

1. CONTACT THE PROJECT LANDSCAPE ARCHITECT AT:
GRANOFF ARCHITECTS P.C.
330 RAILROAD AVE
GREENWICH, CT 06830
(203) 625-9460
2. THE TERM "CONTRACTOR" SHALL DEFINED AS THE GENERAL CONTRACTOR AND SUB-CONTRACTORS; THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING ALL SUBCONTRACTORS HEREON. ALL DRAWINGS AND NOTES APPLY TO ALL CONTRACTORS AND HIS/HER SUBCONTRACTORS.
3. CONTRACTOR SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT AT LEAST 48 HOURS PRIOR TO ANY ROUTINE FIELD OBSERVATION REQUIRED.
4. CONSTRUCTION SHALL FOLLOW THE CONDITIONS OF THE PLANS AND SPECIFICATIONS. IN ANY CASE OF DISCREPANCY BETWEEN SITE CONDITIONS AND THE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN DRAWINGS AND SPECIFICATIONS NOTIFY THE LANDSCAPE ARCHITECT AS SOON AS THE DISCREPANCY IS APPARENT.
5. VERIFY LOCATIONS, ELEVATIONS AND DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCY.
6. CONTACT "UDIG-NY" AT 811 OR 1-800-962-7962 PRIOR TO ANY SITE WORK ACTIVITY. THE CONTRACTOR SHALL BE AWARE OF ALL SUBSURFACE DRAINAGE AND ALL UTILITIES AS SHOWN ON PLANS AND AS MARKED OUT ON SITE. PROTECT EXPOSED LINES FROM DAMAGE AND DEBRIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ALL DAMAGED UTILITIES DUE TO CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
7. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL CONSTRUCTION PERMITS AND LICENSES REQUIRED TO COMPLETE THE WORK. ALL BONDS AND INSURANCE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INFORM ALL CONTRACTORS, SUBCONTRACTORS, AND EMPLOYEES OF ALL CONDITIONS ASSOCIATED WITH ANY PERMITS ISSUED.
9. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL DAMAGE AND DISTURBANCE WHICH MAY OCCUR AS A RESULT OF HIS WORK.
10. BLEND NEW WORK SMOOTHLY WITH EXISTING GRADES AND MATERIALS TO REMAIN. AVOID SHARP BREAKS IN GRADE; ROUND OVER TOP AND BOTTOMS OF SLOPES.
11. FINAL GRADE IN ALL CASES SHALL SLOPE AWAY FROM THE BUILDING AT A MINIMUM OF 1/4" PER FOOT (2%) AND ALL PAVED AREAS SHALL HAVE A MINIMUM PITCH OF AT LEAST 1/8" PER FOOT (1%).
12. ALL TREES OR VEGETATION TO BE REMOVED OR TRANSPLANTED ARE TAGGED ON SITE WITH FLAGGING TAPE. REFER TO TREE PROTECTION PLANS, NOTES AND DETAILS.
13. THE CONTRACTOR SHALL PROTECT ALL CATCH BASINS WITH FILTER FABRIC OR STAKED HAY BALES AND SHALL EMPLOY ALL OTHER NECESSARY MEANS TO CONTROL AND PREVENT EROSION THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL AREAS STABILIZED. THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF DISTURBED AREA EXPOSED AT ANY ONE TIME AND STABILIZE THE AREA AS SOON AS PRACTICAL. REFER TO EROSION CONTROL DRAWINGS, NOTES AND DETAILS. ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF ANY ACCUMULATED DEBRIS AT THE END OF PROJECT CONSTRUCTION. SEE TREE PROTECTION & EROSION CONTROL DETAILS SHEET.
14. THE CONTRACTOR SHALL MAINTAIN ACCESS AND EGRESS TO THE SITE AT ALL TIMES DURING CONSTRUCTION. NOTIFY OWNER 24 HOURS IN ADVANCE OF ANY DISRUPTION IN ACCESS. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES, WARNING SIGNS, BARRICADES, FLASHERS, FLAG MEN, ETC.) IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, USDOT, FHA 1988 PT. VI, TRAFFIC CONTROLS FOR STREETS AND HIGHWAY CONSTRUCTION AND MAINTENANCE OPERATIONS AS MAY BE AMENDED TO DATE, FOR THE MAINTENANCE AND PROTECTION OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

- TRAFFIC SHALL BE MAINTAINED AT ALL TIMES ON BROADWAY. THE STREET SHALL NOT BE CLOSED TO TRAFFIC, NOR SHALL ANY TRAFFIC BE DETOURED TO OTHER STREETS WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE TRAFFIC ENGINEER.
16. WORKING HOURS AND ALL NOISE PRODUCING ACTIVITIES MUST CONFORM TO THE VILLAGE OF HASTINGS ON HUDSON, NY.
17. REMOVAL AND DISPOSAL OF ALL MATERIALS TO COMPLY WITH ANY AND ALL STATE AND LOCAL CODES AND REGULATIONS.
18. THE CONTRACTOR IS TO RESTORE TO ORIGINAL CONDITION ALL DISTURBED AREAS CAUSED BY THE ACTIVITIES OF THE PROJECT.
19. THE CONTRACTOR IS RESPONSIBLE TO SUPERVISE THE ASSEMBLY OF ALL MATERIALS.
20. THE CONTRACTOR SHALL DETERMINE THE METHODS, MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES OF IMPLEMENTING THE PROJECT.
21. THE CONTRACTOR SHALL COMPLETE ALL WORK REQUIRED TO PRODUCE A COMPLETE JOB IN ACCORDANCE WITH THE BEST APPLICABLE STANDARDS. IT IS INTENDED THAT THE WORK BE EXECUTED IN ACCORDANCE WITH THE BEST CUSTOMARY BUILDING PRACTICES. IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK OR IF ERRORS, CONFLICTS OR DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY AND REQUEST INTERPRETATION BEFORE PROCEEDING WITH THE WORK. IF THE CONTRACTOR FAILS TO MAKE SUCH A STATEMENT AND REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED, NOR ADDITIONAL EXPENSE BE ACCEPTED FOR FAILURE TO CARRY OUT WORK IN A SATISFACTORY MANNER.
22. CONTRACTOR SHALL REFER TO ADDITIONAL NOTES FOUND THROUGHOUT THE CONTRACT DRAWINGS.

1. SEE DEMOLITION AND EROSION CONTROL DRAWING BY CIVIL FOR EXISTING PLANTS TO BE STOCKPILED AND MAINTAINED FOR TRANSPLANTING.
2. TOPSOIL FOR PLANTING:
 - A. MATERIAL: TOPSOIL SHALL CONSIST OF NATURAL LOAM, FREE FROM SUBSOIL, OBTAINED FROM AN AREA THAT HAS NEVER BEEN PREVIOUSLY STRIPPED. MANUFACTURED OR AMENDED SOILS ARE NOT ACCEPTABLE UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
 - B. QUALITY: TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PLANT, SODS, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRED PAPER, BOARDS, CHIPS, STICKS, OR ANY OTHER UNDESIRABLE MATERIAL.
 - C. NO TOPSOIL SHALL BE DELIVERED, MANIPULATED OR HANDLED IN A FROZEN OR MUDDY CONDITION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT, ON OR AFTER DELIVERY, OF ANY MATERIAL THAT DOES NOT, IN THEIR OPINION, MEET THESE SPECIFICATIONS.:

- ALL LIGHTING WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE AND IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE VILLAGE OF HASTINGS, INCLUDING PERMITS AND REQUIRED INSPECTIONS
2. ALL FIXTURES SHALL BE FULL CUTOFF; SHALL BE COMPLIANT WITH DARK SKY RECOMMENDATIONS; OR FITTED WITH SHROUDS TO SHIELD THE LIGHT SOURCE.
3. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES, OUTLETS AND SWITCHES LISTED AND SHOWN ON PLANS. SIZE AND PROVIDE ALL TRANSFORMERS AND JUNCTION BOXES NECESSARY TO COMPLETE THE WORK, INCLUDING CONDUIT, WIRE, FITTINGS, EXCAVATION, BACKFILL, ETC. REQUIRED TO MAKE A COMPLETE FUNCTIONING SYSTEM. ALL FIXTURES SHALL BE SUPPLIED WITH LAMPS. THE LEAST WATT LAMP SHALL BE SUPPLIED, SUBJECT TO THE OWNER'S APPROVAL. RE-LAMPING WITH MAXIMUM WATT LAMPS MAY BE REQUIRED.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUITS NECESSARY FOR A COMPLETE INSTALLATION. THIS INCLUDES SIZING GALVANIZED STEEL AND PVC WITH ALL ASSOCIATED FITTINGS, COUPLINGS AND BUSHINGS. ALL LINE VOLTAGE SHALL BE IN CONDUIT WITH A MINIMUM COVER OF 24 INCHES AND A MINIMUM OF 12 INCHES OF COMPACTED SAND AROUND IT AND AS PER CODE. METALLIC CAUTION TAPE SHALL BE PLACED 6 INCHES BELOW FINISHED GRADE.
5. ALL WIRING AND TRENCHING TO TREE TRUNKS BENEATH TREE CANOPIES TO BE RADIAL TO TREE TRUNK AND APPROVED BY L.A. PRIOR TO GROUND DISTURBANCE. TRENCHING WITHIN THE TREE CANOPY SHALL BE EXCAVATED WITH AN AIR SPADE TOOL TO MINIMIZE ROOT DAMAGE. CARE IS TO BE TAKEN TO PREVENT EXPOSED TREE ROOTS FROM DRYING.
6. FINAL SWITCH LOCATIONS TO BE APPROVED BY OWNER. CONTRACTOR SHALL VERIFY AND COORDINATE NEW SWITCHES WITH EXISTING INTERIOR LIGHTING. DRAWING SHOWS PROPOSED LANDSCAPE LIGHTING AND DOES NOT SHOW EXISTING ARCHITECTURAL LIGHTING
7. FINAL FIXTURE PLACEMENT TO BE APPROVED BY THE LANDSCAPE ARCHITECT & OWNER AFTER NIGHTTIME DEMONSTRATION OF INITIAL PLACEMENT.
8. ALL PATH LIGHTS TO BE LOCATED 12" BACK FROM EDGE OF PAVING UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
9. LOCATIONS OF TRANSFORMERS, JUNCTION BOXES, FIXTURES AND OUTLETS ARE A GRAPHIC REPRESENTATION AND MAY NOT SHOW PRECISE LOCATION. FINAL LOCATIONS TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. ACTUAL WIRING ROUTES ARE NOT SHOWN ON THIS PLAN. WIRING ROUTES INDICATED ARE A GRAPHIC REPRESENTATION OF CONNECTIONS AND GROUPINGS OF LIGHTS FOR SWITCHING. L.A. TO APPROVE WIRING ROUTES PRIOR TO GROUND DISTURBANCE. ALL LINE VOLTAGE RUNS IN CONDUIT MINIMUM 18 INCHES DEEP OR AS PER LOCAL CODE..
10. STAKE MOUNTED LIGHTS TO BE MOVABLE WITHIN A SIX (6) FOOT RADIUS OF INSTALLED LOCATION.
11. TRANSFORMERS FOR LOW VOLTAGE LIGHTING AND JUNCTION BOXES NOT SHOWN. CONTRACTOR TO DETERMINE NUMBER REQUIRED AND COORDINATE THEIR LOCATION WITH THE LANDSCAPE ARCHITECT.
12. WIRING SIZES ARE TO BE DETERMINED BY ELECTRICIAN TO INSURE FULLY FUNCTIONAL SYSTEM WITH NO MORE THAN A 5% VOLTAGE DROP FROM EACH TRANSFORMER TO FARTHEST FIXTURE ON LINE FROM THAT TRANSFORMER..
13. ALL WIRE CONNECTIONS TO BE THOROUGHLY SEALED WITH SILICONE SEALANT & WILL BE LOCATED WITHIN FIXTURE STEMS, TREE MOUNTS, OR JUNCTION BOXES WHEREVER POSSIBLE. DIRECT BURIAL OF LOW VOLTAGE CONNECTIONS WILL BE MINIMIZED. DIRECT BURIAL CONNECTIONS FOR LINE VOLTAGE WILL NOT BE PERMITTED.
14. REVIEW EXISTING CONDITIONS AND PROPOSED PLANTING PLANS. ELECTRICIAN TO BE RESPONSIBLE FOR RESTORING ANY SITE OR UTILITY DAMAGE CAUSED BY HIS INSTALLATION WORK.
15. SEE LIGHTING PLAN FOR LIGHT FIXTURE TYPE AND SPECIFICATIONS.

- SEE PROPOSED CIVIL DRAWINGS UNDER SEPARATE COVER
- SEE PROPOSED ARCHITECTURAL AND STRUCTURAL DRAWINGS UNDER SEPARATE COVER

B.P.	BOTTOM PIER	MANUF.	MANUFACTURER
B.S.	BOTTOM STEP	MAX.	MAXIMUM
B.W.	BOTTOM WALL	MFR.	MANUFACTURER
BL	BASE LINE	MIN.	MINIMUM
BC	BOTTOM OF CURB	MH	MAN HOLE
BLDG.	BUILDING	NEC.	NECESSARY
CL	CENTER LINE	N.I.C	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	N.T.S	NOT TO SCALE
CONC.	CONCRETE	NO./#	NUMBER
CONT.	CONTINUOUS	OC	ON CENTER
DI	DRAIN INLET	PL	PROPERTY LINE
DIA.	DIAMETER	R	RISER
DN.	DOWN	REQ'D	REQUIRED
EA.	EACH	R.O.W.	RIGHT OF WAY
EJ	EXPANSION JOINT	SPEC.	SPECIFICATION
EL.	ELEVATION	SQ.	SQUARE
ELEV.	ELEVATION	T	TREAD
EQ.	EQUAL	TC	TOP OF CURB
E.W.	EACH WAY	T.P	TOP PIER
EX.JT.	EXPANSION JOINT	T.S.	TOP STAIR
EXP.JT.	EXPANSION JOINT	T.W.	TOP WALL
EX	EXISTING	TBD	TO BE DETERMINED
EXIST.	EXISTING	TYP.	TYPICAL
FL	FLOW LINE	UW	UNDER WATER
FLR.	FLOOR	UG	UNDERGROUND
FLWR	FLOWER	VIF	VERIFY IN FIELD
FTG.	FOOTING	W.L.	WATER LINE
G	GRADE ELEVATION/RIM ELEV.	W/	WITH
H.B.	HOSE BIB	W/O	WITHOUT
JUNT.	JOINT	WT	WATERTABLE

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PHASE
NOT FOR CONSTRUCTION



1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: 23003

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: 02/07/24 SCALE: AS NOTED

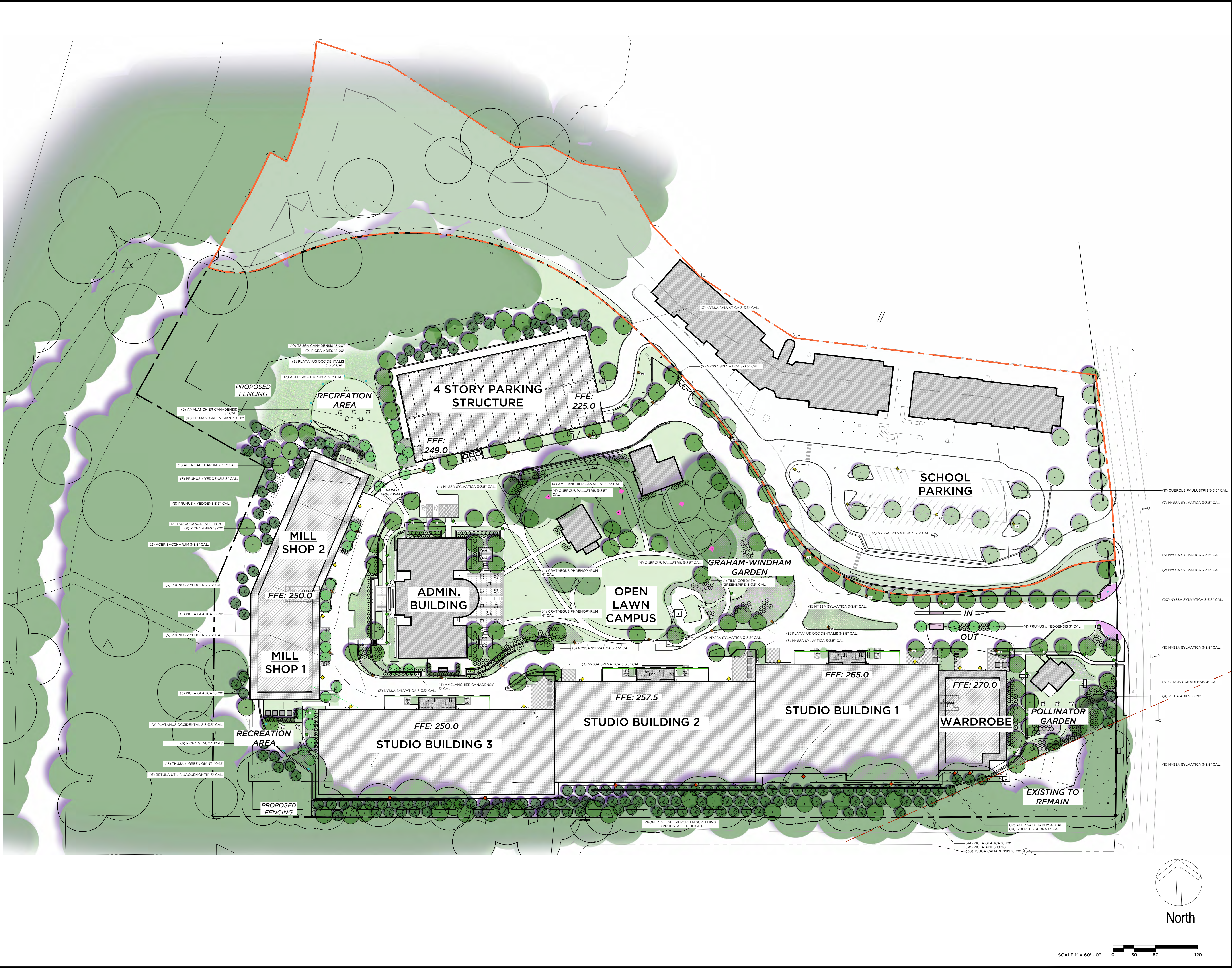
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COVER

DRAWING NO.

