

CASTRO WATSON

55 ROSEDALE AVE, HASTINGS ON HUDSON, NY 10706

1 of 1

June 10, 2021

Planning Board
Village of Hastings on Hudson
7 Maple Avenue
Hastings on Hudson, NY 10706

Members of the Planning Board:

RE: Proposed Alterations at 65 Hillside Avenue (Tax ID 4.80-62-20)

Please find attached revised drawings showing the following minor changes and clarifications that had been requested during our previous May meeting:

1. Foundation pier detail for the deck and rear second means of egress.
2. Pervious paving detail.
3. In lieu of a trench drain and to address the ponding of water at the end of the driveway, we are proposing to replace the entire existing concrete slab with pervious paving.

Please note, the Architectural Review Board reviewed this project during the June 07 meeting and voted to approve this project.

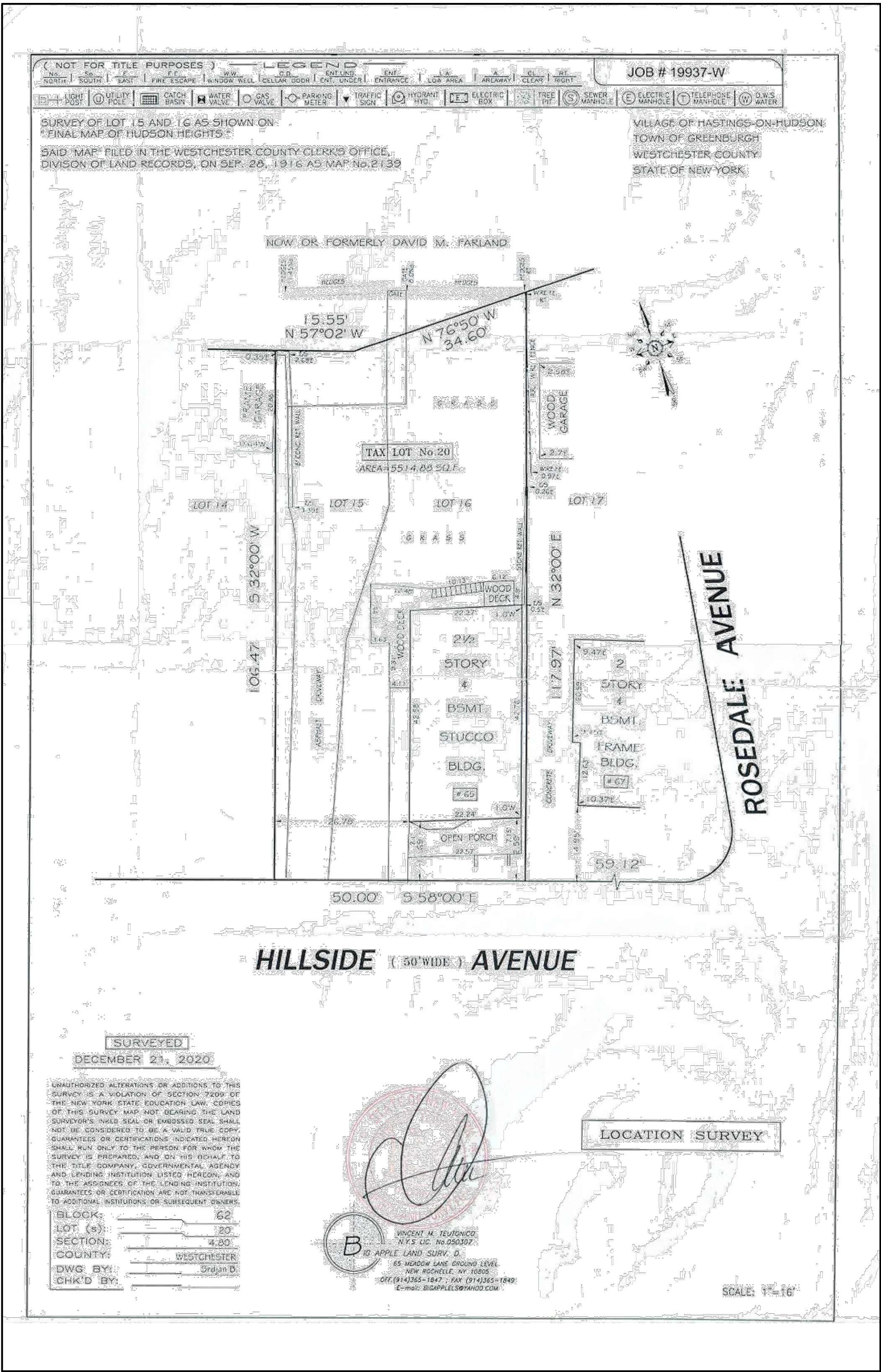
Thank you for your time and consideration of the proposed alterations.

Sincerely,

Adelina Castro, RA

CC: Donna Polizio, Owner

Enclosed: Drawings T-1.0, T-2.0, SP-1.0, A-1.0, A-2.0, and LP-1.0



ARCHITECT
 CASTRO WATSON
 55 ROSEDALE AVE
 HASTINGS ON HUDSON, NY 10706
 T 917 415 0732
 ACASTRO@CASTROWATSON.COM

OWNER
 DONNA POLIZIO & AARON FELIZ
 65 HILLSIDE AVE
 HASTINGS ON HUDSON, NY 10706

ISSUE	DATE	DESCRIPTION
01	15 APR 2021	PLANNING BOARD SUBMISSION
02	24 MAY 2021	ARB SUBMISSION
03	10 JUN 2021	PLANNING BOARD SUBMISSION

PROJECT
 65 HILLSIDE AVE
 HOH, NY 10706

PROJECT NUMBER
 65H 2020

DRAWING TITLE
 SURVEY

DATE
 APRIL 15, 2021

SCALE
 AS NOTED

SHEET
 NORTH
 ARROW

SEAL & SIGNATURE

DRAWING NUMBER
 T-2.0

PAGE NUMBER
 2 OF 06

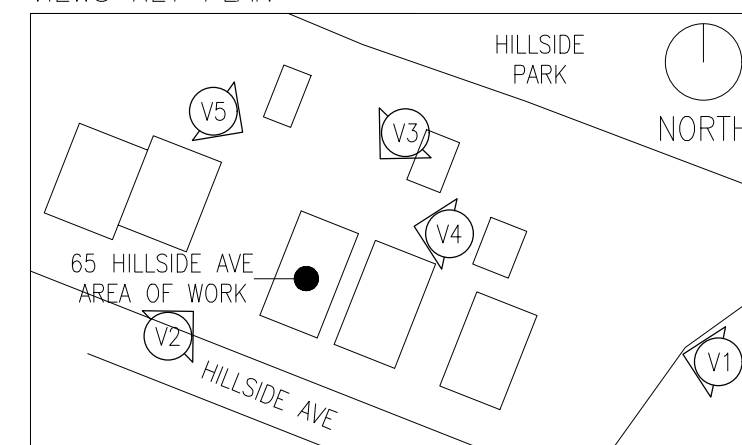
REMOVALS LEGEND

- TO BE REMOVED
- ▨ TO BE REMOVED

GENERAL REMOVALS NOTES

- ALL BUILDING/ STRUCTURAL COMPONENTS (COLUMNS, BEAMS, SLABS, ENVELOPE WINDOWS & DOORS, ETC.) TO REMAIN, UNLESS OTHERWISE NOTED.
- EXISTING FIREPROOFING TO REMAIN AT STRUCTURAL COMPONENTS.
- CHANNELING OR CORE DRILLING OF BUILDING STRUCTURE IS NOT PERMITTED, UNLESS OTHERWISE NOTED.
- EXISTING GAS, PLUMBING, ELECTRICAL LINE VOLTAGE, COMMUNICATION LOW VOLTAGE RISERS ARE NOT TO BE TOUCHED OR DISTURBED IN ANY WAY, UNLESS OTHERWISE NOTED.
- EXISTING RADIATORS, HEATING, AND AIR CONDITIONING AND ASSOCIATED PIPING ARE NOT TO BE TOUCHED OR DISTURBED IN ANY WAY, UNLESS OTHERWISE NOTED.

