

June 9, 2021

Honorable Members of the Zoning Board of Appeals
Village of Hastings on Hudson

Re: **Statement of Points and Considerations for the Zoning Board of Appeals
Application for 46 Hudson St, Halprin Residence**

Honorable Members of the Zoning Board of Appeals,

This letter is submitted to supplement the materials submitted to the Zoning Board for the next hearing.

1. Introduction

The primary reason that the Applicant is seeking zoning relief is to reconfigure their outdoor terraces and make selected exterior improvements to their property in order to create a more usable home for their growing school-aged children, family and friends.

The second reason for the project stems from the poor condition of the existing raised terrace in the rear, which contains a failing retaining wall. This raised terrace would have to be re-built in any case. Given that the rear terrace is currently an awkward arc-shape, in poor condition, and does not fit the needs of the family and occasional guests-- it makes sense to rebuild this terrace and slightly expand in a more rational manner. The related trellis above that is planned will help filter out the sun –since the terrace faces south.

Additionally, the project proposes the installation of a Jacuzzi in the east-side raise terrace on the 1st floor which requires minor reconfiguration to the existing raised terrace.

Due to the property's irregular shape, currently non-conforming house location and proposed incursion into the rear and side setback, we are seeking several variances:

The Applicant requires several variances:

- Rear-yard setback of 10.4' (30' min. required , 19.6' proposed) for proposed trellis
- Rear-yard raised terrace 16.5' (6' allow encroachment, 13.5' proposed)
- Total side yard setback .8' due to increased non-conformity (30' min. required, 29.2' proposed)
- East side yard setback of .4' due to increased non-conformity (18' required , 17.6' proposed)
- Building coverage (proposed trellis) 4% variance required (25% max, 29% proposed)

2. Discussion

- The benefit to the Applicant is that the family will be able to remain in the house.
- With the exception of the 2 months of anticipated construction activity, no inconvenience or adverse effect is anticipated for the adjacent property owners if the variances are granted.
- Other alternatives were explored, but were either too large or unusable.
- The proposed project submitted is the most reasonable improvement because it is the least intrusive change to the non-conforming footprint.
- The proposed work is not substantial in light of the fact that the lot is irregularly shaped, barely visible from neighboring properties and the requests are in keeping with variances previously granted by this Board.
- The neighborhood will not be adversely affected, but will instead be improved because this project will bring the house closer in scale to the neighboring houses. The end result of the project will be attractive and not imposing to the street. The neighbors are very much in support of the application – their supporting letters will be brought to the meeting.
- The hardship is not self-created inasmuch as housing standards have changed due to the pandemic and outdoor spaces are more important.

3. Conclusion

Several neighbors voiced support for the proposed project, their letters will be presented at the meeting. The Applicant is seeking your approval to build a sensibly-scaled alterations and is respectfully asking that the variances be granted.

Sincerely,



Steven Secon, AIA
Architect for the Applicant

Cc: Joseph Halprin, Owner

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Steven Secon, AIA
Architect for the Applicant

Cc: Joseph Halprin, Owner

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number: Date of application: **04 19 21**

Property owner: **Joseph Halprin**

Property address: **46 Hudson St**

Name all streets on which the property is located: **Hudson St**

Sheet: **4.140** Block: **143** Lot/Parcel: **4** Zoning District: **R-10**

Applicant: **Joseph Halprin**

Standing of applicant if not owner:
Address: **46 Hudson St**

Daytime phone number: **960 6684** Fax number: **-**

E-mail address: **joehalprin@me.com**

ZBA action requested for (See §295-146B & C : Use Variance/s; Area Variance/s;
 Interpretation; View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68f.1(c) w/295-55A	side 1 18' both 30'	side 1 17.6' both 29.2'	295-55A 17.6' ext. of non-conformity 29.2'
295-68f.1(b) w/295-20B(6)	rear yd 30' terrace allowed 6' into yard	22.2'	16.5' to terrace
295-68f.2(a)(1)	bldg coverage 25%	26%	29%

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.....Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON
 Zoning Board of Appeals
 Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS (Principal Structure) house

	REQUIRED	EXISTING	PROPOSED
FRONT 30'	30	30.2	28.2 allowable roof
REAR 30'	30	22.2	16.5
SIDE ONE 12'	12	11.6	11.6
SIDE TWO 18'	18	17.6	17.6
TOTAL OF TWO SIDES	30	29.2	29.2

YARD SETBACKS (Accessory Structure) n/a

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2.5	2	2
FEET	35	36	36

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000	11,516	11,516
*BLDG. COVERAGE / % OF LOT AREA	25	26	29
*DEVELOPMENT COVERAGE / % OF LOT AREA	35	42	42

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	single fam res	single fam res	single fam res

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:
-
-

- Is there an approved site plan for this property?: (Yes) (No)
- Is there an Accessory Apartment at this property?: (Yes) (No)
- Does this property have Boarder's Permit?: (Yes) (No)

- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
 COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:



 Applicant

Sworn to before me this 30 day
 of April, 2021



 Notary Public

STEVEN SECON
 Notary Public, State of New York
 No 01SE6216355
 Qualified in Westchester County
 Commission Expires January 11 2022

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Name : Joseph Halprin, being duly sworn, deposes and says that he/she resides at 46 Hudson Street in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.140 Block 143 and Lot 4 of the tax map, and that he/she hereby authorized Steven Secon, Architect to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:



Owner

SWORN TO BEFORE ME THIS 30 DAY
OF April 20, 21



Notary Public STEVEN SECON
Notary Public, State of New York
No. 01SE6216355
Qualified in Westchester County
Commission Expires January 11, 2022