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PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: 23003

DRAWN BY: JS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

DRAWING TITLE
SITE PLAN - OVERALL LANDSCAPE

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SITE PLAN - MAIN ENTRANCE FOCUS

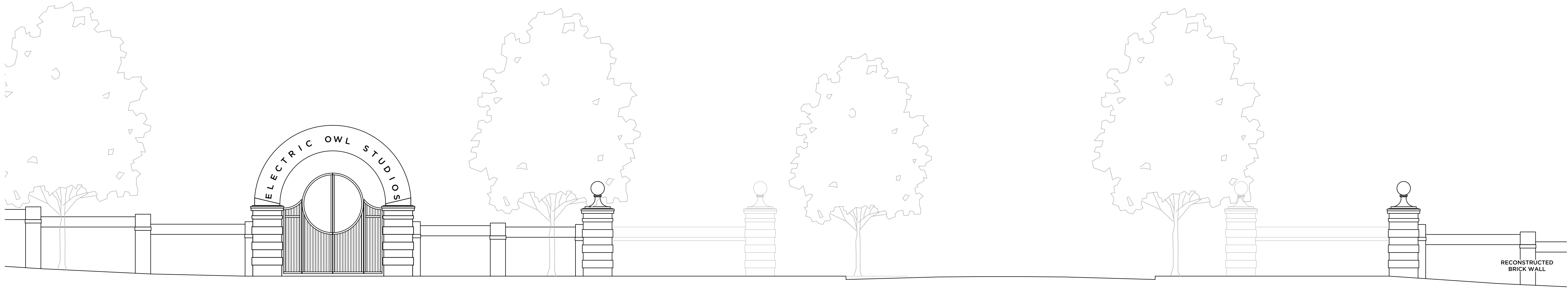
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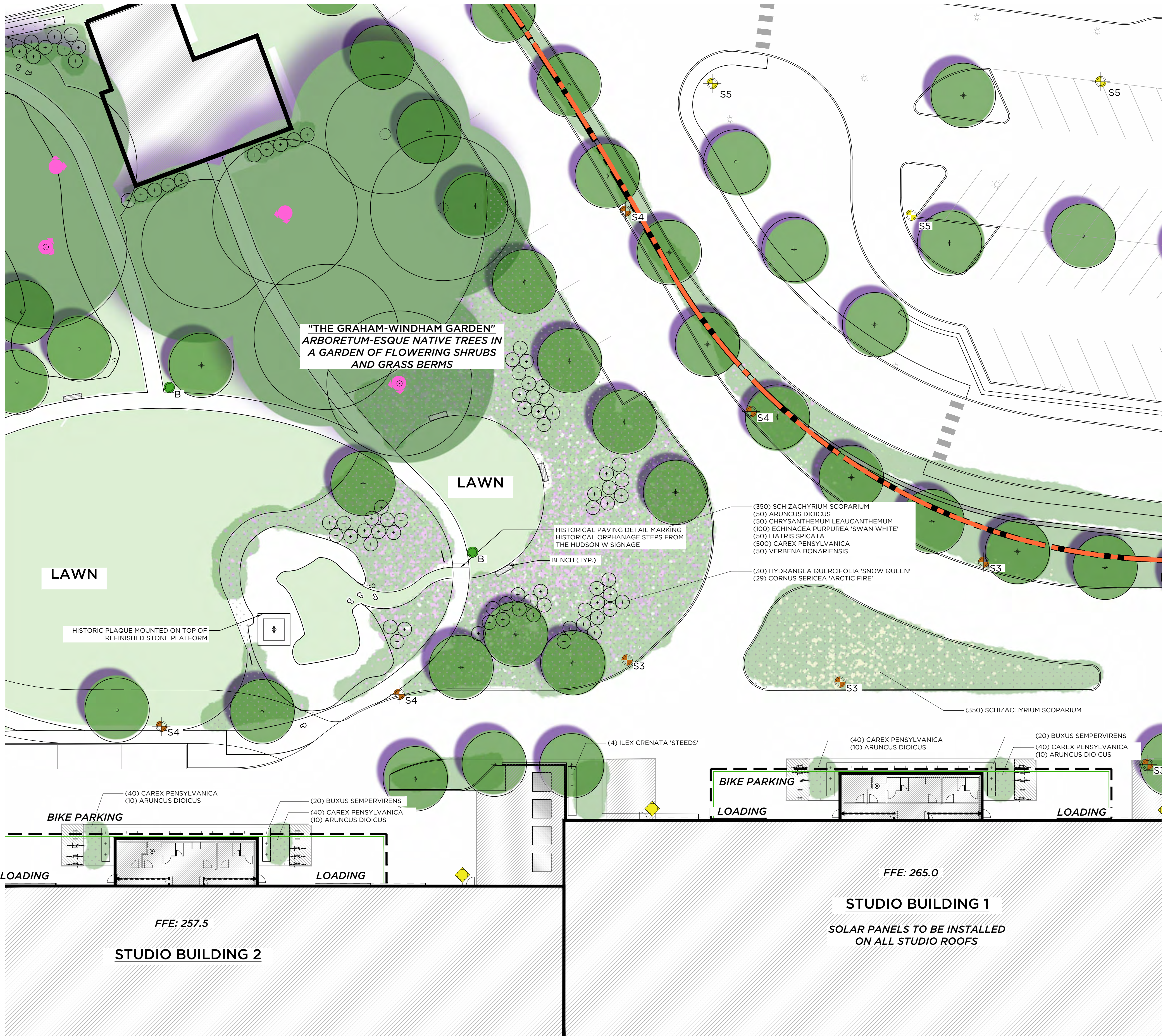
ENTRY WALL ELEVATION

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DRAWING TITLE
SITE PLAN - THE GRAHAM-WINDHAM GARDEN

DRAWING NO.
L1.2



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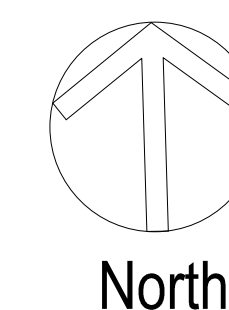
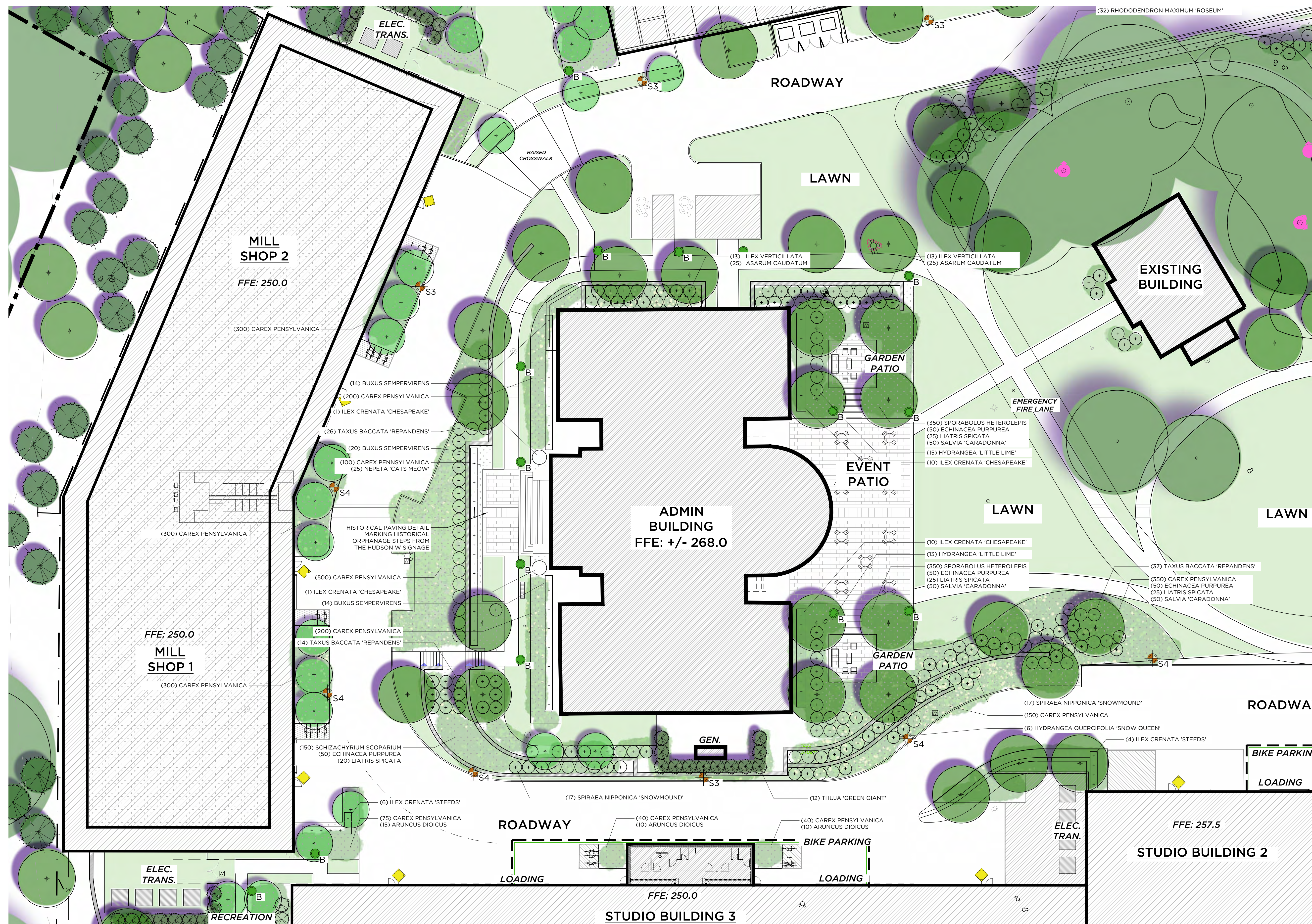
SITE PLAN - ADMIN ENTRANCE

FOCUS

DRAWING NO. _____

L1.3

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SCALE 1" = 20' - 0"



COMMUNITY SWING SET
INSPIRATION

CONSULTANTS

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DRAWING TITLE
SITE PLAN - NORTHERN RECREATION AREA

DRAWING NO.

L1.4

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REVISIONS			
#	DATE	REVISION DESCRIPTION	BY:

PHASE
NOT FOR CONSTRUCTION



PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

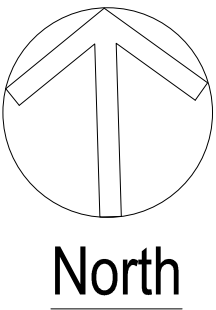
DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
SITE PLAN - SOUTHERN RECREATION AREA

DRAWING NO.

L1.5





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PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
SITE PLAN - PARKING GARAGE FOCUS

DRAWING NO.

L1.6

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1 S BROADWAY
HASTINGS ON HUDSON, NY

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DRAWING TITLE
SITE PLAN - DUDLEY SCREENING

DRAWING NO.
L1.7

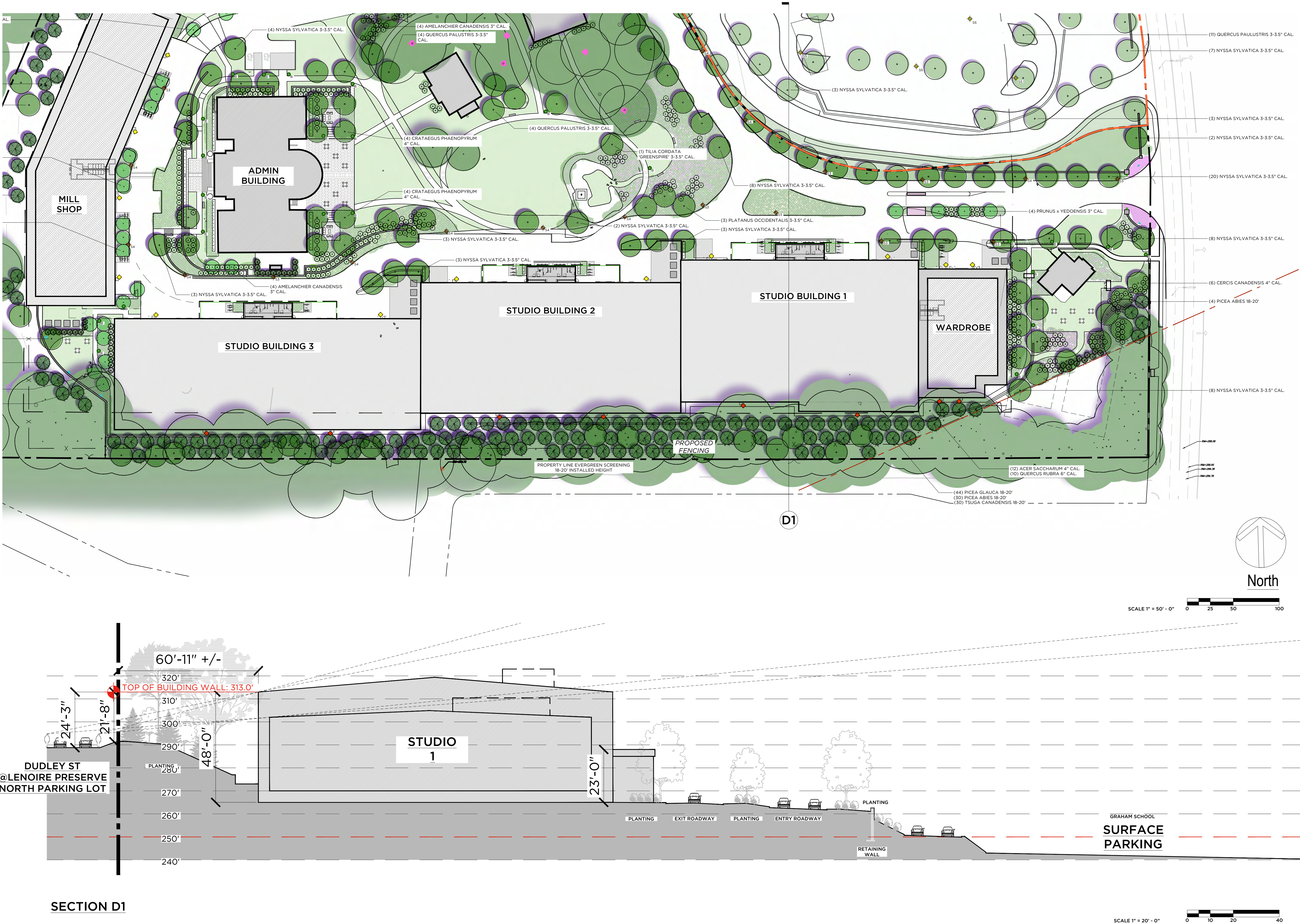
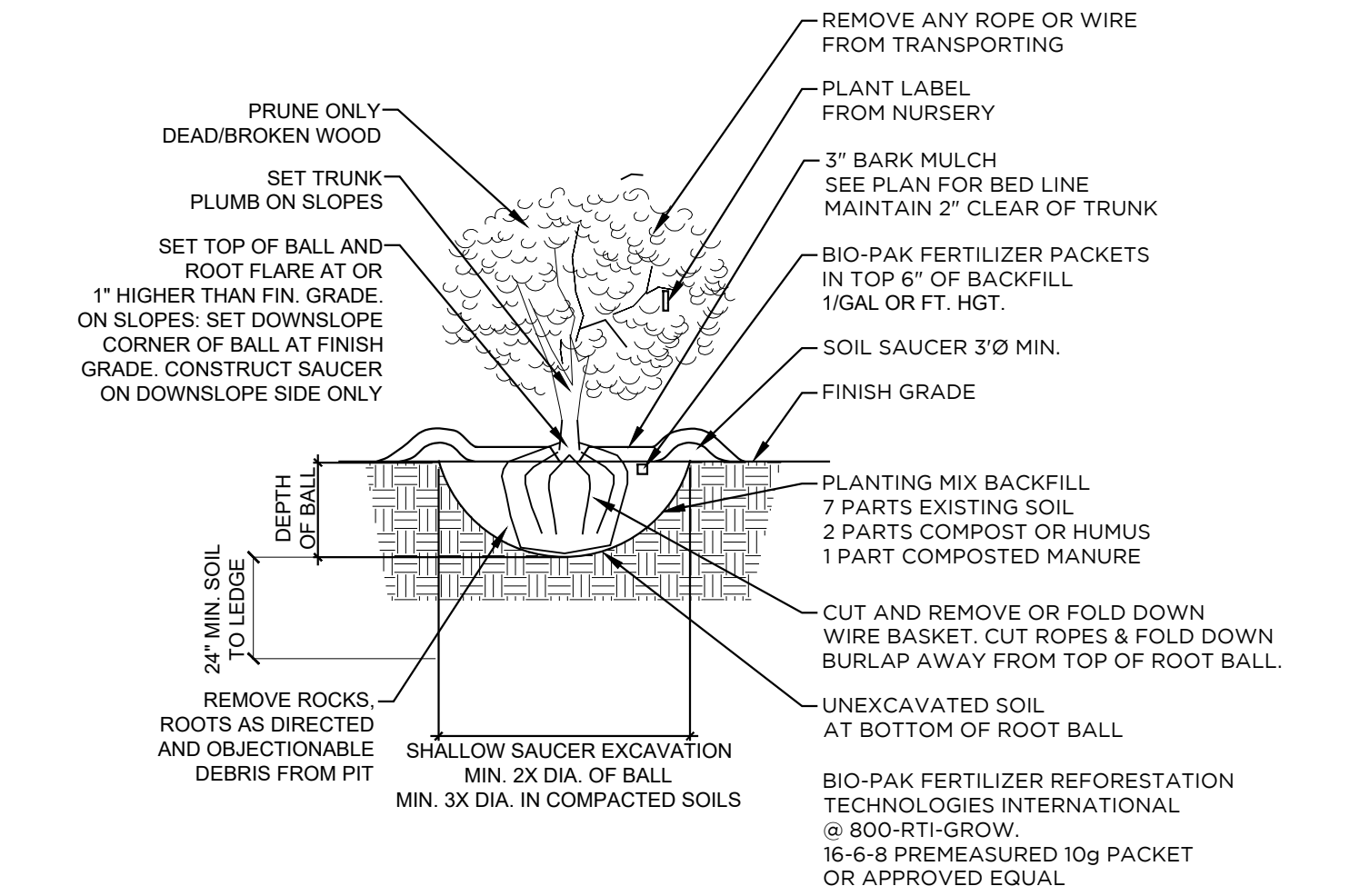
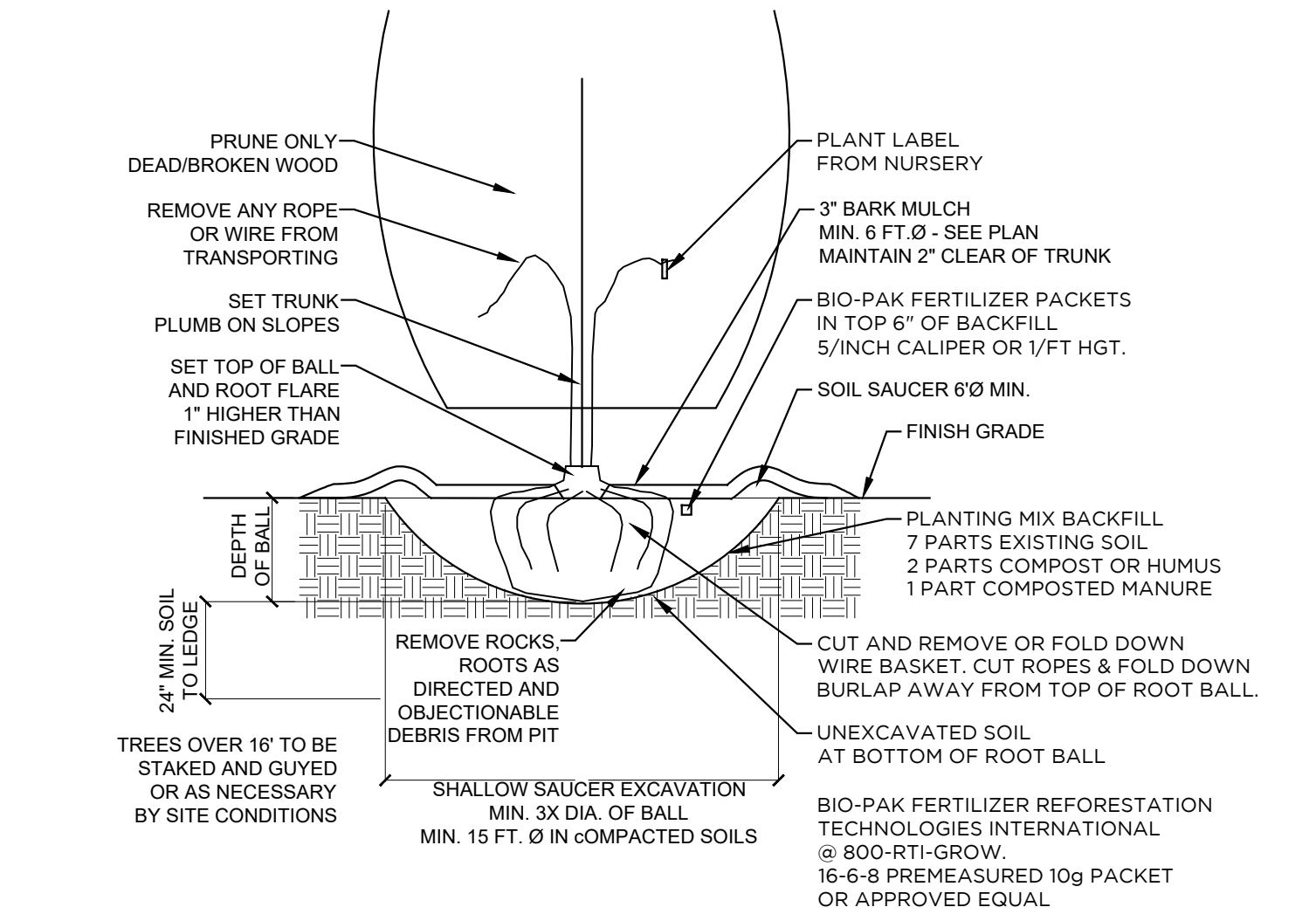


