL STRAPPING TO BE  $1\frac{1}{4}$ " X 20 GAUGE STEEL. OR SIMPSON 1"X6" OR 1"X8" 2-8d PER SUPPORT WALLS ARE ADEQUATELY BRACED. EQUIVALENT - CS20 (COILED STRAP) EXCEPTION: GRADE FLOOR OPENING SHALL HAVE A 1"X10" OR WIDER 3-8d PER SUPPORT (ALL STRAPPING SHALL BE INSTALLED AS PER MANUF. 12.ALL STRUCTURAL STEEL TO BE MIN A-36 MINIMUM CLEAR OPENING OF 5.0 SQUARE FEET. **CEILING SHEATHING** CONFORM TO STANDARDS OF THE LATEST AISC | FLOOD SPECIFICATIONS) GYPSUM WALL BAORD 6" EDGE/ 12" FIELD 5d coolers MANUAL. PAINT ALL NEW STEEL WITH RUST HAZARD INDEX R 310.1.2 MINIMUM OPENING HEIGHT: INHIBITIVE PRIMER AND PAINT. WALL SHEATHING THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 13. ALL CONSTRUCTION LUMBER IS TO BE NO 2 OR STRUCTURAL PANELS, FIBER BOARD PANELS 6" EDGE/ 12" FIELD AT RAFTER TO RIDGE CONNECTION BETTER DOUGLAS FIR WITH A MIN. BENDING 4"OC @ GABLE BASE STRENGTH OF 850PSI. 3" EDGE/ 6" FIELD NOTE: R310.1.1 MINIMUM OPENING WIDTH: FOR RIDGE STRAP- (4) 8D COMMON AT EACH —— 14. ALL WINDOW AND DOOR OPENING HEADERS TO 3" EDGE/ 6" FIELD ALL CLIPS & STRAPS CAN BE THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 24 R302.1.1 DESIGN CRITERIA: AREA LOCATED WHERE WIND END OF STRAP BE 2- 2X8'S WITH <sup>1</sup>/<sub>2</sub>" PLYWOOD BETWEEN EACH 7" EDGE/ 10" FIELD | MOUNTED FROM EITHER ALL EXTERIOR 5d COOLERS **GYPSUM WALL BOARD** SPEEDS ARE EQUAL OR EXCEEDS 110MPH. DESIGN UNLESS OTHERWISE NOTED. 6" EDGE/12" FIELD | OR ALL INTERIOR, BUT NOT A (3) 10D COMMON NAILS 15. ALL POST TO BE A MIN 3- 2X4'S SPIKED CRITERIA BASED ON AMERICAN FOREST AND PAPER THE FOLLOWING IS REQUIRED WITH IN ONE MILE FROM THE PRACTICAL BOARD PANELS, COMBINATION OF BOTH. **COLLAR TIES** AT EACH END-TOGETHER WITH 16D NAILS. ASSOCIATION (AF & PA) WOOD FRAME CONSTRUCTION SEASHORE. DIAGONAL SHEATHING 6" EDGE/ 12" FIELD 16. DOUBLE JOIST UNDER ALL WALLS, PROVIDE MANUAL FOR ONE AND TWO FAMILY DWELLINGS. (WFCM) 1"X6" OR 1"X8" PER SUPPORT BRIDGING AT 7'-0" O.C. FIGURE R602.10.5-EXTERIOR CORNER FRAMING R301.2.1.2 INTERNAL PRESSURE: WINDOWS IN BUILDINGS PER SUPPORT 1"X10" OR WIDER ROOF 17. ALL TRUSSES AND LAMINATED BEAMS TO BE LOCATED IN WIND BORNE DEBRIS REGIONS, SHALL HAVE FLOOR SHEATHING RAFTER / INSTALLED PER MANUFACTURERS, DETAILS & GLAZED OPENING PROTECTED FROM BORNE DEBRIS OF FOR S1: 1 POUND PER SQUARE FOOT= .O479 KN/MxM (MILES 6" EDGE/ 12"FIELD (A) OUTSIDE CORNER DETAIL (B) INSIDE CORNER DETAIL STRUCTURAL PANELS 1" OR LESS RECOMMENDATIONS. THE BUILDING SHALL BE DESIGNED AS A PARTIALLY PER HOUR= 1KM/HR COLLAR TIE **GREATER THEN 1"** 18. CONTRACTOR TO VERIFY CONDITION OF ALL ENCLOSED BUILDING IN ACCORDANCE WITH THE BUILDING DIAGONAL BOARD SHEATHING EXISTING BEARING WALLS AND REPLACE 6" EDGE/ 6"FIELD CODE OF THE STATE OF NEW YORK. GLAZED OPENING A. WEATHERING MAY REQUIRE A HIGHER STRENGTH OF IF DAMAGED 1"X6" OR 1" X8" PER SUPPORT PROTECTION FROM WIND BORNE DEBRIS SHALL MEET THE CONCRETE OR GRADE OF MASONRY NECESSARY TO REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTME 16 d NAIL AT 24" O.C. 19. PROVIDE FLASHING AT ALL EXTERIOR 1"X10" OR WIDER PER SUPPORT WOOD STRUCTURAL PANEL AT RAFTER TO RIDGE CONNECTION OPENINGS AND AT SURFACE SURFACE SATISFY THE STRUCTURAL REQUIREMENTS OF THE CODE. 1196 AND OF ASTME 1888 REFERENCED THEREIN. AT STRUCTURAL RIDGE INSTALLED IN ACCORDANCE 8d NAIL AT 6 IN. O.C. . NAILING REQUIREMENTS ARE BASED ON WALL SHEATHING NAILED 6 INCHES ON CENTER AT THE - CORNER HOLD BETWEEN ROOF AND WALLS. PROVIDE ICE & THE WEATHERING COLUMN SHALL BE FILLED IN WITH THE PANEL EDGE. IF WALL SHEATHING IS NAILED 3 INCHES ON CENTER AT THE PANEL EDGE TO OBTAIN (ALL PANEL EDGES) WITH TABLE