NOTICE

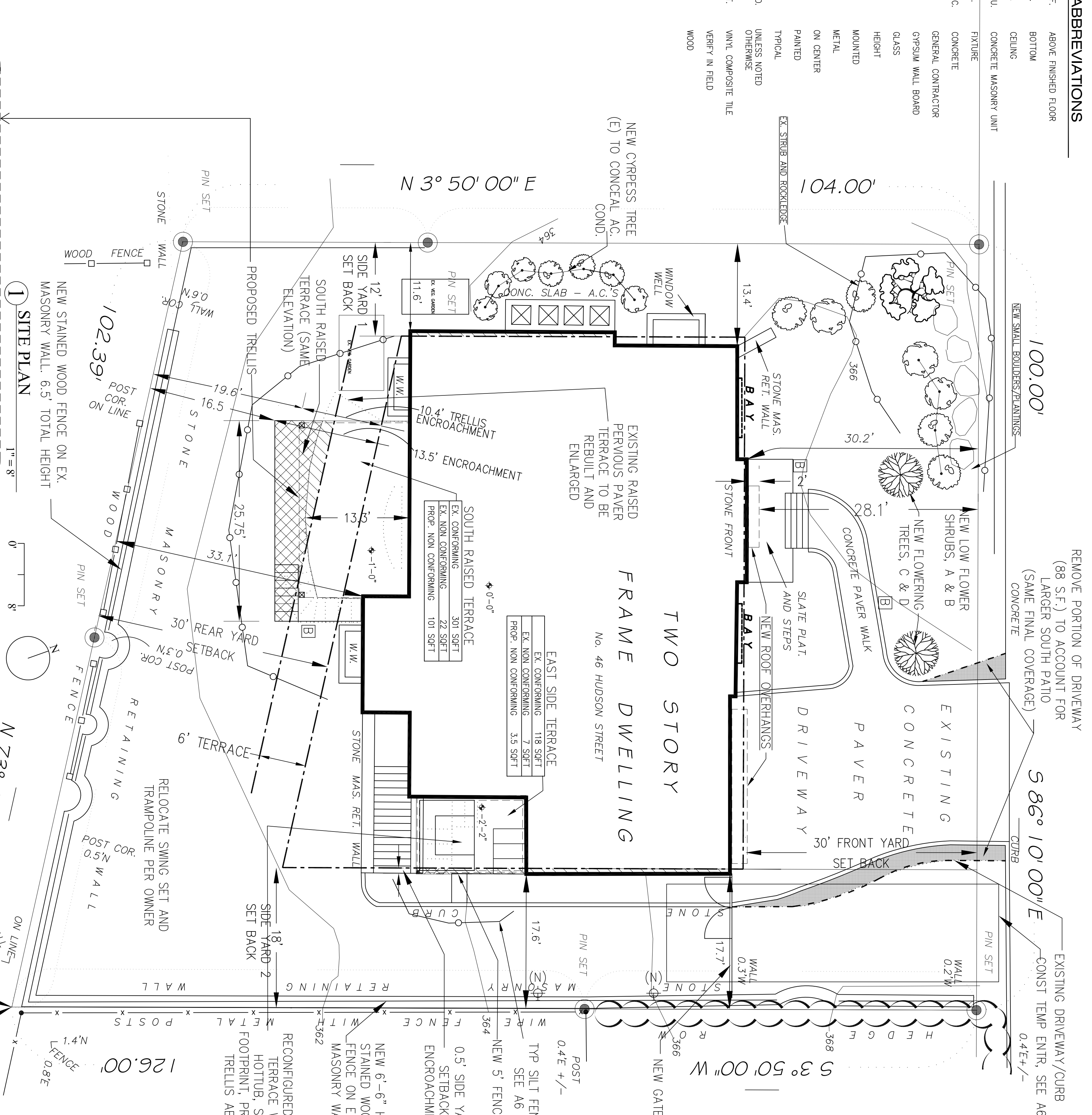
This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

LEGEND

SYMBOL	DESCRIPTION
	DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET
	SECTION OR ELEVATION REFERENCE
	REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE
	DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION
	EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED
	WINDOW SYMBOL
	EXISTING CONSTRUCTION TO REMAIN
	SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION
	NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS
	ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR
	FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE
	ELEC. JUNCTION BOX, (USE SMALLEST FOR SCONCES)
	RECESSED INCANDESCENT LIGHTING FIXTURE, "PROGRESS" OR "REJUVENATION" OR EQ. ASTORIA # W99D WITH SHADES (RACE & 3462E W/ 60W LAMPS BR. BRASS AT 11V, RM. BR. NICKEL ELSEWHERE W/ 60 W LAMPS, INTERIOR)
	EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE, "PROGRESS" #267-50 WITH W/ 60W CANDELABRA LAMPS MILSTONE (OIL SILVER FINISH)
	FLOOD LIGHT WITH 150 W PAR LAMPS
	WALL WASHER LT. FIXTURE, "PROGRESS" TRM #P079-28 WHITE, 85W BR30 LAMPS
	SURFACE INCANDESCENT LIGHTING FIXTURE, "REJUVENATION" MORELAND, #C2665, SHADE #181CE BRUSHED NICKEL FINISH, 60W LAMPS
	FLUORESCENT UNDERCAB. FIXTURE LENGTHS TO SUIT, MW LAMPS, 1" DEPTH, WARM WHITE LAMPS
	PORCELAIN SOCKET, 75 W LAMPS
	FANLIGHT, DUCT TO EXTERIOR, NET LOCATION "PANSYONIC" MODEL ##
	SMOKE DETECTOR, HARDWIRED & INTERCONNECTED
	HEAT DETECTOR HARDWIRED & INTERCONNECTED
	CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED
	CEILING DIFFUSER (SUPPLY), WHITE
	CEILING REGISTER (RETURN), WHITE
	SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSPACED 1.5" MINIMUMS 3"-MIN SWITCH) COORDINATE LOCATION WITH FINL.
	EXISTING NON-CONFORMING CONSTRUCTION
	PROPOSED NON-CONFORMING CONSTRUCTION

