145 Palisade Street, Suite 403
Dobbs Ferry, New York 10522
914.674.2950 tel.
914.693.1537 fax
Steven@seconarchitect.com

June 9, 2021

Honorable Members of the Zoning Board of Appeals Village of Hastings on Hudson

Re: Statement of Points and Considerations for the Zoning Board of Appeals Application for 46 Hudson St, Halprin Residence

Honorable Members of the Zoning Board of Appeals,

This letter is submitted to supplement the materials submitted to the Zoning Board for the next hearing.

1. Introduction

The primary reason that the Applicant is seeking zoning relief is to reconfigure their outdoor terraces and make selected exterior improvements to their property in order to create a more usable home for their growing schoolaged children, family and friends.

The second reason for the project stems from the poor condition of the existing raised terrace in the rear, which contains a failing retaining wall. This raised terrace would have to be re-built in any case. Given that the rear terrace is currently an awkward arc-shape, in poor condition, and does not fit the needs of the family and occasional guests-- it makes sense to rebuild this terrace and slightly expand in a more rational manner. The related trellis above that is planned will help filter out the sun –since the terrace faces south.

Additionally, the project proposes the installation of a Jacuzzi in the east-side raise terrace on the 1st floor which requires minor reconfiguration to the existing raised terrace.

Due to the property's irregular shape, currently non-conforming house location and proposed incursion into the rear and side setback, we are seeking several variances:

The Applicant requires several variances:

- Rear-yard setback of 10.4' (30' min. required, 19.6' proposed) for proposed trellis
- Rear-yard raised terrace 16.5' (6' allow encroachment, 13.5' proposed)
- Total side yard setback .8' due to increased non-conformity (30' min. required, 29.2' proposed)
- East side yard setback of .4' due to increased non-conformity (18' required , 17.6' proposed)
- Building coverage (proposed trellis) 4% variance required (25% max, 29% proposed)

2. Discussion

- The benefit to the Applicant is that the family will be able to remain in the house.
- ➤ With the exception of the 2 months of anticipated construction activity, no inconvenience or adverse effect is anticipated for the adjacent property owners if the variances are granted.
- Other alternatives were explored, but were either too large or unusable.
- The proposed project submitted is the most reasonable improvement because it is the least intrusive change to the non-conforming footprint.
- ➤ The proposed work is not substantial in light of the fact that the lot is irregularly shaped, barely visible from neighboring properties and the requests are in keeping with variances previously granted by this Board.
- The neighborhood will not be adversely affected, but will instead be improved because this project will bring the house closer in scale to the neighboring houses. The end result of the project will be attractive and not imposing to the street. The neighbors are very much in support of the application their supporting letters will be brought to the meeting.
- The hardship is not self-created inasmuch as housing standards have changed due to the pandemic and outdoor spaces are more important.

3. Conclusion

Several neighbors voiced support for the proposed project, their letters will be presented at the meeting. The Applicant is seeking your approval to build a sensibly-scaled alterations and is respectfully asking that the variances be granted.

Sincerely,

Steven Secon, AIA Architect for the Applicant

Cc: Joseph Halprin, Owner

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Zoning Board of Appeals

<u>Application and Procedure for Application for Variance/Interpretation/View Preservation</u>



Case number: Date of application: 04 19 21				
Property addre	on which the property is locate	ed: Hudson St Lot/Parcel: 4	Zoning District: R-10	
Address: 46 Hu	licant if not owner:dson St	Fax number: -		
	ested for (See §295-146B & C :	Interpretation;	Area Variance/s; View Preservation (See §295-82)	
	ns & provisions from which the		equested: Proposed Condition*	
Section* 295-68f.1(c) w/295-55A	Code Provision* side 1 18' both 30'	Existing Condition* side 1 17.6' both 29.2'	295-55A 17.6' ext. of non-conformity 29.2	
295-68f.1(b) w/295-20B(6)	rear yd 30' terrace allowed 6' into yard	22.2'	16.5' to terrace	
295-68f.2(a)(1) bldg coverage 25%	26%	29%	
*See example l	pelow:			
295-68F.1a	Front Yard Min. 30 ft. deep	26.5 ft		

Zoning Board of Appeals Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS	harres
(Principal Structure)	nouse

	REQUIRED	EXISTING	PROPOSED
FRONT 30'	30	30.2	28.2 allowable roof
REAR 30'	30	22.2	16.5
SIDE ONE 12'	12	11.6	11.6
SIDE TWO 18'	18	17.6	17.6
TOTAL OF TWO SIDES	30	29.2	29.2

YARD SETBACKS (Accessory Structure)

n/a

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2.5	2	2
FEET	35	36	36

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000	11,516	11,516
*BLDG. COVERAGE/ % OF LOT AREA	25	26	29
*DEVELOPMENT COVERAGE/ % OF LOT AREA	35	42	42

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	single fam res	single fam res	single fam res

^{**} Single Family, Two Family, Commercial, Mixed Use etc.



Zoning Board of Appeals Application and Procedure for Application for Variance/Interpretation/View Preservation

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
List pending violati	ons on this property if any:		
· Is there an approve	ed site plan for this property?:		
Is there an Access	ory Apartment at this property?:	(Yes)	
Does this property	have Boarder's Permit?:	(Yes)	
application. Descrivariance is necess or area) sought. Texplain the issue. Submit a flash drive and a toroperty survey showing the photographs, etc. as necessi	ewritten sheet of paper, state the princip be the construction, addition or alteration ary and demonstrate how the variance she criteria for the two types of variances of the five wish you may also state your argumental of three (3) copies (residential) or eight (8) are existing and proposed construction and all other sary to describe and support your application) we	n that requires the variance, satisfies the criteria for the tys are attached. (If an interprument for how the issue sho copies (commercial), of the applicater supporting documents (plans, of the office of the commercial).	Explain why a ype of variance (use etation is sought, uld be resolved.) eation along with the drawings, site maps,
ess than four (4) weeks pri	or to the date of scheduled meeting of the Zonin K	ng Board of Appeals.	м
COUNTY OF WESTCH			
	ay that all of the above statements and an with this application are true:	statements contained in all p	papers I have
Sworn to before me thi	s <u>30</u> day 21	pplicant	
Notary Public			