R602.3(1) WATER SHIELD AS MEASURED FROM EAVE'S WEATHERING INDEX. (NEGLIGIBLE, MODERATE OR SEVERE) EXCEPTIONS: WOOD STRUCTURAL PANELS WITH A MINIMUM DOWN CLIPS. FOR RIDGE STRAP- (4) 8D COMMON AT EACH-HIGHER SHEAR CAPACITIES NAILING REQUIREMENTS FOR STRUCTURAL MEMBERS SHALL BE GYPSUM WALL BOARD THICKNESS OF  $\frac{7}{16}$ " (11.1MM) AND A MAXIMUM SPAN OF EIGHT FOR CONCRETE AS DETERMINED FROM THE WEATHERING END OF STRAP DOUBLED, OR ALTERNATE CONNECTORS, SUCH AS SHEAR PLATES, SHALL BE USED TO MAINTAIN TO A POINT AT LEAST 24-INCHES FROM THE INSIDE PROBABILITY MAP. (FIGURE R301.2.3). THE GRADE MASONRY FEET SHALL BE PRECUT TO COVER THE GLAZED OPENING INSTALLED IN ACCORDANCE REV: DATE: THE LOAD PATH. FACE OF INTERIOR WALL. ICE SHIELD SHALL ALSO WITH CHAPTER 7 8d NAIL AT 12 IN. O.C. WITH ATTACHMENT HARDWARE PROVIDED IN ACCORDANCE UNITS SHALL BE DETERMINED FROM THE ASTM C34, C55, BE PLACED WITHIN ALL VALLEYS AT 36-INCHES 8d NAIL AT 6 IN O.C. ON ALL WITH TABLE R301.2.1.2. OR SHALL BE DESIGNED TO RESIST ON ALL FRAMING MINIMUM. C62, C73, C90, C 129, C216, OR C652 WHEN WALL SHEATHING IS CONTINUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER FRAMING MEMBERS AT MEMBERS NOT AT THE COMPONENTS AND CLADDING LOADS DETERMINED IN 20. PROVIDE SILICONIZED ACRYLIC CAULKING B. THE FROST LINE DEPTH MAY REQUIRE DEEPER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO 1-16d PER FOOT. PANEL EDGES AND 12 IN ACCORDANCE WITH THE BUILDING CODE OF THE STATE OF PANEL EDGES BETWEEN ANY DISSIMILAR MATERIALS. FOOTINGS THAN INDICATED IN FIGURER403.1(1). THE O.C. ON ALL FRAMING WOOD STRUCTURAL PANEL 21. CONTRACTOR TO VERIFY ALL ROUGH JURISDICTION SHALL FILL IN FROST LINE DEPTH COLUMN MEMBERS NOT AT PANEL OPENINGS FOR WINDOWS, DOORS, AND INSTALLED IN ACCORDANCE WITH THE MINIMUM DEPTH OF FOOTING BELOW THE **HOLD DOWN DETAIL** OPENINGS IN WALLS. FLOORS AND ROOF WITH TABLE R602.3(1) R313 SMOKE DETECTORS (2010 RCNYS) FINISHED GRADE. FLOOR TO FLOOR SIMPSON HDM (CREQ) HOLD DOWN DOUBLE FRAME AT ALL OPENINGS. UNLESS C. THE JURISDICTION SHALL FILL IN UNDER "TERMITES" **=AT RAFTER TO TOP PLATE** OTHERWISE NOTED ALL WINDOWS, GLASS R313.1 SINGLE AND MULTIPLE STATION SMOKE DETECTOR SHOE PLATE NO HOLES LARGER (ONLY APPLICABLE FOR TWO STORY TO STUD CONNECTION EXISTING VENT PIPES EXISTING VENT PIPES WITH VERY HEAVY, MODERATE TO HEAVY, SLIGHT TO DOORS AND SKYLIGHTS TO BE "ANDERSON" MUST BE INSTALLED IN THE FOLLOWING: THEN 40% OF STUD CONFIGURATIONS) WITH LOW "E" INSULATED GLASS. MODERATE, OR NONE TO SLIGHT IN ACCORDANCE WITH RM JOIST DEPTH WILL BE FOR STRAP (3) 8D COMMON NAILS 22. EXTEND ALL CHIMNEYS 2'-0" MIN ABOVE ANY FIGURE R301.2(6) DEPENDING ON WEATHER THERE IS A 1. IN EACH SLEEPING ROOM - TOP PLATE PREMITTED AT EACH END OF FOR STRAP-(9) 10D COMMON NAIL COMBUSTIBLE MATERIAL WITH IN 10'-0". HISTORY OD LOCAL DAMAGE 2. A CARBON MONOXIDE AND SMOKE DETECTOR OUTSIDE SAT EACH END OF VERIFY HEIGHT WITH LOCAL JURISDICTION D. THE JURISDICTION SHALL FILL IN UNDER "DECAY" BEDROOMS IN THE IMMEDIATE VICINITY OF BEDROOMS. -SIMPSON HDM (CREQ) STRAP OR SCREWS ALL BATHROOM WINDOWS, STAIRWAY 3. ON EACH ADDITIONAL STORY OF THE DWELLING, MODERATE TO SEVERE, SLIGHT TO MODERATE, OR NONE PER MANI -NOTCH MUST FORESTING (7) 10D COMMON NAILS AT WINDOWS OR WINDOWS 18" BELOW FLOOR INCLUDING BASEMENTS, CELLARS AND GARAGE, BUT NOT TO SLIGHT IN ACCORDANCE WITH FIGURE R301.2(7) NOT EXCEED BY "SIMPSON" EACH END OF STRAP MUST BE TEMPERED GLASS. INCLUDING CRAWL SPACES OR UNINHABITABLE ATTIC DEPENDING ON WEATHER THERE IS A HISTORY OF LOCAL 25% OF STUD FOR SECOND SHEATHING TO 23. ALL FINISHES TO BE SELECTED BY OWNER. SPACE. IN DWELLING UNITS WITH SPLIT LEVELS AND BATHROOM MASTER BATHROOM OVERLAY DAMAGE. 