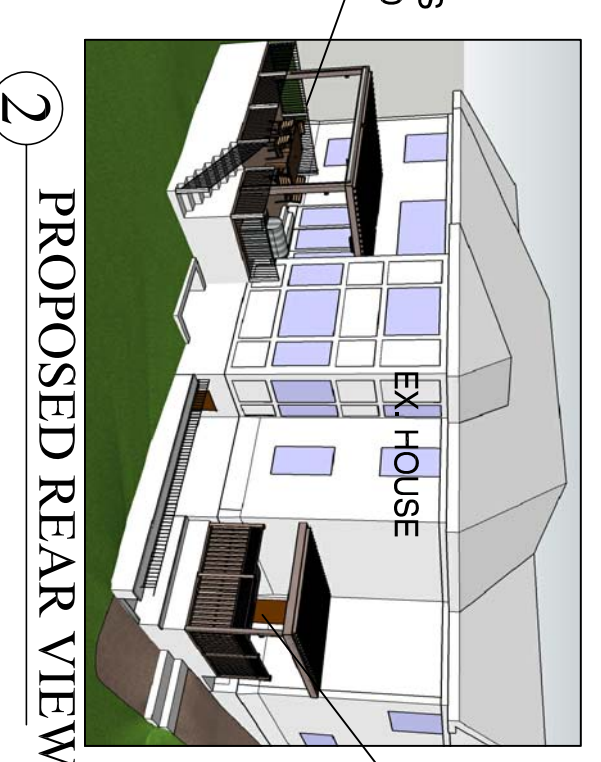
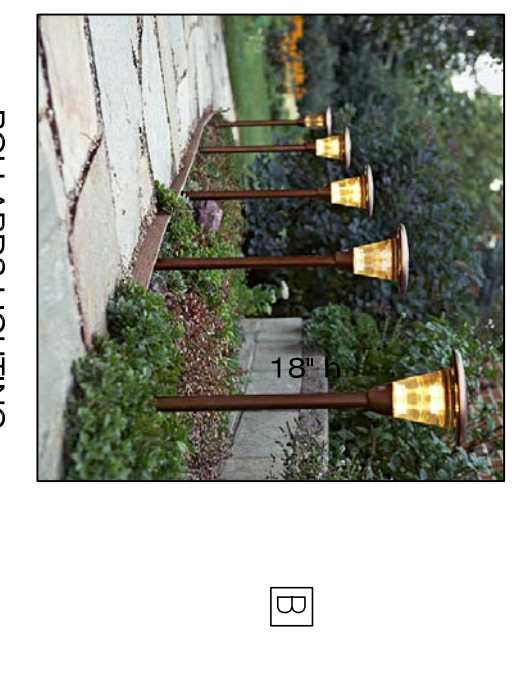
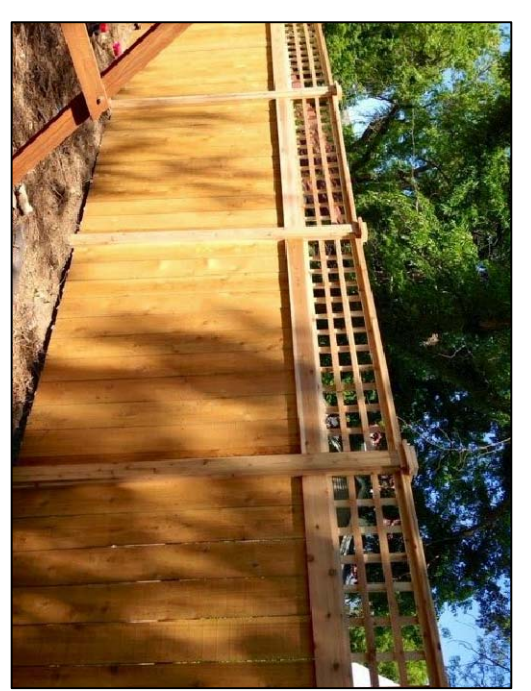
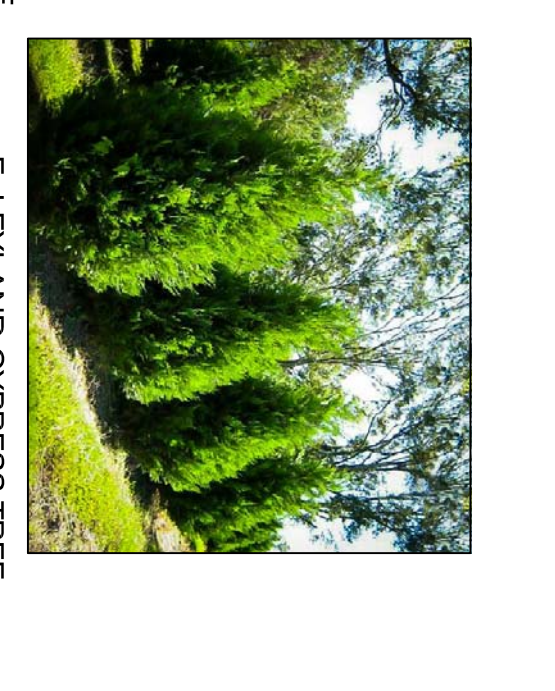
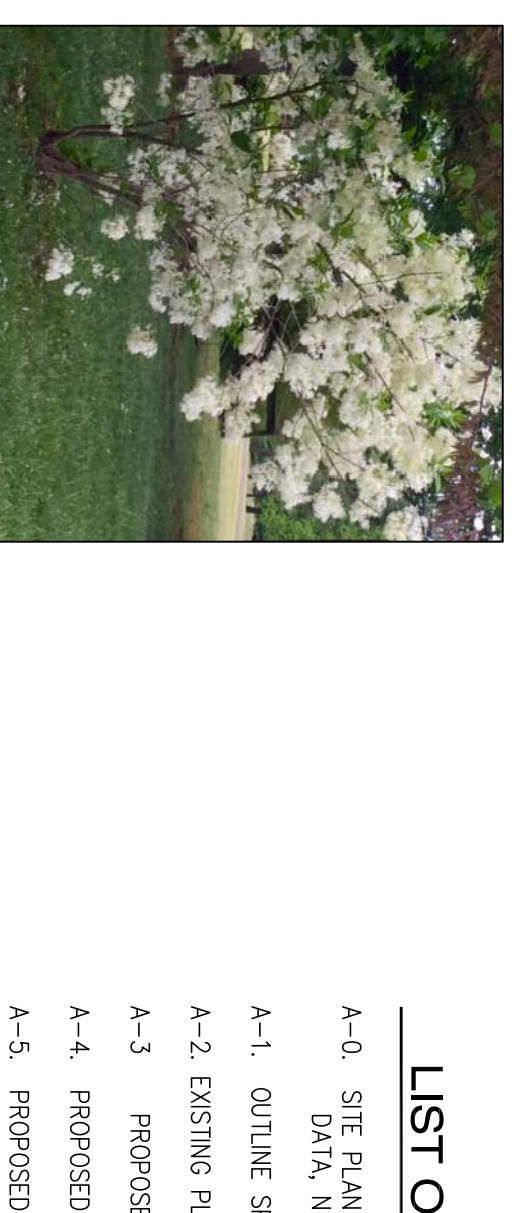
ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
B.O.T.	BOTTOM
C.G.	CEILING
C.M.U.	CONCRETE MASONRY UNIT
F.I.T.	FIXTURE
CONC.	CONCRETE
G.C.	GENERAL CONTRACTOR
GWB	GYP/SUM WALL BOARD
GL	GLASS
HT	HEIGHT
M.D.	MOUNTED
M.L.	METAL
O.C.	ON CENTER
P.D.	PAINTED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITE TILE
W.F.	WEAVEY IN FIELD
W.D.	WOOD



ZONING INFO

ZONING COMPONENT	ALLOWED	EXISTING	PROPOSED	COMMENT
LOT SIZE	10,000 SF	11,516 SF	11,516 SF	EX. CONFORMING
FRONT SETBACK	30' MIN	30.2	28.2	ALLOWABLE 2' ENCROACHMENT
REAR SETBACKS	30' MIN	33.1	19.6	★ 10.4' VARIANCE REQUIRED
TERRACE IN YARD	6' MAX	7.8'	16.5'	★ 13.5'-6'-7.5" TERRACE ENCROACHMENT 295-206(6)
SIDE ONE SETBACK	12' MIN	11.6'	11.6'	★ 7.5' VARIANCE REQUIRED
SIDE TWO SETBACK	18' MIN	17.6'	17.6'	★ INCREASING NON-CONFORMITY
TOTAL SIDE SETBACKS	30' MIN	29.2'	29.2'	★ INCREASING NON-CONFORMITY
MIN. LOT WIDTH	100' MIN	100.0'	100.0'	CONFORMING
BLDG. COVERAGE	25% MAX	29%	29%	★ NEW TRELLIS AND ROOFS
DEVELOPMENT COVERAGE	35%	42%	42%	EX. CONFORMING
ACCESSORY BLDG. SETBACK	8' REAR/6' SIDE	N/A	N/A	N/A
ACCESSORY BLDG. HEIGHT	15'	N/A	N/A	N/A
HEIGHT - MAIN BLDG.	35'/2.5 ST	30.7	30.7	EX. NON-CONFORMING