VIEWS KEY PLAN



ZONING ANALYSIS	THREE-FAMILY	ZONE R-7.5	TAX PARCEL (SECTION/BLOCK/LOT): 4.80-62-20			
REQUIRED YARDS	CODE CITATION	REQUIRED	EXISTING	PROPOSED	COMPLIANT	NOTES
MINIMUM LOT WIDTH	295-69.E	75 FT	50 FT	50 FT	NO	NO CHANGE
LOT AREA	295-69.E	7,500 SF	5,515 SF	5,515 SF	NO	NO CHANGE
FRONT YARD	295-69.F(1)(a)	25 FT	3.7 FT	3.7 FT	NO	NO CHANGE
REAR YARD	295-69.F(1)(b)	25 FT	47.7 FT	45.4 FT	YES	DECREASE
SUM SIDE YARDS	295-69.F(1)(c)	20 FT	20 FT	20.25 FT	YES	NO CHANGE
SIDE YARD 1	295-69.F(1)(c)	8 FT	1 FT	1 FT	NO	NO CHANGE
SIDE YARD 2	295-69.F(1)(c)	12 FT	19 FT	19.25 FT	YES	NO CHANGE
HEIGHT	295-69.F(1)(d)	2.5 STORIES FT 35 FT	35 FT avg.	35 FT avg.	YES	NO CHANGE

ZONING ANALYSIS	THREE-FAMILY	ZONE R-7.5	TAX PARCEL (SECTION/BLOCK/LOT): 4.80-62-20			
	CODE CITATION	ALLOWED	EXISTING	PROPOSED	COMPLIANT	NOTES
MAX. BUILDING & STRUCTURES (OTHER USE)	295-69.F(2)(b)	30 %	28 %	30 %	YES	2% INCREASE
BLDG & STRUCTURES CALCS						
BUILDING FOOTPRINT			965 SF	965 SF		
COVERED PORCH			159 SF	159 SF		
DECK			141 SF	182 SF		
FIRE ESCAPE			86 SF	156 SF		
RETAINING WALLS			38 SF	38 SF		
WALKS			154 SF	154 SF		
TOTAL BLDG & STRUCTURES		1,655 SF	1,543 SF	1,654 SF		

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PROJECT
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 HOH, NY 10706

PROJECT NUMBER
 65H 2020

DRAWING TITLE
SITEPLAN, ZONING TABLES, & REMOVAL PLANS

DATE
 APRIL 15, 2021

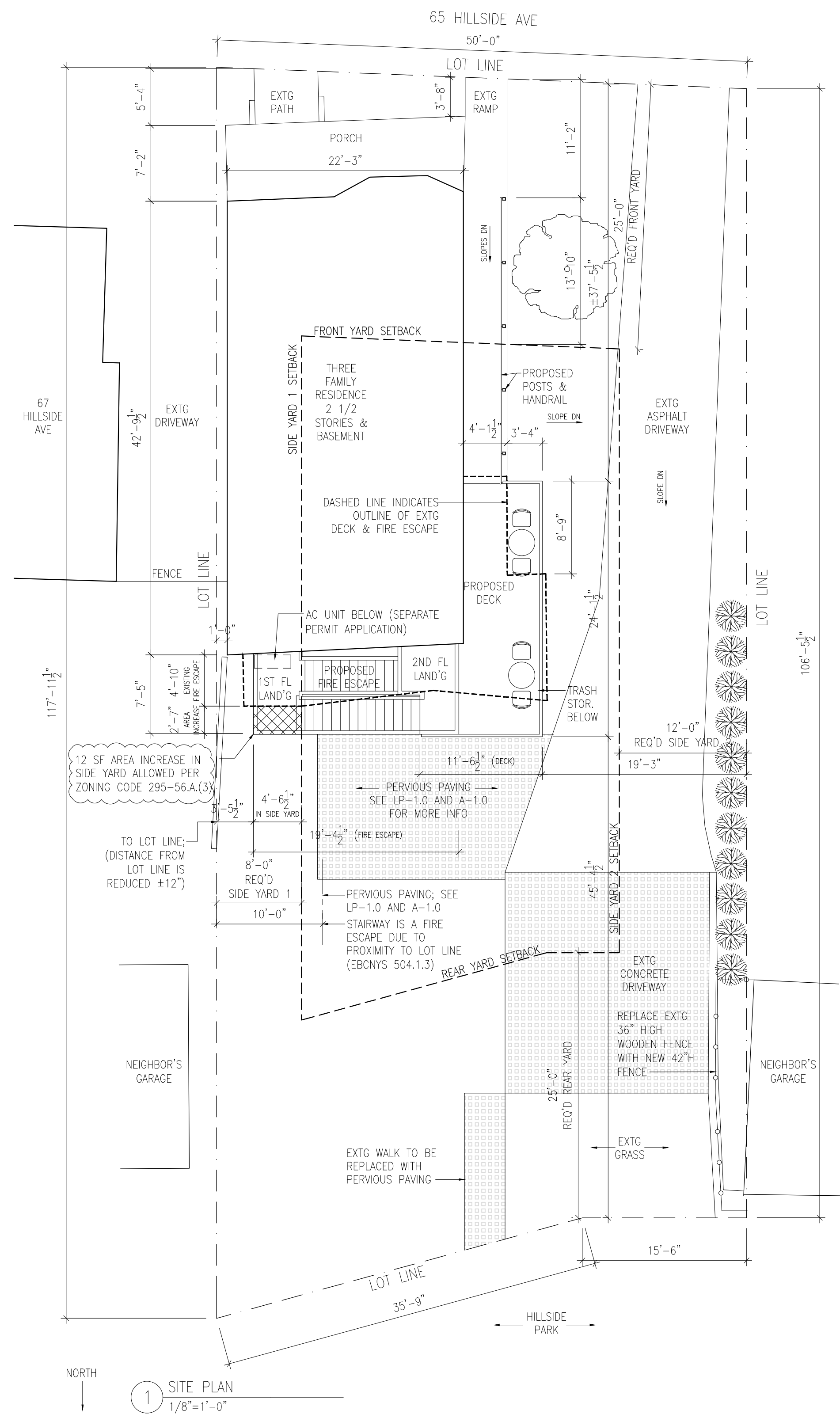
SCALE
 1/8" = 1'-0"



SEAL & SIGNATURE

DRAWING NUMBER
SP-1.0

PAGE NUMBER
 3 OF 06



VIEW 1: HILLSIDE AVE (TOWARDS CHEMKA POOL)



