# VILLAGE OF HASTINGS-ON-HUDSON

## Planning Board

## Application and Procedure for View Preservation Site Plan, Steep Slopes and Subdivision approvals

1. SITE PLAN APPROVAL. Site Plan approval by the Planning Board is required for:

   (1) The construction, reconstruction, alteration, renovation, demolition, enlargement, moving or removing of any building, or structure, with the exception of most single-family & two-family dwellings; or,

   (2) Any land use not involving a building or structure.

   All applications for Site Plan Approval must comply with the requirements of Article XII, Site Plan Approval, of the Village of Hastings-on-Hudson Zoning Code. (Copy of relevant code sections is attached)

2. All applications are available online @ www.hastingsgov.org. Application forms for the Site Plan, Steep Slopes and Subdivision along with the Full or Short Environmental Assessment Form (EAF) as required under NYS Environmental Quality Review Act (SEQRA), may also be obtained from the Building Department.

   FILING THE APPLICATION. The applicant must submit a flash drive and a total of three (3) sets (residential) or thirteen (13) sets, 11 copies and 2 original (commercial) of the completed application, plans and all supporting material with an applicable fee as shown on attached schedule, NO LESS THAN FOUR (4) WEEKS PRIOR TO THE SCHEDULED MEETING DATE.

   Once the Building Inspector has deemed the application complete, a public hearing will be scheduled before the Planning Board, which usually meets the third (3rd) Thursday of each month. At least 14 days prior to the date of the public hearing, the applicant must notify, by certified mail or any other method of delivery providing proof of mailing or hand deliver copies of the legal notice no later than 10 days prior to the date of the public hearing, all property owners within a radius of 300 feet of the scheduled public hearing. The Building Department will provide the applicant with a list of property owners and other persons or agencies who must be informed.

4. VIEW PRESERVATION DISTRICT. If an applicant is located in the View Preservation (VP) District, photos and a key map must be submitted showing the impact of the proposed work on the views of the Hudson River and the Palisades from neighboring properties and adjacent public properties. A View Preservation application, must be submitted to the Planning Board for a recommendation and to the Zoning Board of Appeals for a final decision. A flash drive and a total of three (3) sets (residential) or thirteen (13) sets, 11 copies and 2 original (commercial) of the completed application and all related documents must be submitted.

5. STEEP SLOPES LAW. Building Permit applications on lots that contain slopes of 15% or greater over a ground area of at least 1,000 square feet must include the information required by Chapter 249, §249-7, of the Village Code and must receive Steep Slopes approval from the Planning Board. A copy of the Steep Slopes Law is available from the Building Department.

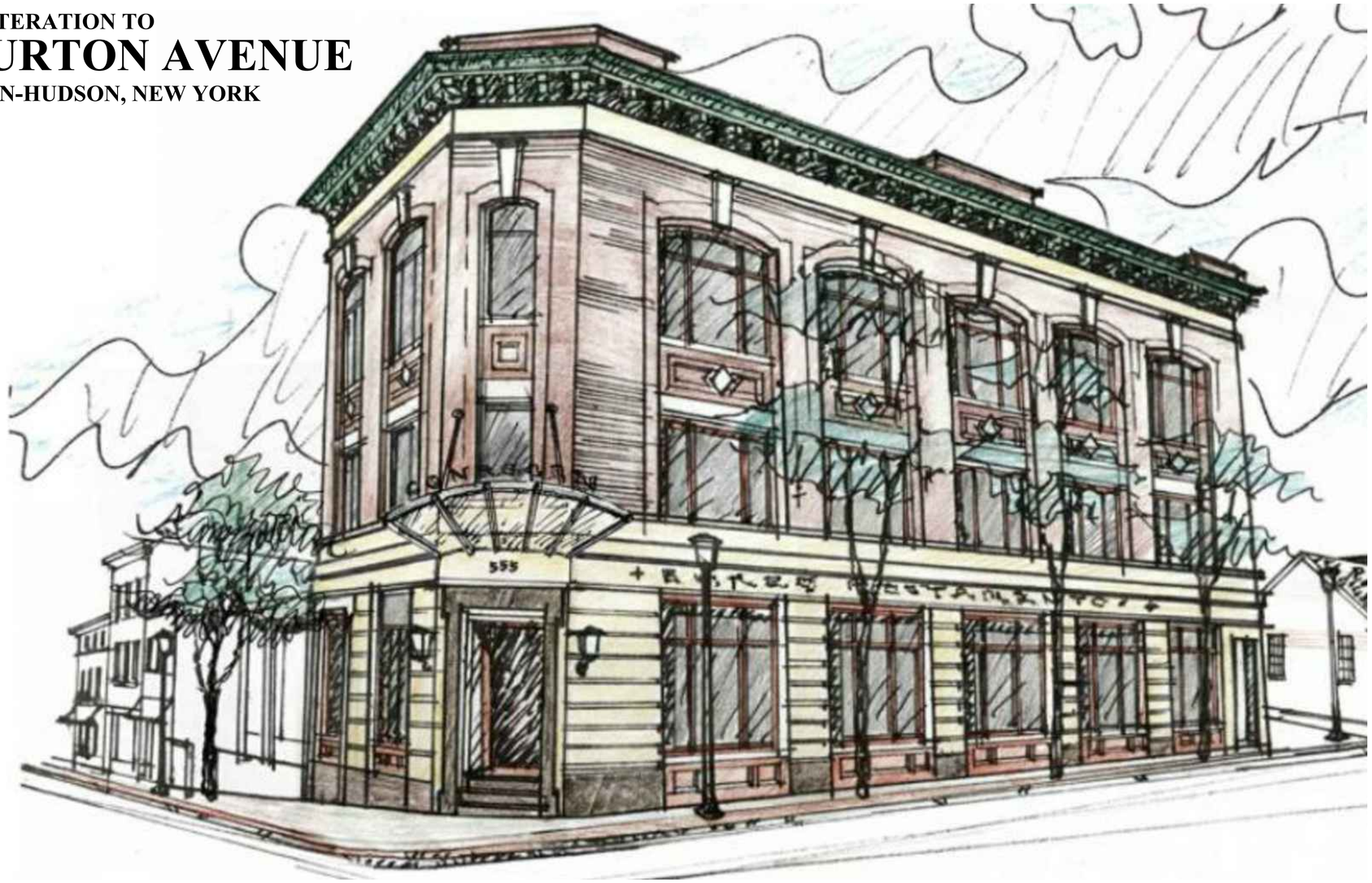
6. TREE PRESERVATION LAW. A Tree Removal Permit is required, in accordance with the Tree Preservation Law, Chapter 273 of the Village Code, on a lot of one acre or more, or a combination of adjoining lots of one acre or more owned by the same entity, if any tree with a diameter of 8 inches or more (measured at a point 4-1/2 feet above the ground) is to be removed or potentially injured during construction. A copy of the Tree Preservation Law is available from the Building Department.

7. SITE PLAN APPROVAL. Upon approval of a Site Plan application, the applicant must submit two (2) copies of the final Site Plan with changes or conditions noted thereon, to be endorsed by the Chair of the Planning Board and filed with the Building Inspector.

ALTERATION TO

# 555 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NEW YORK




## SITE DATA FOR ZONING CODE COMPLIANCE

ZONING DISTRICT: CC SECTION: 10 BLOCK: 630: SURVEYED BY: ERIC J. LINK MUNICIPALITY: HASTINGS-ON-HUDSON
SHEET: SHEET: LOT: 28 SURVEY DATE: DEC.19.05 SURVEY DATE: DEC.19.05

| DESCRIPTION | CODE REQUIREMENT | EXISTING | PROPOSED | CONFORMS |
|---|---|---|---|---|
| BUILDING USE | COMMERCIAL | COMMERCIAL REST. & RESIDENTIAL | RESTAURANT & RESIDENTIAL | YES |
| TOTAL AREA OF PROPERTY | MIN. 2500 SF. | 4,216 SF. 0.968 ACRE | 4,216 SF. 0.968 ACRE | YES |
| LOT WIDTH | 20' | 32.5' | 32.5' | YES |
| YARDS (295-76-E) FRONT | 0' | 0' | 0' | YES |
| SIDE | 0' | 0' | 0' | YES |
| REAR | 10' AT GROUND FLOOR 20' ABOVE | 18.04' | 18.04' | YES |
| PRINCIPAL BUILDING FOOTPRINT | - | 2,576 GSF | 2,500 | - |
| HEIGHT | MAX. (40') | 47.5' | 51.9' | NO |
| STORIES | 3 | 3 | 3 | YES |
| OFF STREET PARKING (295-36) | SEE PARKING ANALYSIS DRAWING (X) | 7 SPACES | SEE PARKING ANALYSIS | YES |

NOTE:
1. ALL STRUCTURAL WORK BY OTHERS AS APPROVED PREVIOUSLY
2. ALL EXTERIOR WORK BY OTHERS AS APPROVED PREVIOUSLY

## BUILDING CODE DATA

| | |
|---|---|
| APPLICABLE CODES | 2015 INTERNATIONAL BUILDING CODE & 2016 NYS CODE SUPPLEMENT<br>ENERGY CONSERVATION CODE OF NEW YORK STATE 2016<br>ICC/ANSI A117.1-2003 HANDICAP ACCESSIBILITY CODE |
| USE & OCCUPANCY CLASIFICATION | ASSEMBLY GROUP A-2 (303.3) RESIDENTIAL GROUP R-3 |
| TYPE OF CONSTRUCTION | TYPE III A NON-COMBUSTIBLE EXTERIOR WALLS AND WOOD FLOOR FRAMING. |
| FIRE PROTECTION | NFPA-13 SPRINKLER SYSTEM PROVIDED THROUGHOUT PER 903.3.2 SMOKE ALARM PER 907.2.11 |
| ALLOWABLE HEIGHT OF BUILDING 504.3, 503.4 | A-2: 4 STORIES (85') R-3: 5 STORIES (85') IF PROTECTED BY AUTOMATIC SPRINKLER SYSTEM |
| ALLOWABLE AREA OF BUILDING | FOR GROUP A-2 TYPE III BUILDING, 42,000 SF.<br>R-3 TYPE iiiA BUILDING =UL ACTUAL= 7500 SF. |
| FIRE RESISTANTCE RATING TO BE IN ACCORDANCE WITH BCNYS TABLE 601e FOR TYPE III A CONSTRUCTION; AND APPROVED SPRINKLER SYSTEM WILL BE SUBSTITUTED FOR 1 HR FIRE RESISTANCE RATED CONSTRUCTION, EXCEPT FOR 1 HR RATED EXT. WALLS. | STRUCTURAL FRAME: 1 HOUR<br>EXTERIOR BEARING WALLS: 2 HOURS<br>1 HR. FOR 5' FIRE SEPARATION DISTANCE<br>INTERIOR BEARING WALLS 1 HOUR<br>FLOOR CONSTRUCTION<br>INCL. BEAMS 1 HOUR<br>ROOF CONSTRUCTION 1 HOUR |
| MAX FLOOR AREA ALLOWANCE PER OCCUPANT (BCNYS TABLE 1004.1.1) | SEE OCCUPANCY CALCULATION AT EACH FLOOR PLAN, |
| EGRESS REQUIREMENTS | SEE EGRESS REQ. ON EACH FLOOR PLAN |
| MIN. NUMBER OF PLUMBING FIXTURES | SEE PLUMBING REQ. ON EACH FLOOR PLAN |
| ACCESSIBILITY | ACCESSIBLE ROUTES: WALK WITH SLOPE, 1:20 TO COMPLY WITH (CC/ANSI 117.1. SECTION 405. ACCESIBLE PARKING SPACES: 2% OF PARKING NOT LESS THAN 1 MUST BE ACCESSIBLE WITH 8FT ACCESS AISLE. |