STEVEN SECON
Notary Public. State of New York
No 01SE6216355
Qualified in Westchester County
Commission Expires January 11 20*22

Zoning Board of Appeals

Application and Procedure for Application for

Variance/Interpretation/View Preservation

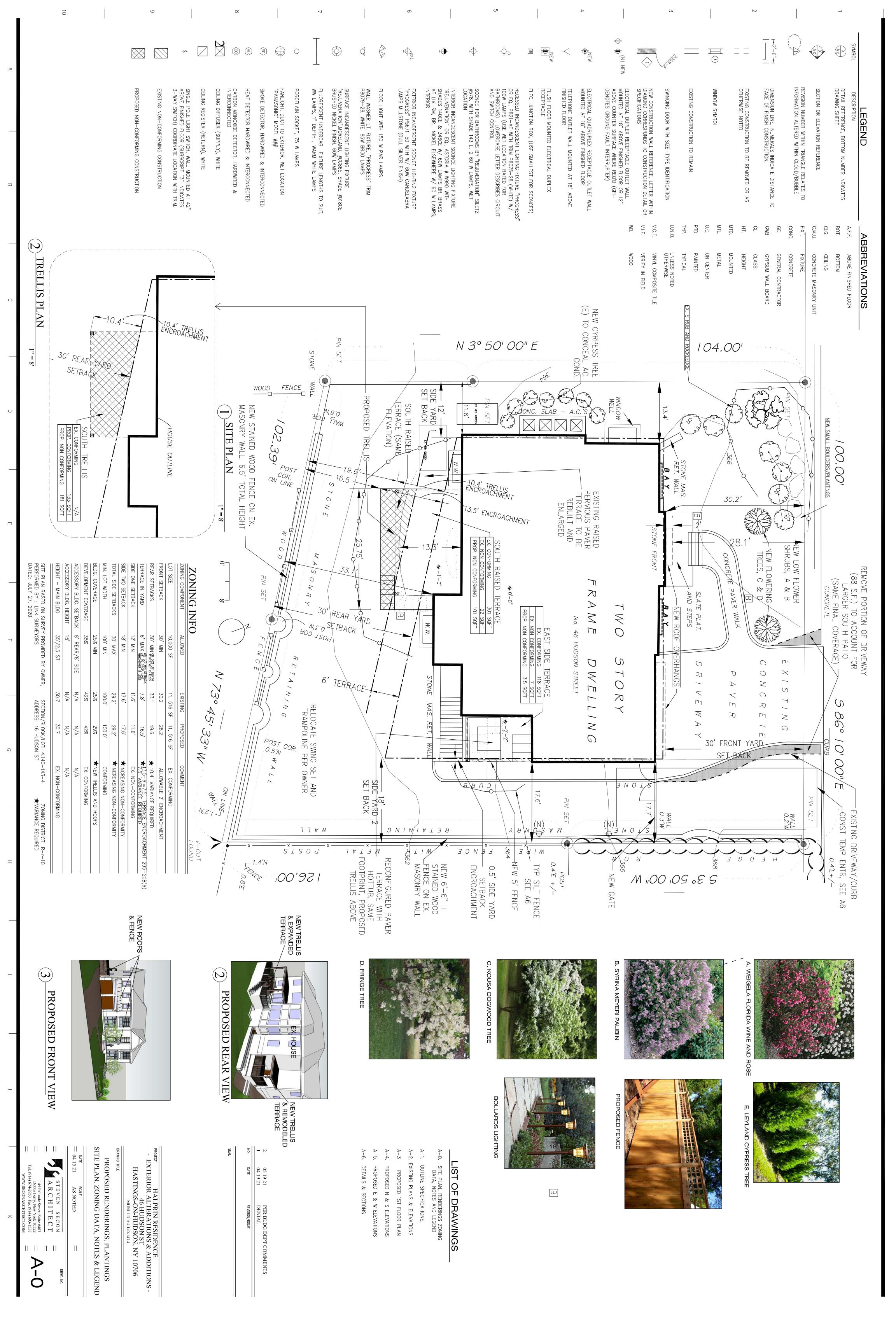


Name : Joseph Halprin	, being duly swom, deposes and says that
he/she resides at 46 Hudson Street	in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New Yo	ork, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hasting	gs-on-Hudson aforesaid and known and
designated as Sheet 4.140 Block 143	and Lot 4 of the tax map, and that
he/she hereby authorized Steven Secon, Architect	to make the annexed
application in his/her behalf and that the statement of fact co	ntained in said application are true.
STATE OF NEW YORK COUNTY OF WESTCHESTER ss.:	
Synd /h	
SWORN TO BEFORE ME THIS 30 DAY	
OF_April2021	
Steven Secon	

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

Notary Public STEVEN SECON Notary Public, State of New York No 01SE216355 Qualified in Westchester County Commission Expires January 11 2022