Fig. L1.2024, 2-Dimensional and 3-Dimensional Design, document 002, 04, Landscape Architecture, SHEET FILES, SITE PLAN - LANDSCAPE DETAILS.dwg



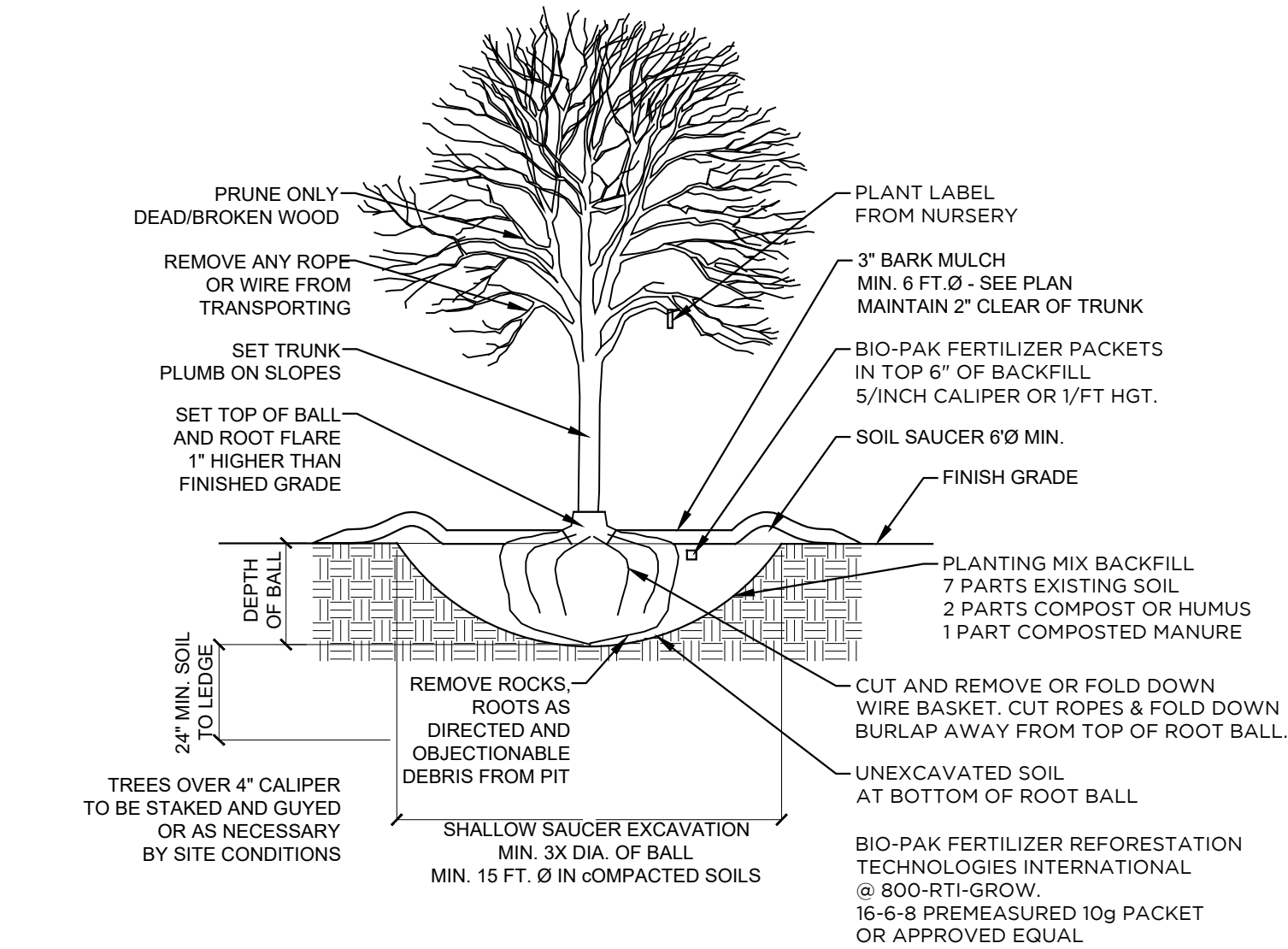
TYPICAL SHRUB PLANTING

SCALE: 1/2" = 1' - 0"



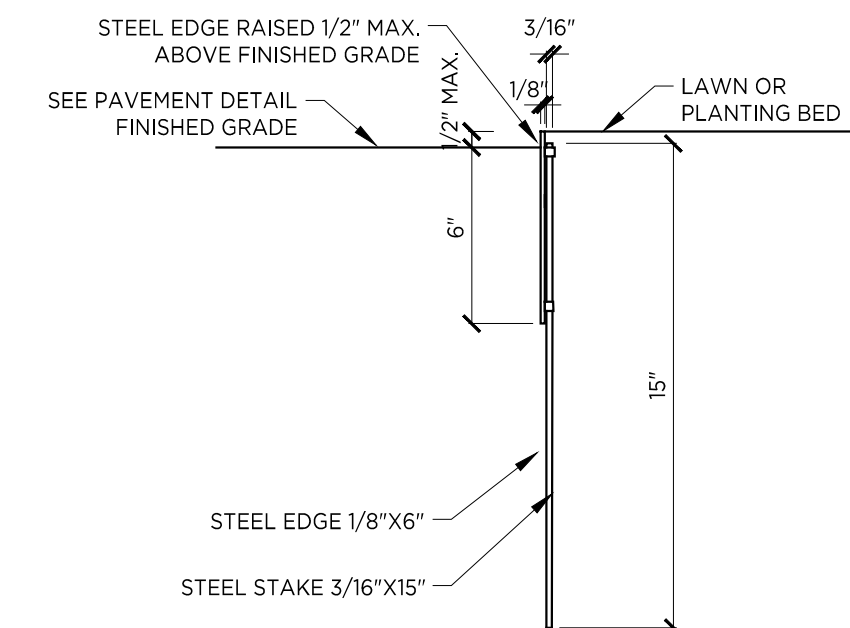
TYPICAL CONIFER TREE PLANTING

SCALE: 1/2" = 1' - 0"



TYPICAL DECIDUOUS TREE PLANTING

SCALE: 1/2" = 1' - 0"



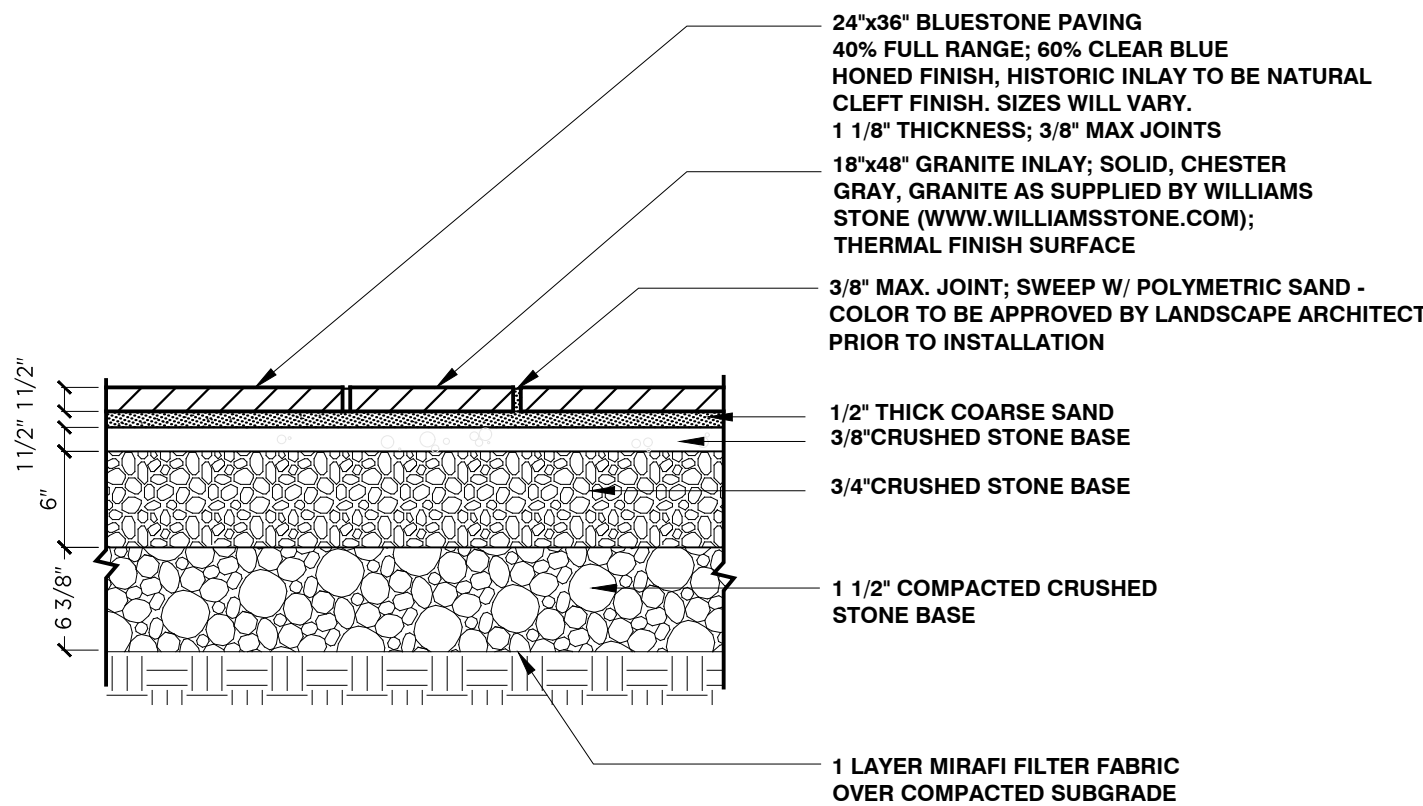
STEEL EDGING DETAIL

SCALE: 1" = 1' - 0"

- NOTES:
1. STEEL EDGING BY BORDER CONCEPTS INC., CHARLOTTE, NC OR EQUAL WITH APPROVAL BY THE LANDSCAPE ARCHITECT
 2. EDGING SIZE PER PLANS AND DETAIL
 3. EDGING FABRICATED IN 10'-0" OR 16'-0" SECTIONS WITH ANCHOR STAKE LOOPS STAMPED IN FACE OF SECTION 32 INCHES ON CENTER
 4. EDGING SECTIONS SHALL HAVE FLUSH OVERLAP JOINT ASSEMBLY
 5. 3/4" X 15" TAPERED STEEL ANCHORING STAKES PROVIDE BY MANUFACTURER
 6. COLOR TO BE WROUGHT IRON BLACK (FLAT BLACK)
 7. FINISH GRADE TO BE 1/4", (1/2" MAX.) BELOW TOP OF STEEL EDGING



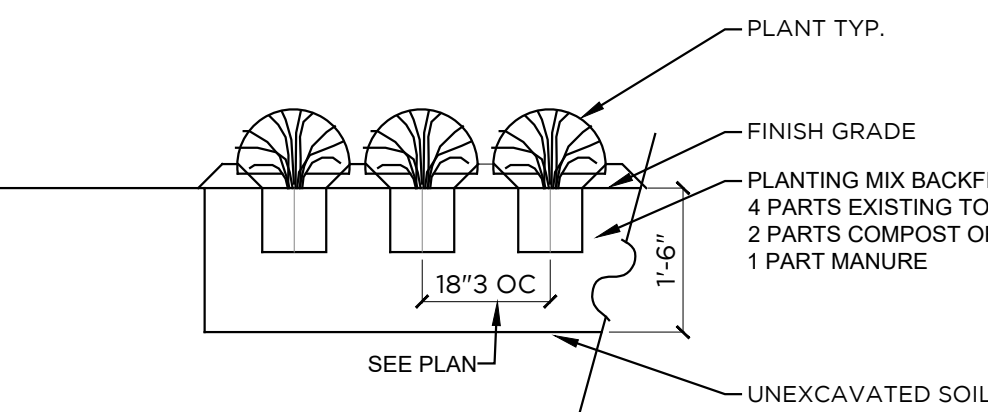
CHARACTER IMAGE - BLUESTONE INLAY



BLUESTONE PAVING DETAIL

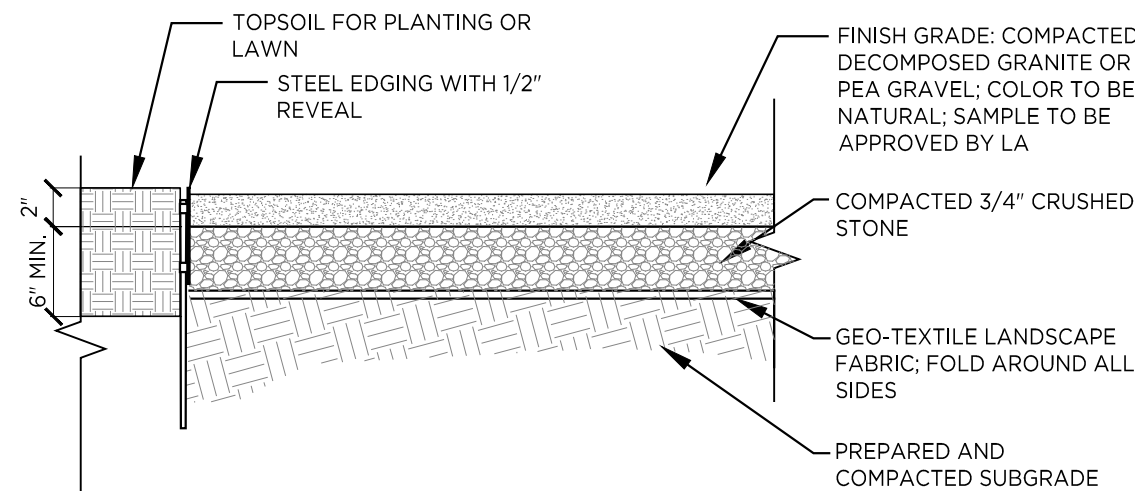
SCALE: 1" = 1' - 0"

- NOTES:
1. 24"x36" RUNNING BOND PATTERN WITH 18"x48" BORDER. SEE PLAN FOR INLAY SIZES, WILL VARY.
 2. INLAY SHALL BE BLUESTONE IN NATURAL CLEFT FINISH, NO VARIATION GREATER THAN 1/8" WILL BE ACCEPTED.
 3. ALL GRAVEL TO BE COMPACTED TO 95% COMPACTION PRIOR TO INSTALLATION OF PATIO WALKWAY MATERIAL.
 4. SUBGRADE TO BE VIRGIN GRADE OR COMPACTED TO A MIN. DENSITY OF 95% PER AASHTO STANDARD METHOD T-99.
 5. CONTRACTOR SHALL SUBMIT FULL RANGE STONE SAMPLE FOR APPROVAL BY L.A. PRIOR TO INSTALLATION.
 6. CONTRACTOR SHALL FURNISH 6' X 6' MOCK-UP OF PAVING ON SAND TO ILLUSTRATE PATTERN FOR APPROVAL BY L.A. AND OWNER.
 7. REFER TO DRAWINGS FOR LOCATION OF PAVEMENT TYPES.
 8. COORDINATE JOINT SPACING WITH CIVIL FOR PERMEABILITY APPROVAL.