24. CONTRACTOR IS TO REMOVE AND LEGALLY WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT ZONING: R-10 **BORED HOLE** FLOOR ADDITIONS FIRST AND SECOND DISPOSE OF ALL DEBRIS FROM SITE. E. THE JURISDICTION SHALL FILL IN THE WIND SPEED FRO LEVELS A SMOKE DETECTOR INSTALLED ON THE UPPER BORED HOLE MAX DIA FLOOR & STUDS BY 25. RICO2.4 FACTORY BUILT FIREPLACES AND THE BASIC WIND SPEED MAP FIGURE R301.2(4). WIND LEVEL WILL SUFFICE FOR THE ADJACENT LOWER LEVEL 40% OF STUD MUST NOT BE MIN 12" CHIMNEYS FOR THE USE WITH THE SAME SHALL EXPOSURE CATEGORY SHALL BE DETERMINED ON A SITE LOT No.: 2 PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL LOCATED IN COMPLY WITH THE REQUIREMENTS OF UL 127, SPECIFIC BASIS IN ACCORDANCE WITH SECTION R 301.2.14 STORY BELOW THE UPPER LEVEL. SAME CROSS NFPA 211, R1002.1 & R1003.1. SECTION AS F. REFER TO TABLE RN1101.2 WINTER DESIGN DRY BULB 26. ALL LUMBER IN CONTACT WITH MASONRY OR NOTCH WHEN MORE THAN ONE SMOKE DETECTOR IS REQUIRED TO TEMPERATURE COLUMN. CONCRETE MUST BE TREATED LUMBER. AT STUD ASSEMBLY TO POWDER ROOM BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT, THE G. THE JURISDICTION SHALL FILL IN SEISMIC DESIGN 27. HANDRAILS/ RAILINGS AND GUARDRAILS ARE SILL PLAT CONNECTION ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A CATEGORY DETERMINED FROM SECTION R301.2.2.1 TO CONFORM WITH NFPA 101 & NYS BUILDING MANNER THAT THE ACTUATION OF THE ALARM WILL AT STUD TO FLOOR ASSEMBLY H. THE JURISDICTION SHALL FILL IN FLOOD HAZARD (9) 10D COMMON NAIL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.TTHI TO STUD CONNECTION 28. GAS PIPING AND APPLIANCES TO COMPLY WITH | A. THE DATE THE JURISDICTION ENTERED INTO THE AT EACH END OF ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS NFPA 54. **STRAP** NATIONAL FLOOD INSURANCE PROGRAM (DATE OF OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING (ONLY APPLICABLE TO TWO STORY ADOPTION OF THE FIRST CODE OR ORDINANCE FOR DOORS CLOSED. CARBON MONOXIDE AND SMOKE **CONFIGURATIONS)** BATHROOM - NO WORK / EXISTING TO REMAIN LAUNDRY ROOM - NO WORK / EXISTING TO REMAIN FOR ALTERNATE (12) 8d- COMMON NAILS SHOE PLATE DETECTORS SHOULD HAVE 2 DISTINCT SOUNDS. MANAGEMENT OF FLOOD HAZARD AREAS). -SUBFLOOR STRAP CONFIG B. THE DATES ARE CURRENTLY EFFECTIVE FIRM FBFM OR RM JOIST (3) 10d COMMON NAILS SAT OTHER FLOOD HAZARD MAP ADOPTED BY THE COMMUNITY | ALL SMOKE ALARMS MUST BE LISTED AND INSTALLED IN EACH END OF THE STRAP. 5" DIA X 16" ANCHOR BOLTS ACCORDANCE WITH THE PROVISIONS OF NEW YORK STATE AS MAY BE AMENDED. TOP PLATE AT STUD TO SLAB ASSEMBLY BUILDING CODE. NOTE: SITE IS NOT IN A FLOOD ZONE FOR ALTERNATE (14) 10d COMMON NAILS I. SEE FIGURE R301.2(5) FOR GROUND SNOW LOADS STRAP CONFIG. FOR EACH STRAP (TWO R303.6 UON ALL HABITABLE SPACE STRAPS TOTAL ARE TO BE HEATED BY PERIMETER BASE BOARD HOT WATER AND WILL PLUBING RISER FOR SECOND SHEATHING TO OVERLAY COMPLY WITH THE REQUIREMENTS DIAGRAM FLOOR ADDITIONS FIRST AND SECOND FLOOR OF THE NYS BUILDING CODE. & STUDS BY MIN 12" SCALE: N/A DRAWING LIST / ARCHITECTURAL DRAWINGS DRAWING LIST / ARCHITECTURAL DRAWINGS CARROLL RESIDENCE SHEET NO. SHEET NAME SHEET NO. SHEET NAME A-000.00 GENERAL NOTES A-102.00 | SECOND FLOOR PLAN A-001.00 ZONING COMPUTATIONS A-103.00 | ATTIC AND ROOF PLAN A-002.00 | SITE PLAN, PHOTOS/ILLUSTRATION A-200.00 | EAST ELEVATION DM-100.00 BASEMENT AND FIRST FLOOR PLAN A-201.00 | WEST ELEVATION DM-101.00 SECOND FLOOR PLAN AND ROOF PLAN A-202.00 NORTH ELEVATION A-100.00 | BASEMENT PLAN A-203.00 | SOUTH ELEVATION A-301.00 NORTH-SOUTH SECTION, A-101.00 | FIRST FLOOR PLAN