LIST OF DRAWINGS

- A-0 SITE PLAN, REVERENS ZONING DATA, NOTES AND LEGEND
- A-1 OUTLINE SPECIFICATIONS.
- A-2 EXISTING PLANS & ELEVATIONS
- A-3 PROPOSED 1ST FLOOR PLAN
- A-4 PROPOSED N & S ELEVATIONS
- A-5 PROPOSED E & W ELEVATIONS
- A-6 DETAILS & SECTIONS

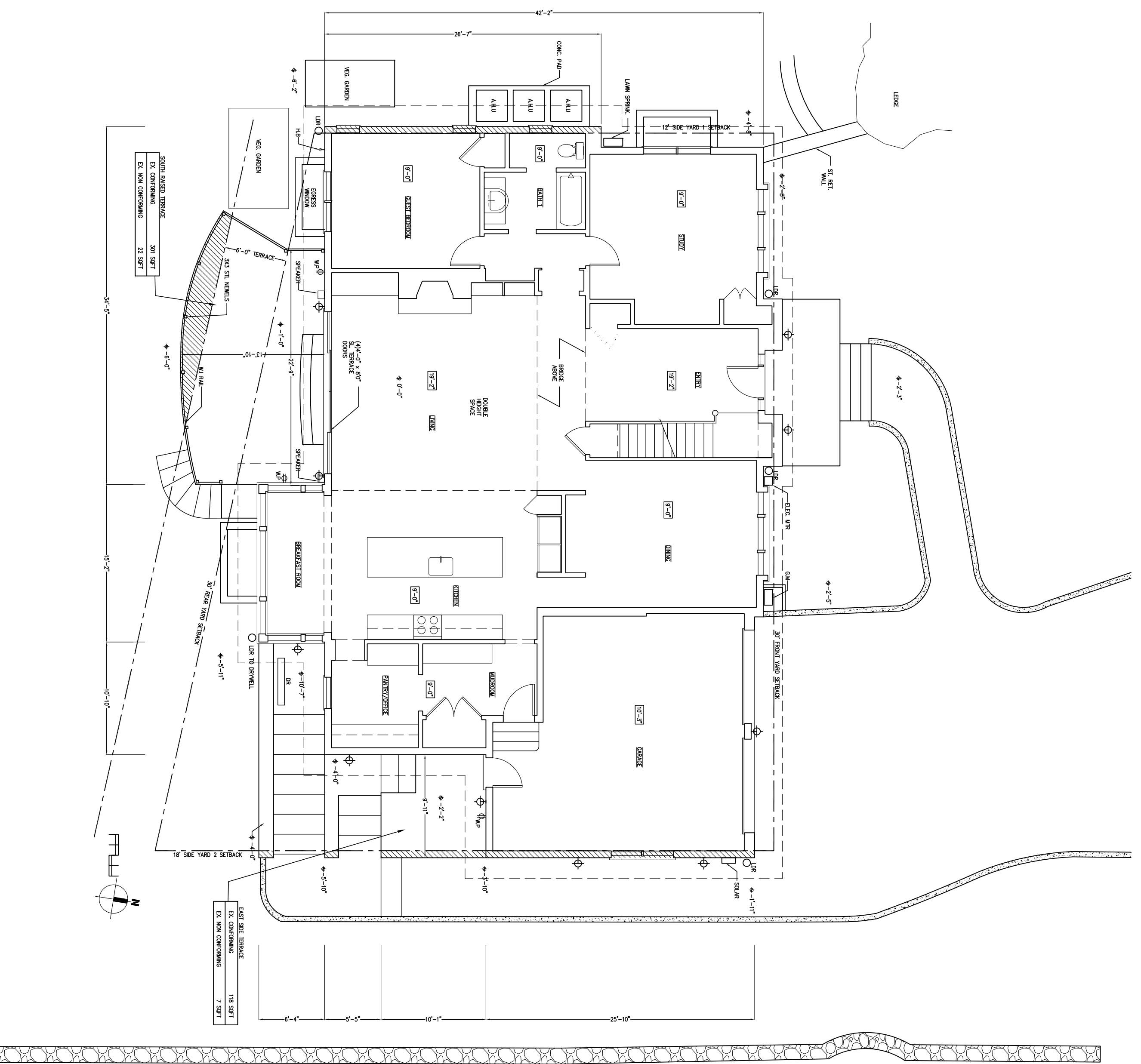
NO.	DATE	REVISION/DATE
2	05/19/21	PER BLDG DEPT COMMENTS
1	04/19/21	DENIAL

PROJECT: HALPRIN RESIDENCE - EXTERIOR ALTERATIONS & ADDITIONS - HASTINGS-ON-HUDSON, NY 10706

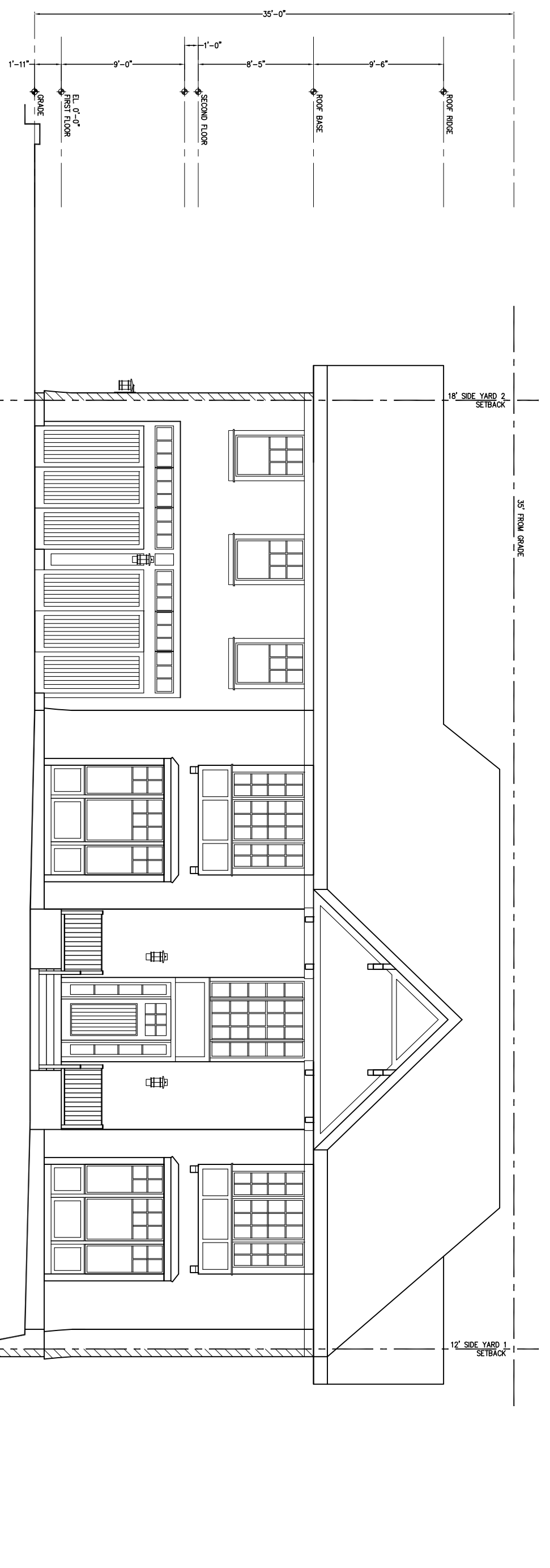
DRAWING TITLE: PROPOSED RENDERINGS, PLANTINGS SITE PLAN, ZONING DATA, NOTES & LEGEND