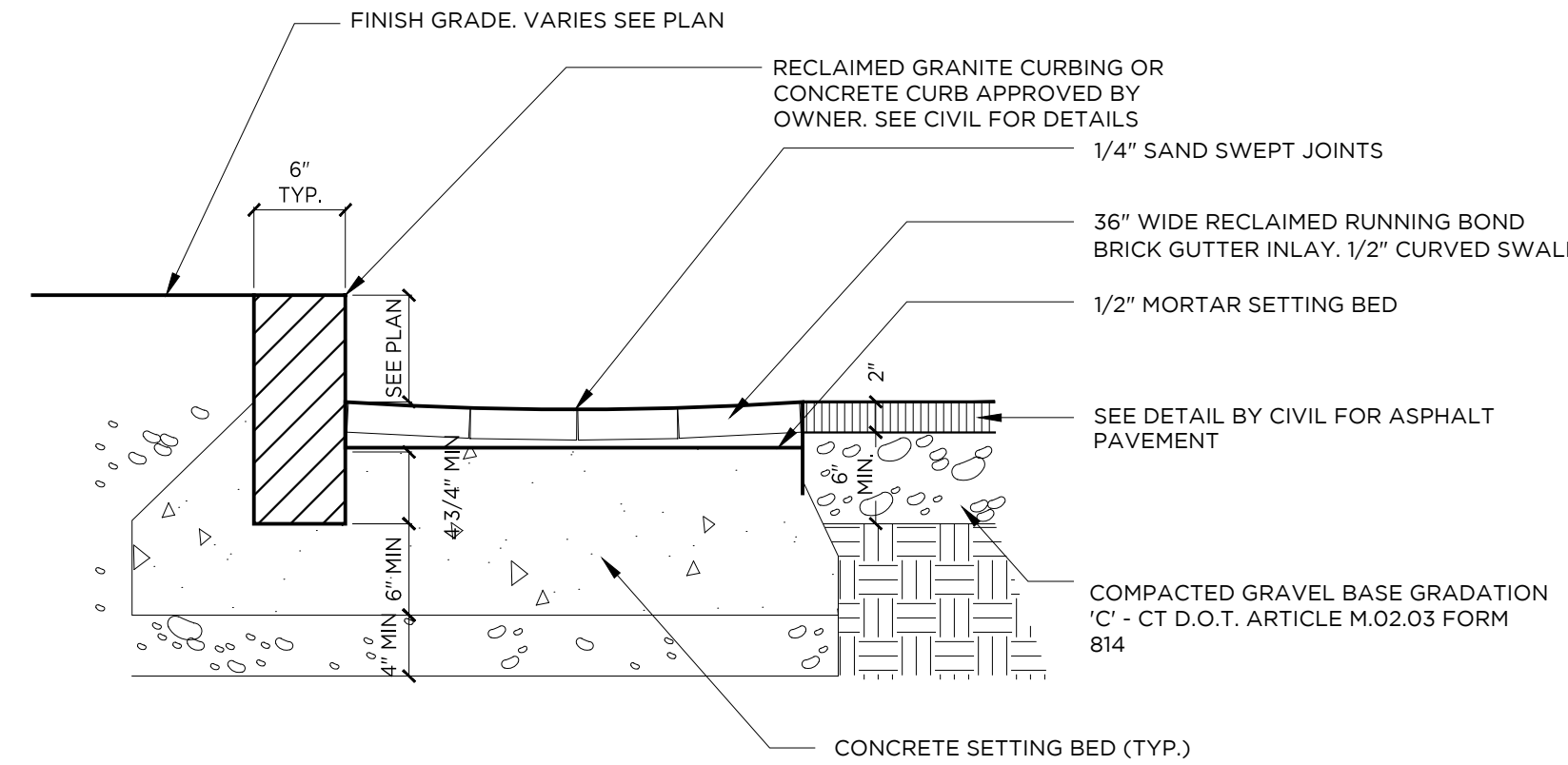
TYPICAL PERENNIAL PLANTING

SCALE: 1/2" = 1' - 0"



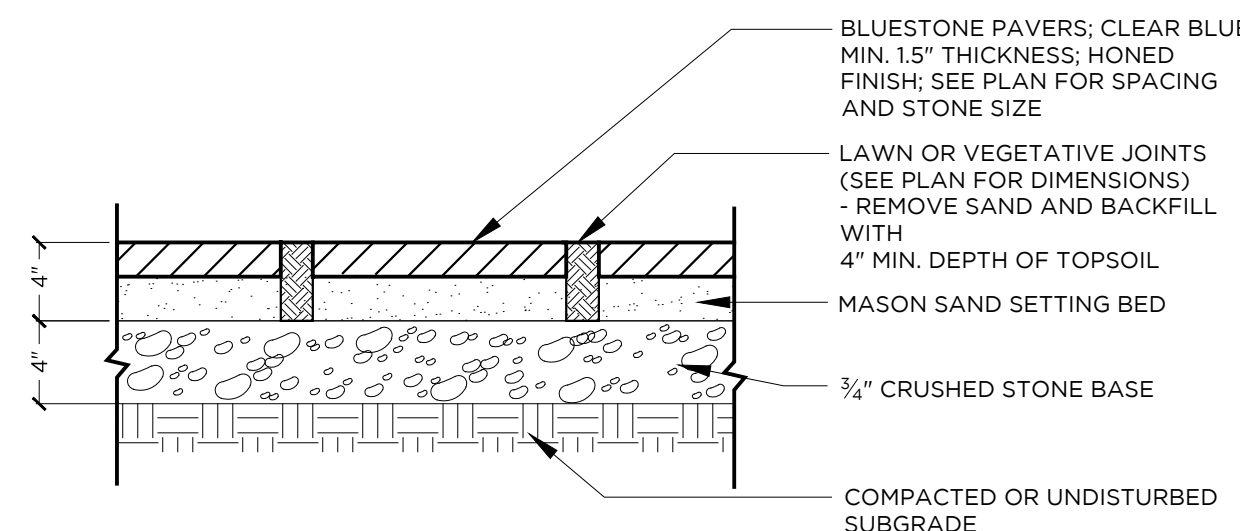
DECOMPOSED GRANITE WALK DETAIL

SCALE: 1" = 1' - 0"



BRICK STREET GUTTER DETAIL

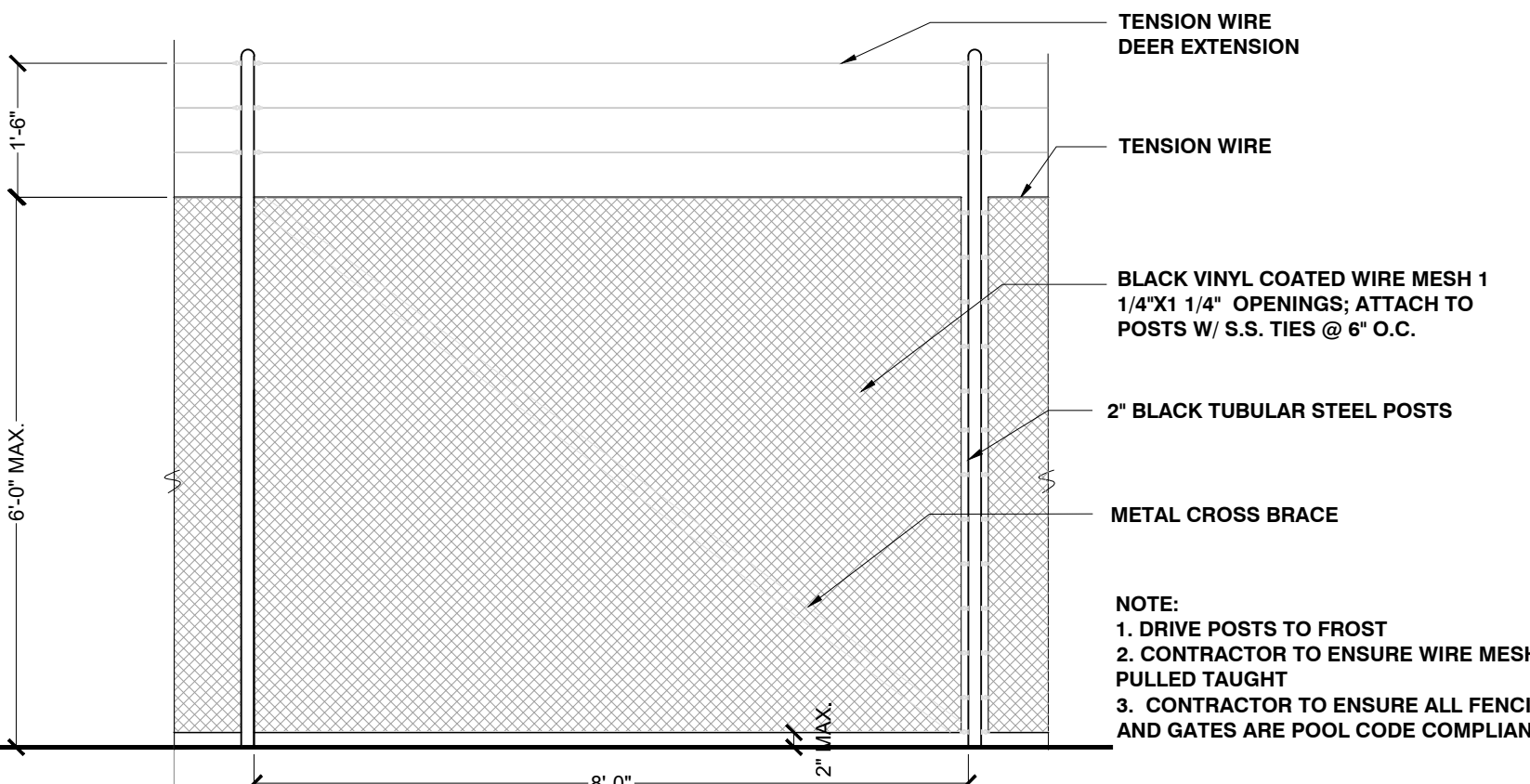
SCALE: 1" = 1' - 0"



STONE STEPPERS DETAIL

SCALE: 1" = 1' - 0"

- NOTES:
1. CONTRACTOR SHALL SUBMIT SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
 2. CONTRACTOR SHALL FURNISH MOCK-UP OF PATTERN USING MINIMUM (4) PIECES LAID ON GROUND TO CONFIRM JOINT SPACING



PERIMETER FENCING DETAIL

SCALE: 1/2" = 1' - 0"



CHARACTER IMAGE - KEY BIKE RACK

NTS

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PROJECT NAME

ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: 23003

DRAWN BY: JS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

DRAWING TITLE

SITE PLAN - LANDSCAPE DETAILS

DRAWING NO.

L1.8

TREE PROTECTION AND EROSION CONTROL NOTES:

1.

ALL TREE PROTECTION AND REMOVALS SHALL BE IN ACCORDANCE WITH THE DRAWINGS, DETAILS AND NOTES HEREON. REFER TO TREE PROTECTION DRAWINGS AND DETAILS FOR ADDITIONAL INFORMATION
2.

PRIOR TO ANY OTHER WORK, THE CONTRACTOR SHALL STAKE OUT THE LIMITS OF "TREE PROTECTION AREAS" WITHIN THE WORK ZONE AS SHOWN ON THE PLANS FOR APPROVAL BY THE LANDSCAPE ARCHITECT. IF NO TREE/LANDSCAPE PROTECTION AREA LIMITS ARE SPECIFICALLY SHOWN ON THE PLANS AND WORK WILL OCCUR IN OR NEAR TREES OR VEGETATED AREAS, THE LANDSCAPE ARCHITECT WILL DIRECT THE CONTRACTOR. THE INTENT OF THE LIMITS ARE TO PROTECT THE ROOT ZONE OF INDIVIDUAL TREES AND GROUPINGS OF TREES (USING THE "DRIP LINE" - THE VERTICAL PROJECTION TO THE GROUND OF THE TREES' CANOPY - AS A GUIDE), LAWNS AND OTHER VALUABLE VEGETATION TO THE MAXIMUM EXTENT FEASIBLE WHILE ALLOWING THE CONTRACTOR SUFFICIENT ROOM TO OPERATE. THEREFORE, THE CONTRACTOR MUST ASSESS THE ADEQUACY OF THE ALLOWED SPACE FOR ALL CONCEIVABLE ACTIVITIES INCLUDING THE PARKING OF PERSONAL VEHICLES. IT IS UNDERSTOOD THAT WORK MAY NEED TO OCCUR IN THE ROOT ZONE OF TREES. IN SUCH CASES, THE CONTRACTOR MAY PROPOSE ADJUSTMENTS TO THE STAKEOUT OF PROTECTION LIMITS TO SUIT FIELD CONDITIONS AND SUCH OPERATIONS. ANY SUCH ADJUSTMENTS SHALL BE SHOWN ON A PLAN AND/OR APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
3.

THE CONTRACTOR SHALL NOT STOCKPILE MATERIAL, PARK ANY VEHICLE, OR DRIVE ANY VEHICLE WITHIN THE DRIP LINE OF EXISTING TREES TO REMAIN. IT IS UNDERSTOOD THAT LOCALIZED STAGING/STORAGE AREAS MAY BE NECESSARY IN ADDITION TO ANY MAIN AREAS SHOWN ON PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT FOR ANY AREAS OUTSIDE TREE/LANDSCAPE PROTECTION FOR AREAS APPROPRIATE FOR STORAGE OF MATERIALS, AND EQUIPMENT AS WELL AS PARKING OF CONTRACTOR'S VEHICLES AND ACCESS ROUTES THROUGH THE ACTIVE WORK ZONE. THESE AREAS MUST BE DEFINED BY APPROPRIATE FENCING AND MUST MEET ALL TREE PROTECTION SPECIFICATIONS.
4.

ONCE PROTECTION FENCING IS IN PLACE, THE CONTRACTOR SHALL NOT ENTER OR DAMAGE OR DIMINISH THE LANDSCAPE OR ANY PORTION THERE OF WITHIN THE DEFINED TREE/LANDSCAPE PROTECTION AREAS. AT ALL TIMES DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL AVOID SOIL COMPACTION, POLLUTION, EROSION AND IMPACTS TO EXISTING VEGETATION UNLESS REMOVAL, SELECTIVE THINNING OR CLEARING ARE SPECIFIED IN THE DRAWINGS.
5.

WHERE WORK AREAS MUST ENCROACH ON TREE ROOT ZONES, THE CONTRACTOR, IF ORDERED BY LANDSCAPE ARCHITECT OR AS NOTED ON THE PLANS, SHALL FURNISH APPROXIMATELY 12-INCH LAYER OF WOOD CHIPS OR ACCESS MAT WITHIN THE DRIP LINE AREA TO REDUCE SOIL COMPACTION ON UNPAVED AREAS TO MINIMIZE SOIL COMPACTION AND PREVENT CONTAMINATION OF EXISTING SOIL. UNDER NO CIRCUMSTANCES MAY PETROLEUM PRODUCTS, CONCRETE WASH WATER, PAINT, OR OTHER POLLUTANTS BE ALLOWED TO SEEP INTO THE LANDSCAPE.
6.

THE LANDSCAPE ARCHITECT MUST BE NOTIFIED WHENEVER TRENCHING OCCURS WITHIN THE DRIP LINE FOR ANY TREE. ALL EXCAVATION WITHIN THE DRIP LINE OF A TREE OR NEAR THE DRIP LINE SHALL BE PERFORMED WITH AN AIR SPADE. THERE WILL BE NO SEPARATE PAYMENT FOR ANY REQUIRED AIR SPADE EXCAVATION. SEE ROOT PRUNING AND TRENCHING DETAILS.
7.

NO TREE PRUNING MAY BE PERFORMED EXCEPT BY (OR UNDER THE SUPERVISION OF) A QUALIFIED TREE-CARE PROFESSIONAL APPROVED BY THE LANDSCAPE ARCHITECT.
8.