## LIST OF DRAWINGS


| | |
|---|---|
| 1 | T-1....COVER PAGE |
| 2 | T.2... APPROVAL COMPARISON CHART |
| 3 | T.3... APPROVAL COMPARISON CHART |
| 4 | VP-1...VIEW PRESERVATION DWG. |
| 5 | VP-2...VIEW PRESERVATION DWG. |
| 6 | S-1....SITE PLAN |
| 7 | A-1.1..BASEMENT FLOOR PLAN |
| 8 | A-1.2..GROUND FLOOR PLAN |
| 9 | A-1.3..SECOND FLOOR PLAN |
| 10 | A-1.4..3RD. FLOOR PLAN |
| 11 | A-1.5..ROOF PLAN |
| 12 | A-2.1..EAST ELEVATION |
| 13 | A-2.2..SOUTH ELEVATION |
| 14 | A-2.3..NORTH ELEVATION |
| 15 | A-2.4..WEST ELEVATION |
| 16 | A-3.1..SECTION |


DATES FOR PREVIOUS APPROVALS FOR RESTAURANT

| | | | |
|---|---|---|---|
| PLANNING BOARD APPROVAL | 12 | 17 | 09 |
| ARCHITECTURAL REV. BOARD APPROVAL | 10 | 04 | 10 |
| BUILDING PERMIT SUBMISSION | 2 | 03 | 11 |
| REVISED BUILDING PERMIT SUBMISSION | 3 | 30 | 11 |
| TITLE SHEET REVISED | 04 | 14 | 11 |
| AMENDED BUILDING PERMIT SUBMISSION | 06 | 13 | 13 |

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:


WORLD DESIGN ARCHITECTURE
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Seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

COVER PAGE

DRAWN BY: R.T.
CHECKED BY: W.A.
DATE: 1.17.2018
REV.: 4.23.18
DRAWING NO.: T-1
1 / 16
JOB NUMBER: 2018-01

# 555 WARBURTON AVE., HASTINGS-ON-HUDSON, NY 10706: APPROVAL COMPARISON CHART*

*PLANNING BOARD APPROVALS 12/172009, (BASED ON PLANS DATED 10/7/09 & 12/7/09 - COMPARED TO PROPOSED PLANS DATED APRIL 23, 2018 (REVISED 5/1/2018


APRIL 23, 2018

| ITEM # | REQUIRED PER PLANNING BOARD SITE PLAN APPROVAL 12-17-2009 FOR PERMITED DRAWINGS DATED 10/7/2009 & 12/7/2009 BY CHRISTINA GRIFFIN ARCHITECT. | PROPOSED PLANS- 4/23/2018 | COMPLIANT "Y" IF NOT "N" - +AMOUNT OVER OR UNDER |
|---|---|---|---|
| 1 | THE **MAXIMUM NUMBER OF GUESTS** ALLOWED AT THE DINING AND BAR OF THE RESTAURANT (INCLUDING ANY IN THE BASEMENT AND ON THE ROOF) SHALL BE **75** UNLESS THE OWNER OF 555 WARBURTON AVENUE ("OWNER") HAS A VALID AGREEMENT, SATISFACTORY TO THE VILLAGE ATTORNEY, TO LEASE, LICENSE, OR OTHERWISE HAVE THE RIGHT TO THE EXCLUSIVE USE OF A MINIMUM OF **41** PARKING SPACES LOCATED AT 565 WARBURTON AVENUE. **MORE THAN 75 GUESTS ARE ALLOWED ONLY DURING THOSE TIMES THAT PARKING SPACES ARE EXCLUSIVELY AVAILABLE TO THE OWNER.** IT FOR ANY REASON SUCH AGREEMENT IS CANCELLED OR EXPIRES AND IS NOT RENEWED OR THE USE OF THE 41 PARKING SPACES IS LIMITED OR RESTRCITED, NO MORE THAN 75 GUESTS SHALL BE PERMITTED. | -VALID AGREEMENTS FOR EXCLUSIVE USE OF 42 PARKING SPACES LOCATED AT 565 WARBURTON.<br><br>-MORE THAN 75 GUESTS ALLOWED DURING TIMES PARKING SPACES ARE AVAILABLE AT 565 WARBURTON. | "Y" SEE AGREEMENT<br><br>"N" +2,<br>**77** SPACES REQUIRED AND NO MORE THAN 77 GUESTS ALLOWED DURING TIMES WHEN ADDITIONAL SPACE NOT AVAILABLE |
| 2 | UPON APPLICATION OF THE OWNER, THE PLANNING BOARD, AT ITS DISCRETION MAY APPROVE A DIFFERENT LOCATION FOR THE 41 PARKING SPACES. | DIFFERENT & ADDITIONAL LOCATIONS FOR SPACES TO BE PROVIDED | "Y"<br>W/ PARKING EXEMPTIONS |
| 3 | THE PROPOSED RESTAURANT AND ANY DINING SERVICE ANCILLARY TO THE WELLNESS CENTER SHALL NOT BE OPEN FOR LUNCH OR BRUNCH ON SATURDAYS. | N/A – WELLNESS CENTER NO LONGER APART OF THE PLAN RESIDENTIAL APARTMENT HAS REPLACED IT. | "N"<br>Restaurant & Roof to operate for lunch and Sunday Brunch |
| 4 | THE ROOF MAY NOT BE USED LATER THAN ONE HOOUR AFTER SUNSET. | ROOF TO BE USED A MAXIMUM OF 2.5 HOURS AFTER SUNSET | "N" +2.5 Hours. |
| 5 | THERE SHALL BE NO LIGHT SPILLAGE BEYOND THE PARAPET FROM ANY USE OF THE ROOF | 1 WAY BOLLARD, SCONCE, & PATHWAY LIGTHING<br>-SEE ATTACHED SPECS | "Y" |
| 6 | IN ORDER TO HOLD AN ORGANIZED EVENT (I.E., ONE AT WHICH ALL GUESTS ARE INVITED FOR A CERTAIN TIME OR TIME PERIOD), THE OWNER MUST HAVE FOUR VALETS PARKING CARS AT 565 WARBURTON AVENUE. IF 80 OR MORE GUESTS ARE EXPECTED, 3 VALETS IF 40 TO 79 GUESTS ARE EXPECTED; 2 VALETS IF FEWER THAN 40 GUESTS ECPECTED. NO CHARGE MAY BE MADE FOR VALET PARKING. | SAME-AGREED | "Y" |
| 7 | FOR ALL ORGANIZED EVENTS, ALL INVITEES MUST BE SENT A LETTER, SATISFACTORY TO THE VILLAGE ATTORNEY, DIRECRTING THE INVITEES TO PARK IN THE LOT AT 565 WARBURTON AVENUE (OR SUCH OTHER LOCATION APPROVED BY THE PLANNING BOARD). THE LETTER MUST ADVISE THE INVITEES THAT THE PARKING AT THE 565 WARBURTON LOT IS WITHOUT CHARGE. | SAME-AGREED<br>-LETTER TO BE PROVIDED | "Y" |
| 8 | EXCEPT WHEN AN ORGANIZED EVENT IS SCHEDULED, THE PARKING LOT AT 565 WARBURTON AVENUE SHALL BE AVAILABLE TO THE PUBLIC DURING THE HOURS THAT THE PARKING SPACES ARE EXCLUSIVELY AVAILABLE TO THE OWNER. | AT OWNERS DISCRETION | "N" |

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

**WORLD DESIGN ARCHITECTURE**
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seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

**APPROVAL COMPARISON CHART**

DRAWN BY: R.T.
CHECKED BY: W.A.
DATE: 1.17.2018
REV.: 4.23.18
DRAWING NO.: **T-2**
2 / 16
JOB NUMBER: 2018-01

| 555 WARBURTON AVE. HASTING-ON-HUDSON, NY | | | 2 OF 2<br>APRIL 23, 2018 |
|---|---|---|---|
| | **REQUIRED- PER PLANNING BOARD APPROVAL FOR SITE PLAN 12/17/2009** | **PROPOSED PLANS- 4/23/2018** | |
| 9 | EMPLOYEES OF THE RESTURAUNT AND WELLNESS CENTER AT 555 WARBURTON AVENUE MUST PARK IN THE ZINSSER PARKING LOT AFTER 6:00 P.M. MONDAY THROUGH FRIDAY, AND ALL DAY AND ALL EVENING SATURDAY AND SUNDAY. EMPLOYEES MAY NOT PARK AT ANYTIME ON MAPLE AVENUE. THE OWNER OF 555 WARBURTON AVENUE (OR HIS AGENT) SHALL BE RESPONSIBLE FOR ENFORCING THESE PARKING REQUIREMENTS. | AGREED<br><br>NOTE: WELLNESS CENTER NO LONGER PART OF THIS PLAN | "Y" |
| 10 | PRIOR TO THE OPENING OF THE RESTAURANT AND WELLNESS CENTER, THE OWNER SHALL MEET WITH HASTINGS-ON-HUDSON SAFETY COUNCIL TO DEVELOP GUIDELINES FOR TRAFFIC MONITORING. THE SAFETY COUNCIL MAY ADJUST THOSE GUIDELINES AS APPRORIATE. | AGREED | "Y" |
| 11 | THE LOADING SPACES ON SPRING STREET MUST BE MARKED AND APPROPRITATE SIGNS ERECTED.<br>SPRING STREET WAS WAY TO GO. | AGREED-PER DRAWING S-1 | "Y" |
| 12 | TRUCK DELIVERIES MUST BE MADE BETWEEN THE HOURS OF 10:00 AM AND 4:00 PM | AGREED-PER DRAWING S-1 | "Y" |
| 13 | NO CHANGE IN THE LAYOUT OR USE OF THE SPACE AT 555 WARBURTON FROM THE DRAWINGS MAY BE MADE WITHOUT PRIOR APPROVAL BY THE PLANNING BOARD. | AGREED-PER DRAWINGS LISTED ON T-1 | "Y" |
| 14 | THIS AMENDED SITE PLAN APPROVAL SHALL BE SUBJECT TO CONTINUING REVIEW BY THE PLANNING BOARD, WHICH MAY REVOKE THE APPROVAL IF THESE CONDITIONS ARE NOT MET. | PROPOSED PLANS LISTED ON DRAWING T-1 DATED 4/23/18 | "Y"<br>PENDING PB APPROVAL |
| 15 | BEFORE A CERTIFICATE OF OCCUPANCY MY ISSUE, ALL ADMINISTRATIVE AND REVIEW FEES OWED TO THE VILLAGE MUST BE PAID IN FULL. | AGREED | "Y" |
| 16 | BE IT FURTHER RESOVLED THAT THE PLANNING BOARD OF THE VILLAGE OF HASTINGS-ON-HUDSON WAIVES THE LOADING REQUIREMENTS OF 295-38, PROVIDED THAT LOADING SPACES ARE MAINTAINED AS SHOWN ON DRWAING S-1. | AGREE- SEE DRAWING S-1 | "Y" |

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seal: Architect William Alicea

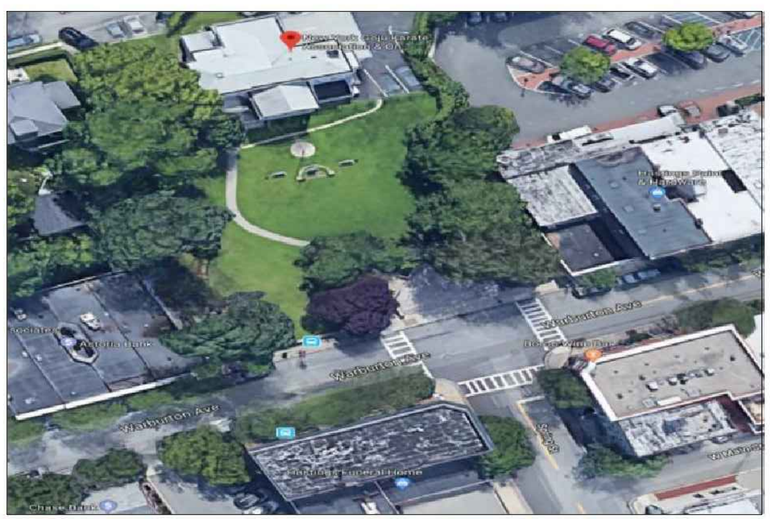
**APPROVAL COMPARISON CHART CONT.**

| | | |
|---|---|---|
| DRAWN BY: R.T. | | DRAWING NO.: **T-3** |
| CHECKED BY: W.A. | | |
| DATE: 1.17.2018 | 3 / 16 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | | |

# PHOTOGRAPHS FROM VARIOUS VANTAGE POINTS WITHOUT PROPOSED DEVELOPMENT.

Location from where Photos were taken from VFW Building. (Front View)

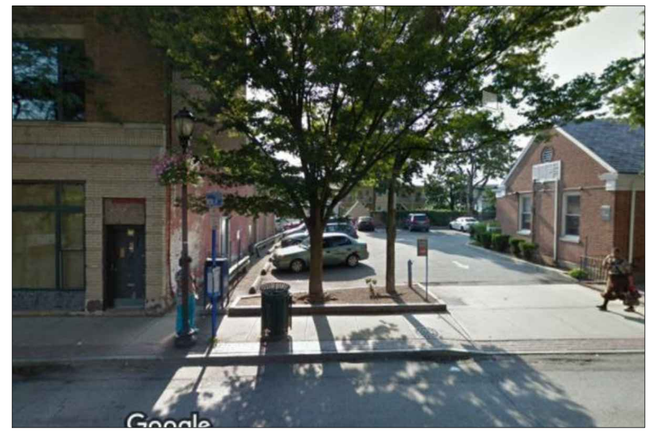
The photos of 555 Warburton Ave Hastings-On-Hudson were taken on the upper right side second floor of the VFW Building across the street. 555 Warburton Ave building faces the VFW building.