NOTICE



7. PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES 8. WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL (CCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION 'ERFORMANCE GUIDELINES" CURRENT EDITION. WHERE CONFLICTS OR POSSIBLE CONTRADICTORY INFORMATION ARE SHOWN, THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS. THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OI ATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE. FAILURE TO PROVIDE QUATELY TRAINED TRADESMAN AND SUPERVISION WILL BE GROUNDS FOR TERMINATION. CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. ISTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE TER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES LIL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER. ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL OF TO CONSTRUCTION. CONTRACT DOCUMENTS HAVE BEEN PREPARED USING INFORMATION AVAILABLE AT THE OF CONTRACT PREPARATION. SUBSURFACE EXPLORATIONS AND DATA DISCOVERED WILL NOTED ON DRAWINGS. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 RS. OWNER HALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING S CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING COURSE OF CONSTRUCTION. WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. MINIMIZE DUST AND UPTION DURING DEMOLITION. LEAVE PROJECT IN "BROOM—CLEAN" CONDITION. SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER—CONTRACTOR EEMENT IN AIA G702 FORMAT. PROVIDE UNIT PRICES AND ALLOWANCES AS PER ER—CONTRACTOR AGREEMENT. ALL DEBRIS MUST BE REMOVED DAILY FROM JOBSITE AND PROPERLY DISPOSED OF. AI MABLE MATERIALS MUST BE STORED IN UL APPROVED STORAGE CONTAINERS. FIRE VICUISHERS MITH MINIMUM 10 LBS CAPACITY, RATED ABC TO BE PLACED EVERY 1000 PROPERTY DURING CONSTRUCTION. BE COORDINATED WITH OWNER

PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITE JD PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE SPR. PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN MOVED TO THE FULLEST EXTENT POSSIBLE IN CAREFUL, NON-DESTRUCTIVE MANNER. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK OWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT RFACES, READY FOR APPLICATION OF FINISHES. IF DISCOVERED, SUSPECT OR BELIEVED CONTAMINATED OR HAZARDOUS CONDITIONS POSED AND PRESENT, SUCH CONSITION SHALL BE BROUGHT TO THE OWNERS AND CHITECTS ATTENTIONS AS SOON AS POSSIBLE. SHUTDOWNS AND INTERUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER OR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS CONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER. ONTRACTOR SHALL USE REASONABLE EXPERIENCE AND SENSE IN ESTABLORESEEN OR CONCEALED CONDITIONS. 6. WOOD AND PLASTICS

PSI.

AGGREGATES SHALL CONFORM TO ASTM C33; THE COARSE COMPONENT EITHER WASHED GRAVEL OR CRUSHED STONE. FINE AGGREGATE SHALL BE CLEAN NATURAL SAND.

PORTLAND CEMENT SHALL BE IN COMPLIANCE WITH ASTM C150, TYPE I

DEFORMED REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTMA615, GRADE 60.

STANDARD DETAILS FOR HOOKS, BENDS, AND DEVELOPMENT LENGTHS SHALL BE IN CONFORMANCE WITH THE "CONCRETE REINFORCING STEEL HANDBOOK", THE CRSI ENGINEERING PRACTICE COMMITTE.

SMOOTH WIRE FABRIC REINFORCEMENT SHALL BE IN COMPLIANCE WITH ASTM A185. SHEETS ONLY NO ROLLS, PER ACI ASTM A185.

GROUT SHALL BE NON-METALLIC AND NON-SHRINK, AND POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 5,000 PSI.

EXPANSION ANCHORS SHALL BE STAINLESS STEEL "KWIK BOLTS" AS MANUFACTURED BY THE HILTI CO. NEW RE-BAR DOWELS SECURED TO EXISTING CONCRETE WITH "HIT C-100" ADHESIVE ANCHORS. DESIGN, MIXING, TRANSPORTING, AND CURING OF ALL STRUCTURAL CONCRETE SHALL NFORM TO THE REQUIREMENTS OF THE "BUILDING CODE REQUIREMENTS FOR INFORCED CONCRETE", THE ACI.

RUCTURAL CONCRETE SHALL POSSESS A 28-DAY COMPRESSIVE STRENGTH OF 3,000 A185. SHEETS

ANCHORS.

ANCHORS.

ANCHORS.

ANCHORS.

ANCHORS.

ANCHORS.

AND ADJACENT FOOTINGS TO PREVENT UNDERMINING.

BELOW GRADE.OR GRADE.OR AND ADJACENT FOOTINGS TO PREVENT UNDERMINING.

WIDE POURS TO AVOID DAMAGE TO STRUCTURE.

BRADE FOR WALKS OR PATIOS SHALL BE 4" (6" AT DRIVEWAYS) AIR—

3000 PSI WITH 6x6 WWF REINFORCEMENT ON 4" COMPACTED GRAVEL BASE.

BY ANDOOR EXPOSED SLABS. BROOM FINISH EXTERIOR EXPOSED GRAVEL BASE.

SYPANSION JOINTS AT 5' O.C., TOOLED FLAG CONTROL JOINTS AT 5' O.C.,

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SYPANSION JOINTS AT 5' O.C., TOOLED FLAG CONTROL SAPOSED SLABS.

SINIMUM REBAR CONCRETE COVER PER ACI STANDARDS.

SHALL POSSESS A MAXIMUM SLUMP OF 3.5".

CONCRETE HAS NOT EXCEEDED MAXIMUM ALLOWABLE MOISTURE CONTENT BY DOMINITURE TESTING PER FLOORING MANUFACTURER DIRECTION.

CONCRETE FOOTINGS TO BE MIN. 12" BELOW LOCAL FROSTLINE AND BEAR ON MIN. UNDISTURBED SOIL. IF FIELD CONDITIONS ARE NOT SUFFICIENT, NOTIFY BEFORE PROCEEDING. DO NOT STEP MORE THAN TWO FEET HORIZONTAL TO VERTICAL TO BE BUILT OF 1 1/2" WEARING COURSE ON 1 1/2" BINDER COURSE VEL PER NATIONAL ASPHALT PAVEMENT ASSOCIATION (TURE ASTM D351-5. AMBIENT TEMPERATURE TO BE ABOVE 40"F COURSES. PROVIDE BELGIAN BLOCK CURB SET IN FULL 6" MORTAR ROVIDE OPEN JOINTS WHERE NEEDED FOR DRAINAGE. DEPRESS CURB YS SHALL BE MINIMUM OF 1" HIGHER THAN STREET LEVEL WITH

SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER NOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS CONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER. PROVIDE SHORING, STABILIZATION AND BRACING AS REQUIRED. PROVIDE PROPERTY, SITID PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE SR. PROVIDE P.E. ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUNICIPALITY. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK OWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT RFACES, READY FOR APPLICATION OF FINISHES. ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE APPROVAL FROM STEVEN SECON ARCHITECT PRIOR TO INSTALLATION. 3. USE TYPE M MORTAR FOR BELOW GRADE MASONRY. TYPE N ELSEWHERE. MORTAR SHALL BE SUFFICIENTLY PLASTIC AND MASONRY UNITS SAHLL BE PLACED TO FORM TIGHT JOINT OF APPROX. 3/8" OR TO MATCH EXISTING. 2. CONCRETE MASONRY UNITS TO BE SOLID FILLED AT TOP COURSE. PROVIDE HORIZONTAL TRUSS REINFORCING EVERY OTHER COURSE. LOAD BEARING UNITS (ASTM 10-10), FILLED SOLID WITH GROUT FOR FULL HT. AT BEARING POINTS—12" BOYIDES OF SUPERIMPOSED LOAD. GROUT SHALL BE LEAN WITH 8 TP 10" SLUMP. WHEN ISING CMU AS FOUNDATION WALLS, GROUT ENTIRE TOP COURSE AND BOTTOM COURSE UNLL. PROVIDE FULLY GROUTED CORES AT VERTICAL REBARS. DO NOT BACKFILL UNTIL MAXIMUM STRENGTH HAS BEEN ATTAINED AND FLOOR JOISTS ARE INSTALLED, RUNNING SOND PATTERN UNLESS NOTED OTHERWISE.

PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES. NTERIALS, INSTALLED WORK AND PERSONNEL. THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL OR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL. THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE ITRACT FOR CONSTRUCTION AIA DOCUMENT A201, 1997 EDITION", AVAILABLE FROM HITECT. 9. FLAGSTONE AND SLATE PAVERS TO BE 1 1/2" TH. TO MATCH EX. ON 2" STONE-DUST SETTING BEDS, FILTER FABRIC ON 4" THICK BED OF 3/4" GRAVEL SUB-BASE ON COMPACTED SOIL. 6. BRICKWORK SHALL MATCH EXISTING PATTERN (U.N.O.) WITH TYPE SW STANDARD BRICKS. PROVIDE 2' X 2' MOCKUP FOR APPROVAL OF EACH BRICK TYPE. PROVIDE SPECIAL SHAPES WHERE REQUIRED TO PREVENT CUT SURFACES FROM EXPOSURE. PROVIDE TIES, FLASHING AND WEEPHOLES WHERE REQUIRED. 5. EXTEND CHIMNEY WITH MATCHING BRICK (NOTE TEXTURE AND COLOR). PROVIDE ANCHORS WHERE REQ., USE TYPE N MORTAR. PROVIDE MORTAR WASH AT TOP. EXTEND FLUES TO NEW HEIGHT. PROVIDE CAP AND SCREEN. . BRICK PAVERS TO BE 2 1/4 TH SET ON 2" STONE DUST ON FILTER FABRIC, IICK BED OF 3/4" GRAVEL SUB BASE ON COMPACTED SOIL. PROVIDE 6" X 16 WEED RETAINING EDGING AT BRICKS RUNNING PARALLEL TO PATH. BRICK VENEER TO BE ANCHORED TO WALL FRAMING AT 16" HORIZ, 16" VERTICALLY XIMUM. FASTEN ALL ANCHORS SECURELY TO STUDS.

13. DAMPROOFING: FOUNDATION WALL SHALL BE DAMPROOFED WITH (2) COATS ASPHALT 11. PRE FAB CHIMNEY AND FIREPLACE: INSTALLATION OF PREFAB FLUES AND FIREPLACES SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATION. INSTALL FIRESTOPS AS REQUIRED BY CODE. FIRPLACE SHALL BE METAL PREFAB WITH COMPATIBLE FLUE AND SHALL BE UL LISTED. NOTE 2" CLEARANCE WHERE REQUIRED TO COMBUSTIBLE MATERIAL OR PER CODE. 12. FIREPLACES SHALL HAVE TEMPERED GLASS FIRE DOORS AND CLOSABLE COMBUSTION AIR INTAKE DUCTS AND COMPLY WITH N.Y.S. ENERGY CODE. . MASONRY CHIMNEY AND FIREPLACES: WHERE SHOWN ON THE PLANS, SHALL BE ICK OR STONE WHERE EXPOSED AND LAID IN A FULL BED OF CEMENT MORTAR WITH TOOLED JOINTS. FLUES TO BE FIRE CLAY SIZE SHOWN ON THE PLANS. PROVIDE ST IRON DAMPER, AS PIT AND CLEAN—OUT DOORS. PROVIDE FOR PROPER CLEARANCES IN COMBUSTIBLE CONSTRUCTION. FIRE STOP AT ALL CLEARANCES WITH COMBUSTIBLE MATERIAL. CONTRACTOR SHALL ENSURE PROPER CLEARANCES OF INNEY AND FIREPLACE PER N.Y.S. BUILDING AND ENERGY CODES.

14. PROVIDE 4" PVC PERFORATED PIPE FOOTING DRAIN LAID IN 16" STONE LAYER WITH LAYER OF FILTER FABRIC OVER. PITCH TO DAYLIGHT AND GRAVEL SPREADER OR IF SITE CONDITIONS REQUIRE, PITCH FOOTING DRAIN TO 50 GAL STONE DRYWELL (4'X 4' X 4" OF 1" GRAVEL IN FILTER FABRIC.) OR EQUAL

AL STEEL FOR HOT ROLLED PLATES, ANGLES, CHANNELS SHALL BE ASTM A36.

RAL STEEL FOR W SECTION BEAMS SHALL BE 50 KSI A-992.

AL STEEL FOR W SECTION BEAMS SHALL BE 50 KSI A-992.

AL STEEL PIPES SHALL BE IN COMPLIANCE WITH ASTM A501. WHERE USED FOR THE CENTER VOID SHALL BE IN CONFORMANCE WITH ASTM A500. GRADE B.