"UNAUTHORIZED" TREE REMOVALS: IF THE CONTRACTOR REMOVES TREES NOT IDENTIFIED ON THE DRAWINGS OR REMOVES TREES NOT APPROVED BY LANDSCAPE ARCHITECT, OR SO SEVERELY DAMAGES TREES AS A RESULT OF CONSTRUCTION ACTIVITY THAT IN THE JUDGMENT OF AN ARBORIST THEY MUST BE REMOVED, THE CONTRACTOR SHALL PROVIDE REPLACEMENT TREES AT HIS/HER OWN EXPENSE SUCH THAT FOR EACH TREE REMOVED EQUALS ONE SIX INCH CALIPER TREE AS APPROVED
9.

LANDSCAPE MAINTENANCE DURING CONSTRUCTION: DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL MAINTAIN THE APPEARANCE OF THE PROJECT SITE BY REMOVING LITTER, DEBRIS AND EXCESS MATERIALS, AS A RESULT OF THE CONSTRUCTION OPERATIONS, FROM THE WORK SITE ON A REGULAR BASIS AND SHALL STORE ALL CONSTRUCTION EQUIPMENT AND CONSTRUCTION MATERIAL IN AN ORGANIZED MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
10.

IN CASE OF A TREE REMOVAL, ALL REMNANTS INCLUDING, BUT NOT LIMITED TO, STUMPS, TRUNKS, LIMBS, BRANCHES, AND FOLIAGE SHALL BE DISPOSED OF AS EXPEDITIOUSLY AS POSSIBLE.
11.

RESTORATION OF LANDSCAPE: ALL EXCESS MATERIALS AND DEBRIS RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REMOVED BY THE CONTRACTOR, AS PART OF SITE RESTORATION. ALL SOIL DIMINISHED AND/OR CONTAMINATED WITH EXCESS MATERIAL AND DEBRIS SHALL ALSO BE REMOVED AND REPLACED WITH TOPSOIL ACCEPTABLE TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR, AS DIRECTED BY LANDSCAPE ARCHITECT, SHALL RESTORE A MINIMUM OF 6" OF NEW TOPSOIL ON ALL AREAS WHERE THE TOPSOIL LAYER HAS BEEN DIMINISHED OR LOST DUE TO HIS/HER OPERATIONS. OUTSIDE THE DRIP LINE OF TREES, IF IT IS DETERMINED BY THE LANDSCAPE ARCHITECT THAT THE SOIL HAS BEEN COMPACTED DURING THE COURSE OF THE PROJECT, IT WILL BE UNCOMPACTED AND LOOSENED (BY USE OF AN AIR SPADE WITHIN AND NEAR THE DRIPLINES OF TREES) TO THE DEPTH OF 12 INCHES PRIOR TO FINAL GRADING OR PLANTING. UNDER NO CIRCUMSTANCES MAY HEAVY EQUIPMENT (I.E. PAYLOADERS) BE USED TO ACCOMPLISH SITE RESTORATION WITHIN THE DRIP LINE OF TREES. IN ALL ROOT-SENSITIVE AREAS, WORK MUST BE DONE USING ONLY AN AIR SPADE.
12.

ALL UTILITY CONFLICTS WITH PROPOSED TREES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
13.

CONTRACTOR SHALL REFER TO TO THE DEMOLITION/EROSION CONTROL PLAN FOR MORE INFORMATION

PLANTING NOTES:

1.

SEE DEMOLITION, EROSION CONTROL DRAWINGS BY CIVIL AND SHEET L2.0 FOR EXISTING MATERIAL AND PLANTS TO BE STOCKPILED AND MAINTAINED FOR TRANSPLANTING.
2.

TOPSOIL FOR PLANTING:

A. MATERIAL: TOPSOIL SHALL CONSIST OF NATURAL LOAM, FREE FROM SUBSOIL, OBTAINED FROM AN AREA THAT HAS NEVER BEEN PREVIOUSLY STRIPPED. MANUFACTURED OR AMENDED SOILS ARE NOT ACCEPTABLE UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

B. QUALITY: TOPSOIL SHALL BE OF UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PLAN, SODS, PARTIALLY DISINTEGRATED STONE, LIME, CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRED PAPER, BOARDS, CHIPS, STICKS, OR ANY OTHER UNDESIRABLE MATERIAL.

C. NO TOPSOIL SHALL BE DELIVERED, MANIPULATED OR HANDLED IN A FROZEN OR MUDDY CONDITION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT, ON OR AFTER DELIVERY, OF ANY MATERIAL THAT DOES NOT, IN THEIR OPINION, MEET THESE SPECIFICATIONS.:
3.

IRRIGATION SYSTEM (SEPARATE PRICE):

A. THE EXISTING IRRIGATION SYSTEM SHALL BE MODIFIED AND SHALL BE A FULLY OPERATIONAL AND COMPLETE IN-GROUND IRRIGATION SYSTEM, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- ALL EXCAVATION, TRENCHING, PUMPS, FILTERS, VALVES, BOXES, TIMERS, CONNECTIONS, WIRING, PIPING, DRIP TUBE, HEADS AND EMITTERS AS NECESSARY.

B. CONTRACTOR IS REQUIRED TO COORDINATE WORK WITH IRRIGATION CONTRACTOR. CONTRACTOR SHALL PROVIDE SLEEVES AS INDICATED ON THE DRAWINGS OR AS REQUIRED BY THE IRRIGATION INSTALLER
4.

NEW SEED (INCLUDING FINE GRADING) WHERE REQUIRED

A. INSTALLATION OF SEED SHALL INCLUDE FINE GRADING, PREPARATION OF SOIL BED, INCORPORATION OF FERTILIZER AND LIME, PROTECTION (BEFORE AND AFTER INSTALLATION) AND MAINTENANCE UNTIL FINAL ACCEPTANCE.

B. SEED MIX SHALL BE LOW MAINTENANCE, NATIVE, AND DROUGHT TOLERANT MIX WITH ANNUAL RYE. SEED MIX APPROPRIATE FOR TIME OF PLANTING. SEED MIX TO BE APPROVED BY THE LANDSCAPE ARCHITECT. SEEDING RATE SHALL BE AS RECOMMENDED BY THE MANUFACTURER.

C. FERTILIZER FOR LAWNS: FERTILIZE LAWN AREAS EVENLY USING ONLY ECOLOGICALLY SENSITIVE, ORGANIC PRODUCTS.

D. LANDSCAPE MAINTENANCE SHALL PROVIDE MAINTENANCE MATERIALS AND PROTOCOLS FOR REVIEW BY LANDSCAPE ARCHITECT.

E. ACCEPTANCE (OF SEED): THE LANDSCAPE ARCHITECT SHALL REJECT ANY AREAS OF SEED WHICH IN THEIR OPINION HAS NOT PROPERLY GERMINATED TO FORM AN EVEN AND VIGOROUS GROWING BED. REJECTED SEED BEDS SHALL BE PREPARED AND RE-SEEDED AT NO COST TO THE OWNER. SEED LAWNS SHALL BE READY FOR ACCEPTANCE AFTER A MINIMUM OF A 60 DAY ACTIVE GROWING PERIOD, UNTIL A UNIFORM STAND OF 2 ½ INCHES IS OBTAINED, WITH A MINIMUM OF 95% COVERAGE. UNACCEPTED SEED LAWNS SHALL BE RE-SEEDED AS SPECIFIED.
5.

MAINTENANCE OF SEED:

- THE CONTRACTOR SHALL PROPERLY WATER AS OFTEN AS REQUIRED TO MAINTAIN OPTIMUM GROWING CONDITIONS UNTIL FINAL ACCEPTANCE. THE CONTRACTOR SHALL MAINTAIN LAWN AT ONE AND A HALF TO THREE INCHES (1-1/2 TO 3") IN HEIGHT, FOR TWO MOWINGS OR UNTIL ACCEPTANCE. CONTRACTOR SHALL MONITOR IRRIGATION SYSTEM TO ENSURE NEW SOD AND SEED LAWNS RECEIVE PROPER AMOUNTS OF WATER.
- MAINTAIN ALL LAWNS THROUGHOUT AND IMMEDIATELY FOLLOWING PLANTING OPERATIONS UNTIL PROJECT IS CERTIFIED SUBSTANTIALLY COMPLETE.
- MAINTAIN SURFACES AND SUPPLY ADDITIONAL TOPSOIL WHERE NECESSARY, INCLUDING AREAS AFFECTED BY EROSION.
- REPLANT DAMAGED LAWN AREAS SHOWING GROWTH FAILURE, DETERIORATION, BARE OR THIN SPOTS AND ERODED AREAS.

PLANT SCHEDULE

					90% Native Overall	
QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS		
429 TREES						
22	<i>Acer saccharum</i>	Sugar Maple	4" cal.	Full canopy	x	
17	<i>Amelanchier canadensis</i>	Serviceberry	3" cal.	Full canopy	x	
6	<i>Betula utilis 'Jaquemonti'</i>	Jaquemontii Birch	3" cal.	Full canopy		
6	<i>Cercis canadensis</i>	Eastern Redbud	4" cal.	Full canopy	x	
8	<i>Crataegus phaenopyrum</i>	Hawthorn	4" cal.	Full canopy	x	
89	<i>Nyssa sylvatica</i>	Tupelo	3-3.5" cal.	Full canopy	x	
51	<i>Picea abies</i>	Norway Spruce	18-20" (4.5" cal.)	Full to base		
52	<i>Tsuga canadensis</i>	Hemlock	18-20" (4.5" cal.)	Full to base	x	
58	<i>Picea glauca</i>	White Spruce	18-20" (4.5" cal.)	Full to base	x	
13	<i>Platanus occidentalis</i>	American Sycamore	3-3.5" cal.	Full canopy	x	
18	<i>Prunus x yedoensis</i>	Yoshino Cherry	3" cal.	Full canopy		
19	<i>Quercus palustris</i>	Pin Oak	3-3.5" cal.	Full canopy	x	
10	<i>Quercus rubra</i>	Red Oak	6" cal.	Full canopy	x	
59	<i>Thuja x 'Green Giant'</i>	Arborvitae	10-12' (3" cal.)	Full to base		
1	<i>Tilia cordata 'Greenspire'</i>	Little Leaf Linden	3-3.5" cal.	Full canopy		
569 SHRUBS						
9	<i>Buddleia davidii 'Nanho Blue'</i>	Butterfly Bush	7 gal			
88	<i>Buxus sempervirens</i>	Boxwood	3'			
71	<i>Cornus sericea</i>	Red Twig Dogwood	7 gal		x	
9	<i>Hydrangea pan. 'Limelight'</i>	Limelight Hydrangea	7 gal			
40	<i>Hydrangea pan. 'Little Lime'</i>	Little Lime Hydrangea	7 gal			
36	<i>Hydrangea quercifolia 'Snow Queen'</i>	Oakleaf Hydrangea	7 gal			
23	<i>Hydrangea quercifolia 'Snow White'</i>	Oakleaf Hydrangea	7 gal			
59	<i>Ilex crenata 'Chesapeake'</i>	Japanese Holly Chesapeake	3-4'			
20	<i>Ilex crenata 'Steads'</i>	Japanese Holly Steeds	3-4'			
71	<i>Ilex verticillata</i>	Winterberry	7 gal.		x	
32	<i>Rhododendron maximum 'Roseum'</i>	Rhododendron	B&B		x	
34	<i>Spiraea nipponica 'Snowmound'</i>	Spirea	7 gal			
77	<i>Taxus baccata 'Repandens'</i>	English Yew	5 gal			
9515 PERENNIALS						
50	<i>Agastache foeniculum</i>	Hyssop	1 gal		x	
50	<i>Amsonia hubrichtii</i>	Bluestar	1 gal		x	
100	<i>Asclepias incarnata</i>	Milkweed	1 gal		x	
50	<i>Aster novi-belgii</i>	Aster	1 gal		x	
405	<i>Aruncus dioicis</i>	Goats Beard	1 gal		x	
1025	<i>Carex appalachica</i>	Sedge	1 gal		x	
4265	<i>Carex pensylvanica</i>	Sedge	1 gal		x	
70	<i>Chrysanthemum leucanthemum</i>	Oxeye Daisy	1 gal			
300	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	1 gal		x	
425	<i>Thelypteris noveboracensis</i>	New York Fern	1 gal		x	
540	<i>Echinacea purpurea 'Swan White'</i>	Coneflower	1 gal		x	
40	<i>Hosta 'Guacamole'</i>	Hosta	1 gal			
185	<i>Liatris spicata</i>	Blazing Star	1 gal		x	
35	<i>Monarda didyma</i>	Beebalm	1 gal		x	
60	<i>Nepeta 'Blue Wonder'</i>	Catmint	1 gal			
25	<i>Nepeta 'Cats Meow'</i>	Catmint	1 gal			
150	<i>Salvia 'Caradonna'</i>	Salvia	1 gal			
850	<i>Schizachyrium scoparium</i>	Little Bluestem	1 gal		x	
700	<i>Sporobolus heterolepis</i>	Prarie Dropseed	1 gal		x	
110	<i>Verbena bonariensis</i>	Purple Vervain	1 gal			
30	<i>Veronicastrum virginianum</i>	Culvers Root	1 gal		x	
50	<i>Asarum caudatum</i>	Wild Ginger	1 gal		x	

NOTES:

1. PLANT QUANTITIES AND SPECIES ARE SUBJECT TO CHANGE PER AVAILABILITY. CONTRACTOR SHALL PROVIDE SUBSTITUTION SUBMITTAL FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER.
2. PLANT MATERIAL SHALL ADHERE TO A MIN. 90% NATIVE IN QUANTITY, AS APPROVED BY THE VILLAGE PLANNING BOARD.
3. ALL PLANTS ARE TO ARRIVE ON SITE IN GOOD HEALTH FROM A CERTIFIED NURSERY WITH PROPER PROTECTION DURING TRANSPORTING.
4. ALL PLANT MATERIAL IS SUBJECT TO INSPECTION UPON ARRIVAL TO SITE. LANDSCAPE ARCHITECT CAN REJECT MATERIAL IF NOT DEEMED IN GOOD QUALITY OR DAMAGED.
5. CONTRACTOR SHALL NOT PRUNE ANY PLANT MATERIAL WITHOUT APPROVAL BY LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL NOT STOCKPILE PLANTS ON ASPHALT OR ANY MASONRY SURFACE.
7. DELIVER TREES AND SHRUBS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
8. ALL STOCKPILED VEGETATION SHALL BE PROPERLY WATERED AND MAINTAINED UNTIL INSTALLATION.
9. PLANT MATERIAL SHALL BE PLANTED WITHIN SEASONAL LIMITATIONS FOR EACH SPECIES TYPE AND TYPE OF LANDSCAPE WORK REQUIRED.
10. CONTRACTOR SHALL INCLUDE 1 YEAR WARRANTY ON ALL PLANT MATERIAL, INCLUDING THE COSTS OF ONE REPLACEMENT, IN PRICING.
11. PROVIDE TYPEWRITTEN MAINTENANCE INSTRUCTIONS FOR THE CONTINUING CARE OF INSTALLED PLANTS THROUGH 1 FULL GROWING SEASON TO ENSURE ACCEPTABLE ESTABLISHMENT OF ALL PLANT MATERIAL, SEEDED AND LAWN AREAS.

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G

A

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REVISIONS

#	DATE	REVISION DESCRIPTION	BY:

PHASE
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PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: 230003

DRAWN BY: JS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

DRAWING TITLE
SITE PLAN - ADDITIONAL NOTES

DRAWING NO.