DATE: 04/15/21

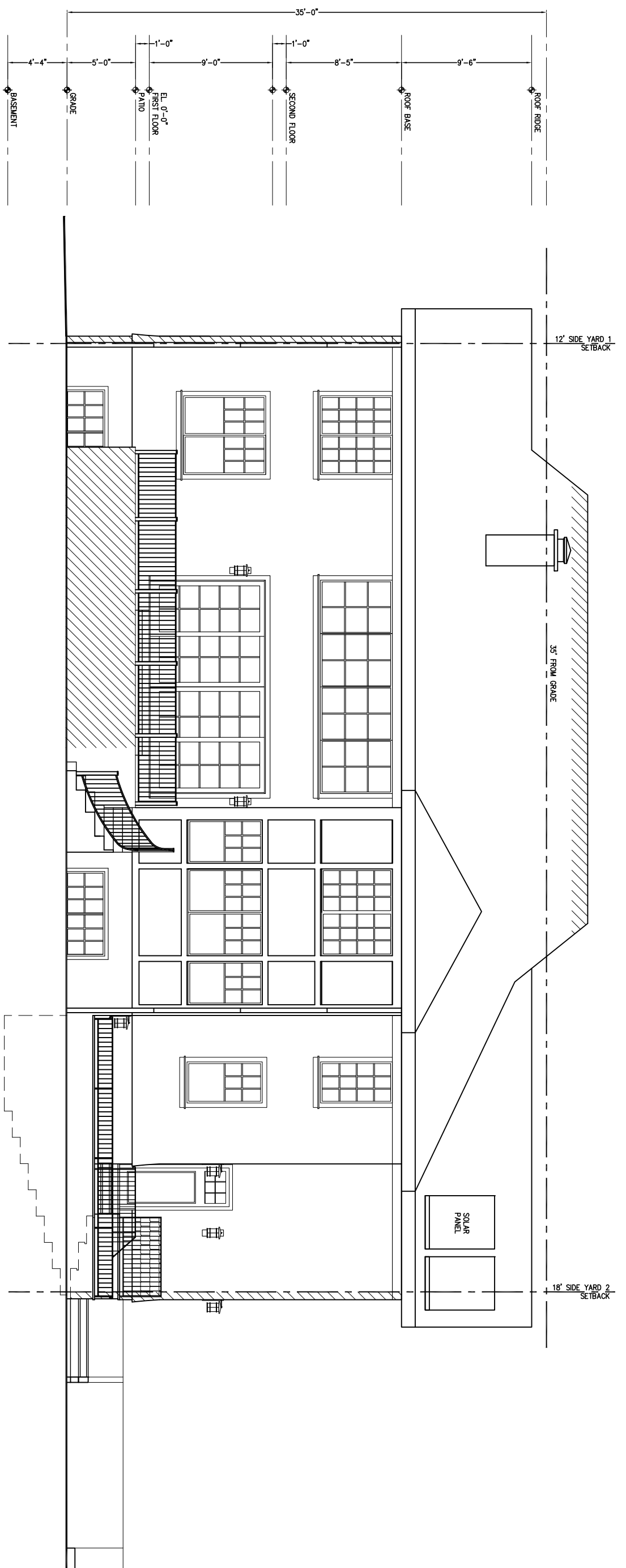
SCALE: AS NOTED



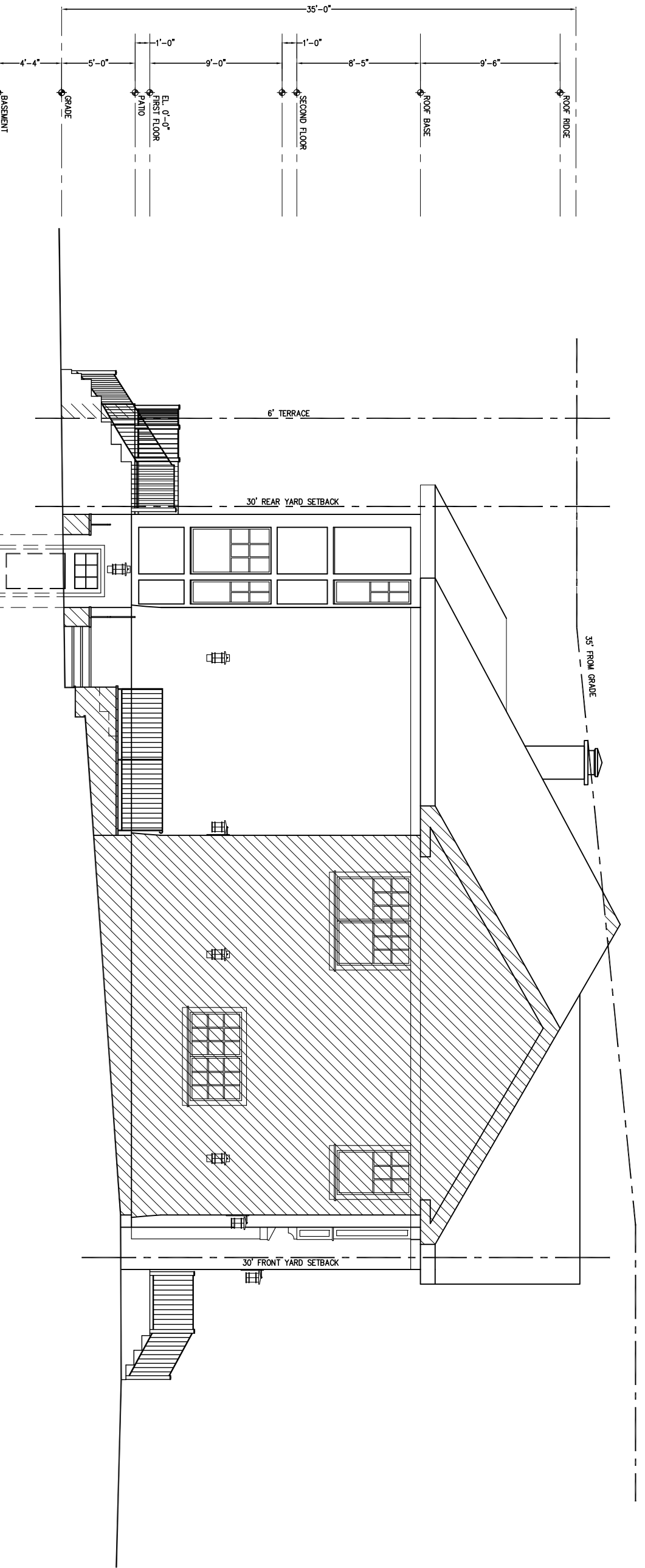
1 EXISTING 1ST FLOOR PLAN
1/8"=1'-0"