Pinecrest Group, Alex Stojanovic 315 West 39th Street, suite 1104, New York, NY 10018

Cook & Cook Architects Architects of Record

8 Haymaker Lane, Levittown, NY 11756

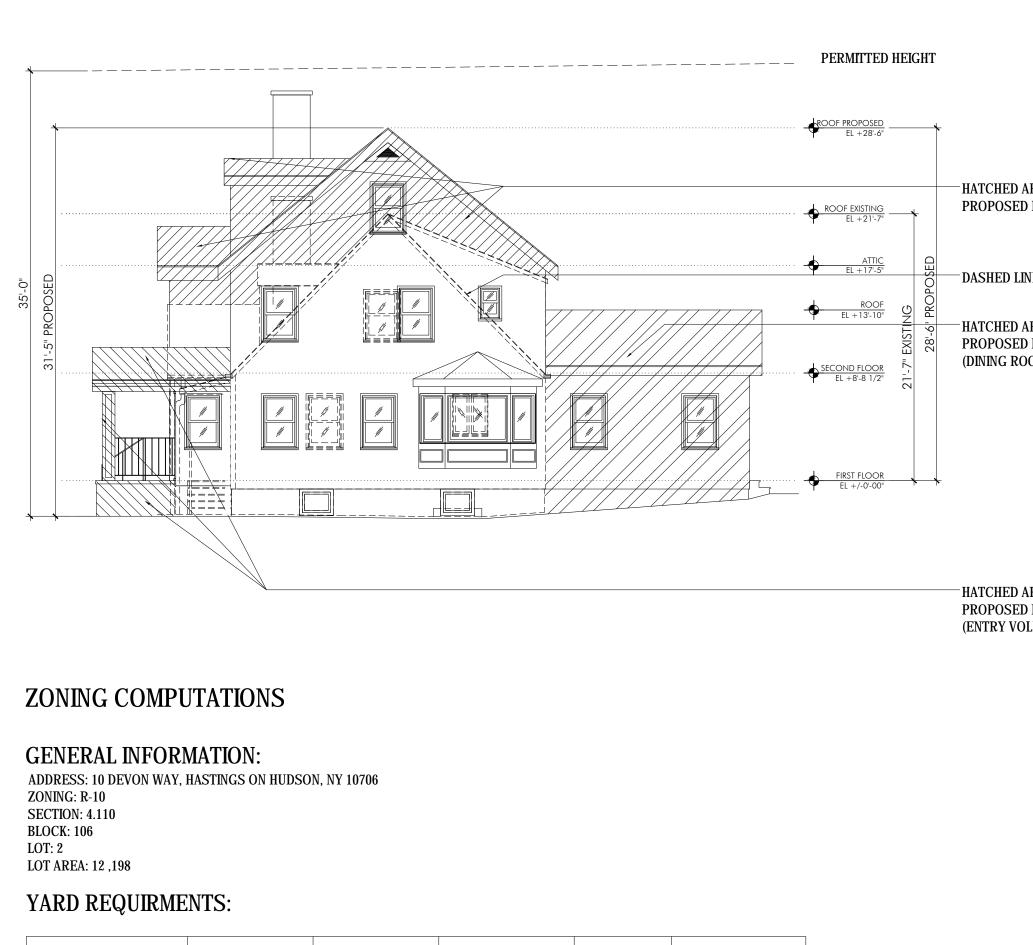
BLOCK No.: 106 SECTION: 4.110

CARROLL RESIDENCE 10 DEVON WAY |HASTINGS-ON-HUDSON, NY 10706

VANESSA AND SEAN CARROLL

GENERAL NOTES

A-000.00



ПЕМ	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIENCE REQ.
FRONT YARD	30'	30'	24'-0"	295-68	YES
SIDE YARD 1	29'	18'	18'	295-68	NO
SIDE YARD 2	16'-5"	12'	16'-5"	295-68	NO
REAR YARD	71'-2"	30'	69'-8"	295-68	NO

## LOT COVERAGE:

ITEM	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIENCE REQ.	
% STRUCTURE	7.4%	25%	14.5%	295-68	NO	
AREA STRUCTURE	908	3,049	1,773	295-68	NO	
% DEVELOPMENT	15.45%	35%	22.41%	295-68	NO	
AREA DEVELOPMENT	2,639	4,269	3,827	295-68	NO	

## IMPERVIOUS SURFACE

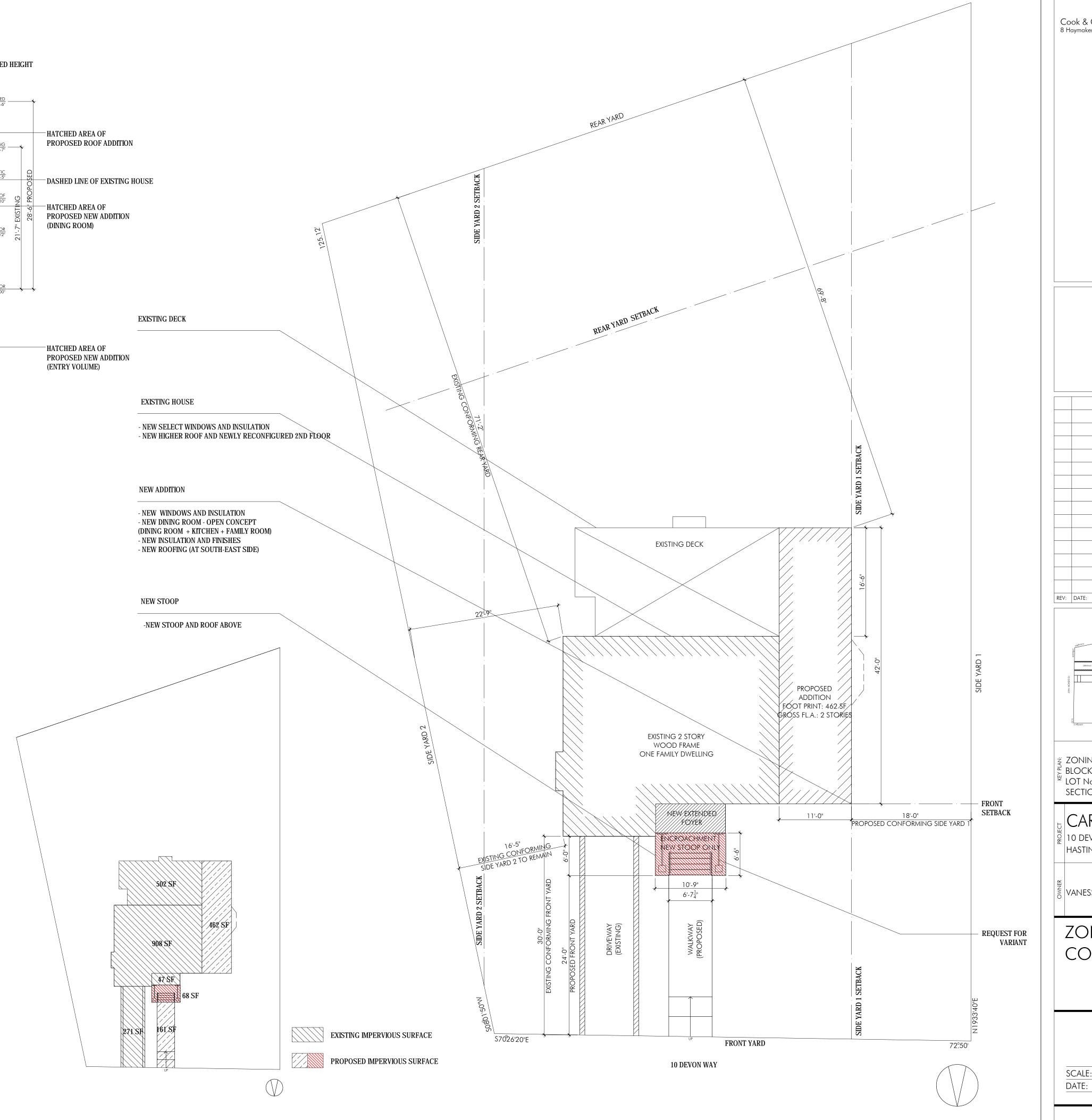
ITEM	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIENCE REQ.
%	17.03%	35%	19.83%	295-68	NO
AREA	2,078	4,269	2,419	295-68	NO

### HEIGHT REGULATIONS

ITEM	EXISTING	ALLOWED	PROPOSED	REFERENCE	VARIENCE REQ.
HEIGHT (FT)	21'-7"	35'	28'-6"	295-68	NO
STORIES	2	2 1/2	2	295-68	NO

## FLOOR AREA

ITEM	EXISTING	PROPOSED	AMOUNT ADDED	REFERENCE	VARIENCE REQ.
BASEMENT	908	1,038	130	295-68	NO
FIRST FLOOR	908	1,773	865	295-68	NO
SECOND FLOOR	823	1,016	193	295-68	NO