L1.9



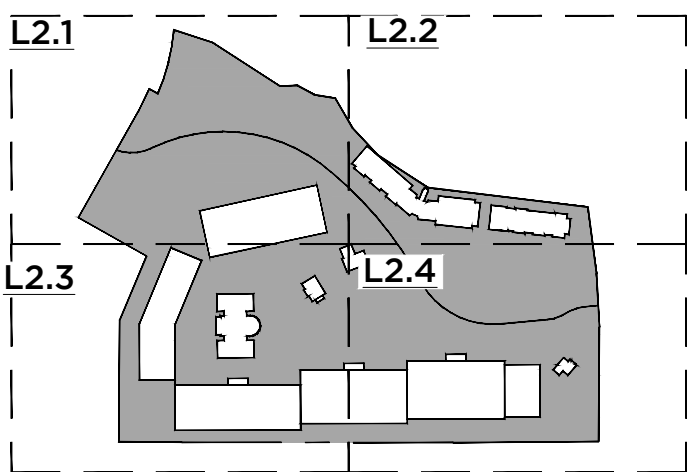
LEGEND

- EXISTING TREE TO REMAIN (209)
- EXISTING TREE TRANSPLANTED (4)
- EXISTING TREE REMOVED (277)
- PROPOSED TREES - SEE PLANTING PLAN
- TREE ID# 433 EXISTING TREE ARBORIST REPORT ID#

NOTES:

- TREE SIZES AND LOCATIONS BASED ON TREE SURVEY COMPLETED BY SAV-A-TREE DATED 3/30/23.
- REFERENCE SAV-A-TREE ARBORIST REPORT FOR CORRESPONDING FOR EXISTING TREE SPECIES, CALIPER AND HEALTH
- TREE CANOPY IS APPROXIMATED

KEY MAP



GA

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ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: 23003

DRAWN BY: JS PROJ. MANAGER: AS

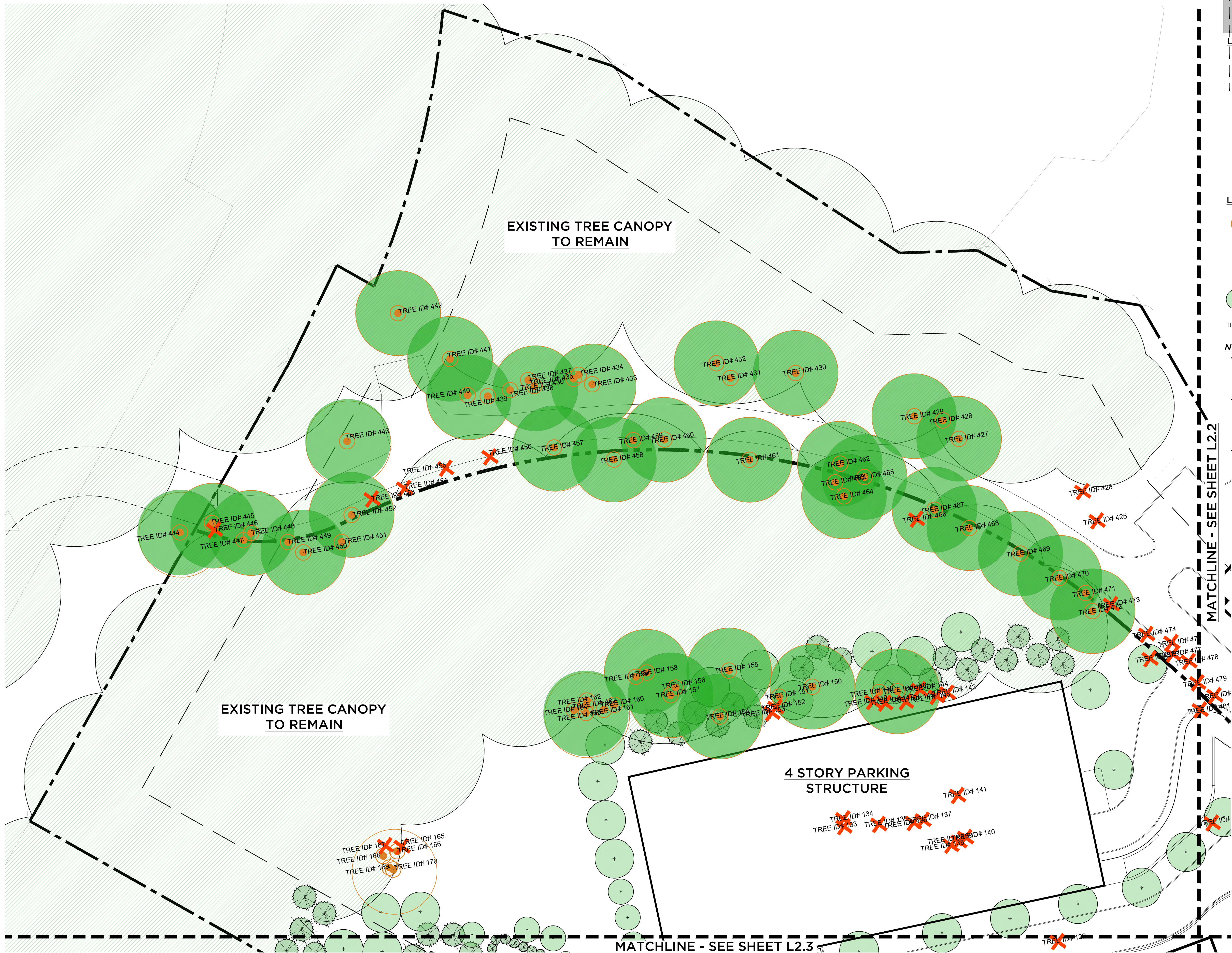
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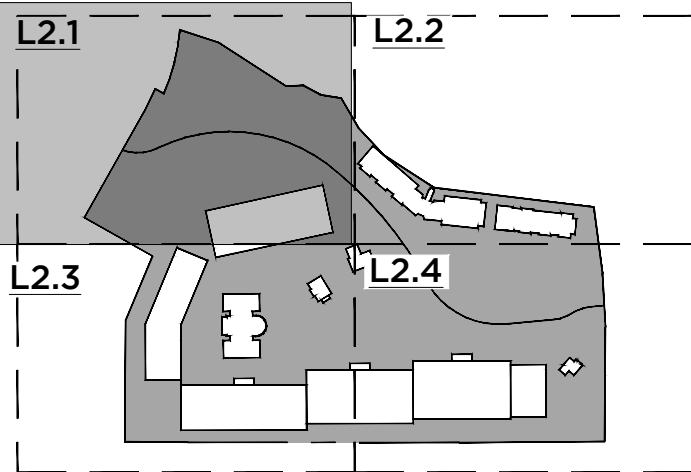
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File: L2.21 - Electric Owl Studios 230003 - Construction Drawings - 02 - Landscape Architectural - BASE DRAWINGS - EDS - LAR - TREES - 01.dwg
Date: 10/10/2024 2:46:00 PM
User: RSG



KEY MAP



LEGEND

- EXISTING TREE TO REMAIN (209)
- EXISTING TREE TRANSPLANTED (4)
- EXISTING TREE REMOVED (277)
- PROPOSED TREES - SEE PLANTING PLAN
- EXISTING TREE ARBORIST REPORT ID#

NOTES:

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PROJECT NAME

ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO: 23003

DRAWN BY: JS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

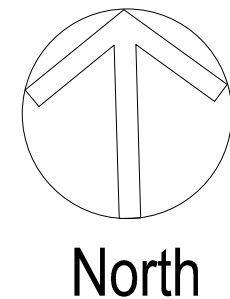
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TREE REMOVAL PLAN

DRAWING NO.

L2.1

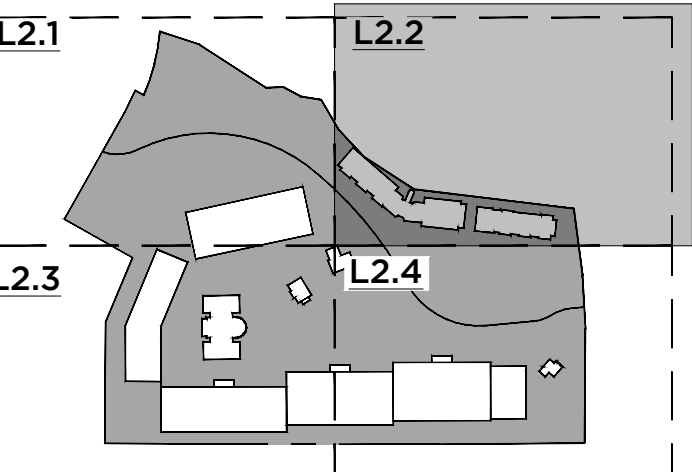
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File: 18-2024-Electric Owl Studios 230003-002_Construction Drawings-02_Landscape Architectural BASE DRAWINGS-EDS LAR TREES.Dwg



KEY MAP



LEGEND

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1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

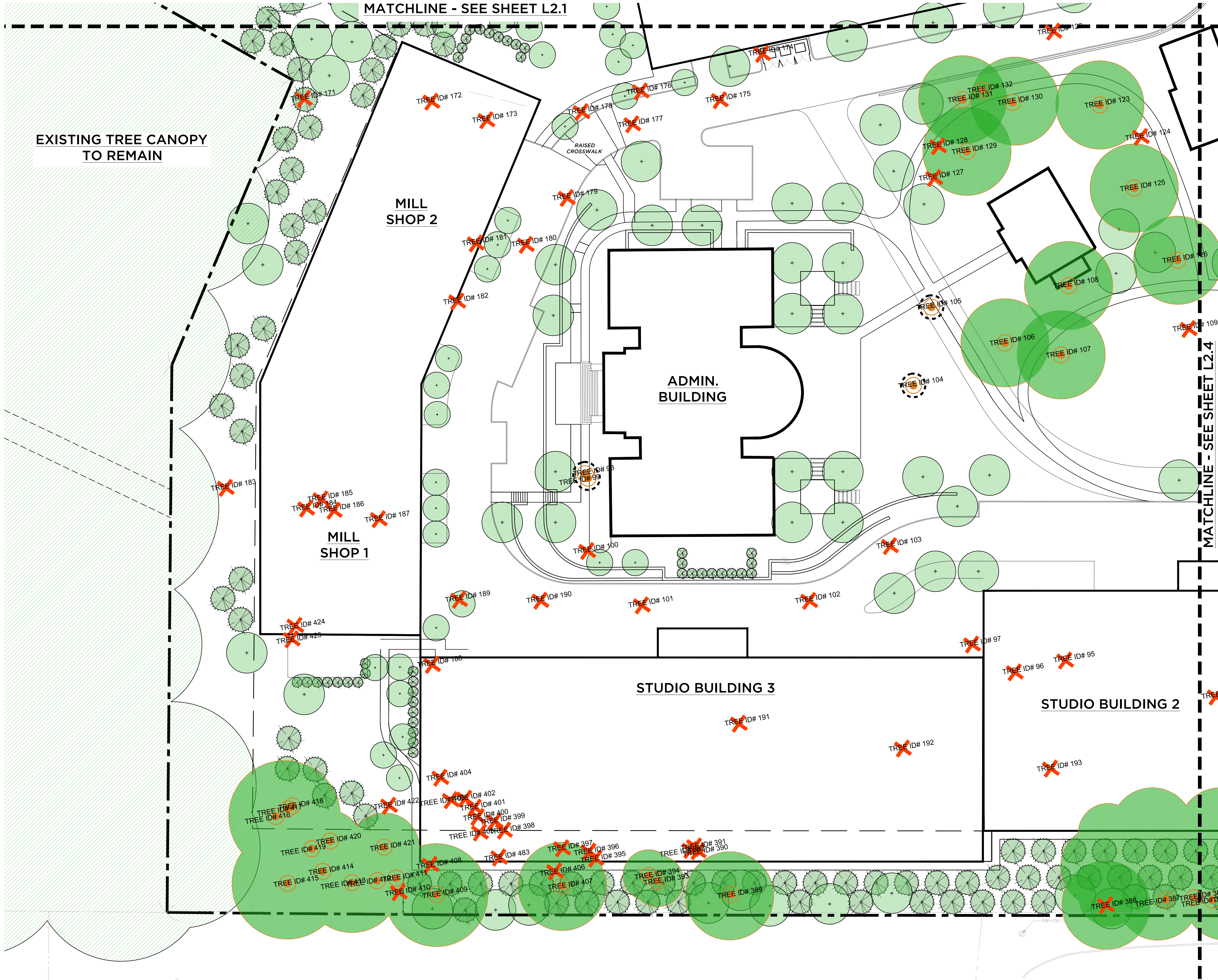
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DRAWING NO.

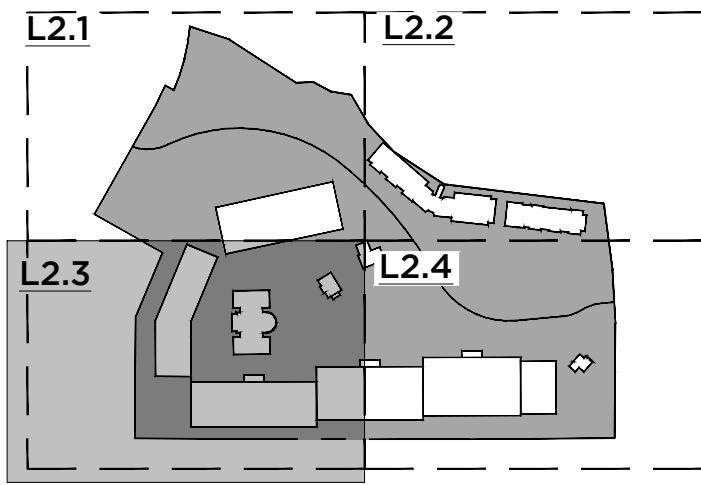
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KEY MAP

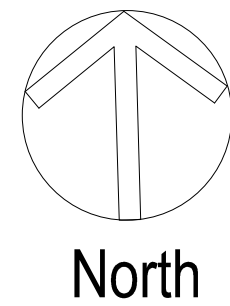


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- TREE CANOPY IS APPROXIMATED



SCALE 1" = 30' - 0"

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PROJECT NAME

ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: 23003

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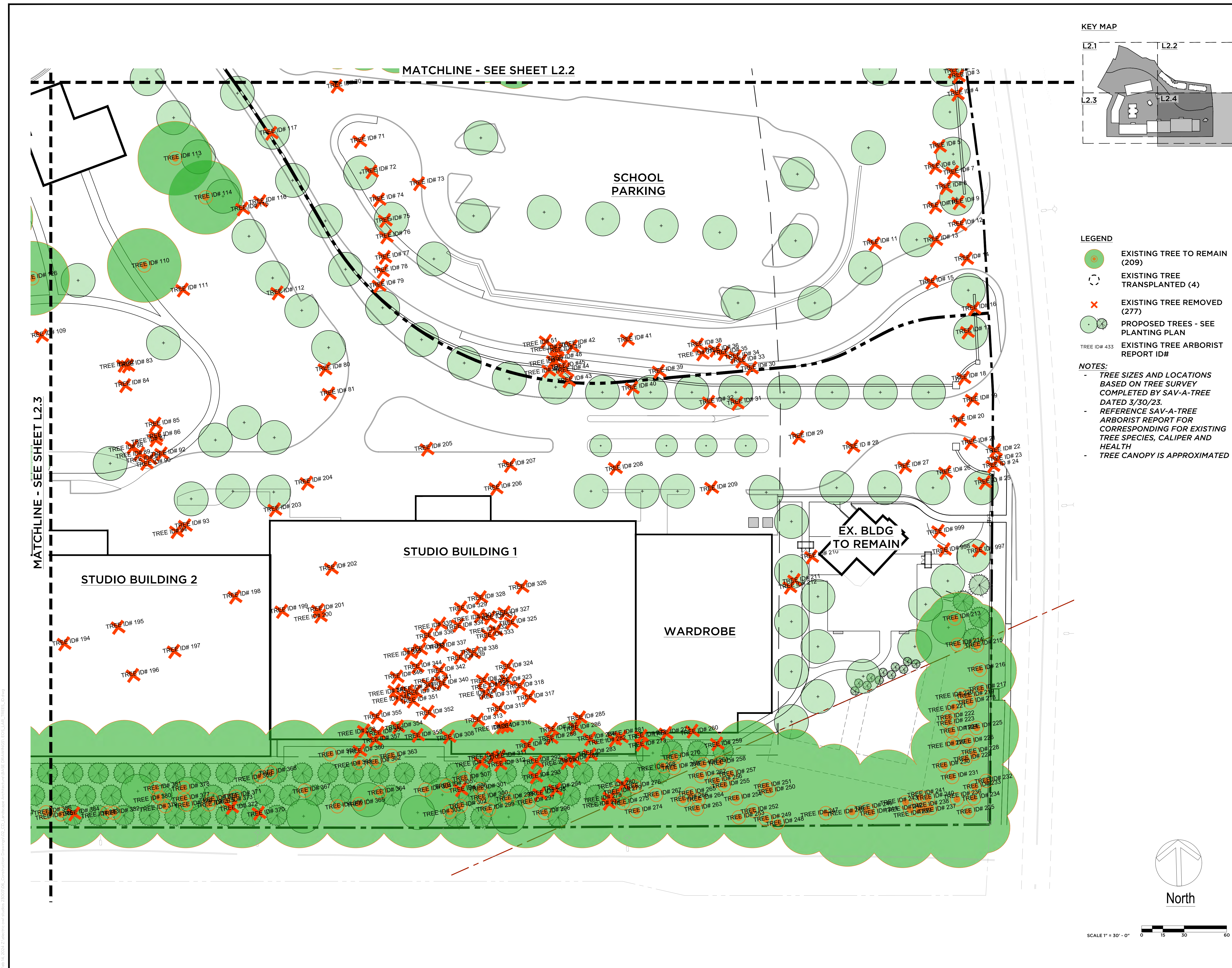
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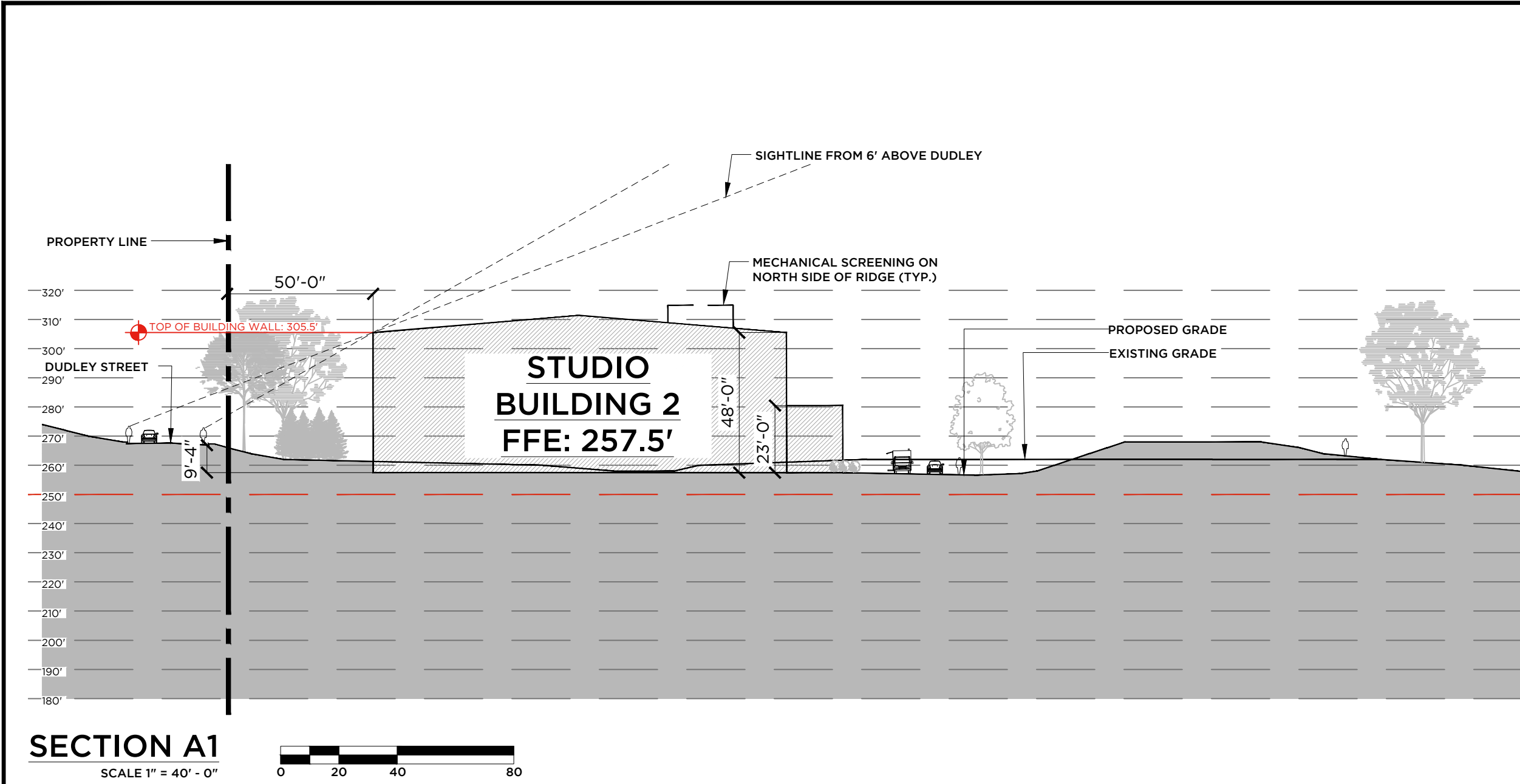
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TREE REMOVAL PLAN