VFW Building

Location from Where Photos were taken from VFW Building. (Above View)

555 Warburton Ave




# EXISTING MAIL BOX LOCATION

PROJECT TITLE:
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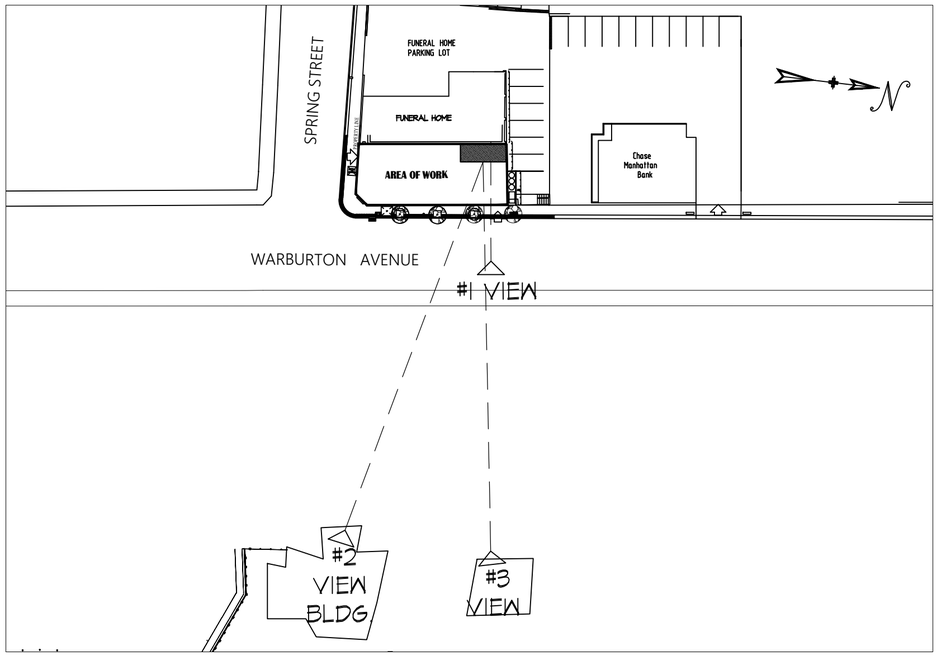
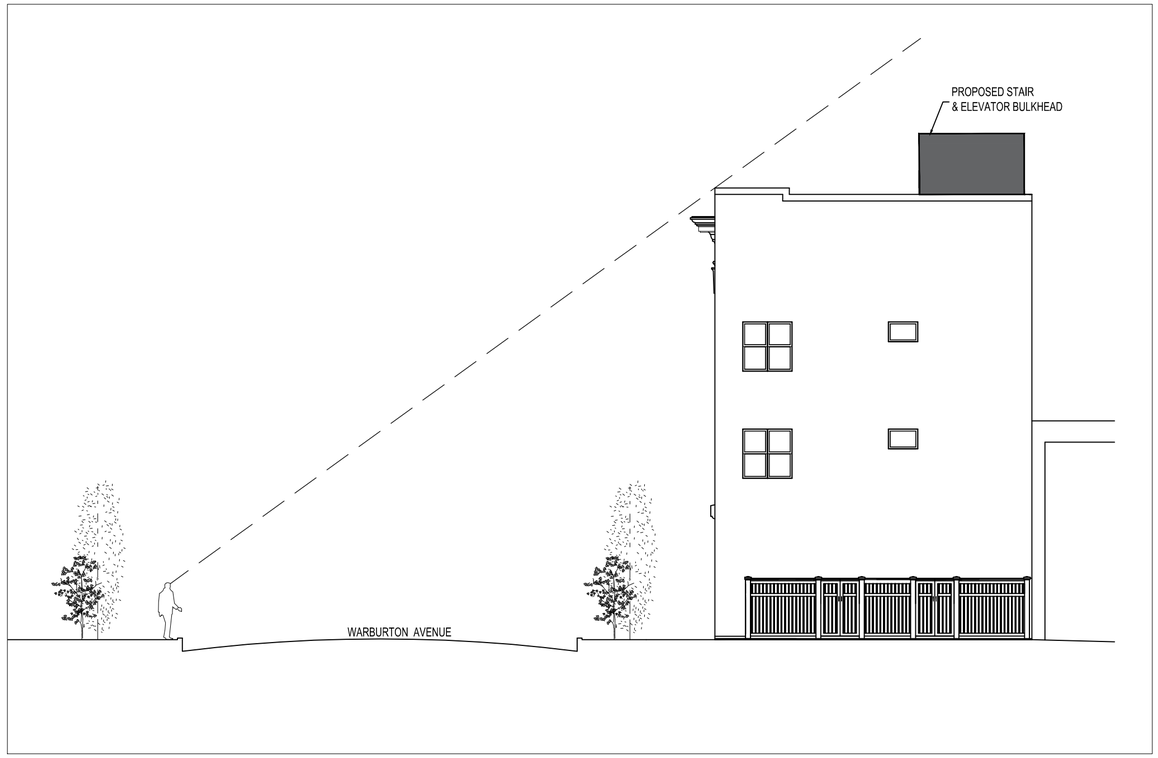
REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

VIEW PRESERVATION DWG.

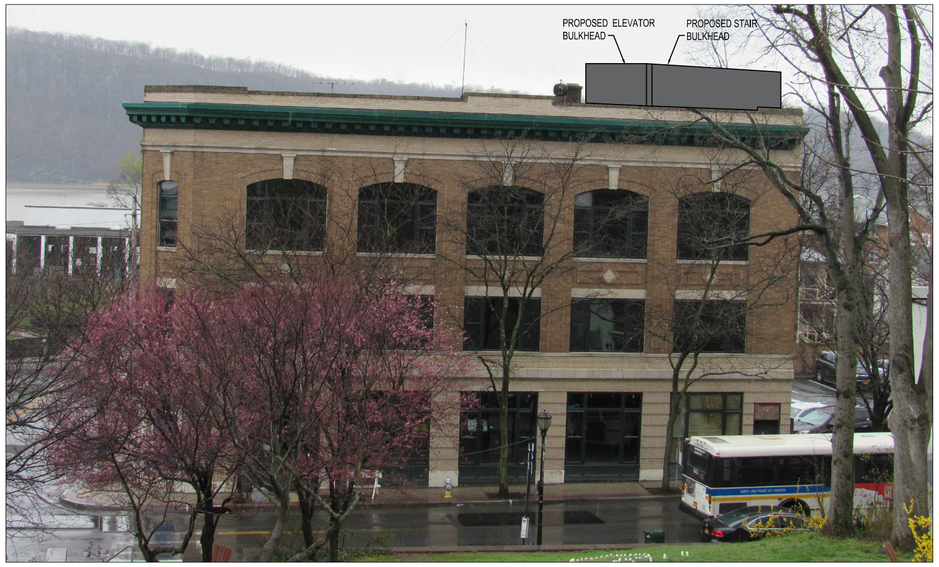
| | | |
|---|---|---|
| DRAWN BY: R.T. | | DRAWING NO.: VP.1 |
| CHECKED BY: W.A. | | |
| DATE: 1.17.2018 | 4 / 16 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | | |




## LOCATION MAP




## #(1) VIEW ACROSS WARBURTON AVE.




## #(2) VIEW: FROM 2ND FLOOR OF UFW BUILDING EXTG BUILDING WITH PROPOSED DEVELOPMENT.

## #(3) VIEW PHOTO TAKEN FROM 41 WHITMAN STREET

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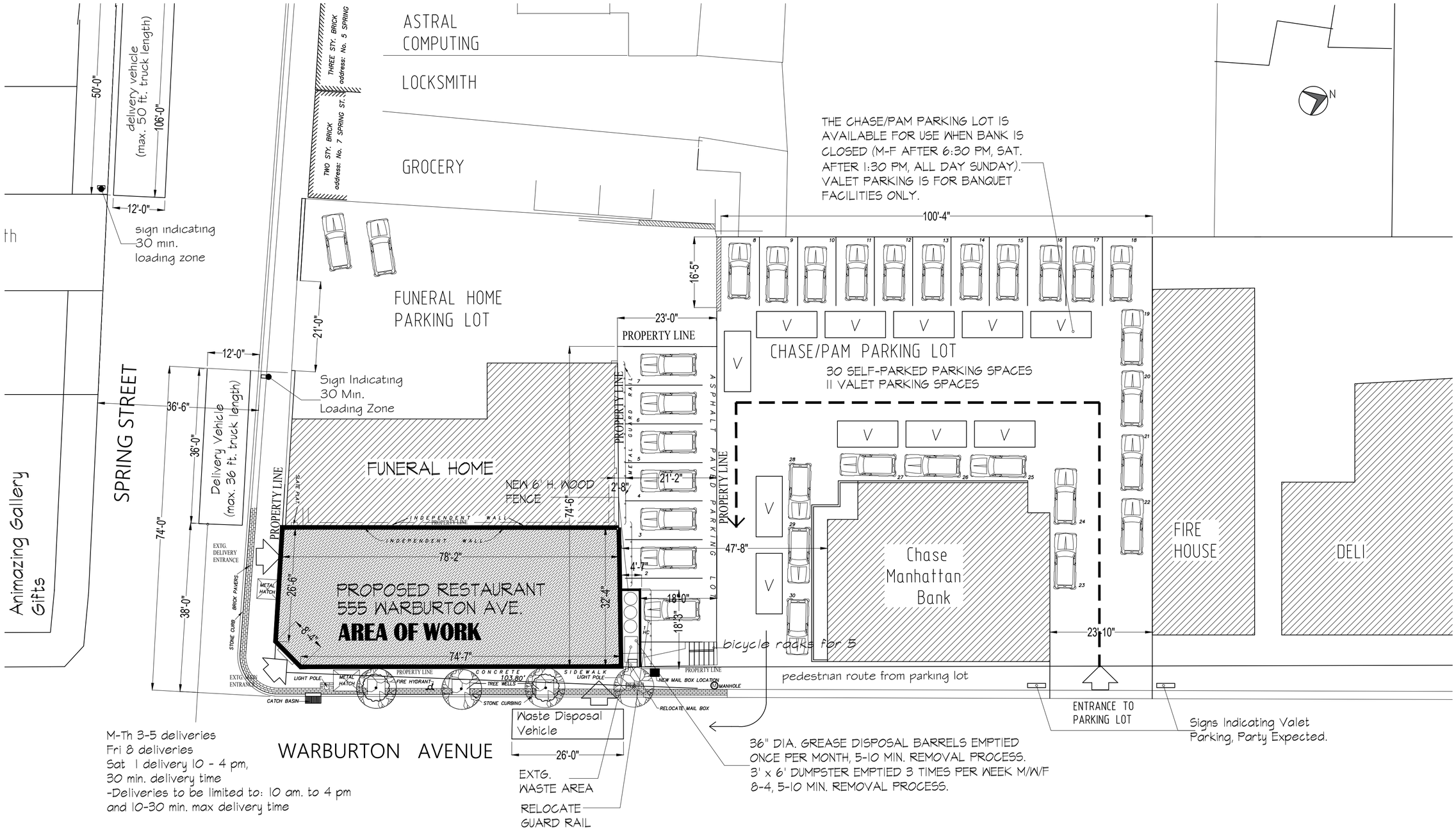
**VIEW PRESERVATION DWG.**

| | | |
|---|---|---|
| DRAWN BY: R.T. | | DRAWING NO.: VP.2 |
| CHECKED BY: W.A. | | |
| DATE: 1.17.2018 | 5 / 16 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | | |




1 **SITE PLAN**
SCALE: $\frac{1}{16}$" = 1'-0"

| Parking Required by Hastings Zoning Code |
|---|
| PARKING - OFF STREET (295-36)<br>1 space for each employee per shift, plus the greater of 1 space for each 4 seats or 1 space for 100 square ft of gross floor area<br><br>295-24 A<br>Buildings, structures and land uses in existence or for which building permits have been approved on the effective date of this chapter shall not be subject to the parking or loading space requirements set forth in this chapter. However, any parking and loading facilities now existing to serve such buildings, structures or uses shall not be reduced, except where they exceed such requirements, in which case they shall not be reduced below those requirements. Required parking and loading facilities for the existing portion of such uses shall, however, be provided at the time of any enlargement of such existing building, structures or uses in the future, unless said building, structures or uses are located in the CC District, in which case the provisions set forth in § 295-24 shall apply. |

| EXISTING RESTAURANT/BUILDING PARKING REQUIREMENT PER PREVIOUS APPROVAL ON 12/17/2009 | | | | PROPOSED/PROVIDED RESTAURANT/BUILDING PARKING | | |
|---|---|---|---|---|---|---|
| FLOOR | USE | BASED ON AREA | BASED ON SEATS | | BASED ON AREA | BASED ON SEATS |
| BASEMENT & 1ST FLOOR | RESTAURANT | 1SPACE/ 100 GSF<br>5152 SF/100 =52<br>1 SPACE/EMPLOYEE =11<br>SUB-TOTAL =63 | 1 SPACE/4 SEATS<br>170 SEATS/4 = 43<br>1 SPACE/EMPLOYEE = 15<br>SUB-TOTAL = 58 | RESTAURANT<br>BSMNT=2576<br>1ST FLR =2576<br>ROOF=735 SF | 1 SPACE/ 100 GSF<br>5887 SF/100 = 59<br>1 SPACE/EMPLOYEE = 14<br>SUB-TOTAL = 73 | 1 SPACE/ 4 SEATS=<br>173 SEATS/4 = 43<br>1 SPACE/EMPLOYEE = 14<br>SUB-TOTAL = 57 |
| 2nd FLOOR & 3RD FLOOR | WELLNESS CENTER (PERSONAL SERVICE BUSINESS) | 1 SPACE/200 GSF = 5152/200 = 26 | | 1-APARTMENT | = 2 | = 2 |
| ROOF | WELLNESS CENTER/ ROOF TERRACE RESTAURANT | 1 SPACE/ 100 GSF<br>2576 SF/100 = 26<br>1 SPACE / EMPLOYEE = 8<br>TOTAL = 34 | | 1-APARTMENT<br>(MULTI-FAMIILY - 295-36) | = 2<br>TOTAL = 77 | = 2<br>TOTAL =61 |
| TOTALS FOR BUILDING: (63 + 26 + 34) = 123 ( LESS THAN 125 APPROVED 12/17/08 | | | | TOTAL FOR BUILDING:(73 + 4) = 77 (< 123 APPROVED 12-17-09) | | |
| END OF CHART | | | | | | |

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**SITE PLAN**

| | | |
|---|---|---|
| DRAWN BY: R.T. | | DRAWING NO.: |
| CHECKED BY: W.A. | | S-1 |
| DATE: 1.17.2018 | 6 / 16 | JOB NUMBER: |
| REV.: 4.23.18 | | 2018-01 |

SERVICE STAIR
BASEMENT TO 1ST
MIN. WIDTH: 44"
MAX. RISER: 7"
MIN. TREAD: 11"

5 R @ 6.45"= 32.25"/2'-8 1/4"
4T @ 11"= 44"/3'-8"
16R @ 6.97"= 111.5"/9'-3 1/2"
15 T @ 11"= 165"/13'-9"

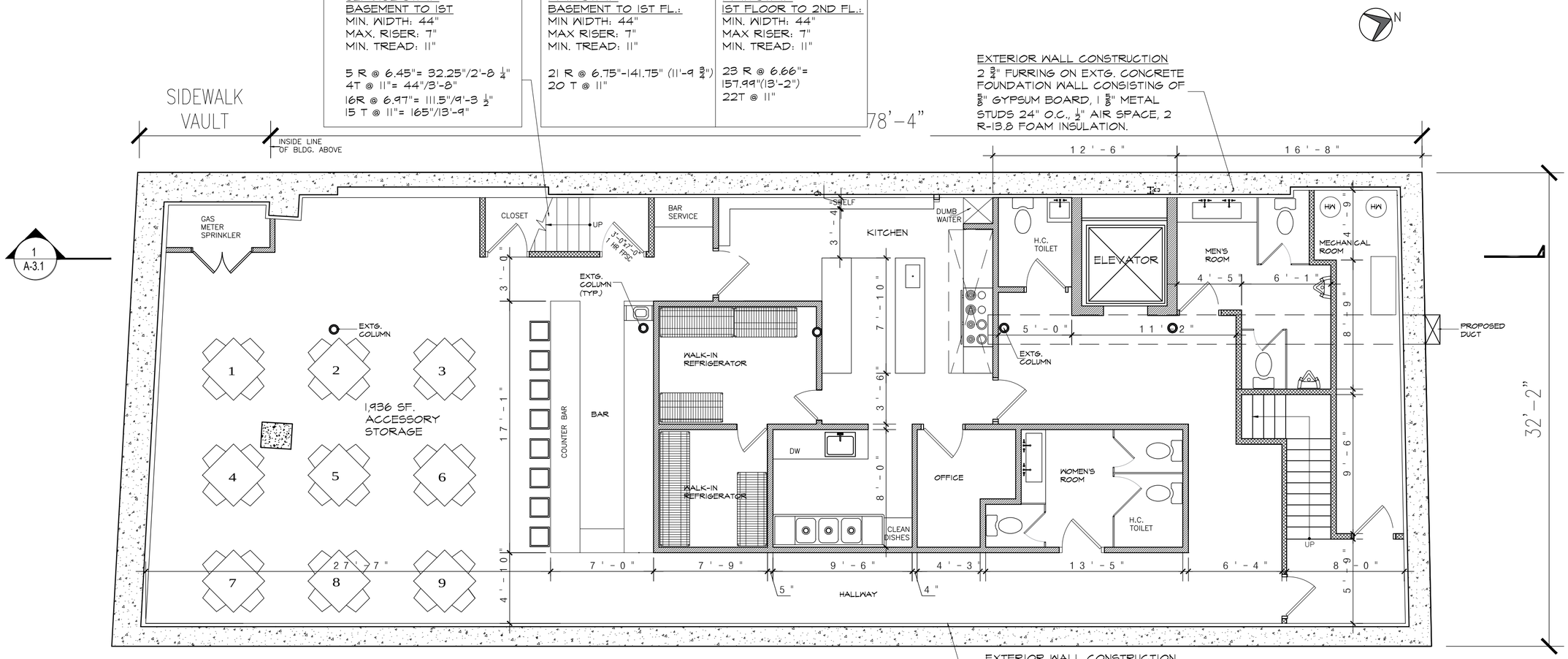
MAIN STAIR
BASEMENT TO 1ST FL.:
MIN WIDTH: 44"
MAX RISER: 7"
MIN. TREAD: 11"

21 R @ 6.75"-141.75" (11'-9 3/4")
20 T @ 11"

MAIN STAIR
1ST FLOOR TO 2ND FL.:
MIN. WIDTH: 44"
MAX RISER: 7"
MIN. TREAD: 11"

23 R @ 6.66"=
157.99"(13'-2")
22T @ 11"

EXTERIOR WALL CONSTRUCTION
2 3/4" FURRING ON EXTG. CONCRETE FOUNDATION WALL CONSISTING OF 5/8" GYPSUM BOARD, 1 5/8" METAL STUDS 24" O.C., 1/2" AIR SPACE, 2 R-13.8 FOAM INSULATION.




EXTERIOR WALL CONSTRUCTION
2 3/4" FURRING ON EXTG. CONCRETE FOUNDATION WALL CONSISTING OF 5/8" GYPSUM BOARD, 1 5/8" METAL STUDS 24" O.C., 1/2" AIR SPACE, 2 R-13.8 FOAM INSULATION.

1 **BASEMENT FL. PLAN**
SCALE: 3/16"=1'-0"

**NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT**

**BASEMENT OCCUPANCY CALCULATIONS:**

| Occupancy Type | NYSBC Occupant/sf | Floor area | No. of occupants |
|---|---|---|---|
| ASSEEMBLY SPACE<br>ASSEMBLY W/O FIXED SEATS<br>(NET AREA EXCLUDES STAIRS, CORRIDORS, ELEVATORS, SHAFTS & TOILETS | 15/NSF | 560 | 38 |
| KITCHEN-(COMMERCIAL)<br>(Gross area excludes stairs, elevators, shafts, open storage) | 200/ gsf | 800 | 4 |
| ACCESSORY STORAGE AREA/MECHANICAL RM<br>-STORAGE<br>-UTILITY CLOSET | 300/GSF | 280 sf<br>100 sf<br>380 SF | 2 |
| OFFICE (BUSINESS AREA) | 100/GSF | 80 SF | 1 |
| TOTAL NOS. OF OCCUPANTS = | | | 45 |

**BASEMENT, FIRST FLOOR & ROOF PLUMBING FIXTURE CALCULATIONS:**

RESTAURANT PLUMBING FIXTURES/GROUP A2 OCCUPANCY- 45 BASMENT OCCUPANCY + 122 @ 1ST FLOOR + 49 OCCUPANCY @ ROOF = 216 OCCUPANTS

| | WATER CLOSETS | LAVATORIES | SERVICE SINKS | DRINKING FOUNTAIN |
|---|---|---|---|---|
| 2015 IBC CODE REQUIREMENT<br>2902.1 | | | | |
| MALE -WC 1/75, 216/2=108/75=1.4<br>URINALS: .67X1.44=.96 | 3 PROVD<br>2 PROVD | | | |
| FEMALE WC 1/75 216/2=108/75 =1.4 | 3 PROVD | | | |
| MALE LAVATORIES 1/200 216/2=108/200= .54 | | 3 PROVD | | |
| FEMALE LAVATORIES 1/200 216/2=108/200= .54 | | 2 PROVD | | |
| SERVICE SINK | | | 2 | |
| DRINKING FOUNTAIN 1/500 | | | | 0 |

**EGRESS STAIR CALCUALTIONS**

NO. OF EXITS
NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:

1. FOR OCCUPANCY A, MAX. OCCUPANT LOAD IS GREATER THAN 49
2. PATH OF EGRESS TRAVEL EXCEEDS 75'

FOR BASEMENT LEVEL OCCUPANCY LOAD IS 45, TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 2 ARE PROVIDED + ELEVATOR

STAIR WIDTH:
NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS:
1.STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"