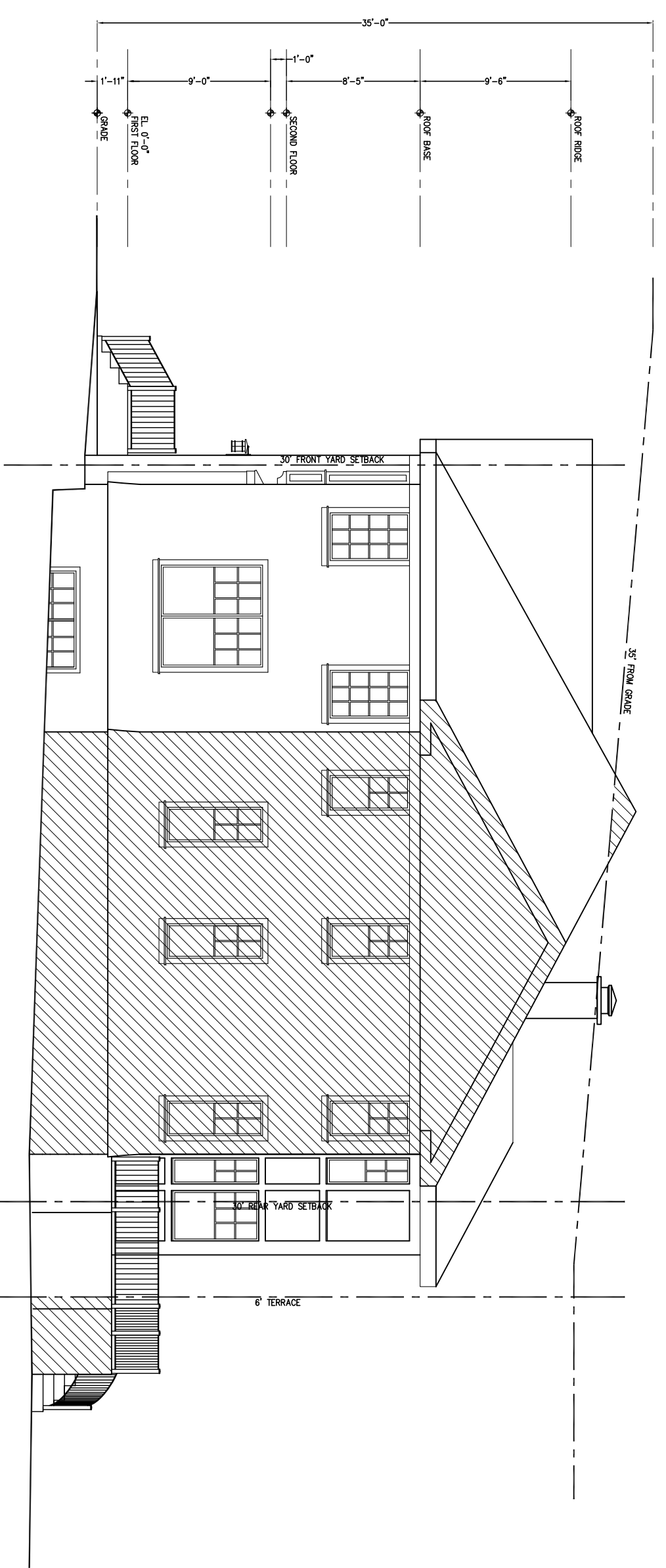
2 EXISTING NORTH ELEVATION
1/8"=1'-0"



3 EXISTING SOUTH ELEVATION
1/8"=1'-0"



4 EXISTING EAST ELEVATION
1/8"=1'-0"



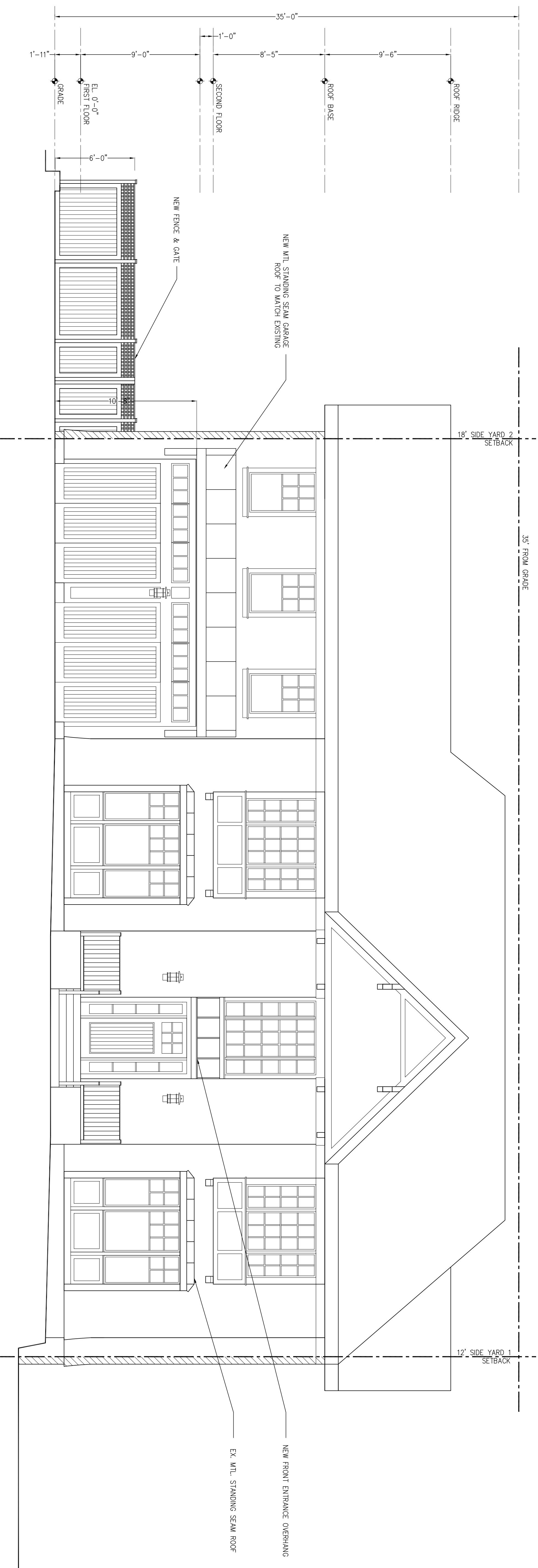
5 EXISTING WEST ELEVATION
1/8"=1'-0"