Pinecrest Group, Alex Stojanovic Design Architect 315 West 39th Street, suite 1104, New York, NY 10018

Cook & Cook Architects

8 Haymaker Lane, Levittown, NY 11756

Architects of Record

ISSUE:

ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

CARROLL RESIDENCE
10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

VANESSA AND SEAN CARROLL

ZONING COMPUTATIONS

A-001.00

SCALE: 1/4"=1'0" PROJ. No.: 1614

DATE: 6.10.2016. DRAWN BY: SK

CHECKED BY: AS

or. A3

Architects of Record

Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756

REV: DATE:

ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

CARROLL RESIDENCE

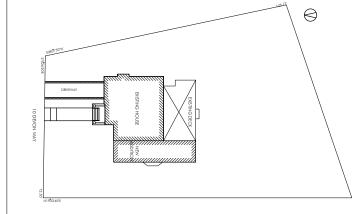
ू 10 DEVON WAY HASTINGS-ON-HUDSON, NY 10706

SITE PLAN PHOTOS/ILLUSTRATION

A-002.00

Architects of Record

Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756



ä ZONING: R-10 를 BLOCK No.: 106 <sup>≝</sup> LOT No.: 2

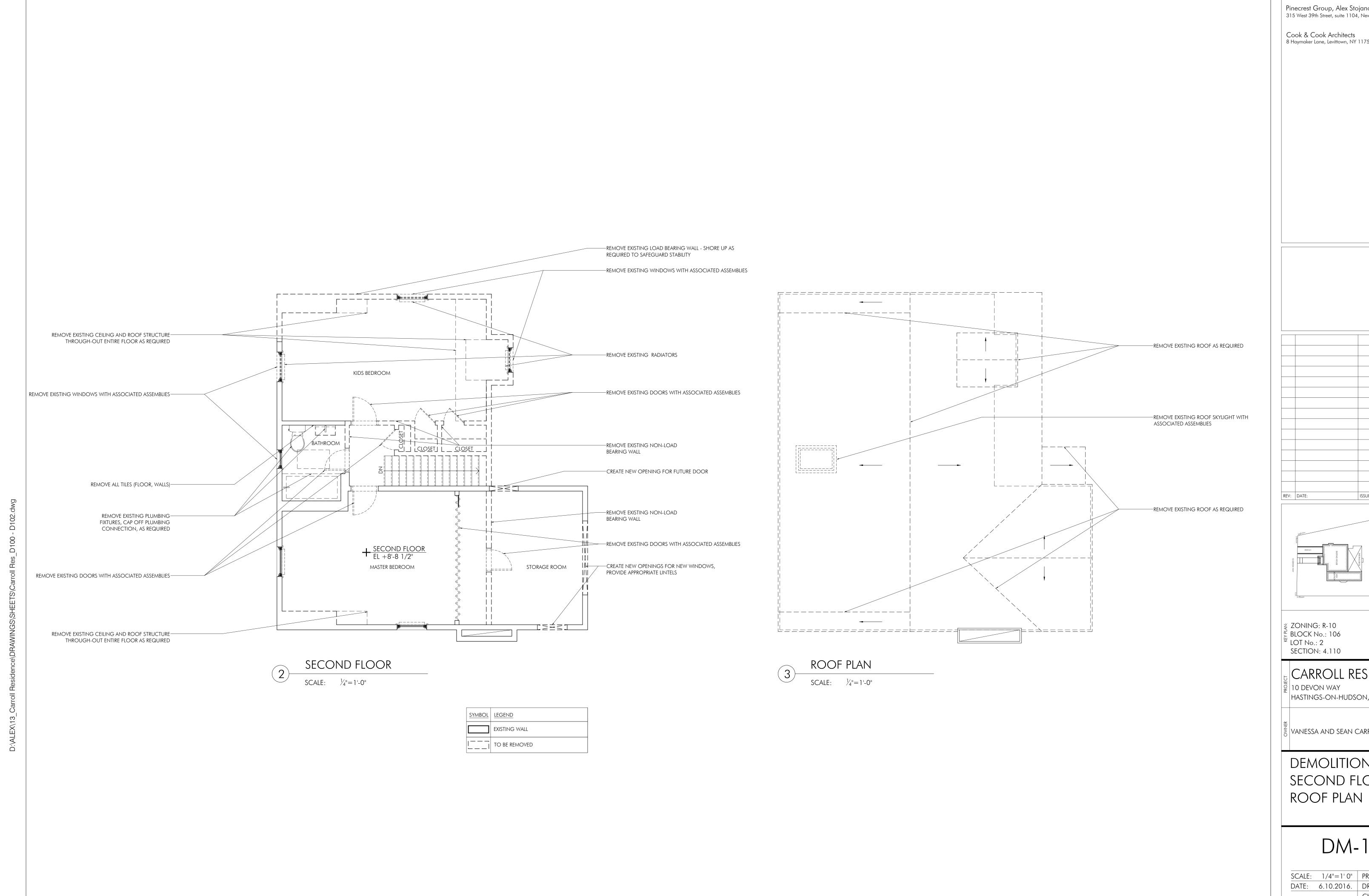
CARROLL RESIDENCE

☑ 10 DEVON WAY HASTINGS-ON-HUDSON, NY 10706

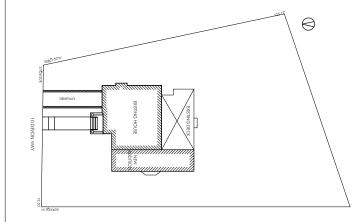
VANESSA AND SEAN CARROLL

DEMOLITION PLAN-BASEMENT AND FIRST FLOOR

DM-100.00



Cook & Cook Architects
8 Haymaker Lane, Levittown, NY 11756 Architects of Record



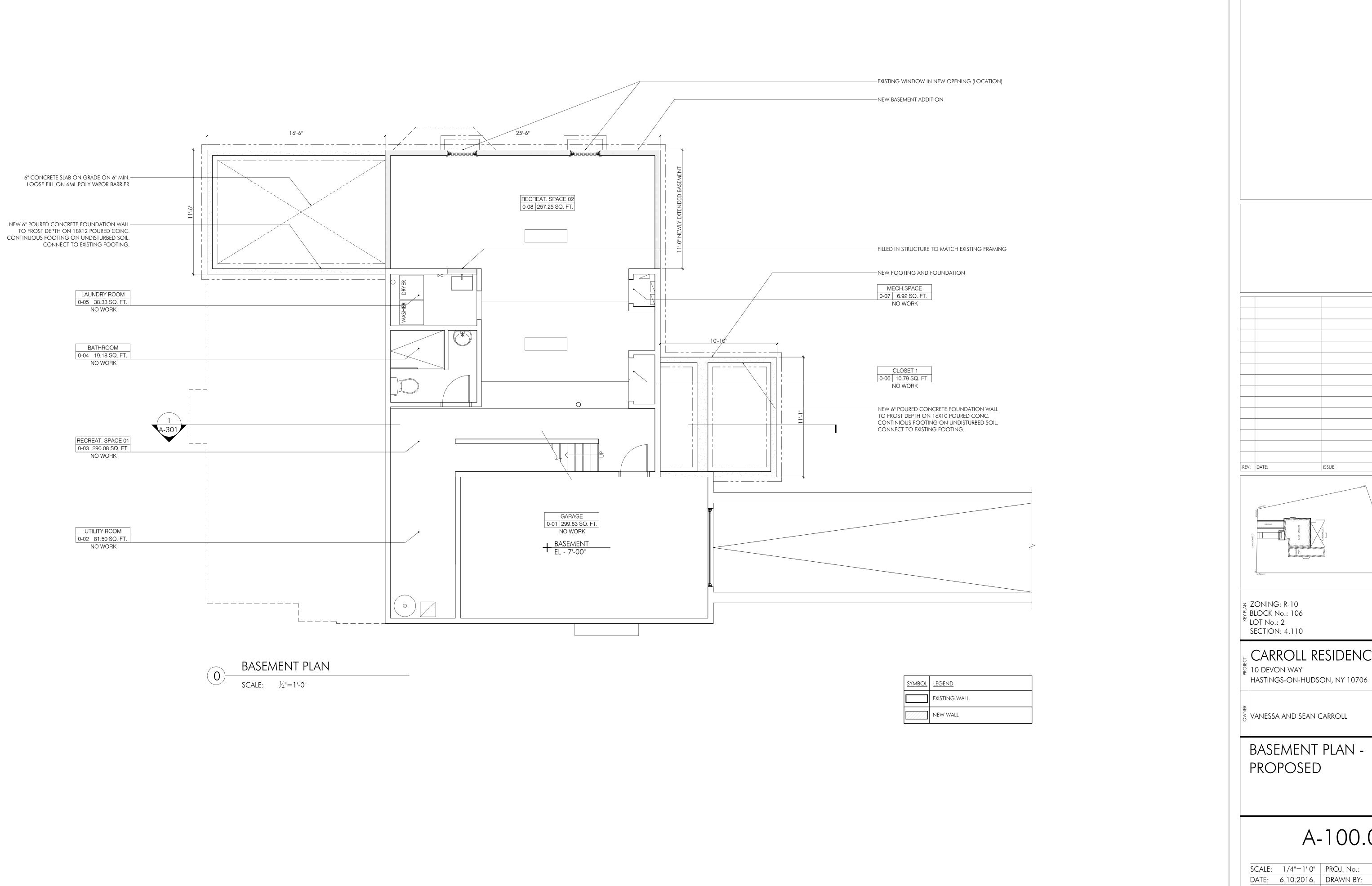
CARROLL RESIDENCE

HASTINGS-ON-HUDSON, NY 10706

VANESSA AND SEAN CARROLL

DEMOLITION PLAN-SECOND FLOOR AND

DM-101.00



Architects of Record

Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756

CARROLL RESIDENCE ୍ଛି 10 DEVON WAY

VANESSA AND SEAN CARROLL

BASEMENT PLAN -PROPOSED

A-100.00

Architects of Record

Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756

REV: DATE: ISSUE:

ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

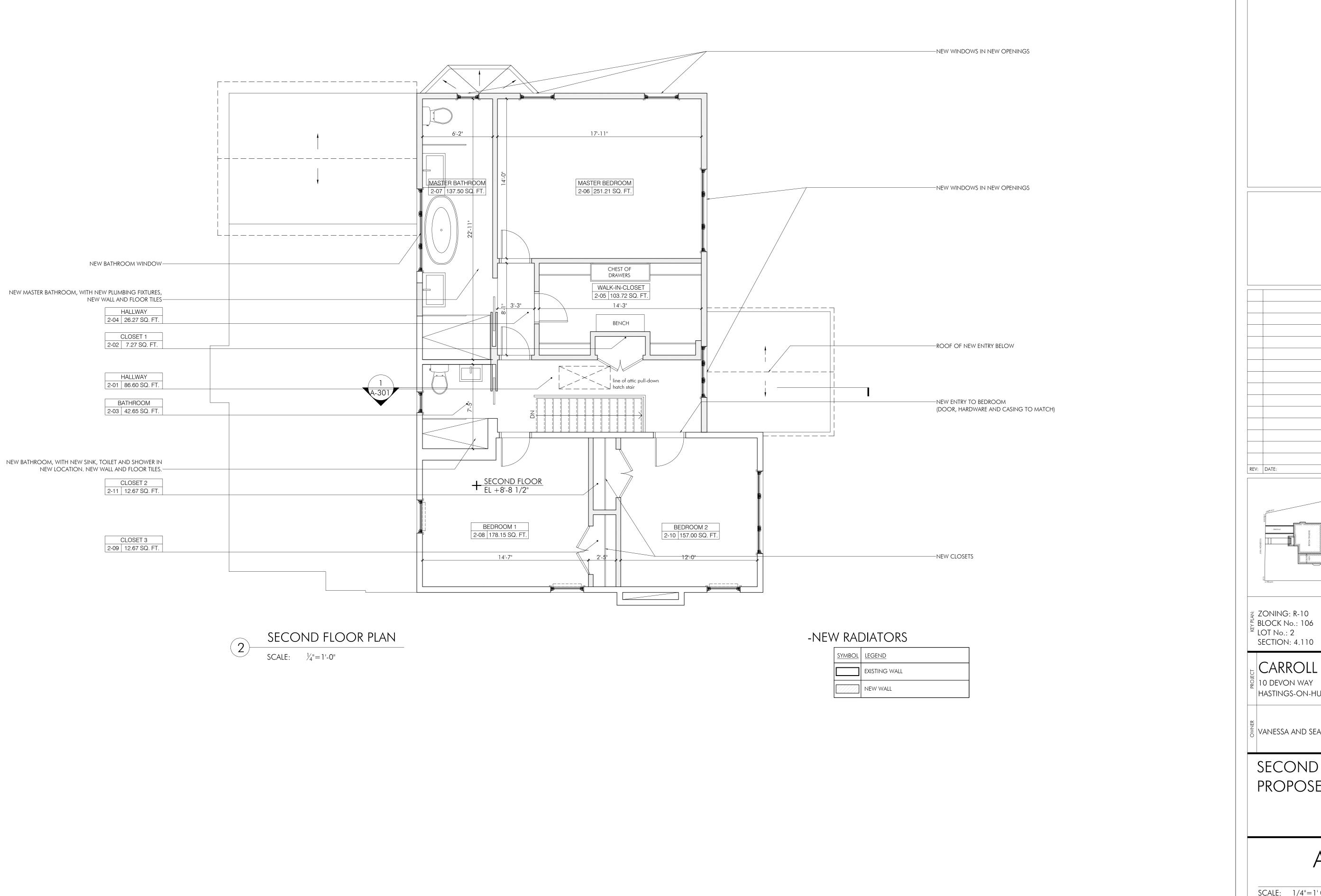
CARROLL RESIDENCE
10 DEVON WAY

HASTINGS-ON-HUDSON, NY 10706

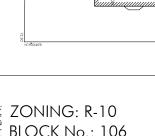
VANESSA AND SEAN CARROLL

FIRST FLOOR PLAN - PROPOSED

A-101.00



Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756 Architects of Record



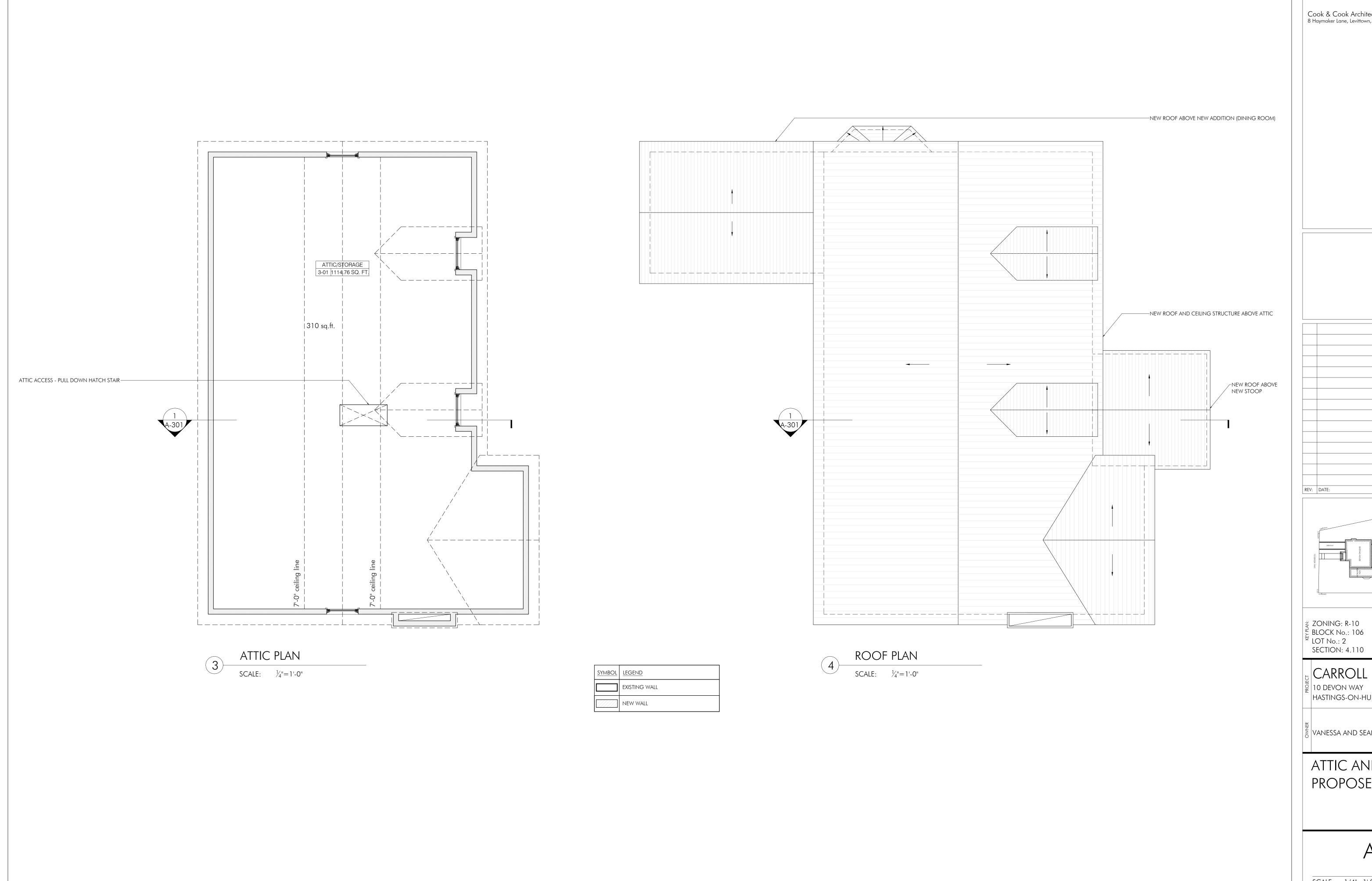
CARROLL RESIDENCE