NYSBC 1011.5.2
STAIR RISER HEIGHT: MAX = 7", MIN = 4"
STAIR TREAD WIDTH: MIN.=11"

## LEGEND

### PARTITIONS

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.
- NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.
- NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.
- EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD
- EXISTING MASONRY WALL
- EXISTING CONCRETE FOUNDATION WALL

### SYMBOLS

- ELEVATION NO. / ELEVATION SHEET NO.
- ELEVATION, SECTION, OR DETAIL NO. / SHEET NO.
- DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
- WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

PROJECT TITLE:
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:


**WORLD DESIGN ARCHITECTURE**
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E.: will@aworlddesign.net

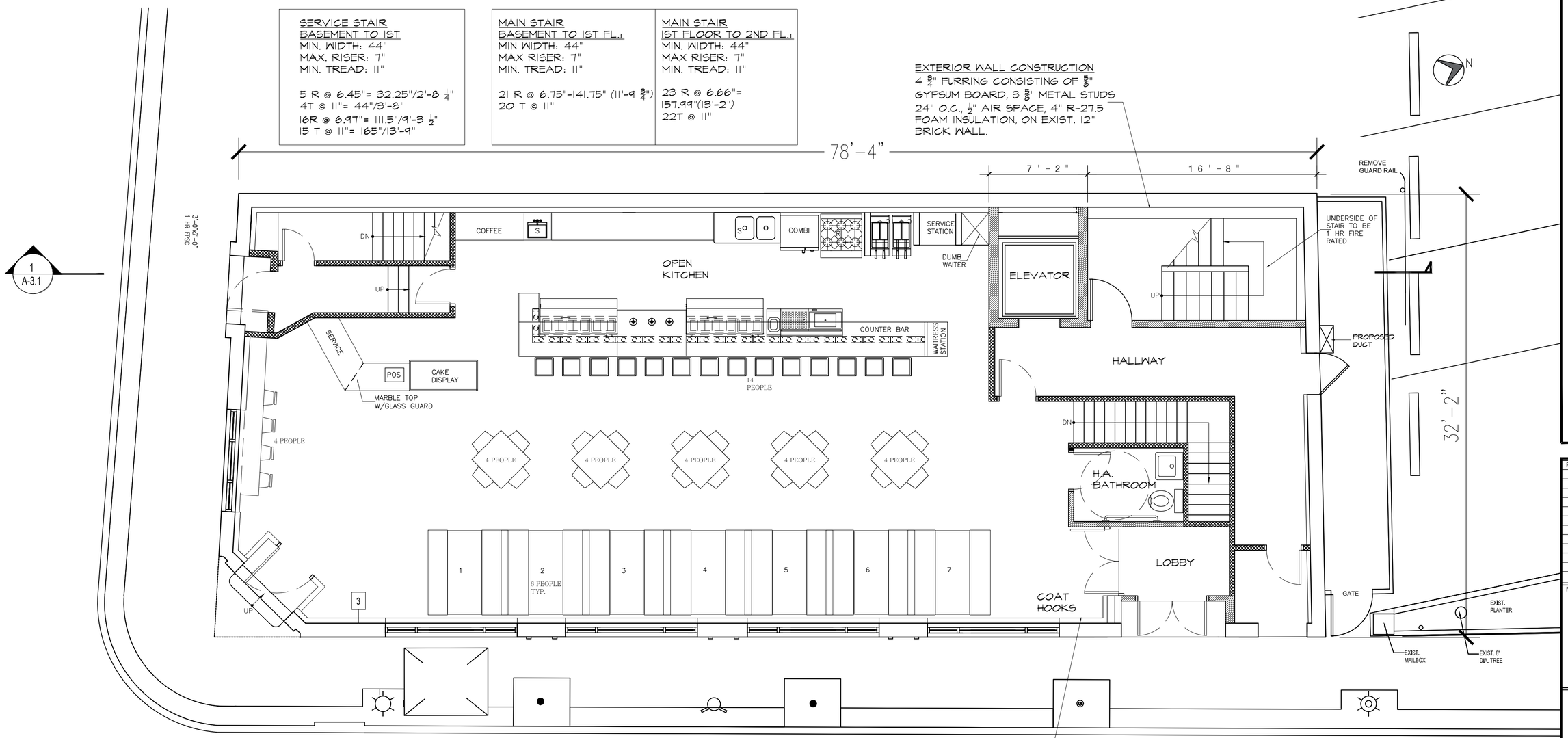

seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

**BASEMENT FL. PLAN**

| | |
|---|---|
| DRAWN BY: R.T. | DRAWING NO.: A-1.1 |
| CHECKED BY: W.A. | |
| DATE: 1.17.2018 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | 7 / 16 |

| SERVICE STAIR BASEMENT TO 1ST | MAIN STAIR BASEMENT TO 1ST FL.: | MAIN STAIR 1ST FLOOR TO 2ND FL.: |
|---|---|---|
| MIN. WIDTH: 44" | MIN WIDTH: 44" | MIN. WIDTH: 44" |
| MAX. RISER: 7" | MAX RISER: 7" | MAX RISER: 7" |
| MIN. TREAD: 11" | MIN. TREAD: 11" | MIN. TREAD: 11" |
| 5 R @ 6.45"= 32.25"/2'-8 1/4" | 21 R @ 6.75"-141.75" (11'-9 3/4") | 23 R @ 6.66"= |
| 4T @ 11"= 44"/3'-8" | 20 T @ 11" | 157.99"(13'-2") |
| 16R @ 6.97"= 111.5"/9'-3 1/2" | | 22T @ 11" |
| 15 T @ 11"= 165"/13'-9" | | |




1 A-3.1

## 1 GROUND FL. PLAN

SCALE: 1/4"=1'-0"

**NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT**

**FIRST FLOOR OCCUPANCY CALCULATIONS:**

| Occupancy Type | NYSBC Occupant/sf | Floor area | No. of occupants |
|---|---|---|---|
| ASSEMBLY W/O FIXED SEATING (RESTAURANT & BAR) Gross area excludes stairs, elevators, shafts, open storage | 15/ NSF | 1,831 SF | 122 ALLOWED<br>86 PROVIDED |
| TOTAL NOS. OF OCCUPANTS = | | | 122 |

BASEMENT,FIRST FLOOR, & ROOF PLUMBING FIXTURE CALCULATIONS:

RESTAURANT PLUMBING FIXTURES/GROUP A2 OCCUPANCY- 45 BASMENT OCCUPANCY + 122 @ 1ST FLOOR + 49 OCCUPANCY @ ROOF = 216 OCCUPANTS

| NYBC REQUIREMENT | WATER CLOSETS | LAVATORIES | SERVICE SINKS | DRINKING FOUNTAIN |
|---|---|---|---|---|
| MALE WC 1/75, 216/2=108/75=1.4<br>URINALS: .67X1.44=.96 | 3 PROVD<br>2 PROVD | | | |
| FEMALE WC 1/75 216/2=108/75 =1.4 | 3 PROVD | | | |
| MALE LAVATORIES 1/200 216/2=108/200= .54 | | 3 PROVD | | |
| FEMALE LAVATORIES 1/200 216/2=108/200= .54 | | 2 PRVD | | |
| SERVICE SINK | | | 2 | |
| DRINKING FOUNTAIN 1/500 | | | | 0 |

EGRESS STAIR CALCUALTIONS

NO. OF EXITS
NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:

1. FOR OCCUPANCY A, MAX. OOCUPANT LOAD IS GREATER THAN 49
2. PATH OF EGRESS TRAVEL EXCEEDS 75'

FOR FIRST FLOOR OCCUPANCY LOAD IS 122, TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 2 EXIT ARE REQUIRED AND 4 ARE PROVIDED.

STAIR WIDTH:
NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS:
1.STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"

NYSBC 1011.5.2
STAIR RISER HEIGHT: MAX = 7", MIN = 4"
STAIR TREAD WIDTH: MIN.=11"

## LEGEND

### PARTITIONS

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.
- NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.
- NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.
- EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD
- EXISTING MASONRY WALL
- EXISTING CONCRETE FOUNDATION WALL

### SYMBOLS

- ELEVATION NO. / ELEVATION SHEET NO.
- ELEVATION, SECTION, OR DETAIL NO. / SHEET NO.
- DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
- WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

PROJECT TITLE:
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:


**WORLD DESIGN ARCHITECTURE**
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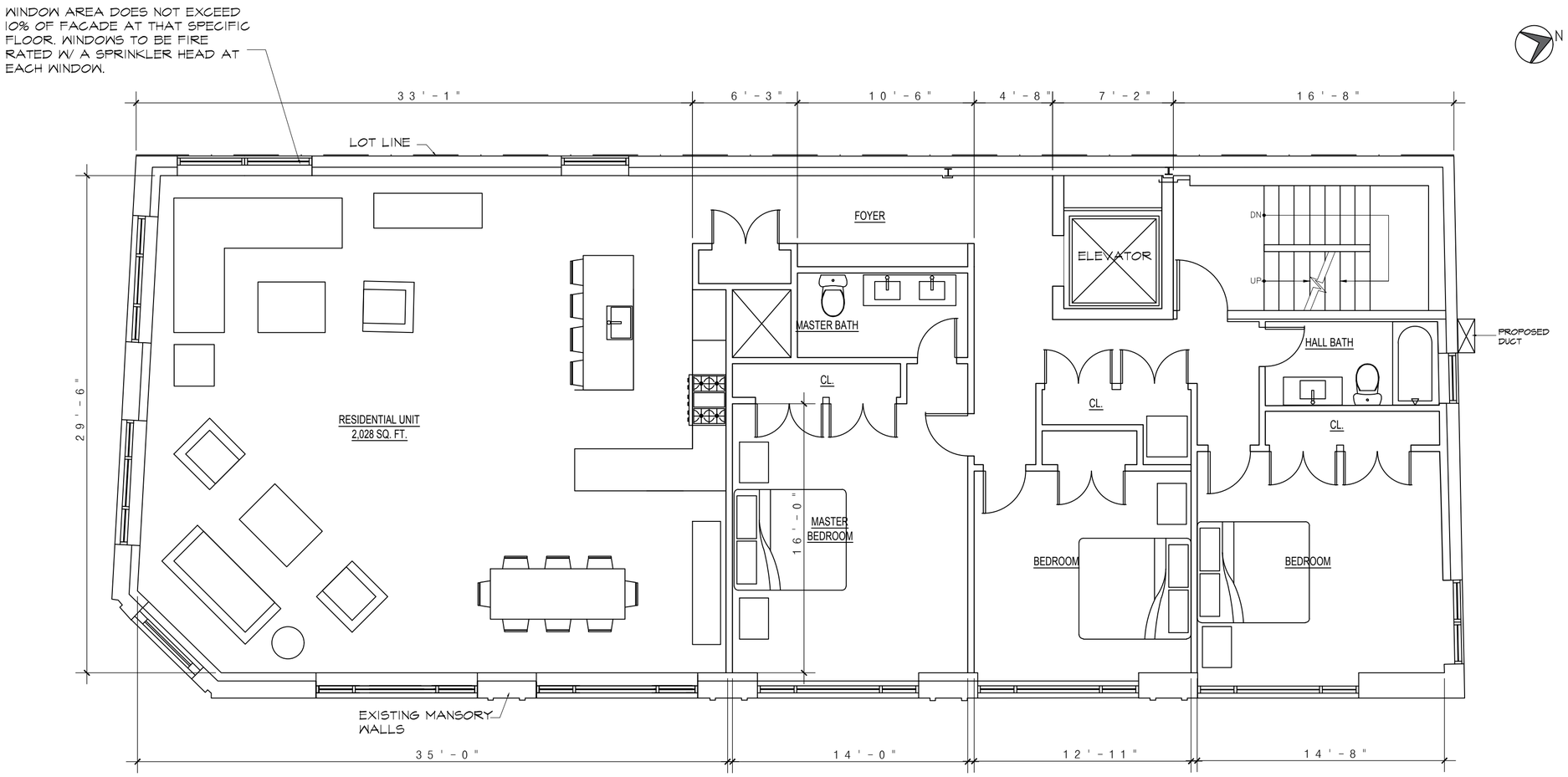
E.: will@aworlddesign.net


Seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

**GROUND FL. PLAN**

| | |
|---|---|
| DRAWN BY: R.T. | DRAWING NO.: A-1.2 |
| CHECKED BY: W.A. | |
| DATE: 1.17.2018 | 8 / 16 |
| REV.: 4.23.18 | JOB NUMBER: 2018-01 |




1 **SECOND FL. PLAN**
SCALE: 3/16"=1'-0"

**NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT**

**SECOND FLOOR OCCUPANCY CALCULATIONS:**

| Occupancy Type | NYSBC Occupant/sf | Floor area | No. of occupants |
|---|---|---|---|
| RESIDENTIAL-R-3 | 200/ GSF | 2,028 SF | 10 ALLOWED<br>4 PROVIDED |
| TOTAL NOS. OF OCCUPANTS = | | | 10 |

**2ND FLOOR PLUMBING FIXTURE CALCULATIONS: 2902.1**

RESIDENTIAL PLUMBING FIXTURES/GROUP R-3 OCCUPANCY:
10 OCCUPANTS

| NYBC REQUIREMENT | WATER CLOSETS | LAVATORIES | TUBS/SHOWERS | OTHER |
|---|---|---|---|---|
| WC | 1/DU | | | |
| LAVATORIES | | 1/DU | | |
| TUBS/SHOWER | | | 1/DU | |
| KITCHEN SINK | | | | 1KT.SINK/DU |
| WASH.MACHINE | | | | 1WM/DU |

**EGRESS STAIR CALCUALTIONS**

NO. OF EXITS
NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:

1. FOR OCCUPANCY R-3, MAX. OOCUPANT LOAD IS GREATER THAN 49
2. PATH OF EGRESS TRAVEL EXCEEDS 75'

FOR SECOND FLOOR OCCUPANCY LOAD IS 10. TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 1 IS PROVIDED + ELEVATOR

STAIR WIDTH:
NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS:
1.STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"

NYSBC 1011.5.2
STAIR RISER HEIGHT: MAX = 7", MIN = 4"
STAIR TREAD WIDTH: MIN.=11"

**LEGEND**

**PARTITIONS**

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.
- NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.
- NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.
- EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD
- EXISTING MASONRY WALL
- EXISTING CONCRETE FOUNDATION WALL

**SYMBOLS**

- XX / XX — ELEVATION NO. / ELEVATION SHEET NO.
- XX / XX — ELEVATION, SECTION, OR DETAIL NO. / SHEET NO.
- XX — DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
- XX — WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

PROJECT TITLE:
ALTERATIONS TO
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

**WORLD DESIGN ARCHITECTURE**
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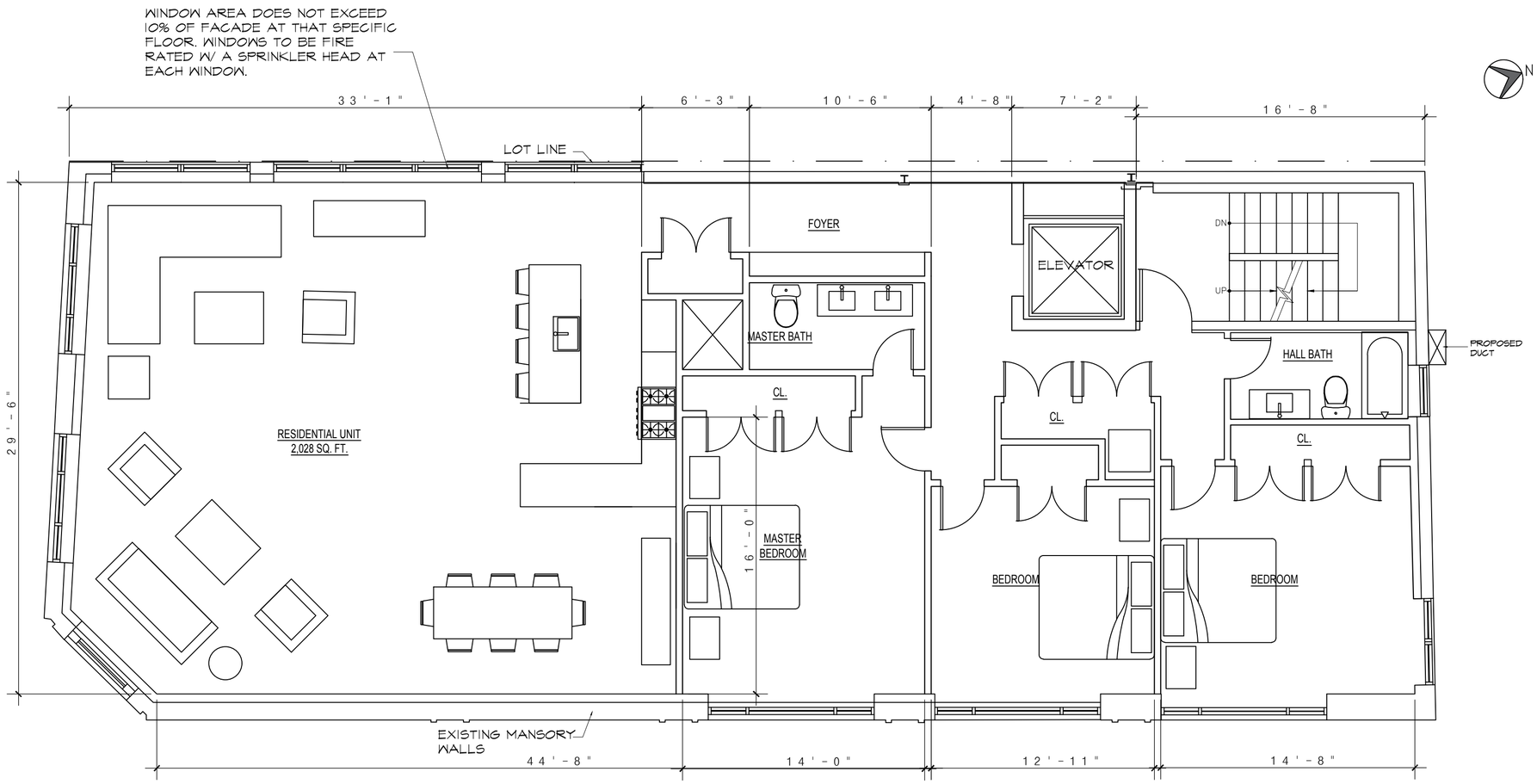
E.: will@aworlddesign.net

seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

**SECOND FL. PLAN**

| | |
|---|---|
| DRAWN BY: R.T. | DRAWING NO.: A-1.3 |
| CHECKED BY: W.A. | |
| DATE: 1.17.2018 | 9 / 16 |
| REV.: 4.23.18 | JOB NUMBER: 2018-01 |




1 **3RD FL. PLAN**
SCALE: 3/16" = 1'-0"

**NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT**

**THIRD FLOOR OCCUPANCY CALCULATIONS:**

| Occupancy Type | NYSBC Occupant/sf | Floor area | No. of occupants |
|---|---|---|---|
| RESIDENTIAL-R-3 | 200/ GSF | 2,028 SF | 10 ALLOWED<br>4 PROVIDED |
| TOTAL NOS. OF OCCUPANTS = | | | 10 |

**3RD FLOOR PLUMBING FIXTURE CALCULATIONS: 2902.1**

RESIDENTIAL PLUMBING FIXTURES/GROUP R-3 OCCUPANCY:
10 OCCUPANTS

| NYBC REQUIREMENT | WATER CLOSETS | LAVATORIES | TUBS/SHOWERS | OTHER |
|---|---|---|---|---|
| WC | 1/DU | | | |
| LAVATORIES | | 1/DU | | |
| TUBS/SHOWER | | | 1/DU | |
| KITCHEN SINK | | | | 1KT.SINK/DU |
| WASH.MACHINE | | | | 1WM/DU |

**EGRESS STAIR CALCUALTIONS**

NO. OF EXITS
NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:

1. FOR OCCUPANCY R-3, MAX. OOCUPANT LOAD IS GREATER THAN 49
2. PATH OF EGRESS TRAVEL EXCEEDS 75'

FOR THIRD FLOOR OCCUPANCY LOAD IS 10. TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 1 IS PROVIDED + ELEVATOR

STAIR WIDTH:
NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS:
1.STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"

NYSBC 1011.5.2
STAIR RISER HEIGHT: MAX = 7", MIN = 4"
STAIR TREAD WIDTH: MIN.=11"

**LEGEND**

**PARTITIONS**

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.
- NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.
- NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.
- EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD
- EXISTING MASONRY WALL
- EXISTING CONCRETE FOUNDATION WALL

**SYMBOLS**

- ELEVATION NO. / ELEVATION SHEET NO.
- ELEVATION, SECTION, OR DETAIL NO. / SHEET NO.
- DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
- WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

PROJECT TITLE:
ALTERATIONS TO
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

**WORLD DESIGN ARCHITECTURE**
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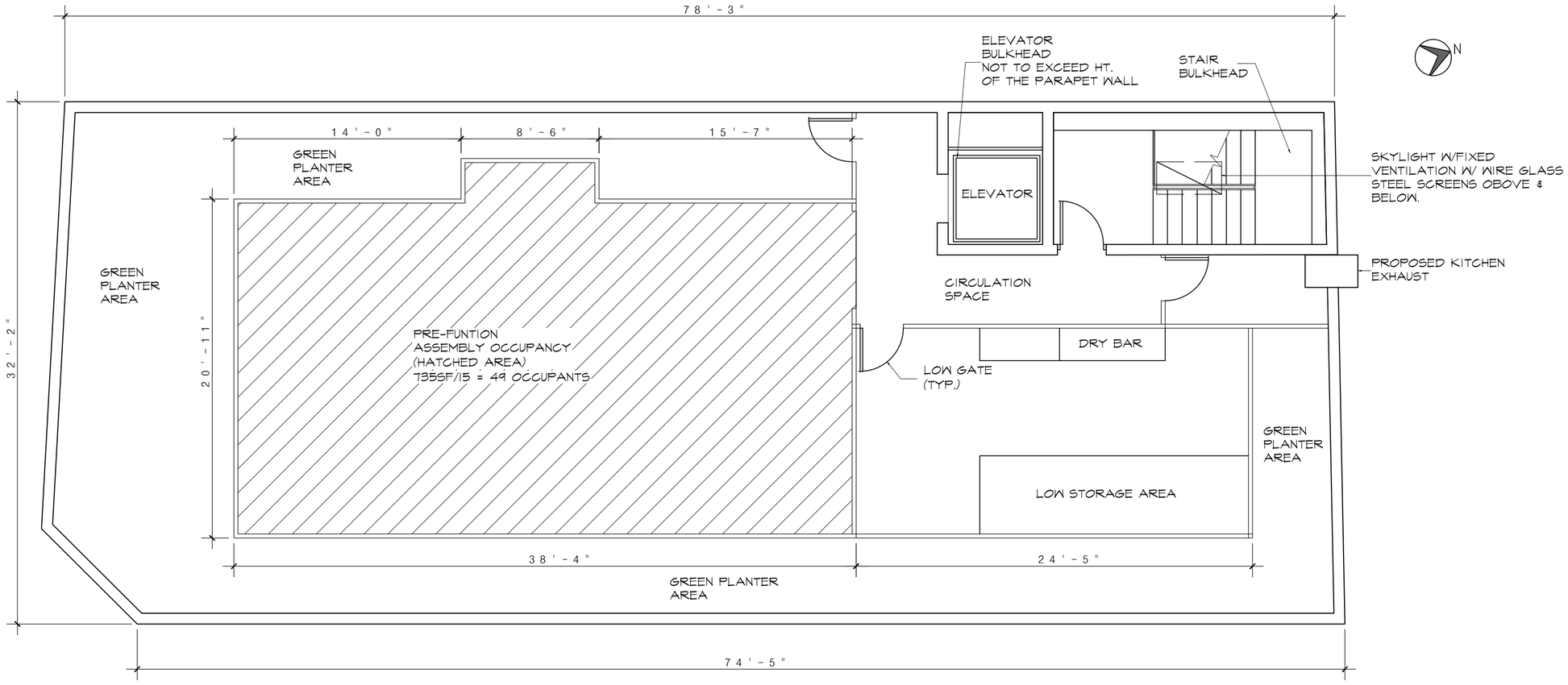
Seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