AL TUBING SHALL BE IN CONFORMANCE WITH ASTM A500, GRADE B.

TURAL STEEL SHALL BE MANUFACTURED TO ASTM A307, GRADE B.

TURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH TO ASTM A507, GRADE B.

TURAL STEEL SHALL BE SURFACE PREPARATION IN ACCORDANCE WITH TO ASTM A507, GRADE B.

TURAL STEEL SHALL BE "4-55 VERSARE PRIMER" AS TO BE FABRICATED PER ASTM A500 & ASTM A53 FROM \$ BAR-STOCK STERS, 2" SQ. TUBE NEWELS, 2" SHAPED HANDRAILINGS, BALL CAPS AT PROVIDE EPOXY GROUT SLEEVE ANCHORAGE WITH 8" MIN. EMBEDMENT.

MUST WITHSTAND 200#/LF AS GUARDRAILS, 50#/LF AS HANDRAILS.

RAILINGS MADE OF EXTRUDED BAR OR TUBE PER ASTM B221, ALLOY TO APPROVAL OF EACH. FINISH CLEAR ANODIC AAMA 607.1

FOR APPROVAL OF EACH. FINISH CLEAR ANODIC AAMA 607.1

STITUTE PUBLICATIONS. OR APPROVAL OF EACH. FINISH CLEAR ANODIC AAMA 607.1
GE METAL FRAMING SHALL BE IN ACCORDANCE WITH AMERICAN IRON AND
INTUTE PUBLICATIONS.
2" TH STEEL STIFFENER PLATES AT POINT LOADS. PROVIDE 1/2" TH STEEL
ND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT FOUNDATION SHALL BE A-50, PRE-DRILLED AND CONTINUOUS IN LENGTH AND LOW HYDROGEN FOR FIELD

1. THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST EDITION.

2. ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES: F(B) = 1,350 PSI F(V) = 75 PSI E = 1,350,000 PSI F(T) = 875 PSI F(C) = 325 PSI(PERPEN) F(C) = 825 PSI(PARA)

3. ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%.

4. SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE.

5. THE DESIGN, TRANSPORTATION, AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION.

6. PLYWOOD FOR FLOORS SHALL BE "STRUCTURAL I INT-DFPA"

7. PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I INT-DFPA"

8. JOIST/RAFTER HANGERS SHALL BE #18 GAGE GALVANIZED STEEL UNO BY TECO OR SIMPSON, USE COMPATIBLE NAILS AS RECOMENDED BY MANUF.

NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS:

PLYWOOD OVER JOISTS - 6" O/C; MIN 16D NAILS

PLYWOOD OVER WALL STUDS - 6" O/C @ INTERIOR MEMBERS; MIN 16D NAILS 4" O/C @ PANEL EDGES; MIN 16D NAILS

O. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACQ-PRESSURE TREATED PRESSERVATIVE. PRESSURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 THICK CDX AT WALLS IN SHALL BE APA RATED / ADHESIVE FOR ALL PLYY ALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION YWOOD SUBFLOORING TO BE PER APA AFG—01.

16. FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE. 15. CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS. ENGINEERED LUMBER BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS INSTRUCTIONS. PROVIDE PLACARD WHERE REQUIRED BY AHJ ZIP WALL WALL/ROOF SYSTEMS MAY BE USED IN LIEU IF INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR ALL RK SHALL NOT PROCEED WHERE WEATHER CONDITIONS JCE AMBIENT TERMPERATURES BELOW 40'F WITHOUT OTHER MEANS OF PROTECTION.

SPECIFICATIONS-NO

DITED

14. INSTALL PRESSURE T 1/2" DIA, 8" LONG ANCH TERMITE SHIELD AT BASE 3. DO NOT CUT HOLES UT CONTACTING ARCH. IOTCHES WITHIN 2" OF 1 RAMING SHALL BE IN ACT ENGINEERED LUMBER INSTRUCTIONS. PRO ZIP WALL WALL/ROOF SYSTEMS MAY BE USED IN LIEU IF ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. BY TRUS-JOIST MCMILLAN INSTALLED PER MANUFACTURERS REATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D IOR BOLTS AT 6' O.C. MAX. OVER SILL SEAL. PROVIDE METAL OF SILL PLATES. IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED SCORDANCE WITH MANUF. RECOMMENDATIONS.

18. MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF. 16. FIRESTOP PENETRATI 15. CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS. 7. PROVIDE DOUBLE ARTITIONS. JOISTS AND HEADERS ONS AND FIRE BLOCK ALL WALLS AND RE REQUIRED BY CODE. AT FLOOR OPENINGS BRACE AS AND BELOW REQ.

S S

20. PROVIDE DOUBLED JOISTS. 21. FINISH CARPENTRY WOODWORK QUALITY ST. O COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTU" INDARDS"—PREMIUM QUALITY LEVEL. SSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES DARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRIFOR APPROVAL. OISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE

23 EXPOSED ENDS OF POS PRESERVATIVE CONTAINING CONTAINING CHLOROPYRIFOS 24. EXTERIOR TRIM BY AZEK OR APPROVED NSTRUCTIONS AND TECHNICAL LITERATURE. 22. INTERIOR TRIM AND POPLAR OR PINE. ALLO MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR WOOD TO SEASON ON SITE. SCARF JOINTS. TS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT 3-IODO-2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE S AS ITS ACTIVE INGREDIENT. SUBSTITUTE. INSTALL PER MANUFACTURERS

7. THERMAL AND MOI STURE PROTECTION O BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, R-21/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOWARM SIDE. FIRE-RETARDANT WHERE REQUIRED. SOLID POLYMER SURFACING SHALL BE FABRICATED WITH NSTALLED ON OPEN WEB SUBSTRATE ON 16" CENTERS.

