



VILLAGE OF HASTINGS-ON-HUDSON

Municipal Building

7 Maple Avenue

Hastings-on-Hudson, New York 10706

12 April 2021

Architectural Design Services: Village Hall

Addendum #2

Responses to Additional Questions

- Does the facility have an Environmental Hazmat Survey Report associated with all tasks within the RFP or shall the firms assume no abatement is required and out of our scope?
 - The Village does not have an Environmental Hazmat Survey Report associated with the tasks of the RFP. We do not anticipate abatement will be required.
- Will the existing building documentation be available prior to bid date?
 - The existing building documentation will not be available prior to the bid date.
- Please advise if there are any M/WBE & SDVOB requirements.
 - There are no M/WBE & SDVOB requirements.
- Is LEED certification being sought?
 - LEED certification is not being sought as part of this project. However, the principles of LEED design are being requested.
- What is the existing roof composition and how old is it?
 - The roof was replaced between 1997-1999 and it is a torch down roof with insulation and gravel.
- The facility is not a registered property under SHPO; but deemed eligible. Are any local Landmark committees, planning boards associated with the interior or exterior planning for this facility?
 - No local landmark committees or planning boards associated with the interior or exterior planning for this facility.
- Please advise on scope [of HPD bathrooms and showers in the locker rooms], is there any existing floorplans that can be shared? What is the square foot of the existing bathroom and shower room and how many stalls/fixtures are being replaced?
 - The existing floorplans are attached as Exhibit A. The existing bathroom is 138 square feet with 3 sinks, 1 toilet, and 2 showers.
- Please advise if the renovation only involves cosmetic/aesthetics upgrades i.e. (fixtures, tile, paint etc.) or if the modifications/renovations require upgrading electrical, mechanical systems.
 - This is a full renovation project. New exhaust is required as well as air conditioning and heat.
- What is the existing locker room's dimensions?
 - 1 @ 60 square feet (6x10), 1 @ 99 square feet (9x11).
- Is there existing plumbing within the vicinity of the proposed location [PBA Lounge]?
 - Yes



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- What is the square foot requirement for access-control [storage space]?
 - 250 square feet. Attached as Exhibit B.
- Is the unexcavated area accessible from the interior of the proposed level or will access be required from the floor above?
 - The area is accessible from the proposed level.
- What is the Village's intent with the unexcavated area? Will it include a full excavation, construction of a new floor slab, and/or require underpinning?
 - The intent of the unexcavated area is to create the access-controlled storage area. Approximately 12 yards of soil will need to be removed as part of the excavation work. It will not require underpinning, but will require a concrete slab.
- Does the Village want to upgrade the entire electrical service to increase overall capacity in order to add EV charging? Or is it only an electrical service modification to provide power to the EV charging stations (assuming the electrical service has sufficient space and capacity)?
 - The entire building will need an electrical service capacity increase to accommodate the increased needs of the Village, including, but not limited to, the installation of additional EV infrastructure.
- How many parking spots are allocated for future EV Charging stations and where are they proposed?
 - As the Village fleet expands, 4 parking spots on the west side of the building will be allocated for EV vehicles.

Exhibit A

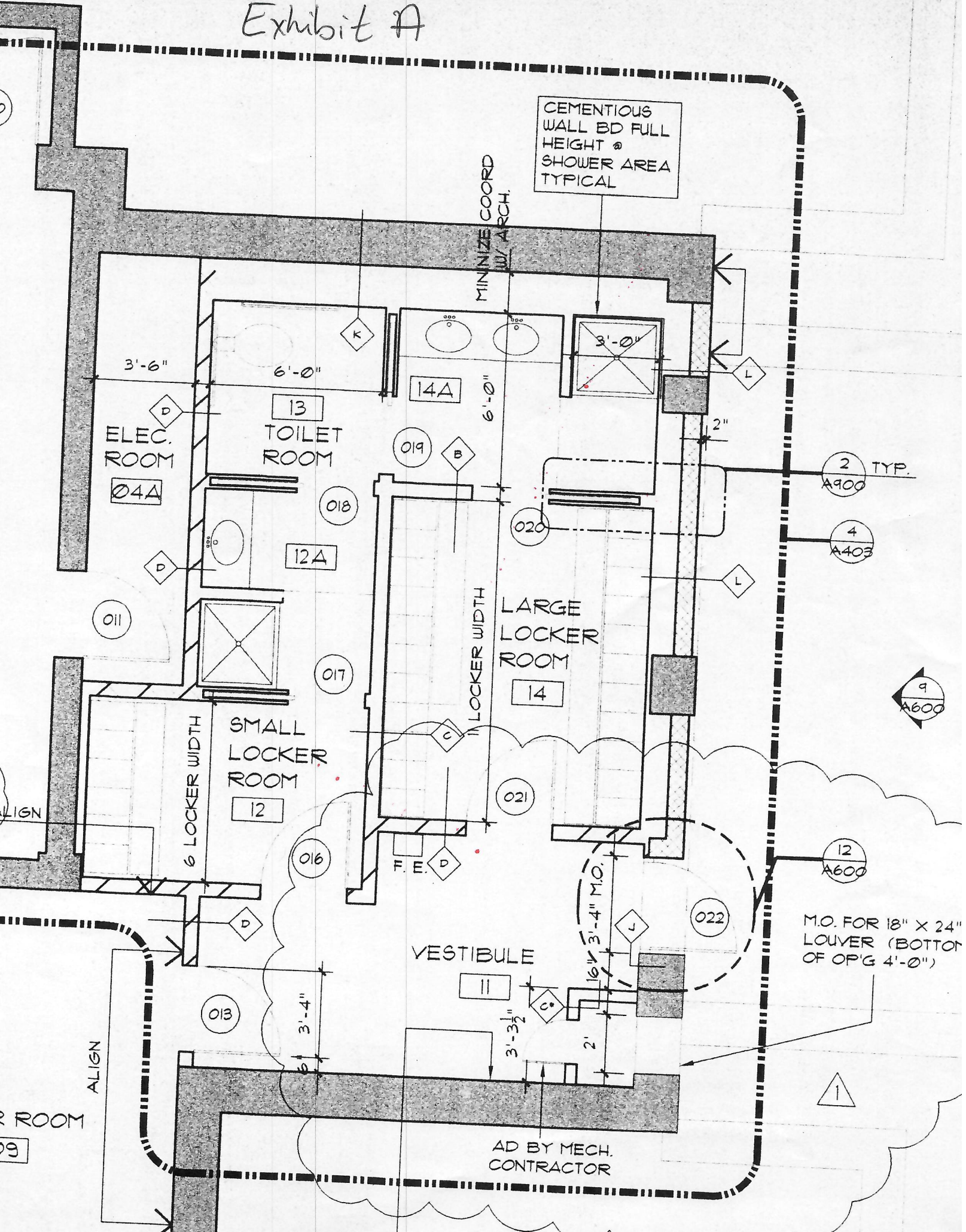


Exhibit B