**3RD FL. PLAN**

| | |
|---|---|
| DRAWN BY: R.T. | DRAWING NO.: A-1.4 |
| CHECKED BY: W.A. | |
| DATE: 1.17.2018 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | 10 / 16 |




1 **NEW ROOF PLAN**
SCALE: 1/4"=1'-0"

**NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT**

**ROOF FLOOR OCCUPANCY CALCULATIONS:**

| Occupancy Type | NYSBC Occupant/sf | Floor area | No. of occupants |
|---|---|---|---|
| PREFUNCTIOIN AREA ASSEMBLY W/O FIXED SEATS (NET AREA EXCLUDES CORRIDORS, ELEVATORS, SHAFTS, STAIRWAYS & TOILETS | 15/ GSF | 735 SF | 49 ALLOWED |
| | | | |
| TOTAL NOS. OF OCCUPANTS = | | | 49 |

BASEMENT,FIRST FLOOR, & ROOF PLUMBING FIXTURE CALCULATIONS:

RESTAURANT PLUMBING FIXTURES/GROUP A2 OCCUPANCY- 45 BASMENT OCCUPANCY + 122 @ 1ST FLOOR + 49 OCCUPANCY @ ROOF = 216 OCCUPANTS

| NYBC REQUIREMENT | WATER CLOSETS | LAVATORIES | SERVICE SINKS | DRINKING FOUNTAIN |
|---|---|---|---|---|
| MALE WC 1/75; 216/2=108/75=1.4 URINALS: .67X1.44=.96 | 3 PROVD<br>2 PROVD | | | |
| FEMALE WC 1/75 216/2=108/75 =1.4 | 3 PROVD | | | |
| MALE LAVATORIES 1/200 216/2=108/200= .54 | | 3 PROVD | | |
| FEMALE LAVATORIES 1/200 216/2=108/200= .54 | | 2 PRVD | | |
| SERVICE SINK | | | 2 | |
| DRINKING FOUNTAIN 1/500 | | | | 0 |

**EGRESS STAIR CALCUALTIONS**

NO. OF EXITS
NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:

1. FOR OCCUPANCY A, MAX, OOCUPANT LOAD IS GREATER THAN 49
2. PATH OF EGRESS TRAVEL EXCEEDS 75'

FOR THE ROOF OCCUPANCY LOAD IS 49. TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 2 ARE PROVIDED*
*BC 1009.2.1: FOR AN OOCUPIED SPACE 4 STORIES ABOVE THE LEVELOF EXIT DISCHARGE, THE ELEVATOR IS REQUIRED AS AN ACCESSIBLE MEANS OF EGRESS. ELEVATOR MUST COMPLY W/BC1009.4 (SSTAND-BY POWER).

STAIR WIDTH:
NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS:
1.STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"

NYSBC 1011.5.2
STAIR RISER HEIGHT: MAX = 7", MIN = 4"
STAIR TREAD WIDTH: MIN.=11"

PROJECT TITLE:
ALTERATIONS TO
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

**WORLD DESIGN ARCHITECTURE**
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Seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

**ROOF PLAN**

DRAWN BY: R.T.
CHECKED BY: W.A.
DATE:
REV.: 4.23.18 11/16
DRAWING N A-1.
JOB NUMBE 2018-

1 **EAST ELEV. PLAN**
SCALE: 3/16" = 1'-0"

PROJECT TITLE:
ALTERATIONS TO
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

**WORLD DESIGN ARCHITECTURE**
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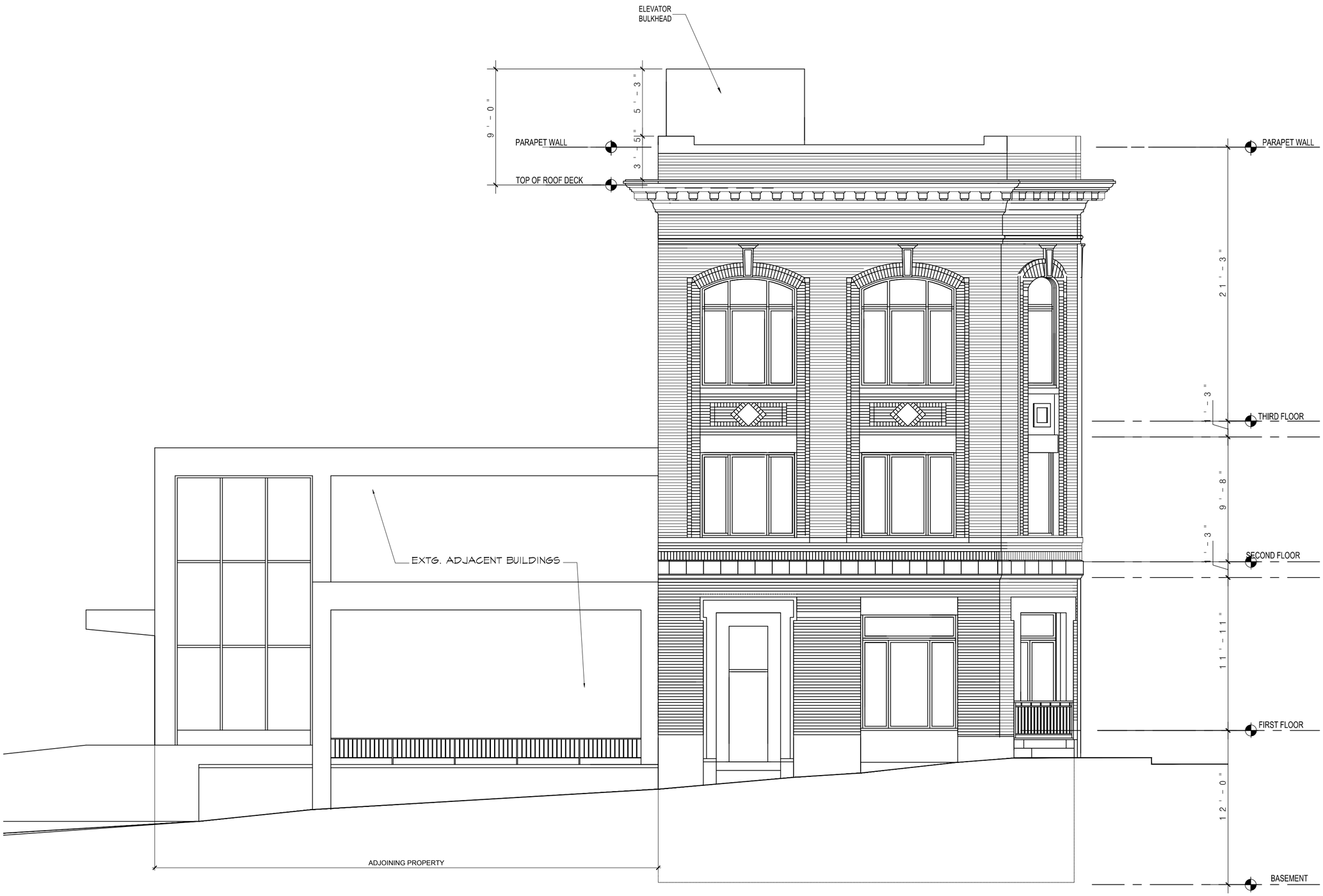
Seal: Architect William Alicea

REGISTERED ARCHITECT
WILLIAM A. ALICEA
018085
STATE OF NEW YORK

**EAST ELEVATION**

| | |
|---|---|
| DRAWN BY: R.T. | DRAWING NO.: |
| CHECKED BY: W.A. | A-2.1 |
| DATE: 1.17.2018 | JOB NUMBER: |
| REV.: 4.23.18 | 2018-01 |

12/16




1 **SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"

PROJECT TITLE:

ALTERATIONS TO

# 555 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

**WORLD DESIGN ARCHITECTURE**
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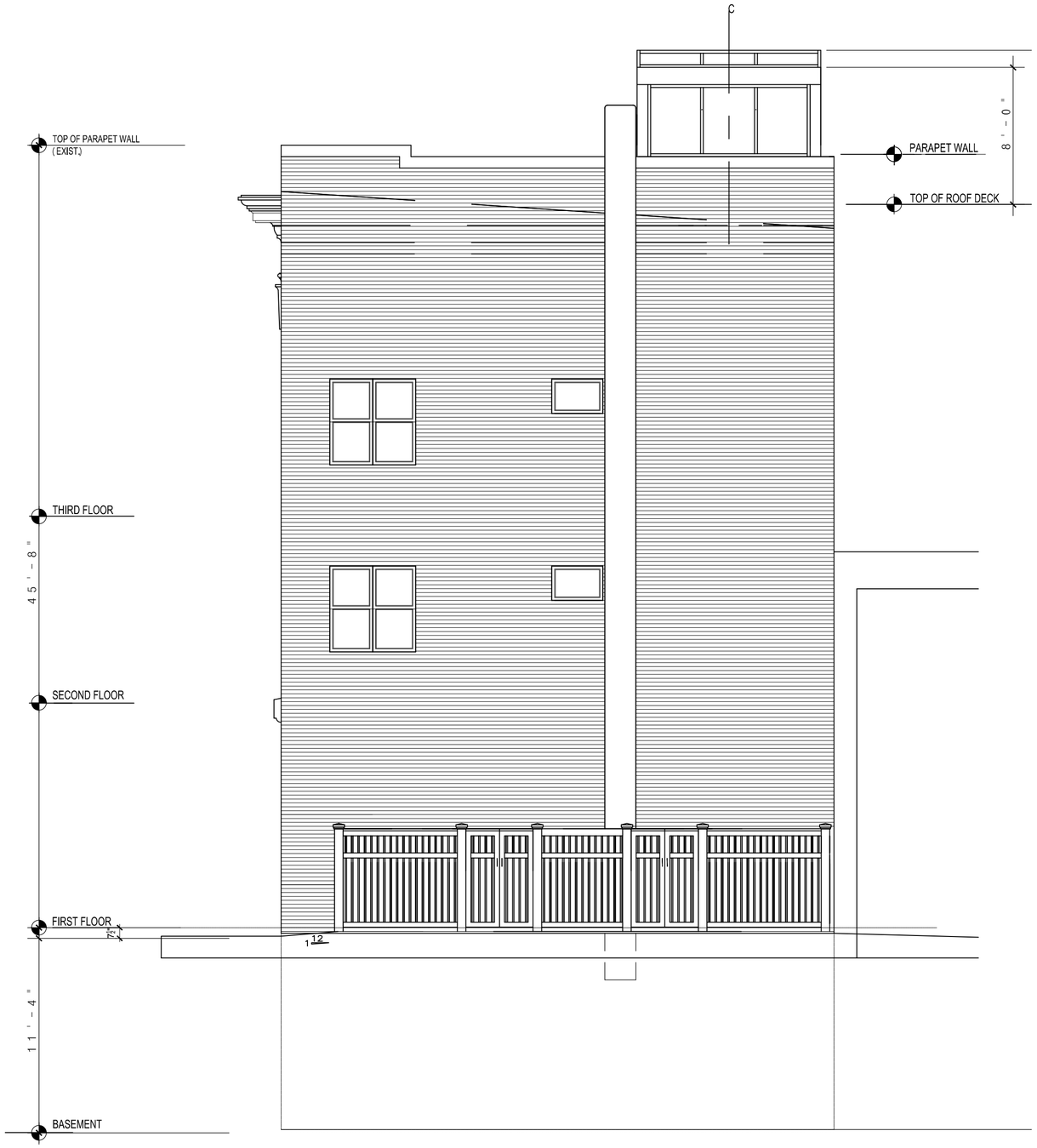
E.: will@aworlddesign.net

seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

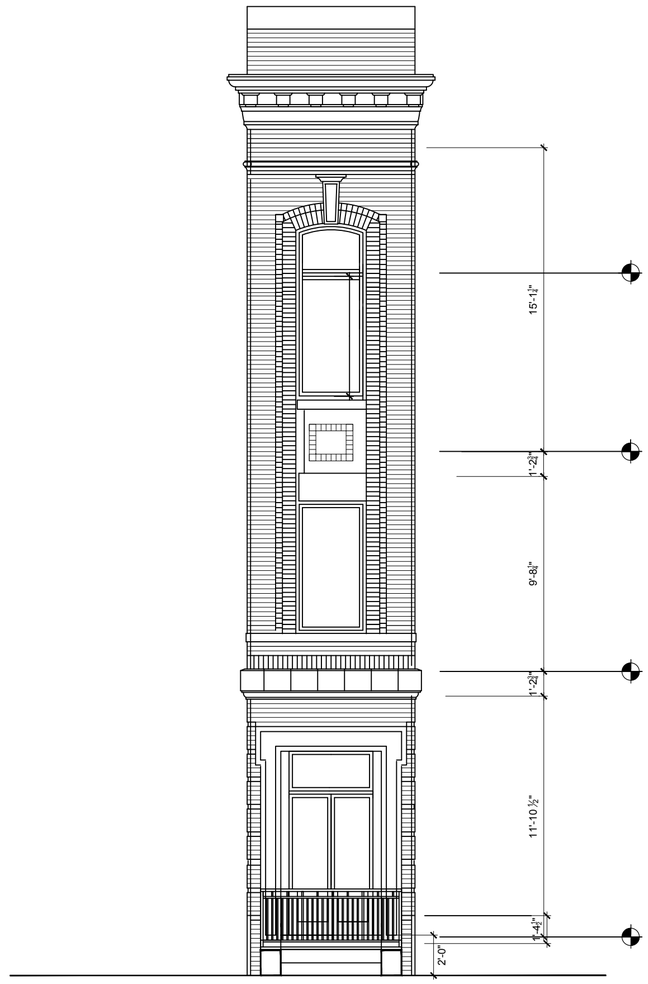
**SOUTH ELEVATION**

| | | |
|---|---|---|
| DRAWN BY: R.T. | | DRAWING NO.: **A-2.2** |
| CHECKED BY: W.A. | | |
| DATE: 1.17.2018 | 13 / 16 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | | |




1 **NORTH ELEVATION**

SCALE: $\frac{3}{16}$"=1'-0"




2 **SOUTH EAST CORNER ELEVATION**

SCALE: $\frac{3}{16}$"=1'-0"

PROJECT TITLE:
ALTERATIONS TO
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:


**WORLD DESIGN ARCHITECTURE**
William A. Alicea RA
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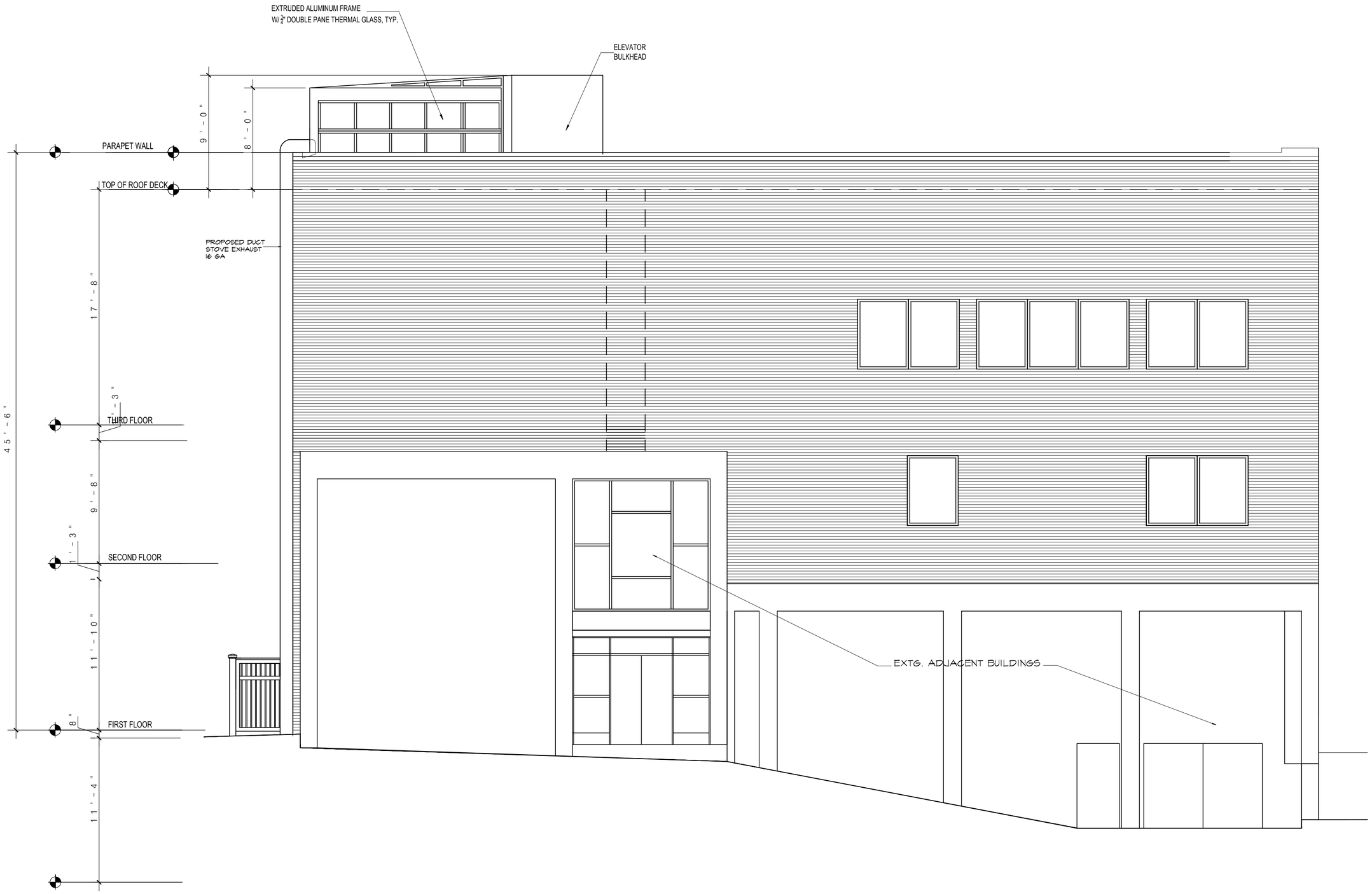
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net


seal: Architect William Alicea

**NORTH ELEVATION**

| | | |
|---|---|---|
| DRAWN BY: R.T. | | DRAWING NO.: **A-2.3** |
| CHECKED BY: W.A. | | |
| DATE: 1.17.2018 | 14 / 16 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | | |




MENT

1 **WEST ELEVATION**
SCALE: 1/16"=1'-0"

PROJECT TITLE:
ALTERATIONS TO
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

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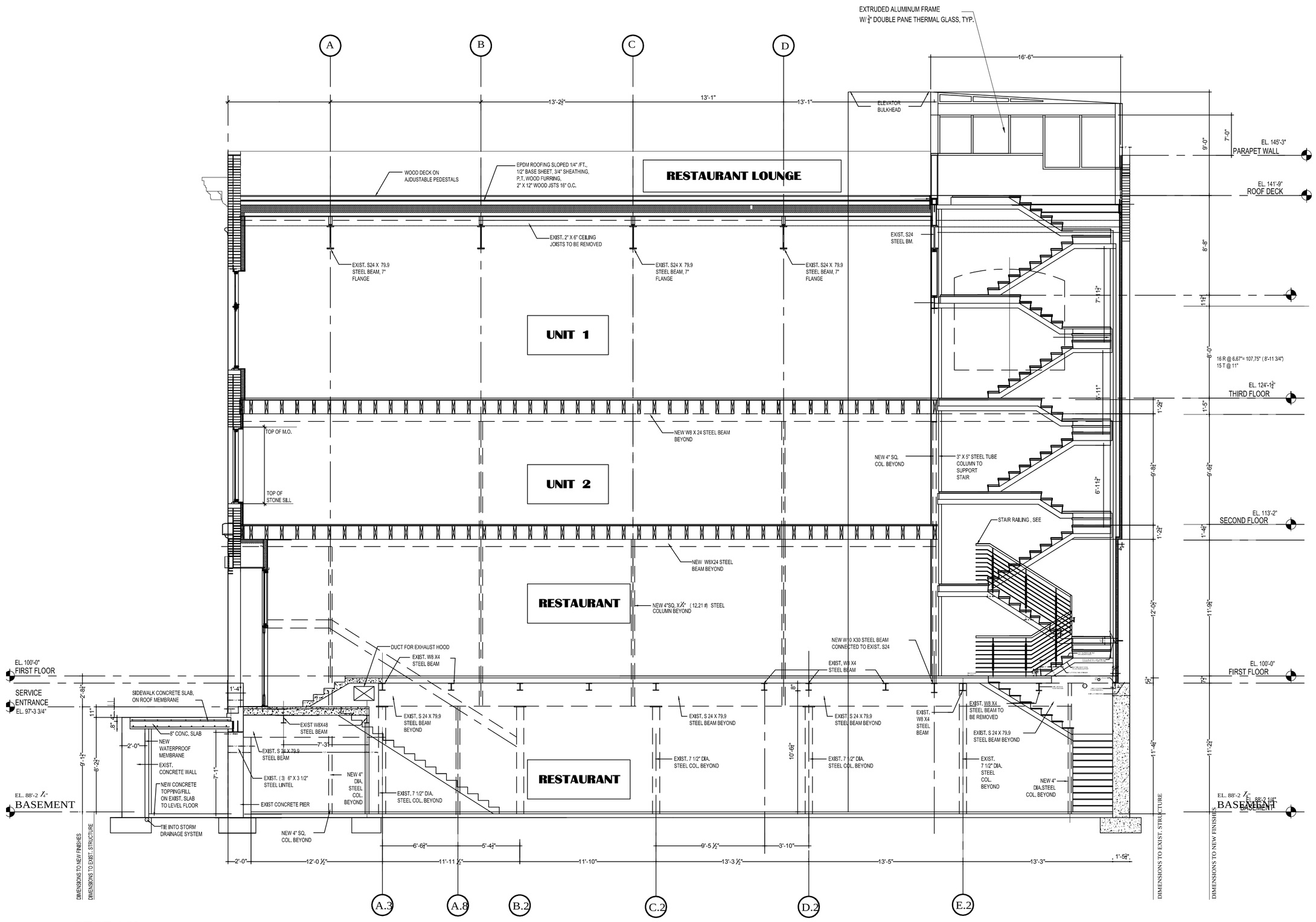
REGISTERED ARCHITECT
WILLIAM A. ALICEA
018085
STATE OF NEW YORK

**WEST ELEVATION**

| | |
|---|---|
| DRAWN BY: R.T. | DRAWING NO.: |
| CHECKED BY: W.A. | A-2.4 |
| DATE: 1.17.2018 | JOB NUMBER: |
| REV.: 4.23.18 | 2018-01 |

15/16




1 **SECTION**
SCALE: 3/16" = 1'-0"

PROJECT TITLE:
ALTERATIONS TO
# 555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES: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seal: Architect William Alicea

REGISTERED ARCHITECT WILLIAM A. ALICEA 018085 STATE OF NEW YORK

**SECTION**

| | |
|---|---|
| DRAWN BY: R.T. | DRAWING NO.: A-3.1 |
| CHECKED BY: W.A. | |
| DATE: 1.17.2018 | JOB NUMBER: 2018-01 |
| REV.: 4.23.18 | 16 / 16 |