୍ଛି 10 DEVON WAY HASTINGS-ON-HUDSON, NY 10706

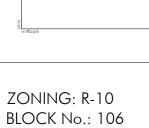
| | VANESSA AND SEAN CARROLL

SECOND FLOOR PLAN PROPOSED

A-102.00



Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756 Architects of Record



CARROLL RESIDENCE

HASTINGS-ON-HUDSON, NY 10706

VANESSA AND SEAN CARROLL

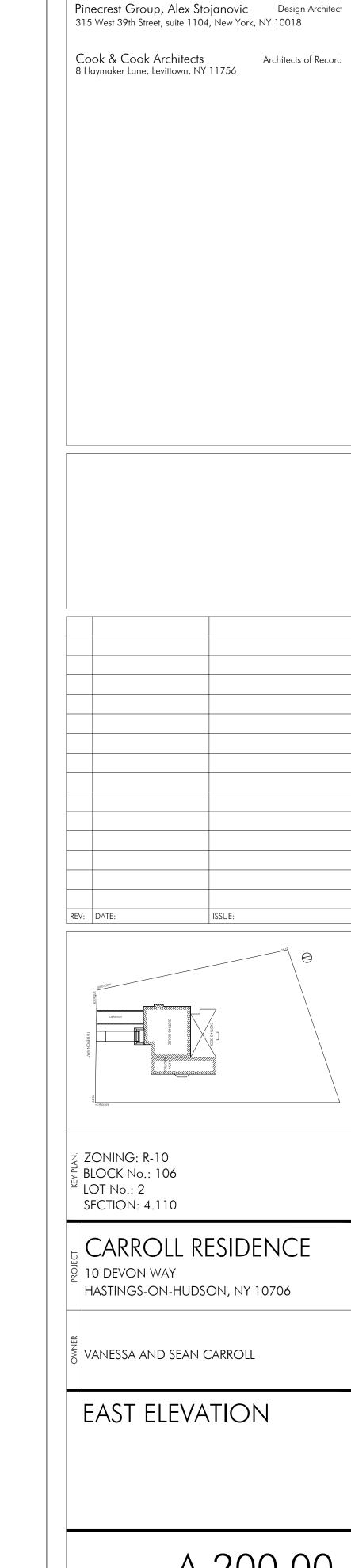
ATTIC AND ROOF PLAN PROPOSED

A-103.00

FIRST FLOOR EL +/-0'-00"