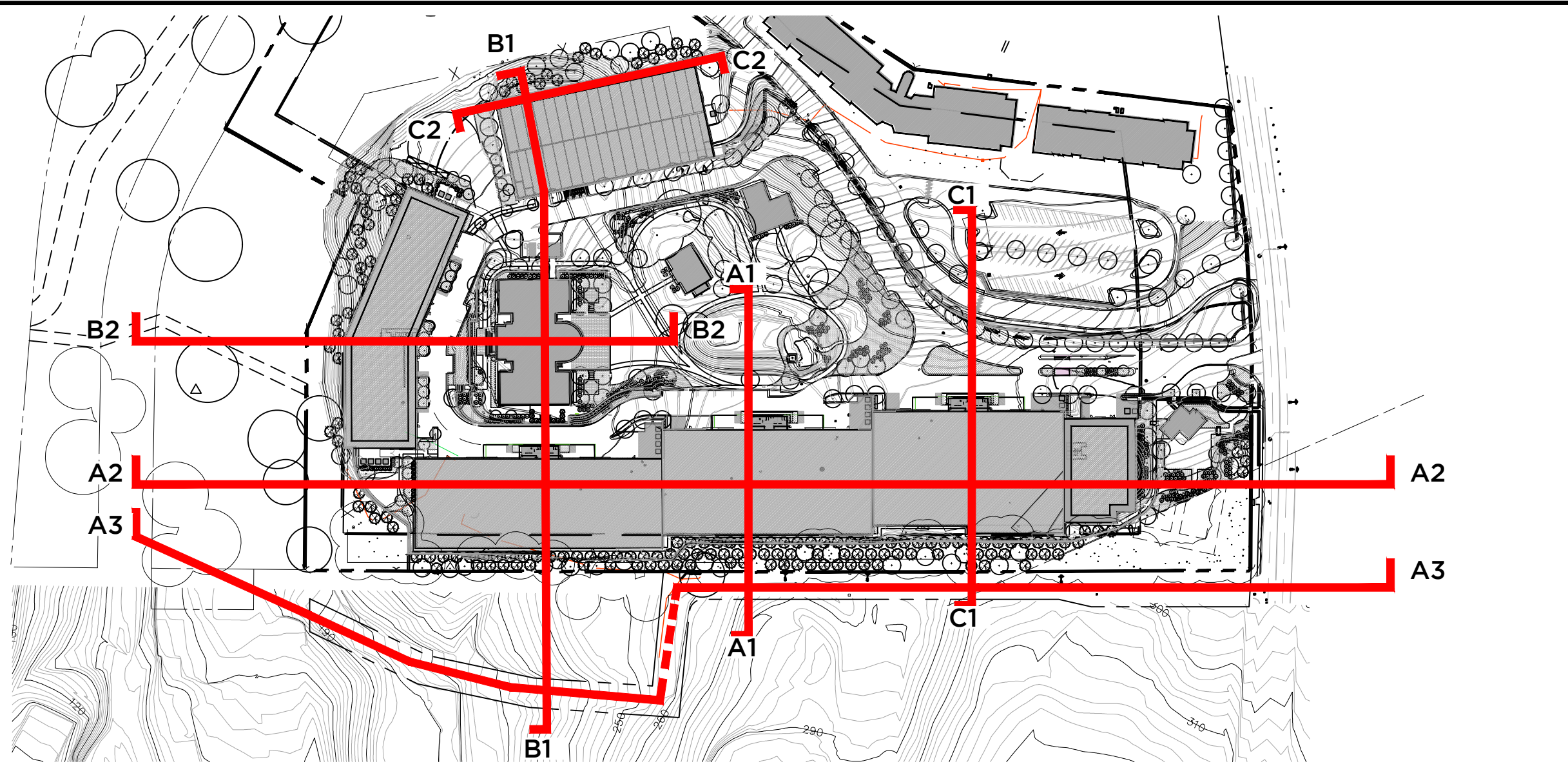
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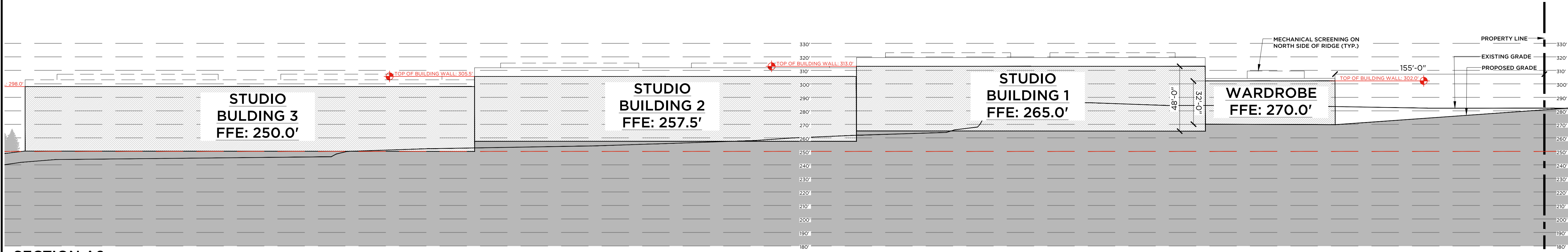


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SCALE 1" = 40' - 0"

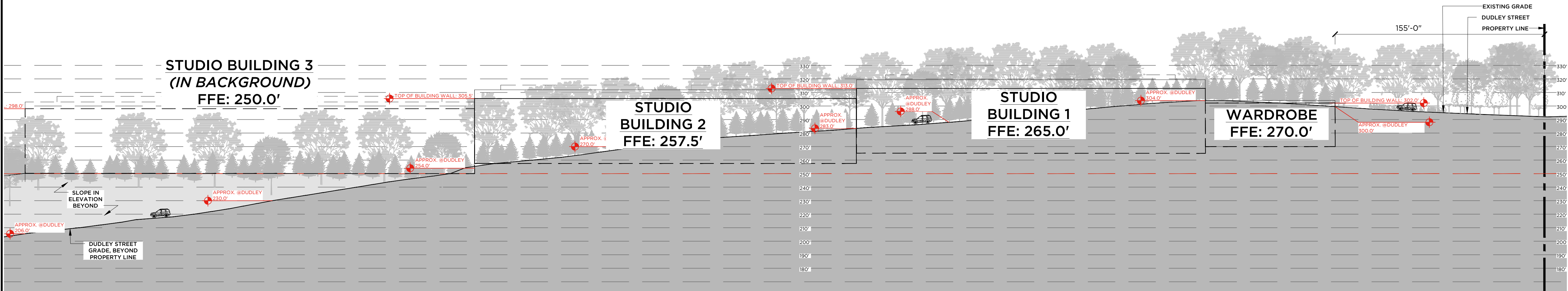


KEY PLAN
SCALE 1" = 2000' - 0"

NOTE: TOPOGRAPHICAL INFORMATION BEYOND PROPERTY LINES ARE TAKEN FROM WESTCHESTER GIS INFORMATION. SECTION LINES ARE INTENDED FOR GRAPHIC PURPOSES AND ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE.



SECTION A2
SCALE 1" = 40' - 0"



ELEVATION A3
SCALE 1" = 40' - 0"

NOTES:
- REFER TO DRAWINGS PROVIDED BY CIVIL FOR FURTHER INFORMATION ON SITE GRADING.
- REFER TO DRAWINGS PROVIDED BY GRIFFCO FOR FURTHER INFORMATION ON STUDIO USE BUILDINGS.

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REVISIONS			
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PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
SECTIONS A

DRAWING NO.

L3.0

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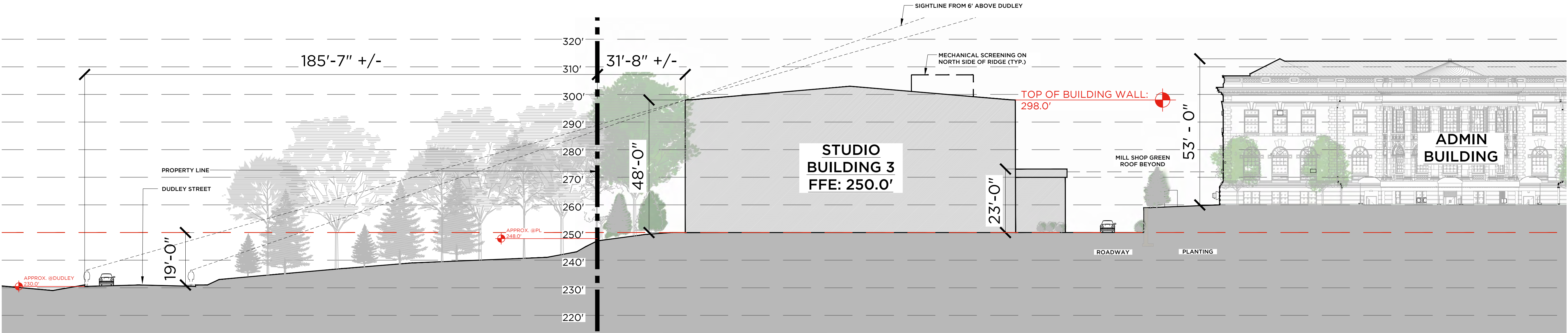
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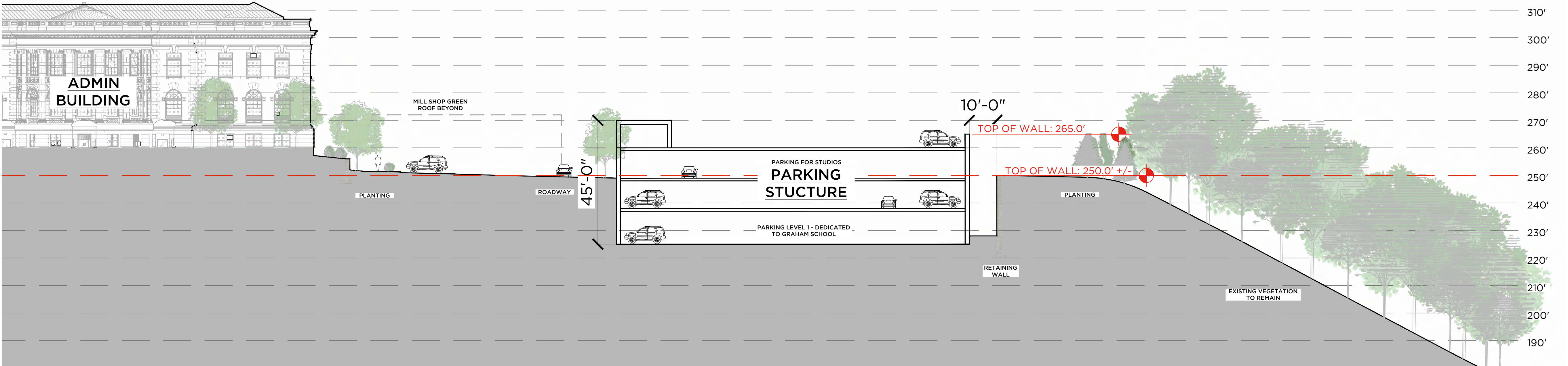
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SECTION B1
SCALE 1" = 20' - 0"



SECTION B1 (CONTINUED)
SCALE 1" = 20' - 0"



SECTION B2
SCALE 1" = 20' - 0"

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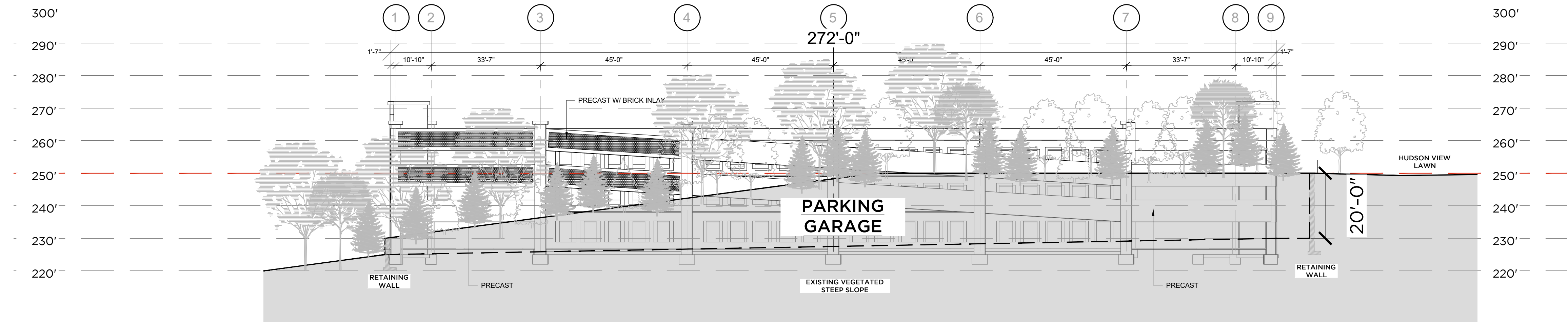
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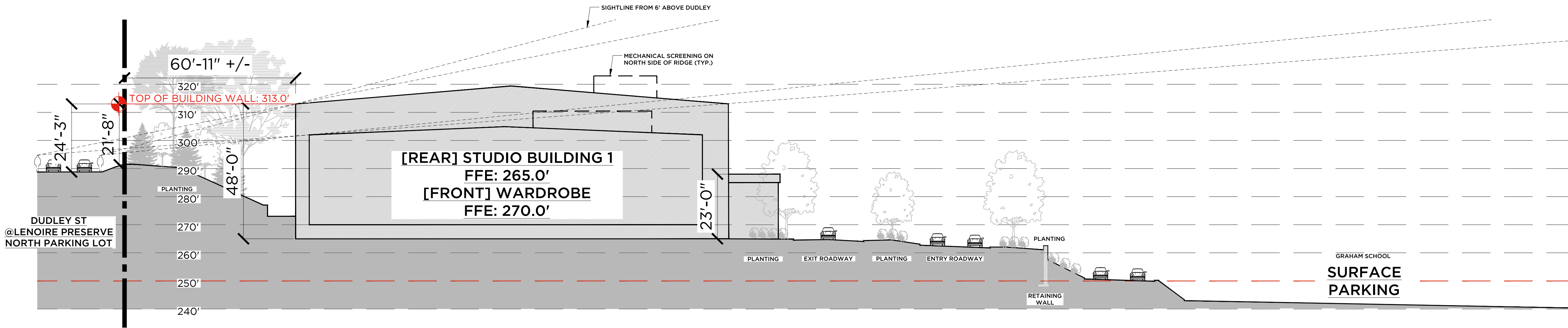
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SECTIONS C

DRAWING NO.

L3.2



SECTION C2
SCALE 1" = 20' - 0"

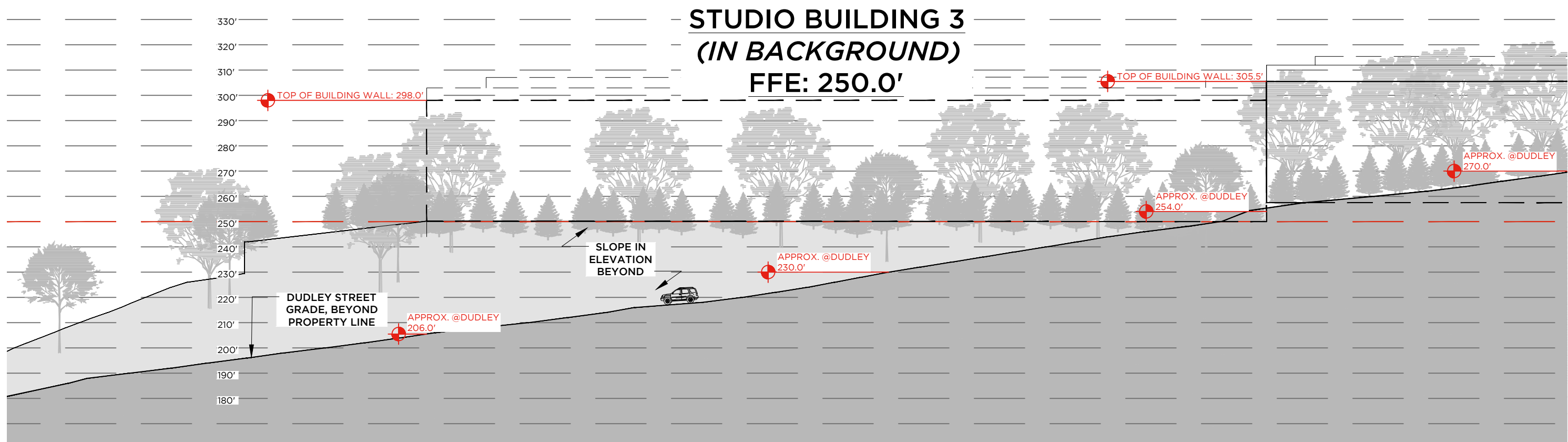


SECTION C1
SCALE 1" = 20' - 0"

NOTES:
- REFER TO DRAWINGS PROVIDED BY CIVIL FOR FURTHER INFORMATION ON SITE GRADING.
- REFER TO DRAWINGS PROVIDED BY GRIFFCO FOR FURTHER INFORMATION ON STUDIO USE BUILDINGS.