NO.	DATE	REVISION/ISSUE
2	05/19/21	PER BLDG DEPT COMMENTS
1	04/19/21	DENIAL

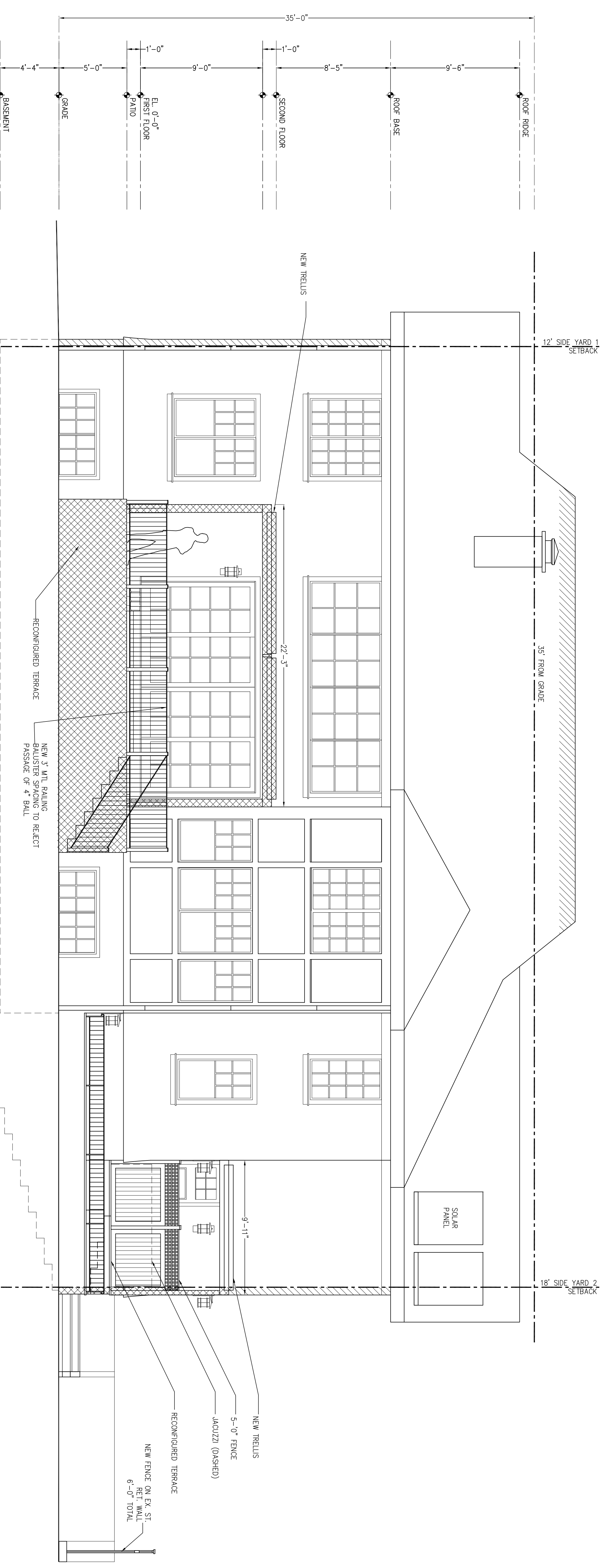
PROJECT HALPRIN RESIDENCE
- EXTERIOR ALTERATIONS & ADDITIONS -
46 HUDSON ST
HASTINGS-ON-HUDSON, NY 10706
MONTID #1480-0134

EXISTING PLANS AND ELEVATIONS

DATE 04/15/21 SCALE AS NOTED
STEVEN SECON ARCHITECT
145 Palisade Street, Suite #403
Hastings-on-Hudson, NY 10706
Tel: (914) 628-2870 Fax: (914) 628-1157
WWW.SECONARCHITECT.COM
DRAWING NO. **A-2**



1 PROPOSED NORTH ELEVATION
1/4"=1'-0"



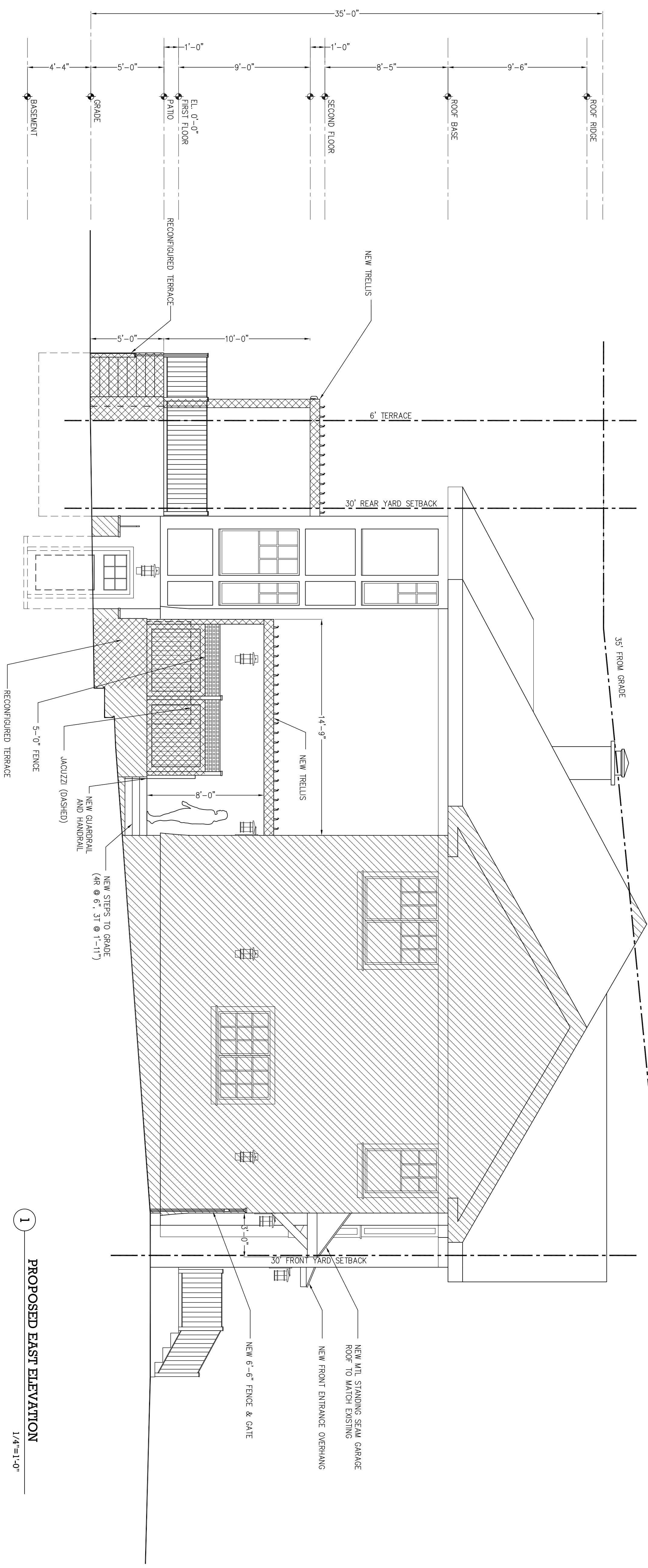
2 PROPOSED SOUTH ELEVATION
1/4"=1'-0"