16'-6" PROPOSED ADDITION

EAST ELEVATION



NEW ROOF PROPOSED
HEIGHT
EL +28'-6"

—Dashed line of existing house

SECOND FLOOR EL +8'-8 1/2"

FIRST FLOOR EL +/-0'-00"

—new stoop and handrail

6'-0" PROPOSED STOOP-REPLACING EXISTING PORCH

NEW

existing

existing

existing

CARROLL RESIDENCE

A-200.00



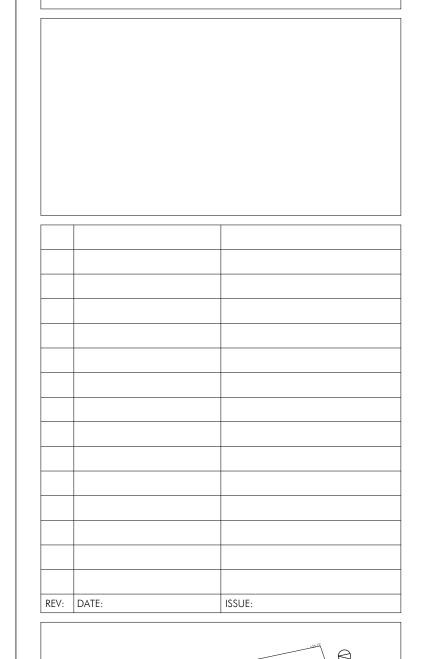
WEST ELEVATION

SCALE: 1/4"=1'-0"

Pinecrest Group, Alex Stojanovic Design Architect 315 West 39th Street, suite 1104, New York, NY 10018

Architects of Record

Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756



ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

CARROLL RESIDENCE

10 DEVON WAY
HASTINGS-ON-HUDSON, NY 10706

VANESSA AND SEAN CARROLL

WEST ELEVATION

A-201.00

 SCALE:
 1/4"=1'0"
 PROJ. No.:
 1614

 DATE:
 6.10.2016.
 DRAWN BY:
 SK

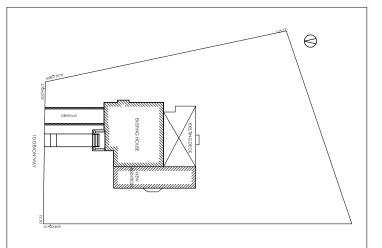
 CHECKED BY:
 AS

D1. A3



Architects of Record

Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756



ZY ZONING: R-10
BLOCK No.: 106
LOT No.: 2
SECTION: 4.110

REV: DATE:

CARROLL RESIDENCE
10 DEVON WAY

HASTINGS-ON-HUDSON, NY 10706

VANESSA AND SEAN CARROLL

NORTH ELEVATION

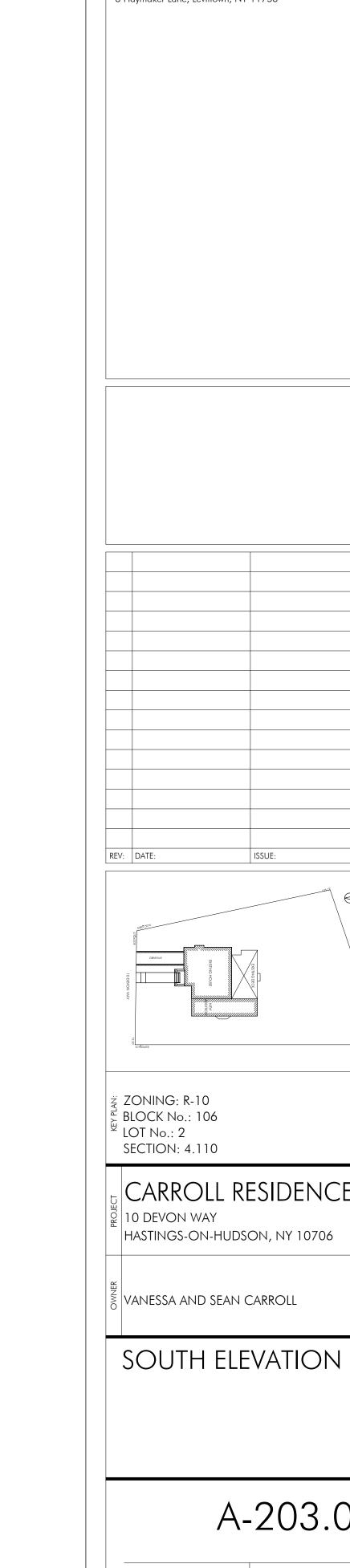
A-202.00

SCALE: 1/4"=1'0" PROJ. No.: 1614

DATE: 6.10.2016. DRAWN BY: SK

CHECKED BY: AS

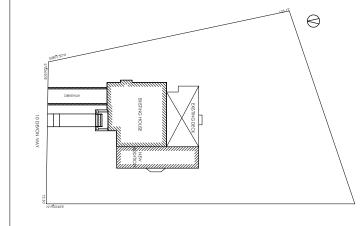
Ι. Λ





Architects of Record

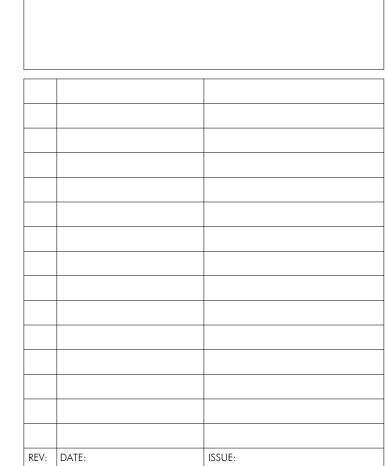
Cook & Cook Architects 8 Haymaker Lane, Levittown, NY 11756



CARROLL RESIDENCE

A-203.00

Architects of Record



HASTINGS-ON-HUDSON, NY 10706

DETAIL AT ENTRY

A-301.00