VIEW 2: WEST FACADE FROM HILLSIDE AVE



VIEW 3: EXTG FIRE ESCAPE/DECK



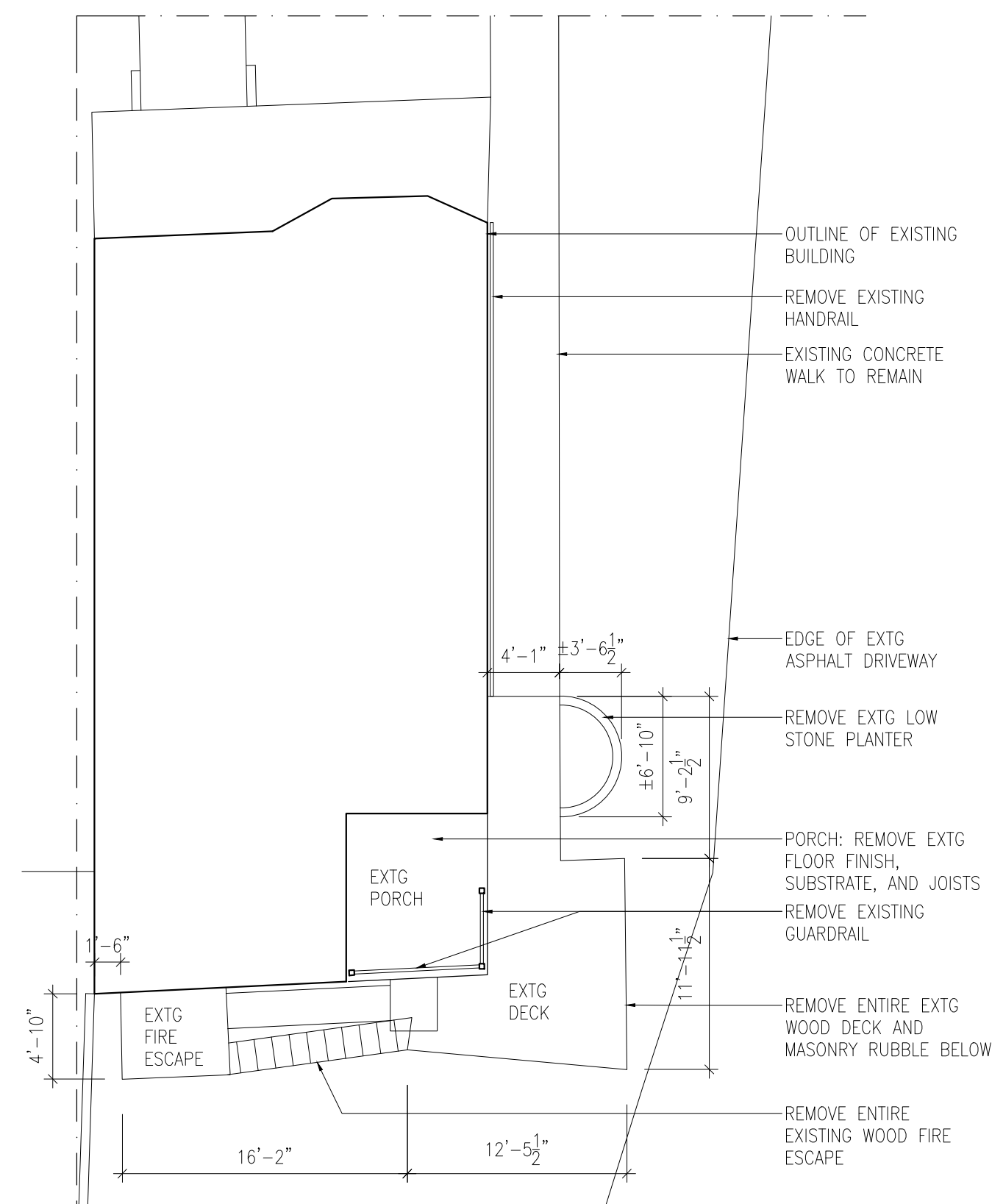
VIEW 4: FROM #67 HILLSIDE AVE REAR YARD



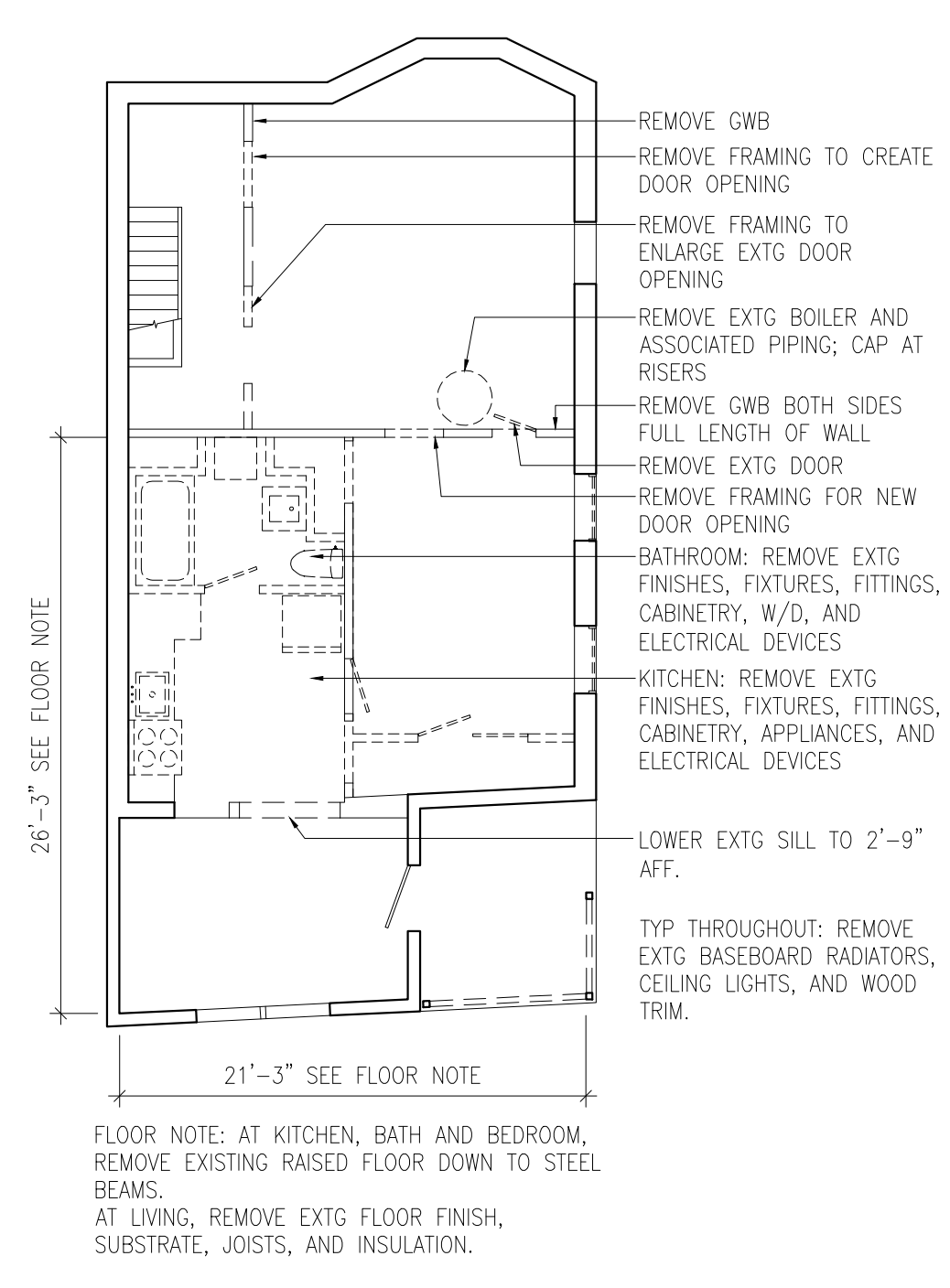
VIEW 6: FRONT FACADE



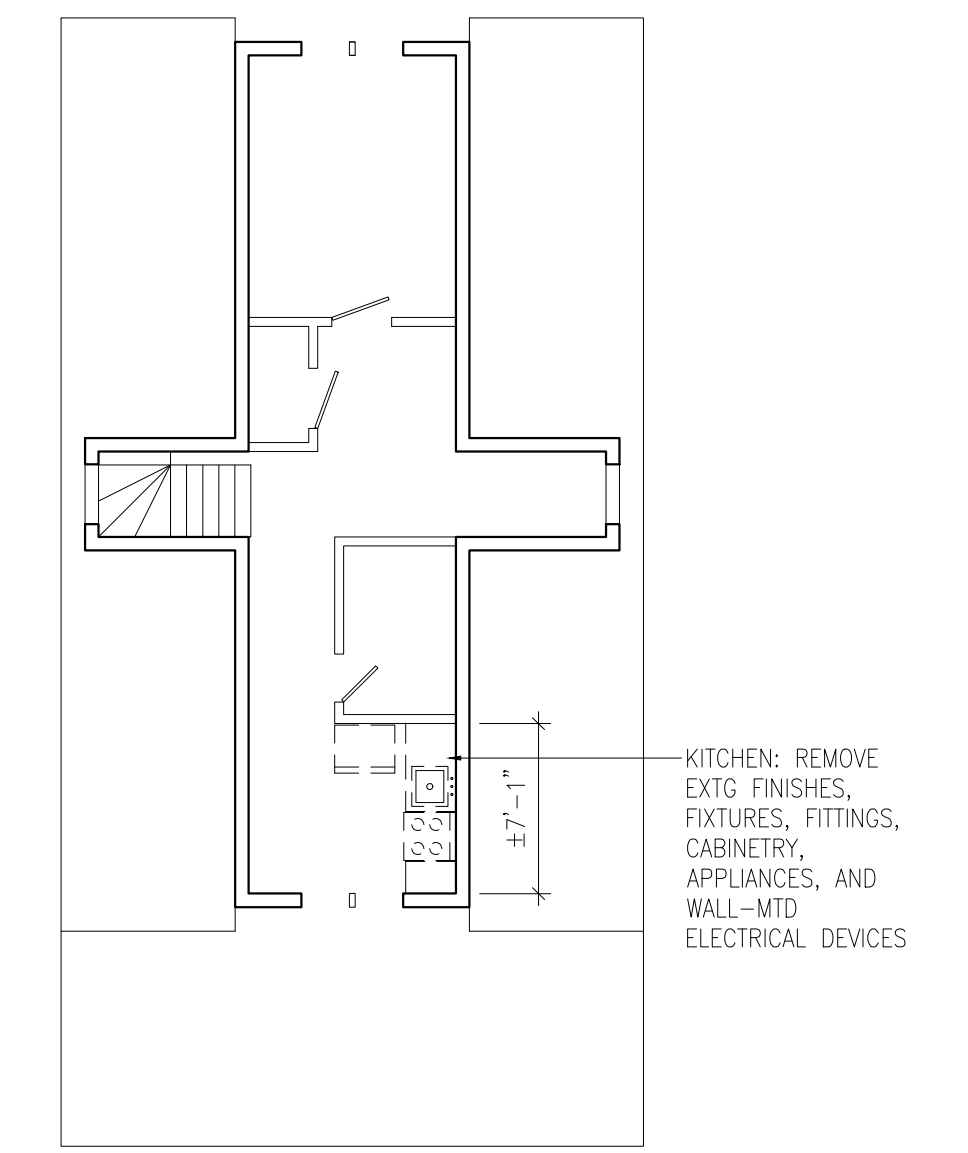
VIEW 5: FROM #63 HILLSIDE AVE REAR YARD



2 EXTERIORS REMOVALS PLAN
 1/8"=1'-0"

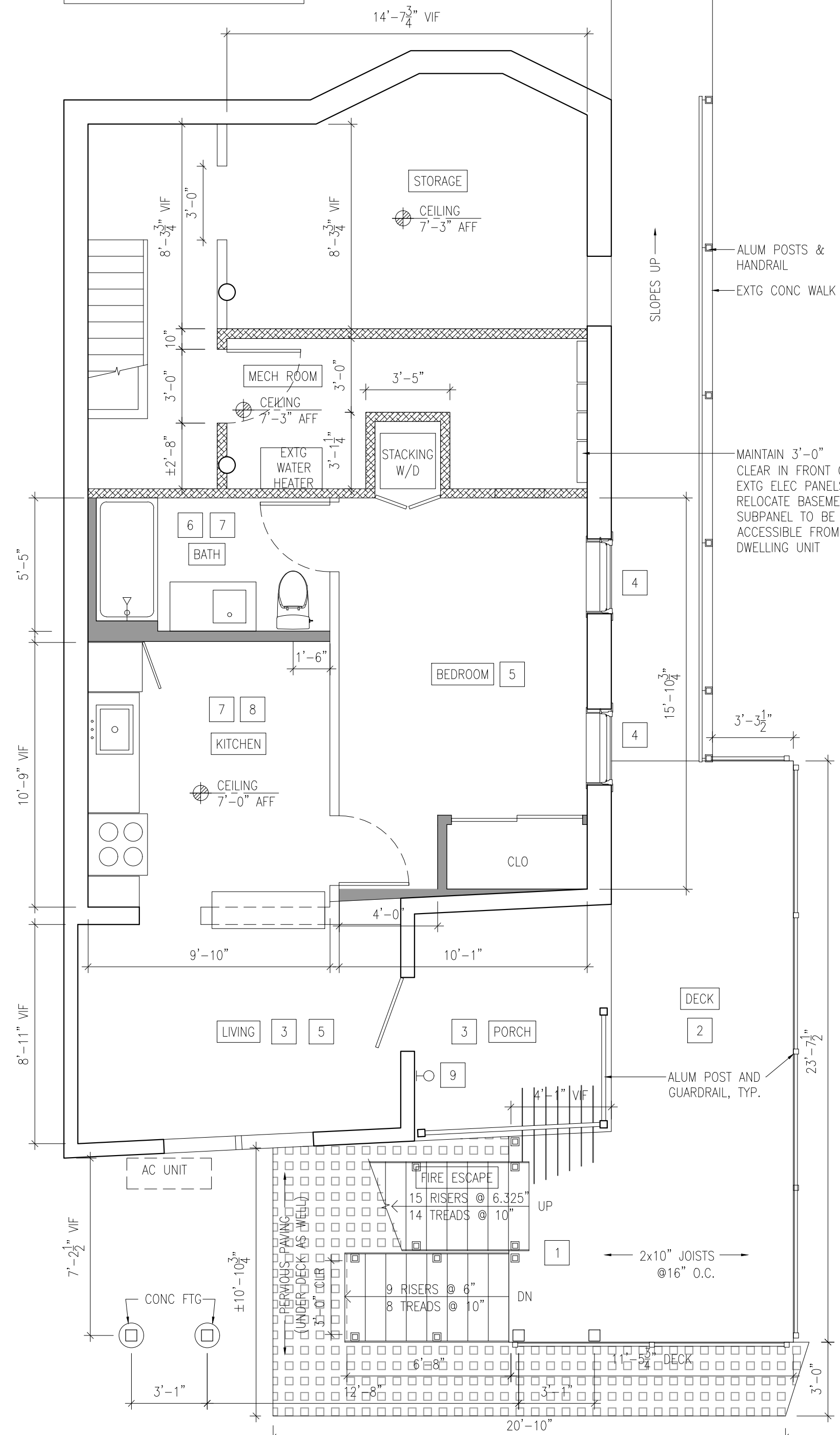


3 BASEMENT REMOVALS PLAN
 1/8"=1'-0"

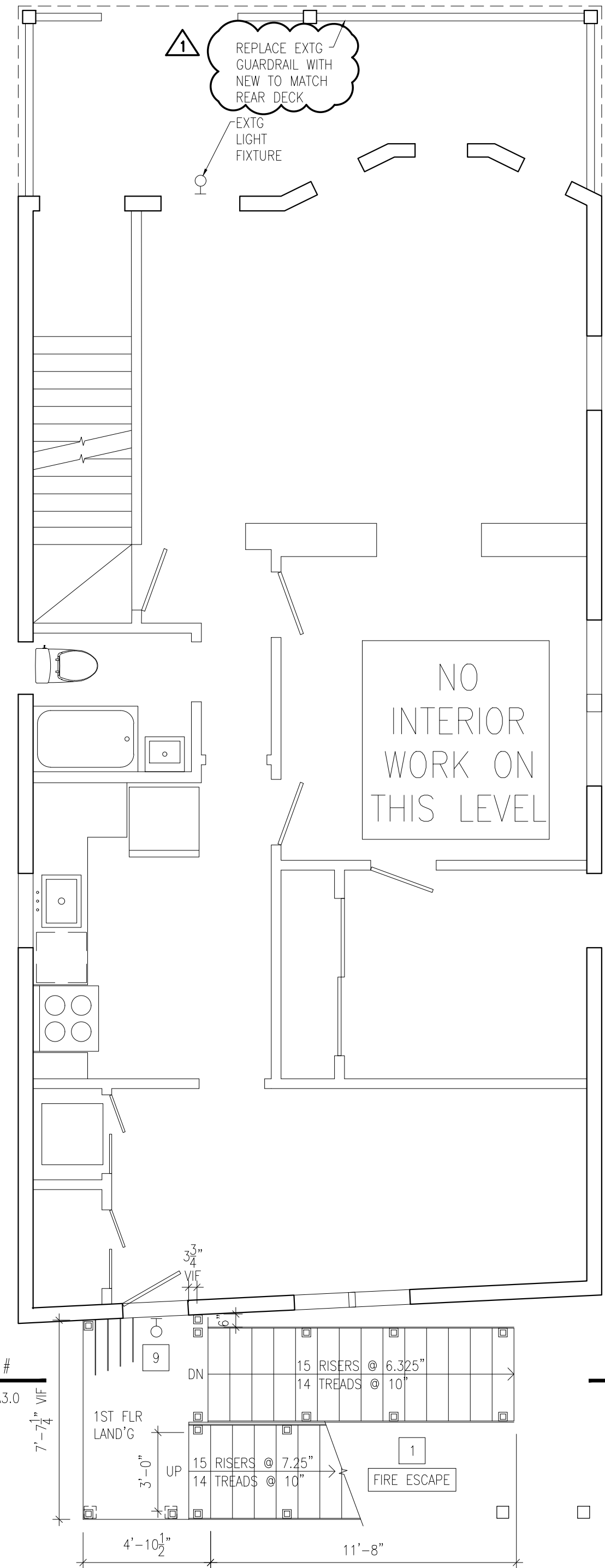


4 ATTIC REMOVALS PLAN
 1/8"=1'-0"

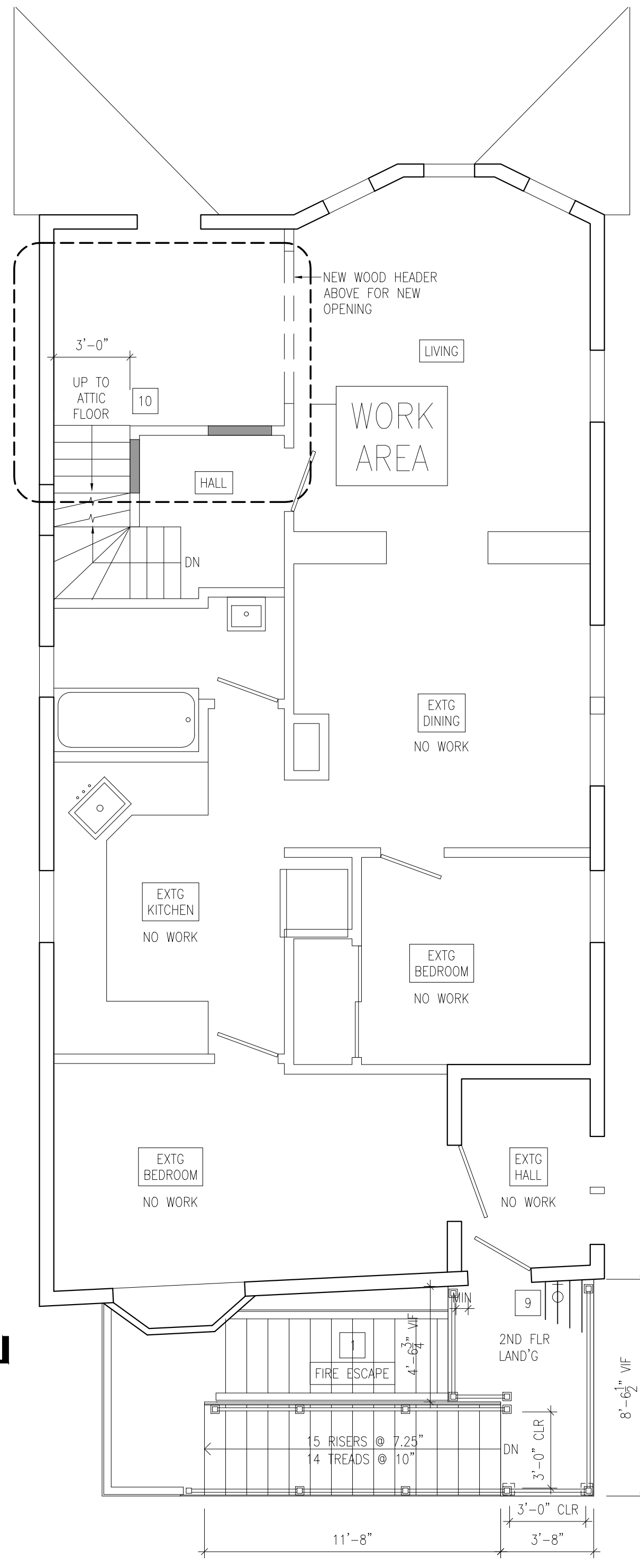
ENTIRE FLOOR IS WORK AREA



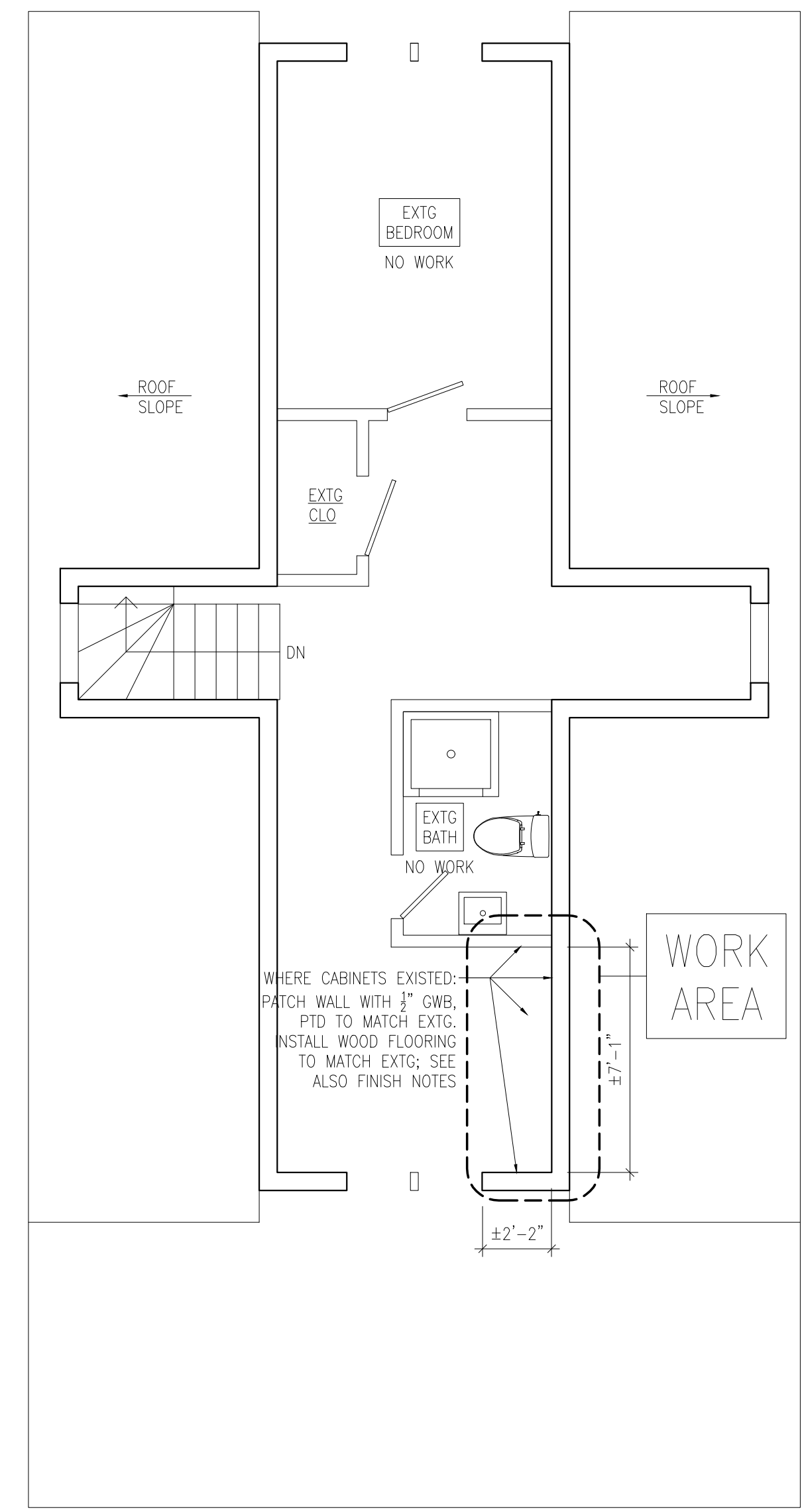
1 PROPOSED BASEMENT PLAN
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"



3 SECOND FLOOR PLAN
1/4" = 1'-0"



4 PROPOSED ATTIC FLOOR
1/4" = 1'-0"

- LEGEND**
- EXTG WALL
 - NEW 1-HOUR FIRE RATED INT. WALL PARTITION:
2X4 WOOD STUD WITH CONT. 1/2" TYPE X WALLBOARD BOTH SIDES, TOP AND BOTTOM JOINTS CAULKED; ALL BOARD SEAMS TAPED AND PRIMED (1) COAT. PTND WOOD BASEBOARD 1X3 FLAT STOCK
 - NEW INTERIOR WALL PARTITION:
2X4 WOOD STUD WITH CONT. 1/2" GYP. WALLBOARD, TOP AND BOTTOM JOINTS CAULKED; ALL BOARD SEAMS TAPED AND PRIMED (1) COAT. AT TUB, USE 1/2" DUROCK CEMENT BOARD ON ALL THREE SIDES I.L.O. GWB AND 1/2" MOISTURE RESIST. GWB AT ALL OTHER WALLS INSIDE BATHROOM.
 - PERVIOUS PAVING; SEE LP-1.0

WORK SCOPE NOTES

- 1 FIRE ESCAPE STRUCTURE:
 - FIRE ESCAPE SHALL BE CONSTRUCTED TO SUPPORT A LIVE LOAD OF 100 PSF AND NO LESS THAN NOMINAL 2 INCHES THICK FOR WOOD SUPPORTS.
 - BOTTOM OF POST CONCRETE FOOTINGS TO BE 12" BELOW FROST LINE AND SHALL REST ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 4000 PSF.
 - P.T. LEDGER BOARDS BOLTED TO WALL STUDS; DETAILS TO FOLLOW, PROVIDE COPPER FLASHING ABOVE LEDGER TO EXISTING EXTERIOR SHEATHING.