NO.	DATE	REVISION/SUB
1	04/19/21	PER BLDG DEPT COMMENTS DENIAL
2	05/19/21	PER BLDG DEPT COMMENTS

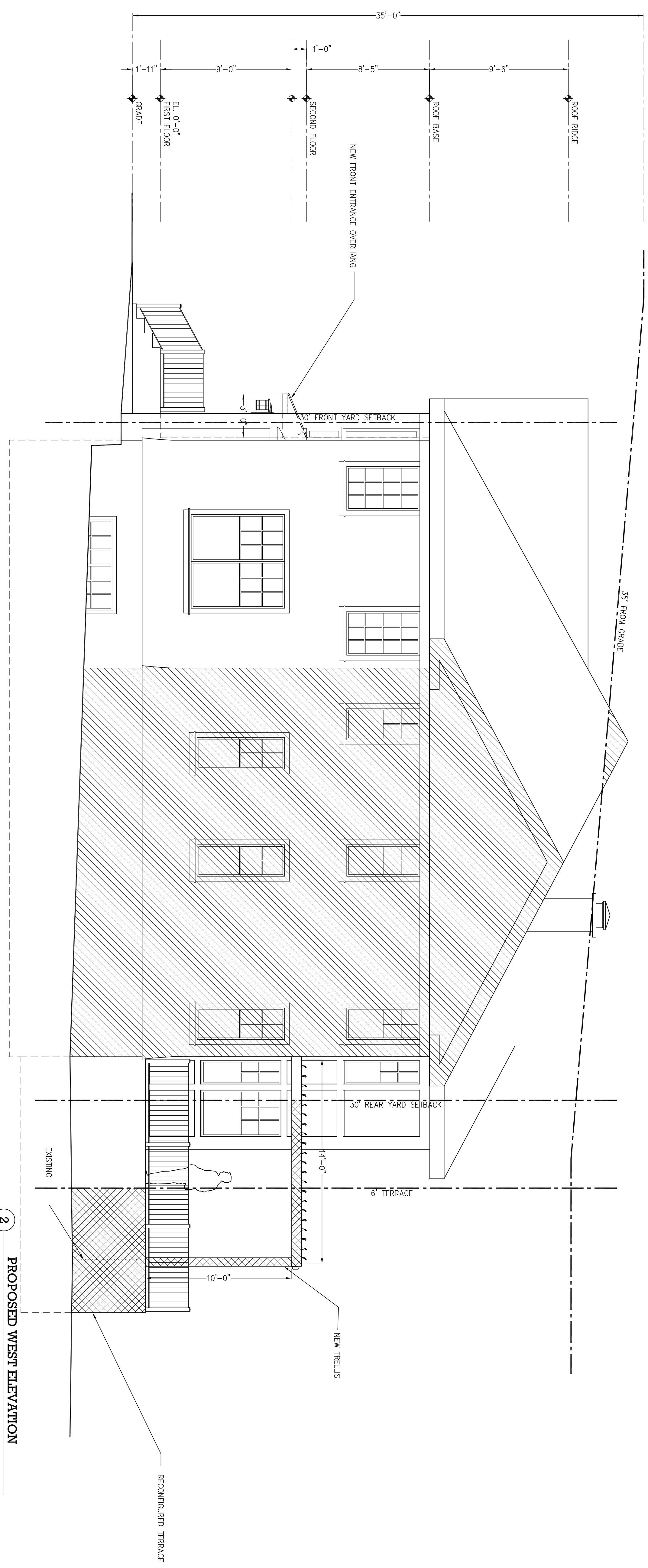
PROJECT: HALPRIN RESIDENCE
- EXTERIOR ALTERATIONS & ADDITIONS -
46 HUDSON ST
HASTINGS-ON-HUDSON, NY 10706
MOUNTAIN STATE ARCHITECTS

DRAWING TITLE: PROPOSED ELEVATIONS

DATE: 04/15/21 SCALE: AS NOTED
DRAWING NO.: A-4
PROJECT: HALPRIN RESIDENCE - EXTERIOR ALTERATIONS & ADDITIONS - 46 HUDSON ST, HASTINGS-ON-HUDSON, NY 10706
ARCHITECT: STEVEN SECON ARCHITECT
145 Palisade Street, Suite #403
Tbd. Hastings-on-Hudson, NY 10706
TEL: 914.629.2870 FAX: 914.629.1517
WWW.SECONARCHITECT.COM



1
PROPOSED EAST ELEVATION
1/4"=1'-0"



2
PROPOSED WEST ELEVATION
1/4"=1'-0"

NO.	DATE	REVISION/SHEET
2	05 19 21	PER BLDG DEPT COMMENTS
1	04 19 21	DENIAL

PROJECT
HALPRIN RESIDENCE
- EXTERIOR ALTERATIONS & ADDITIONS -
46 HUDSON ST
HASTINGS-ON-HUDSON, NY 10706
MOUNTED #1480434

PROPOSED ELEVATIONS

DATE	SCALE	AS NOTED
04 15 21		

STEVEN SECON
ARCHITECT
14 Palisade Street, Suite #403
Hastings-on-Hudson, NY 10706
Tel: (914) 629-2870 Fax: (914) 629-1537
WWW.SECONARCHITECT.COM

DWG NO.
A-5