. FLASH ALL ADJOININ
LASHING TAPE FOR W.
DJACENT SURFACES W
ASTEN AND SEAL PER
RICKETS AS REQUIRED . RIGID INSULATION T ERIMETER, 24" DOWN SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED VILLE IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER R7 PER INCH. PROVIDE INTUMESCENT COATING IF NOT JM BOARD. BE 6 MIL POLYETHELENE. G SURFACES AND PENETRATIONS WITH METAL FLASHING AND ATERPROOF SEAL, PROVIDE SIMILAR DRIP EDGE, SECURE TO WITH FASTENERS TO RESIST REQUIRED WIND LOADS. FABRICATE, S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL—FLASHED BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FNDN AND 24" IN. AND TAPE SEAMS.

6.PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920. -WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROI JES PER ASTM E 814 BY TREMCO OR 3M FIRE PRODUCTS. REBUTTED AND REJOINTED RED CEDAR SIDING, 7" EXPOSURE, SE NO 1. BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND

PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR NUNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF PHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS OVIDE CORRUGATED HDPE BOOT AT GRADE TO JOIN SUBGRADE PIPING. EMIUM VINYL SIDING
STALL PER ASTM D36
STALL PER ASTM D36
LYESTER-COATED AL
OVIDE SAMPLES IN
PROVAL USE MAXIM
OULD BE ORIENTED A G BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD—70F 3679. .06 MIN. THICKNESS. WITH MATCHING FACTORY FINISHED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR MUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP AWAY FROM MAIN APPROACH TO PROJECT. EAVE VENTS. 300 MIN. VENT TO SF

13. APPLY COLD-APPLI OF MASONRY BACKUP I A RATE OF 1 GALLON/ 14. FILL ALL SMALL C. "GREAT STUFF" EXPAN . PROVIDE WATER—PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS NISISTING OF "BITUTHENE" 4000 (OR EQUAL) 60 MIL SHEET WITH 1/4" ASPHALTIC ROTECTION BOARD AND DIMPLED DRAINAGE BOARD. AVITIES IN FRAMING, AND ANNULAR PIPE PENETRATIONS WITH IDABLE URETHANE SEALANT FOAM. IED ASPHALT EMULSION DAMPPROOFING TO THE CAVITY FACE FOR MASONRY CAVITY WALLS. USE PRIMER PLUS ONE COAT 100 SF. TY SEALANT AT HOLES FOR PIPES, D ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. FELT AT SLOPES 3:12 AND OVER, USE ICE & WATER SHIELD GUTTER AND AT VALLEYS. BELOW 3:12 USE ICE & WATER 'PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. ROOF MANUAL. CONDUITS AND

16. LOW SLOPE ROOFING SYSTEM TO BE BY "FIRESTONE" OR EQUAL, 60 MIL BLACK FULLY ADHERED EPDM INSTALLED PER MANUF INSTRUCTIONS WITH 20 YEAR NDL WARRANTY. PROVIDE: 3½" POLYISOCYANURATE ROOF INSULATION WITH COATED FIBERGLASS FACER SHEETS CONSISTING OF 2 LAYERS; A 1½" LAYER ON THE DECK WITH A 2" TOP LAYER, 2 X 4 P.T. BLOCKING AT PERIMETER OF ROOF, EDGE TRIM .04" ALUMINUM WITH KYNAR FINISH, EDGING AT FRONT OF THE ROOF CUSTOM FABRICATED TO FIT NEATLY AND SECURLY OVER SHINGLES TO REMAIN. 15. PROVIDE FIRE PU PENETRATIONS. INSULATE MECHAN JSTRY AND TRADE ACCORDANCE WITH BEST

8. OPENINGS (WINDOWS AND DOORS) . WINDOWS ARE MARV
ARGON INSUL., LOW I
ARGON I
ARGON INSUL., LOW I
ARGON INSUL., LOW I
ARGON INSUL., LOW I
ARGON INSUL., LOW I
ARGON I IGES—"STANLEY", LOCKSETS AND LATCHSETS—, SLIDING DOOR SETS & POCKET
HRESHOLDS—"PEMKO", DOOR STOPS & BIFOLD
TED OR AS REQUIRED TO MATCH EXISTING.
DWARE MANUFACTURERS ASSOCIATION

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SHOP

AND

G SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" ALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD ATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION L PLYWOOD SUBFLOORING TO BE PER APA AFG-01. D INVILIS

BD TO WEATHER, IN CONTACT WITH THE

SHALL BE ACQ-PRESSURE TREATED

HALL BE IN ACCORDANCE WITH THE

PRESERVERS' ASSOC. FASTENERS UNSED

SE STAINLESS STEEL OR GALVANIZED G-185 160 PROVIDE CORNER BEADS, CASING BEADS AND L JOINTS, 3 COATS, FEATHERED.

4. WOOD FLOOR TO BE 3/4"X 2 1/4" T &G SELECT OAK TO MATCH EXIST'G (SEE FIN. SCHED.)W/ BLDG FELT AND CAVITY INSUL WHERE REQ. ALLOW WOOD FLOOR MATERIAL SEASON ON SITE PER MANUF. GUIDELINES, ALLOW GAP AT EDGES FOR EXPANSION PER MANUFACTURERS RECOMMENDATION. 3. STUCCO PORTLAND CEMENT PLASTER TO BE 3 COAT ON EXPANDED DIAMOND LATH, PROVIDE CONTROL JOINTS AT 20' MAX AND AT FLOOR LEVEL JUNCTURE. ALIGN WITH NEARBY WINDOW OR DOOR EDGE. PROVIDE SCREEDS, CORNER BEADS, AND ACESSORIES FOR COMPLETE INSTALLATION PER PORTLAND CEMENT ASSOCIATION STANDARDS.DOUBLE TYVEK LAYER FOR EXTERIOR APPLICATIONS AND EXPANDED DIAMOND MESH. CERAMIC TILE TO BE THINSET METHOD ACCORDING TO CERAMIC TILE INSTITUTE AND ARDS. PROVIDE COVE, BULLNOSED AND SPECIAL SHAPED TILE, GROUT AND SEAL. SE GROUT AS RECOMMENDED BY TILE MANUF, COLOR TO BE SELCTED. SEAL GROUT. SOVIDE MARBLE SADDLES WHERE REQUIRED. AT FL. TILE USE MUDSET TILING APPLICATION OR SHOWER ENCL TO DRAIN USE WITH FULLY BONDED PVC LINER—PAN BELOW OR THUTTER SYSTEM. AS REQUIRED TAPE AND SPACKLE