 - ALL FASTENERS TO BE MIN. 18 GAUGE, STAINLESS STEEL OR HOT-DIPPED GALVANIZED, STEEL APPROVED FOR EXTERIOR USE AND FRIV ASSEMBLIES, SUCH AS SIMPSON STRONG-TIE. INSTALL PER MANUF. RECOMMENDATIONS.
 - ALL WOOD TO BE PRESSURE-TREATED, TYP.
- 2 DECK:
 - DECK SUPPORTING FIRE ESCAPE SHALL BE CONSTRUCTED TO SUPPORT A LIVE LOAD OF 100 PSF AND NO LESS THAN NOMINAL 2 INCHES THICK FOR WOOD SUPPORTS.
 - 4X4 P.T. WOOD POSTS ON CONCRETE FOOTINGS.
 - 2X10 P.T. WOOD JOISTS @ 16" O.C., TYP.
 - ALL WOOD TO BE PRESSURE-TREATED, TYP.

- 3 NEW FLOOR STRUCTURE AT LOWERED ELEVATION TO BE CONFIRMED ONCE EXISTING FLOORING IS REMOVED:
 - PRESSURE-TREATED LEDGER BOARDS AT EXTG MASONRY PERIMETER FOUNDATION WALLS
 - PRESSURE-TREATED BLOCKING AT I-BEAMS
 - 2X10 PRESSURE-TREATED WOOD JOISTS AT 16" ON CENTER.
 - R-20 BATT INSULATION IN BETWEEN JOISTS
 - 1/2" PLYWOOD DECK
- 4 EMERGENCY ESCAPE & RESCUE WINDOW:
MARVIN ELEVATE CASEMENT 36"X40" (VIF SIZE IN FIELD) WITH TEMPERED, ARGON-FILLED DOUBLE PANE INSULATED GLAZING UNITS WITH LOW E COATING (MAX. .32 U-FACTOR AND MAC .4 SHGC) AND INSECT SCREENS. PROVIDE WINDOW OPENING CONTROL DEVICES COMPLIANT WITH ASTM F2090 AND EFRU REQUIREMENTS. WHITE FIBERGLASS EXTERIOR AND WHITE FACTORY-PTD WOOD INTERIOR; SATIN NICKEL HARDWARE.
- 5 NEW BASEBOARD HEATING IN BEDROOM AND LIVING
- 6 BATH WATERPROOFING: INSTALL LATICRETE 9235 LIQUID-APPLIED WATERPROOFING MEMBRANE AT FLOORS THROUGHOUT, FULL-HEIGHT AT TUB ALCOVE WALLS, AND UP TO 4FT AFF ALL OTHER WALLS.

- 7 REPLACE KITCHEN EXHAUST HOOD; REUSE DUCT TO EXTERIOR. REPLACE BATHROOM EXHAUST; REUSE DUCT TO EXTERIOR.
- 8 FIRE PROTECTION AND LIFE SAFETY DEVICES:
HARD-WIRED WITH BATTERY BACK-UP SINGLE OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED PER SECTION 907.2.10.2 OF THE BOCA'S AND FCNYS AT ALL THE FOLLOWING LOCATIONS: A) CEILINGS OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS; B) IN EACH ROOM USED FOR SLEEPING PURPOSES; C) IN EACH STORY WITHIN A DWELLING UNIT.

HARD-WIRED WITH BATTERY BACK-UP CARBON MONOXIDE DETECTION SHALL BE INSTALLED AND MAINTAINED PER SECTION 915 OF THE FCNYS WITHIN 10 FT OF A SLEEPING AREA WITHIN A DWELLING UNITS WITH A FUEL BURNING APPLIANCE IN A KITCHEN OR KITCHENETTE AND ON EACH STORY WITHIN A DWELLING UNIT.
- 9 EXTERIOR EGRESS LIGHTING WITH MIN. 90 MIN. BATTERY BACK-UP TO BE UL & IP65 RATED AND DARK SKY COMPLIANT; DURATION AND ILLUMINATION PER NYSBC 1008.3.4 & 1008.3.5; CONTROL WITH MOTION SENSOR. A MINIMUM 90% OF INTERIOR LIGHT FIXTURES TO BE HIGH-EFFICACY LAMPS.
- 10 NEW STAIR TREADS AND RISERS TO MATCH EXTG. EXTEND EXTG HANDRAIL DOWN TO LAST TREAD. PROVIDE NEW 3-WAY LIGHT SWITCH AT BOTTOM OF STAIR TO EXTG STAIR LIGHT.

FINISH NOTES

1. TILED FLOOR THROUGHOUT BASEMENT DWELLING UNIT WITH ELECTRIC HEAT MAT WITHIN GROUT. SPEC BY OWNER.
2. TYP. PTND 1X3 FLAT STOCK WOOD BASEBOARD ON GWB WALLS.
3. TYP. CEILING THROUGHOUT TO BE 1/2" TAPED, PRIMED, AND PTND GWB. AT MECHANICAL RM INSTALL 3" TYPE X GWB CEILING.
4. TYP. PAINTED WALL AND CEILING FINISH TO BE (2) COATS BENJAMIN MOORE NATURA ZERO-VOC LATEX ACRYLIC PAINT IN EGG SHELL COLOR BY OWNER. WOOD TRIM TO BE SEMI-GLOSS.
5. TYP. DECK/FIRE ESCAPE FLOORING TO BE TIMBERTECH AZEK VINTAGE COLLECTION 1X4 FLOOR BOARDS WITH CLASS A FLAME SPREAD RATING. COLOR TBD.
6. TYP. DECK/FIRE ESCAPE FASCIA BOARDS TO BE TIMBERTECH AZEK VINTAGE COLLECTION 1X12 (OR SIZE AS NEEDED) WITH CLASS A FLAME SPREAD RATING. COLOR TBD.
7. TYP DECK/FIRE ESCAPE ALUM POST AND GUARDRAIL BY TREX TO BE BLACK POWDER-COATED.
8. PERMEABLE PAVERS SPEC TBD.

APARTMENT FLOOR AREAS	
PROPOSED BASEMENT	463 SF
EXISTING 1ST FLOOR	824 SF
PROPOSED 2ND FLOOR/ATTIC DUPLEX	1,133 SF

BASEMENT LIGHT & VENTILATION CALCS					
ROOM	FLOOR AREA	LIGHT		VENTILATION	
		MIN. REQ'D PER FLOOR AREA	PROVIDED	MIN. REQ'D OPENABLE AREA	PROVIDED
LIVING	113 SF	9 SF	19 SF	5 SF	8 SF
BEDROOM	142 SF	11 SF	18 SF	6 SF	18 SF
KITCHEN + LIVING	198 SF	SEE BELOW		8 SF	8 SF
BATHROOM	50 SF	0 SF	0 SF	MIN. 20 cfm/50 SF	
ADJOINING SPACES	WALL AREA	MIN. WALL OPENG REQ'D PER FLOOR AREA	WALL OPENG PROVIDED	MIN. WALL OPENG REQ'D PER INT FLR AREA	WALL OPENG PROVIDED
KITCHEN	69 SF	10% OR 25 SF	35 SF	MIN. 1/2 WALL AREA	8% OR 25 SF

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PROJECT
65 HILLSIDE AVE
HOH, NY 10706

PROJECT NUMBER
65H 2020

DRAWING TITLE
FLOOR PLAN AND NOTES

DATE
APRIL 15, 2021

SCALE
1/4" = 1'-0"