INSTALLED

z

: WATERPROOF VINYL MEMBRANE (OR EQUAL) BELOW UP 4" AT WALLS. CER. & MARBLE FLOOR

PAINT SHALL BE "PRATT AND LAMBERT" EXTERIOR LATEX, FLAT-SIDING NIN- FOR TRIM AND DOORS, INTERIOR GWB: EGGSHELL LUSTER- WALLS NIN- TRIM AND DOORS. PREP ALL SURFACES PER MANUF. INSTRUCTIONS PRIME AND NINT ALL SCHEDULED SURFACES 2 COATS MIN. COLORS TO BE SELECTED. PROVIDE 2'MOCKUP FOR APPROVAL OF EACH COLOR. APPLY PAINT WITHIN AREAS LIGHTED AT MINUM 100 FOOTCANDLES.

90PSPONDIALTORS ATTIC STOCK TILE & PAINT FOR FUTURE OWNER TOILET ACCESSORIES PROVIDED BY OWNER, INSTALLED BY GC. PROVIDE ANCHORAGE WHERE REQUIRED.

11. EQUIPMENT 12, 13, 14 NOT USED

2. CENTRAL VACUUM SYSTEM BY "EUREKA" DROP DOWN FABRIC FILTER SYSTEM. PROVIDE (1) ELECTRICAL INLET PER 600 SF OF FLOOR AREA. SYSTEM MINIMUM REQUIREMENTS INCLUDE: 110 CFM SUCTION, 95' WATER COLUMN HEIGHT. PROVIDE ALL REQUIRED HOSES, ELECTRICAL CONNECTIONS, ADAPTERS, AND FITTINGS. INSTALL ALL APPLIANCES PROVIDED BY OWNER INCLUDING BUT NOT LIMITED TO SHWASHER, M.W. OVEN, HOOD, COOKTOP, WALL OVENS, REFRIGERATOR, DISPOSAL

KITCHEN CABINETS AND VANITIES SHALL BE PREMI. GRADE, 3/4" PLYWD FINISH CONSTR. IN STOCK SIZES WITH FILLER PANELS AS REQ. (KRAFTMAID OR EQUAL) SOLID RECESSED PANEL SHAKER STYLE DOORS, W/ FULL EXTENSION HEAVY DUTY DRAWER GLIDES., RECYCLING BINS, ROLL—OUT SHELVES AND ACCESSORIES AS REQ'D LIGHT HONEY FINISH PINE, SUBMIT SAMPLE DOOR FOR APPROVAL. INSTALL CABINETS PER AWI SECTION 1700, STRAIGHT, LEVEL AND FREI OF DISTORTION TO ALLOW FOR UNENCUMBERED OPERATION. CABINET HARDWARE SHALL COMPLY WITH BHMA A156.9. KITCHEN COUNTERTOPS TO BE 1 1/4IN. MED. GREY PIETRO CORE BACKSPLASH. COUNTERTOP SHALL HAVE LEADING BULLNOSED ET TILED ABOVE SONE BACKSPLASH TO BOTTOM OF WALL CABINET. SHOWRM VISIT FOR APPROVAL. MIN. 3/4" OVERHANG BEYOUND EALL CUTOUTS AND TEMPLATES WITH OTHER TRADES. INSTALL WITH OTHER TRADES. FOR REVIEW AND ' PIETRO CORDOZA WITH 4" STONE
BULLNOSED EDGE. BASKSPLASH SHALL BE
VALL CABINET. PROVIDE STONE SAMPLES OF
VIG BEYOUND BASE CABINETS. COORDINATE
S. INSTALL WITH FEWEST SEAMS POSSIBLE.

13. SPECIAL CONSTRUCTION

SEAMS

INSTALL ALL APPLIANCES PROVIDED BY OWNER SHWASHER, M.W. OVEN, HOOD, COOKTOP, WALL INCLUDING BUT NOT LIMITED TO OVENS, REFRIGERATOR, DISPOSAL

FIRE EXTINGUISHERS SHALL BE PROVIDED 1 PER HOUSE OR DWELLING UNIT, UNLESS SHOWN OTHERWISE, TYPE ABC MOUNTED AT 4' AFF TO TOP, 5 LB BY KIDDE OR EQUAL SPRINKLER SYSTEM WHERE REQUIRED SHALL CONFORM WITH NFPA 13, LIGHT HAZARD. MDE SHOP DRAWINGS. CONFIRM ADEQUATE WATER SUPPLY AND PRESSURE TEST

PLUMBING — DOMESTIC WATER PIPING SHALL BE PEX B WITH SUITABLE FITTINGS OR COPPER, SOLDERED JOINTS, SANITARY AND VENT TO BE PVC OR CAST IRON. NOTE THAT ALL HORIZONTAL DRAIN LINES SHALL BE CAST IRON ABOVE HABITABLE SPACES. VERTICAL SANITARY AND DRAIN SHALL BE PVC OR CAST IRON, STORM UNDERGR. SHALL BE PVC. PROVIDE VALVES AND NECESSARY FITTINGS TO RENDER THE SYSTEM COMPLETE AND OPERATIONAL. PROVIDE FIXTURES AS SHOWN ON THE PLANS & INSTALL WATER HAMMER ARRESTER AT THE BOTTOM OF EACH LINE TO ABSORB SHOCK. GAS SERVICE LINES SHALL BE BLACK IRON PER CODE. ALL LINES SHALL BE FULLY AND SUCCESSFULLY TESTED BEFORE CONCEALMENT. INSULATE ALL LINES PER CODE. DE 3 FROST FREE HOSEBIBS IF NOT CALLED OUT 욷

PROVIDE NEW 80 GAL GAS FIRED WATER HEATER, COORD. LOCATION W/ ARCH. CONNECT FLUE PER CODE. INSTALL ON 4" HOUSEKEEPING PAD. RHEEM , A.O. SMITH OR EQUAL PROVIDE RECIRCULATING PUMP AS REQUIRED ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED IF NEEDED. PRO'ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES. IDE NEW RINNAI TANKLESS GAS WATER HEATER, HIGH EFFICIENCY OF USE "RHEEM" ELECTRIC WATER HEATER, SIZED MIN 2.5 GPM. WITH THERMOSTATIC VALVE. OR EQUAL.