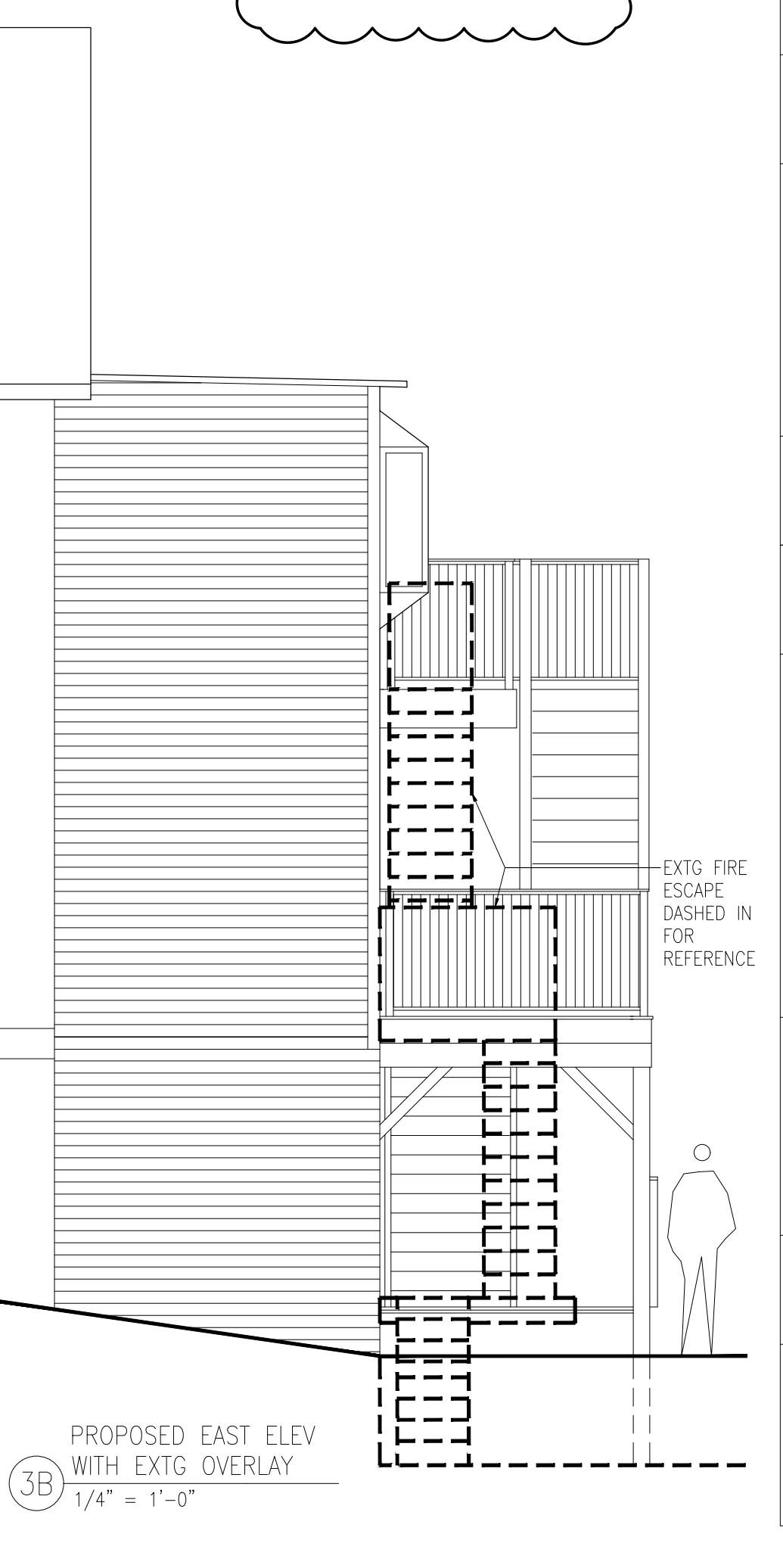
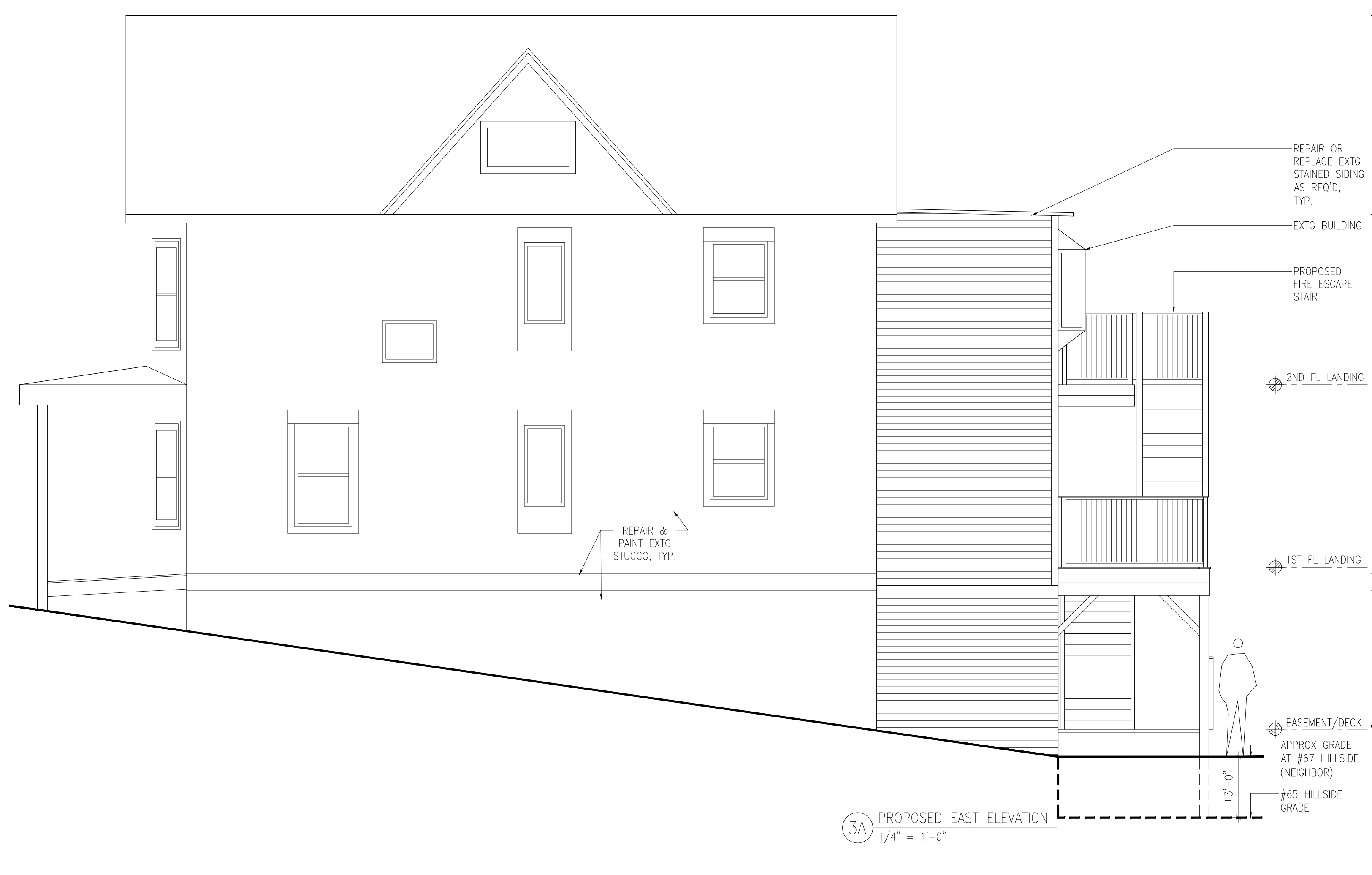
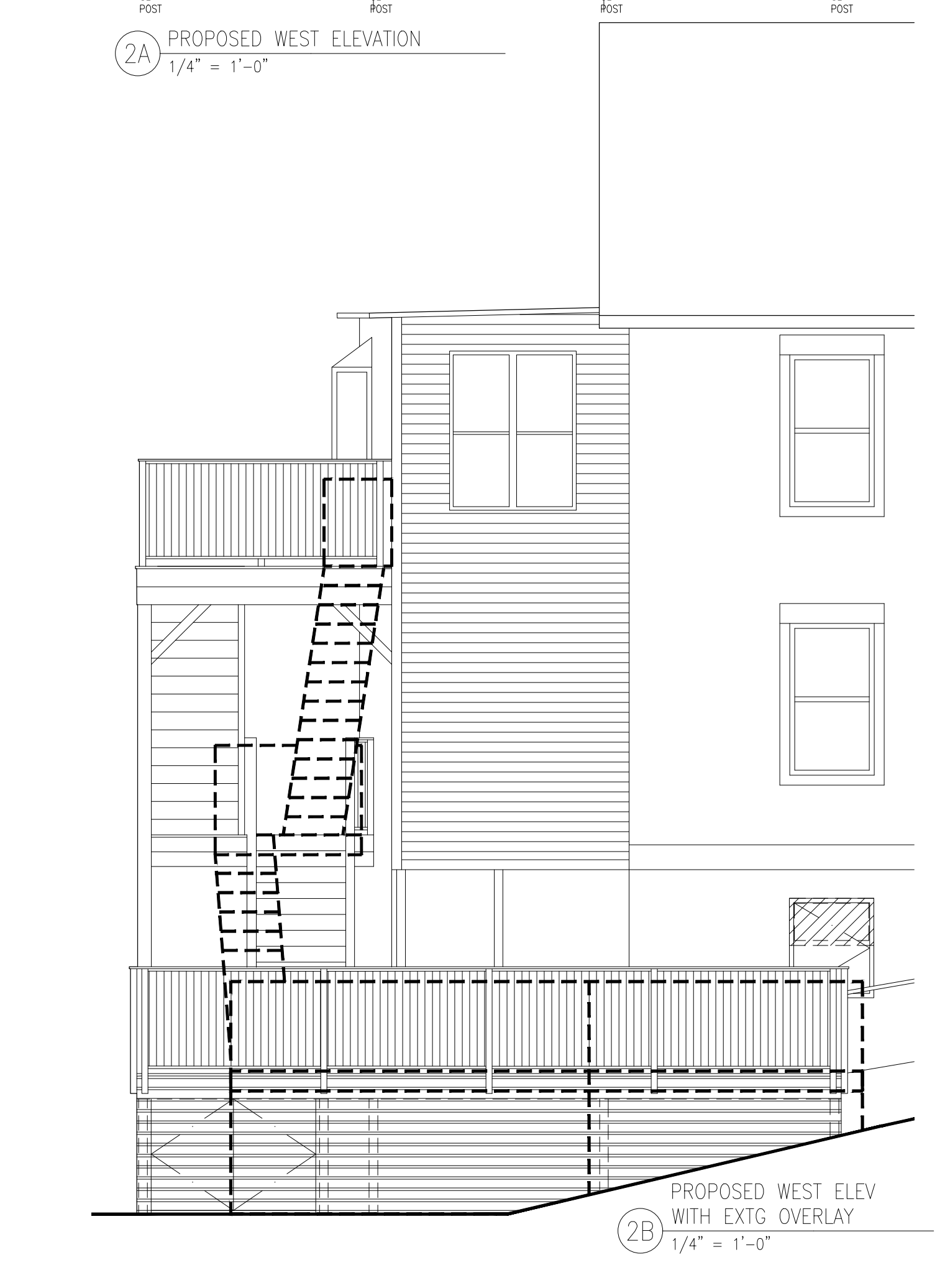
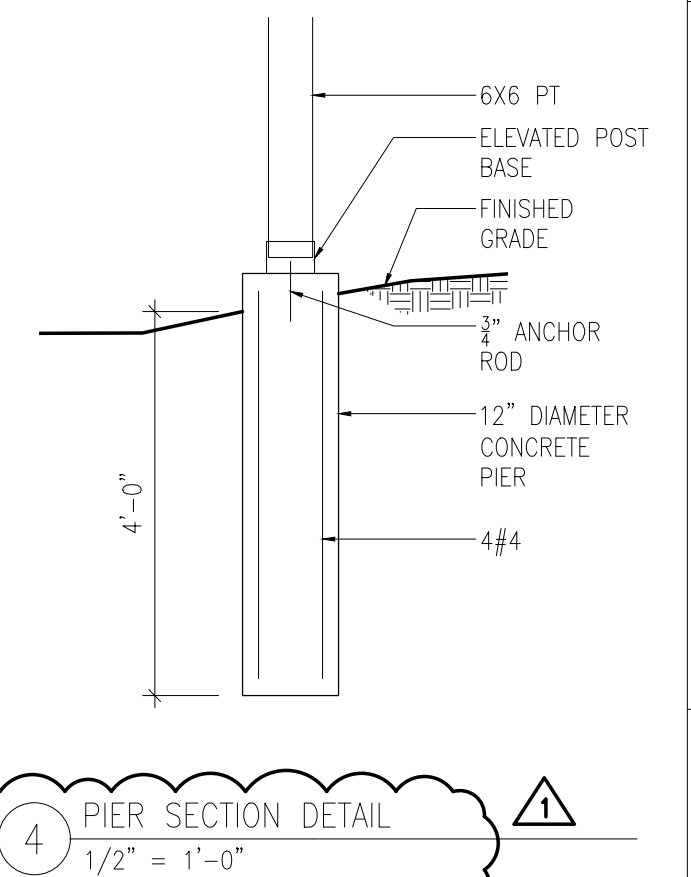
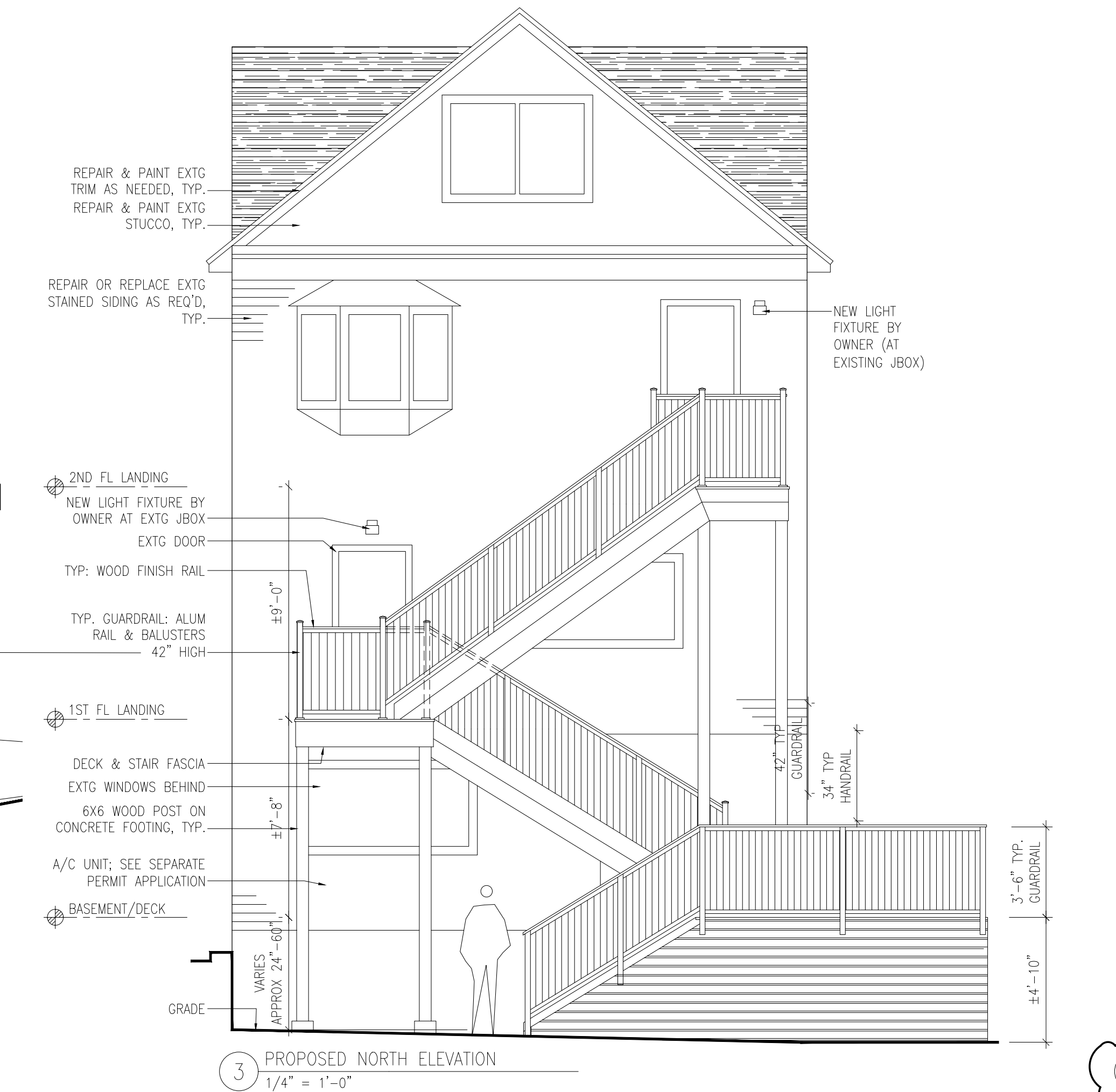
SHEET NORTH ARROW

SEAL & SIGNATURE

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

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ARCHITECT CASTRO WATSON 55 ROSEDALE AVE HASTINGS ON HUDSON, NY 10706 T 917 415 0732 ACASTRO@CASTROWATSON.COM		
OWNER DONNA POLIZIO & AARON FELIZ 65 HILLSIDE AVE HASTINGS ON HUDSON, NY 10706		
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PROJECT 65 HILLSIDE AVE HOH, NY 10706		
PROJECT NUMBER 65H 2020		
DRAWING TITLE EXTERIOR ELEVATIONS		
DATE APRIL 15, 2021		
SCALE 1/4" = 1'-0"	SHEET NORTH ARROW	
SEAL & SIGNATURE		
DRAWING NUMBER A-2.0		
PAGE NUMBER 5 OF 06		

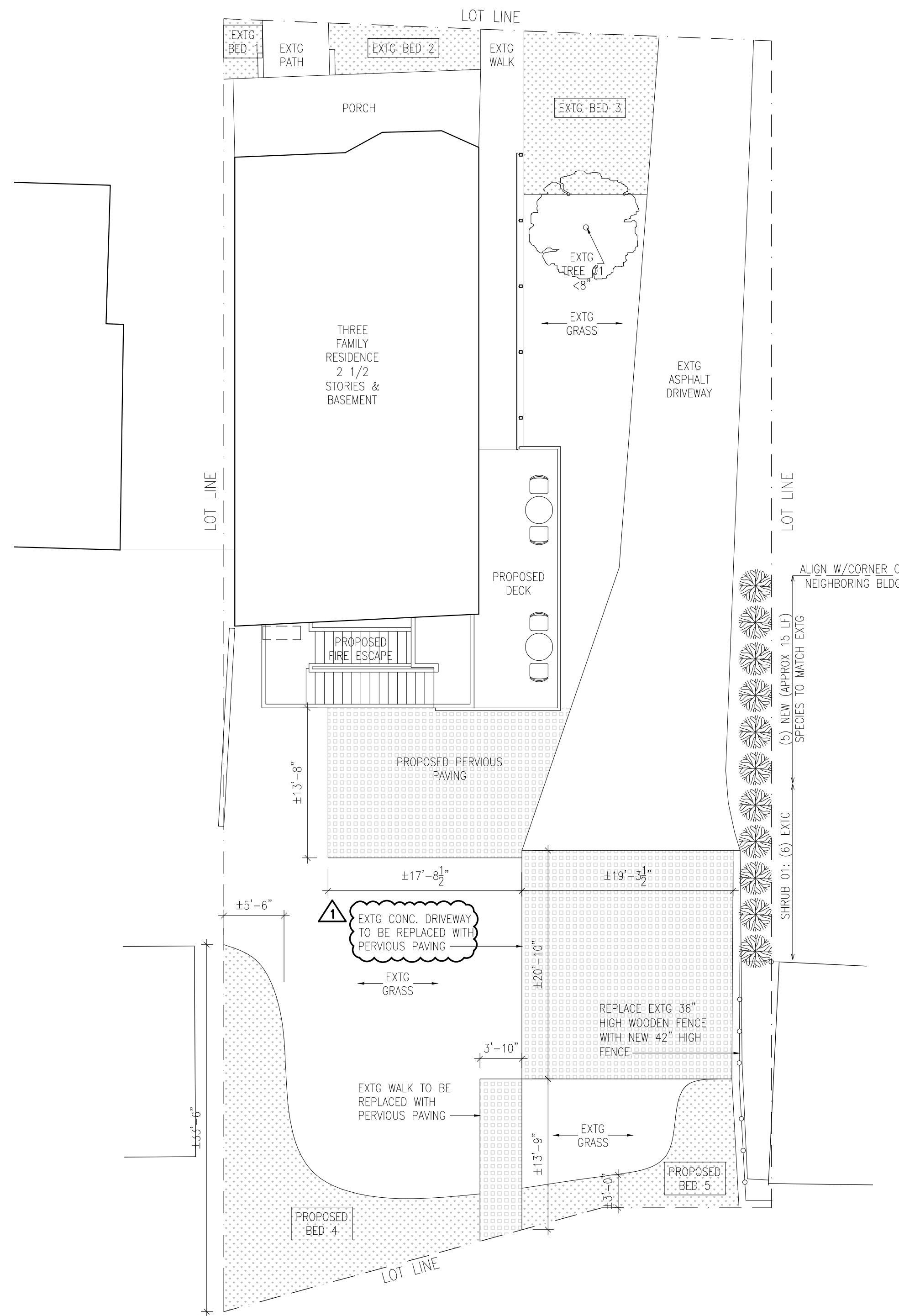
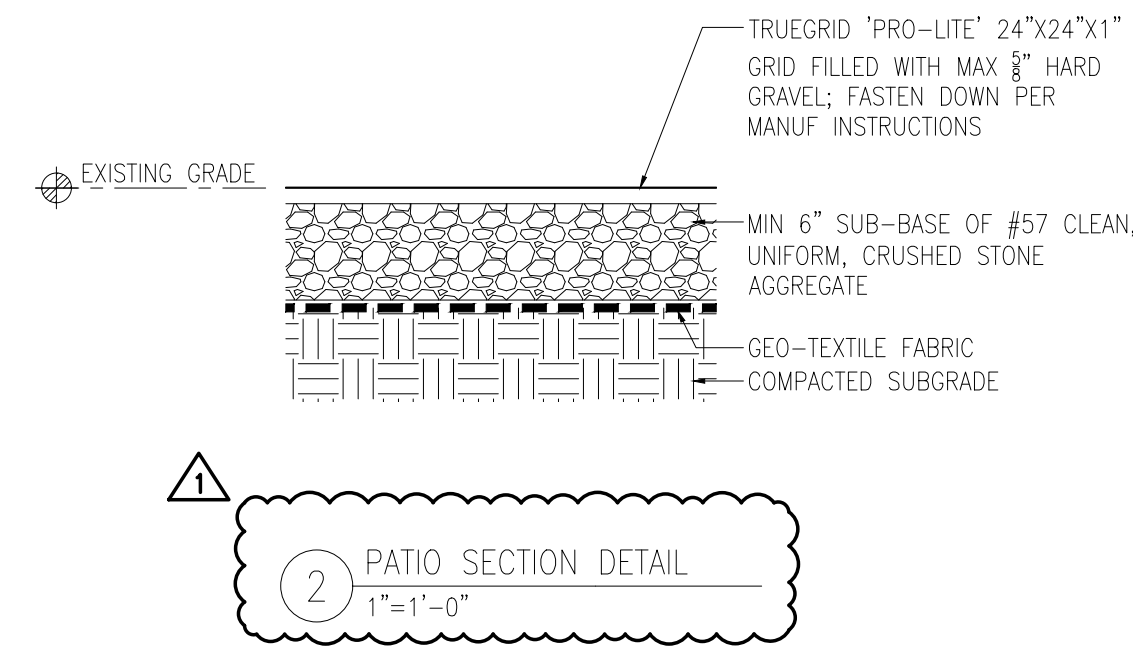
LANDSCAPE PLAN LEGEND

-  LEVEL OR SLIGHTLY RAISED PLANTING BED WITH MULCH
-  PERVIOUS PAVING SUCH AS "TRUEGRID" WITH PERMEABLE GRAVEL OR "HYDROPAVERS"; INSTALL PER MANUF. INSTRUCTIONS

PLANTINGS SCHEDULE

PLANTING #	APPROX SIZE	PLANTINGS TYPE	NOTES
BED 01 (EXTG)	18 SF	MIX OF SHRUBS, PERENNIALS, ROSES, AND/OR BULBS	
BED 02 (EXTG)	57 SF	MIX OF SHRUBS, PERENNIALS, ROSES, AND/OR BULBS	
BED 03 (EXTG)	120 SF	MIX OF SHRUBS, PERENNIALS, ROSES, AND/OR BULBS	
BED 04 (NEW)	±300 SF	MIX OF SHRUBS, PERENNIALS, ROSES, AND/OR BULBS	
BED 05 (NEW)	±100 SF	MIX OF SHRUBS, PERENNIALS, ROSES, AND/OR BULBS	
TREE 01 (EXTG)		NATIVE EASTERN REDBUD	15-30 FT
SHRUB 01 (EXTG & NEW)		ILEX CRENATA	APPROX. 8FT TALL FOR PRIVACY


- NOTES:
- THERE SHALL BE NO INVASIVE PLANTINGS.
 - ALL PLANTINGS BEDS TO INCLUDE NATIVE PLANTS ENDORSED BY THE HASTINGS POLLINATOR PATHWAY PROJECT; VISIT HASTINGSPOLLINATORPATHWAY.ORG FOR MORE INFO.



1 LANDSCAPE PLAN
1/8"=1'-0"

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SHEET NORTH ARROW 

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