BRUSHED CHROME. FULLY TEST AND MAKE SYSTEMS OPERATIONAL. OVIDE NEW WATER-POWERED SUMP PUMP BY LIBERTY SJ10 OR EQUAL IN SUITABLE LYETHYLENE PIT, ACCESSORIES, PIPING. CONNECT TO PERIMETER FRENCH DRAIN AND OVIDE DISCHARGE TO CODE APPROVED DRAINAGE OUTLET. 1 PIT AND PUMP PER 1000 BASEMENT.

PROVIDE NEW CAST-IRON RADIATORS OR RECESSED RADIATORS TO MATCH EXISTING. PROVIDE VALVES WHERE REQUIRED. BASEBOARD RADIATORS TO MATCH EXISTING OR IF NEW USE RUNTAL MODEL VLX SERIES SIZED TO SUIT. ALL SERVICE LINES SHALL BE SECURELY INSTALLED AND PROPERLY PROTECTED FROM OTHER TRADES AS WELL AS PROPERLY INSULATED OR HEAT TRACED. PROVIDE ACCESSIBLE SHUTOFF VALVES FOR FIXTURES AND APPLIANCES. PERIMETER FRENCH DRAIN TO BE BUILT OF PERFORATED 4" PERFORATED PVC WRAPP IN LAYER OF 1" GRAVEL AND FILTER FABRIC PIPED TO SUMP-PIT OR DRYWELL WITH MINIMUM SLOPE OF 1V:100H. PATCH PERIMETER OF BASEMENT FLOOR SLAB. PROVIDE "WET" ALARM WHEN WATER COMES WITH 4" OF SUMP PIT TOP. CONTACT OWNER FOR ALARM NOTIFICATION INSTRUCTIONS.

PROVIDE 2 NEW HYDRO—AIR SYSTEMS BY CARRIER: 4 TON UNIT IN BASEMENT A UNIT IN ATTIC. SEPARATELY ZONE 1ST FL AND 2ND FL PROVIDE WFI ENABLED PROGRAMMABLE "NEST" THERMOSTATS. HVAC UNIT CAPACITIES ARE PRELIMINARY SHOULD BE CONFIRMED BY HVAC SUBCONTRACTOR. LOCATE CONDENSOR UNIT WIPROPERTY LINE SETBACKS ON PRECAST CONCRETE PADS. LOCATE REFRIGERANT I EXTRA DEDICATED NON-FUNCTIONAL GUTTER LEADER. PROVIDE RUPTURE PANS A AT EACH AHU. MINIMUM A/C SEER VALUE 16. CONDENSOR UNITS MUST MEET APVOISE DB RATINGS. VAC- PROVIDE AND MODIFY DUCTWORK REGISTERS AND DIFFUSERS, DAMPERS AS REQUIRED CONDITION THE NEW AND EXISTING SPACES TO 72 DEGREES INDOORS WHEN OUTSIDE IMPERATURE REACHES 90 DEGREES, AND 70 DEGREES WHEN OUTSIDE TEMPERATURE ACHES 0 DEGREES. PROVIDE FLUSHABLE STEAM HUMIDIFIER. IN BASEMENT AND 3 TON WIFI ENABLED ,

MBI GAS BOILERS BY NAVIEN NFC SERIES OR EQUAL TO BE SIZED APPROPRIATELY AND LAR ENERGY STAR RATING, WITH AFUE RATING OF 95% OF GREATER. PROVIDE MANUAL AND YEAR WARRANTY. DHW UP TO 199K BTH/H NOT OTHERWISE

> 15-041-081 1 B EVE OVE P IS NOSOFILE 4 240 LAS JE LI-SYL OFL T SESTI OFF 01-001-04 15 NOSOF P. S. A. TENORGIANOS POCK-DIL P SECTION . LS NEMOTIVE HE SI CALOUE A L'S NEIMMA SE 15 NAMOODD A 4 H9/125-11 PA-ONY T REMORGANDE BEALTON M COODS KORDAN PED FOEL OIL T 140-146-39 NUMBER OF \$2.600.000 p Chest-Sat a ES NOSCINEZA 12.991-011-1 1.00000001 AND TO TO TO THE 4 TO CON ST - MARKADHALE NACIMOL FE THE STATE WANDOWSK LT subject IS MINOCOCK IN 4310 120-13 11 SUMMIT 57 1 140 145-23 POST OFF T M NACHEL ET CHARL ON A IS INDIVIS 12 SUMMET S \$110-125A 22 SUMMENT ST 20 SUMMET ST 13 KORDAN RD IS THOUGH T 4.5 TE DIMMETS OF STIPL DILLE 13 JORDAN RD 4 140 146-44 古贝

LOCATION MAP/ 300' NOTIFICATION MAP

NO 1 2

PER BLDG DEPT COMMENTS
DENIAL

HALPRIN RESIDENCE
EXTERIOR ALTERATIONS & ADDITIONS
46 HUDSON ST
HASTINGS-ON-HUDSON, NY 10706
MUNI 1.D. #4.140-143.4

OUTLINE SPECIFICATIONS

SCALE AS NOTED

STEVEN SECON ARCHITECT D

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