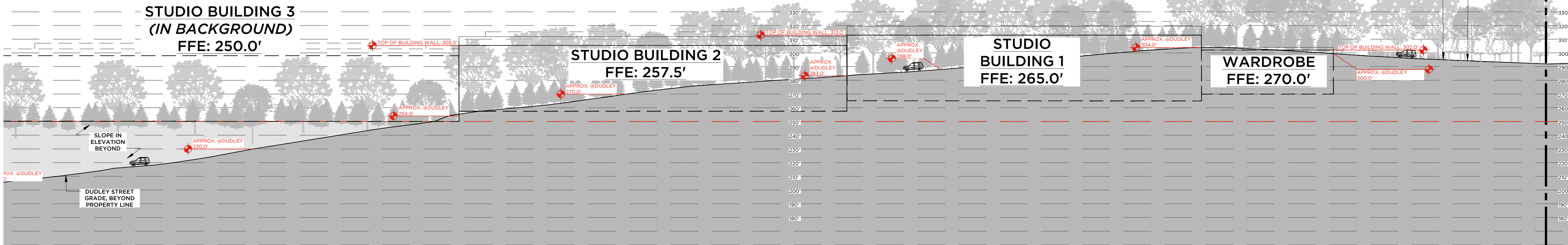
TABLE OF BUILDING HEIGHTS ALONG DUDLEY ST - MEASURED TO EAVE

Building	Building Height at Eave (ft.)	F.F.E.	Top of Building Wall (Rear)	Bottom of Building Wall (Rear)	Approx Grade at Property Line	Approx Grade at Dudley St.
Wardrobe	32'	270.0	302.0	270.0	301.0	301.0
Studio 1	48'	265.0	313.0	273.0	292.0	288.0
Studio 2	48'	257.5	305.5	261.0	268.0	270.0
Studio 3	48'	250.0	298.0	250.0	248.0	230.0



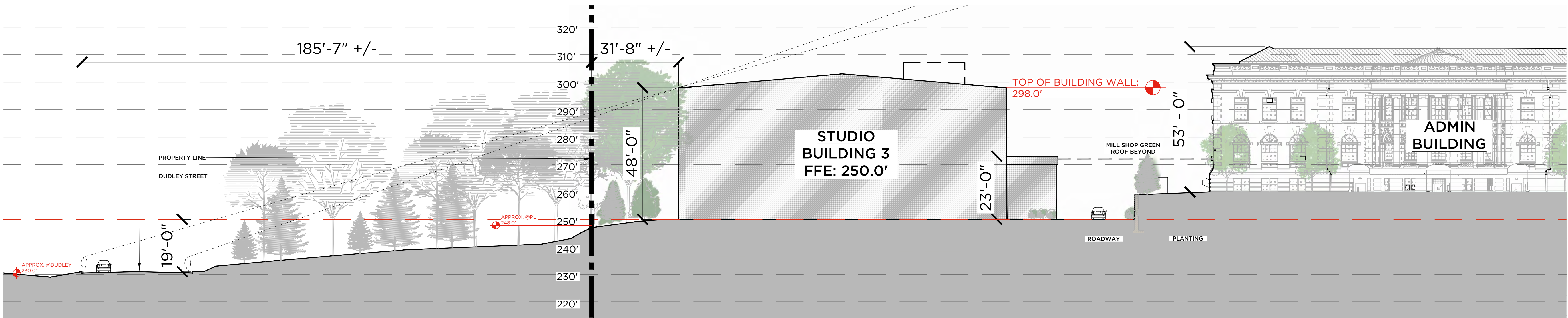
ELEVATION A3

SCALE 1" = 40' - 0"



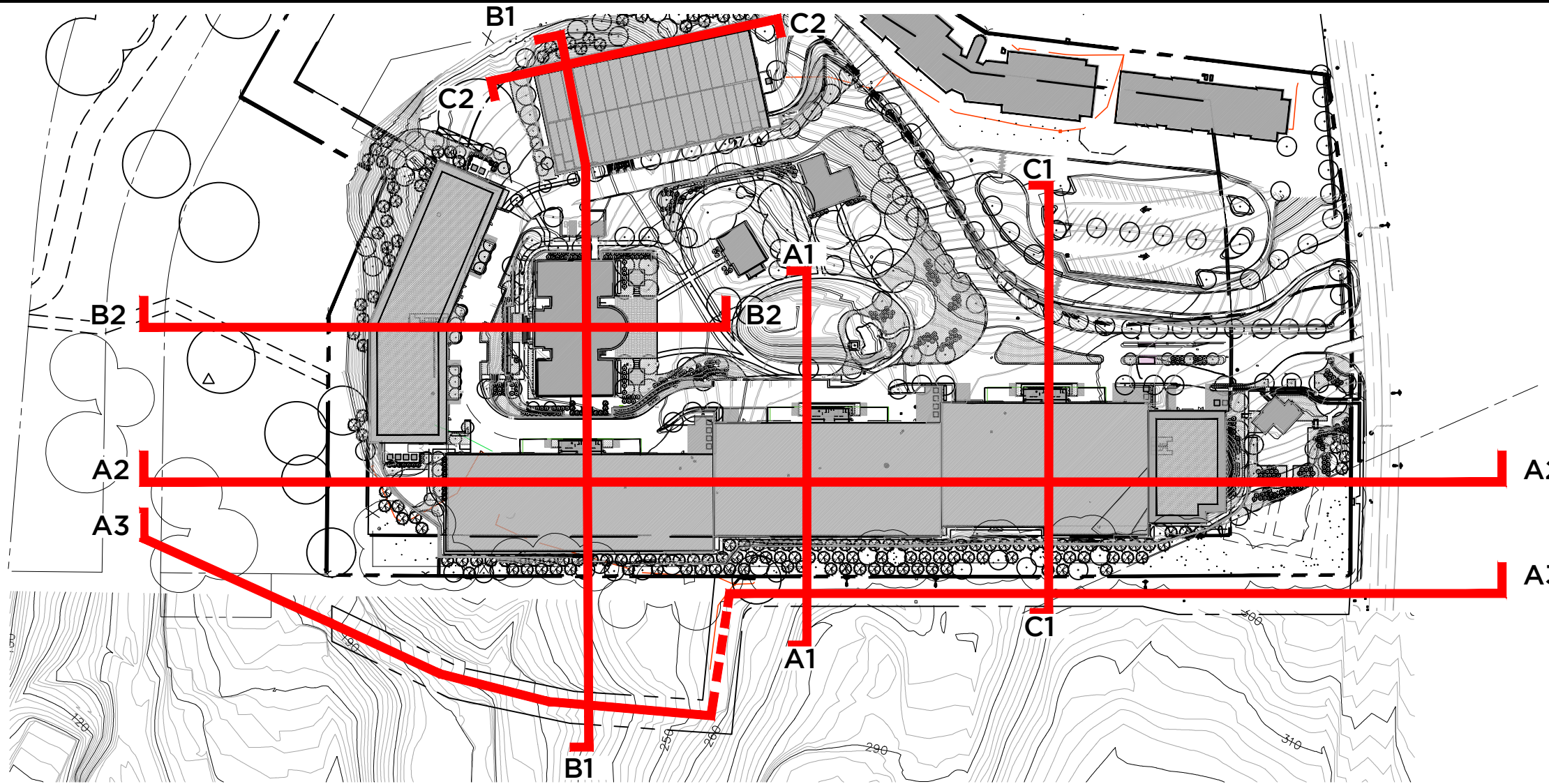
ELEVATION A3 (continued)

SCALE 1" = 40' - 0"



SECTION B1

SCALE 1" = 20' - 0"



KEY PLAN

SCALE 1" = 2000' - 0"

NOTE: TOPOGRAPHICAL INFORMATION BEYOND PROPERTY LINES ARE TAKEN FROM WESTCHESTER GIS INFORMATION. SECTION LINES ARE INTENDED FOR GRAPHIC PURPOSES AND ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE.

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REVISIONS

#	DATE	REVISION DESCRIPTION	BY:

PHASE

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PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: 23003

DRAWN BY: JS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

DRAWING TITLE












SECTIONS SK1

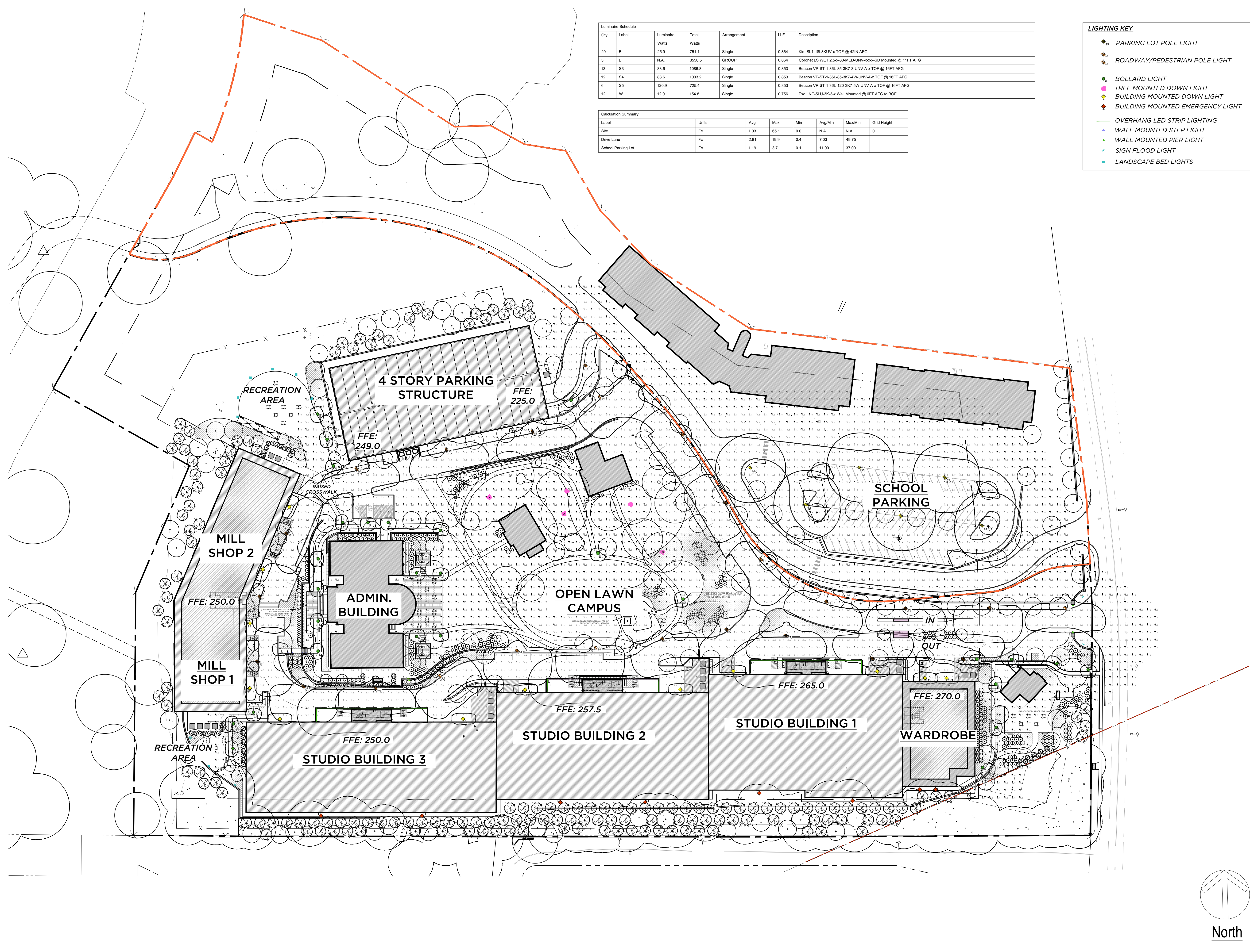
DRAWING NO.

SK 240126
SITE SECTIONS

Luminaire Schedule						
Qty	Label	Luminaire Watts	Total Watts	Arrangement	LLF	Description
29	B	25.9	751.1			
3	L	N/A	3550.5	GROUP	0.854	Ken SL1-18L3KUv-x TOF @ 42N AFG
15	Q1	49.5	1088.8	Single	0.853	Beacon LW1 2.5+30-MED-UNV-x-x-SD Mounted @ 11FT AFG
12	S4	83.6	1003.2	Single	0.853	Beacon VP-ST-136L-3K-3x-UNV-A-x TOF @ 16FT AFG
6	S5	120.9	725.4	Single	0.853	Beacon VP-ST-136L-120-3K7-5W-UNV-A-x TOF @ 16FT AFG
12	W	12.9	154.8	Single	0.756	Evo LNC-SLU-3K-3-x Wall Mounted @ 6FT AFG to BOF

Calculation Summary							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Height
Site	Fc	1.03	65.1	0.0	N.A.	N.A.	0
Drive Lane	Fc	2.81	19.9	0.4	7.03	49.75	
School Parking Lot	Fc	1.19	3.7	0.1	11.90	37.00	

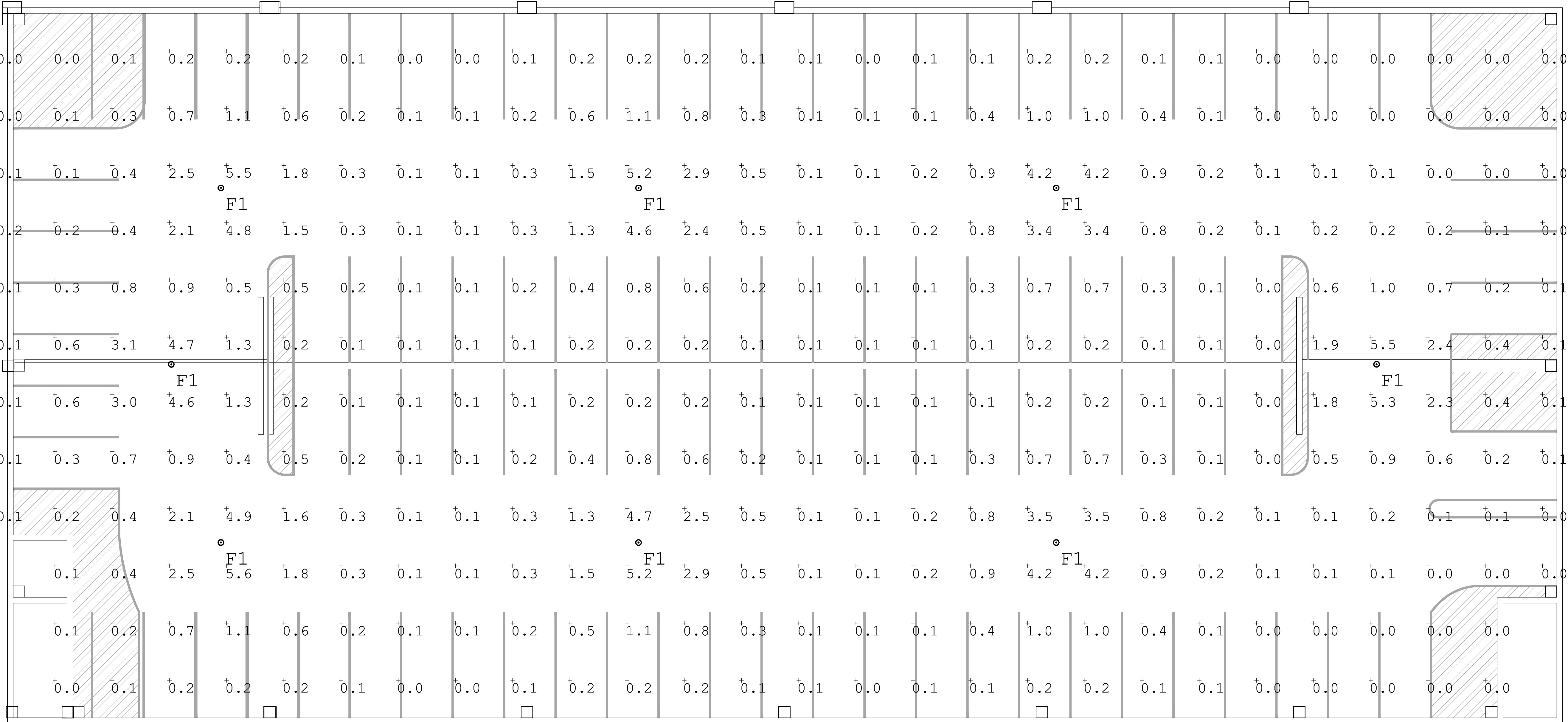
- ### **LIGHTING KEY**
-  PARKING LOT POLE LIGHT
 -  ROADWAY/PEDESTRIAN POLE LIGHT
 -  BOLLARD LIGHT
 -  TREE MOUNTED DOWN LIGHT
 -  BUILDING MOUNTED DOWN LIGHT
 -  BUILDING MOUNTED EMERGENCY LIGHT
 -  OVERHANG LED STRIP LIGHTING
 -  WALL MOUNTED STEP LIGHT
 -  WALL MOUNTED PIER LIGHT
 -  SIGN FLOOD LIGHT
 -  LANDSCAPE BED LIGHTS



Reflectances:
Ceiling: 30%
Walls: 30%
Floor: 20%

Luminaire Schedule						
Qty	Label	Luminaire Watts	Total Watts	Arrangement	LLF	Description
8	F1	22.6	180.8	Single	0.900	SRT11-20-3K7-5QW-UNV

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Height	
Calculation @ Floor	Fc	0.57	5.6	0.0	N.A.	N.A.	0	



LVL 1 - SCHOOL PARKING

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PROJECT NAME
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1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

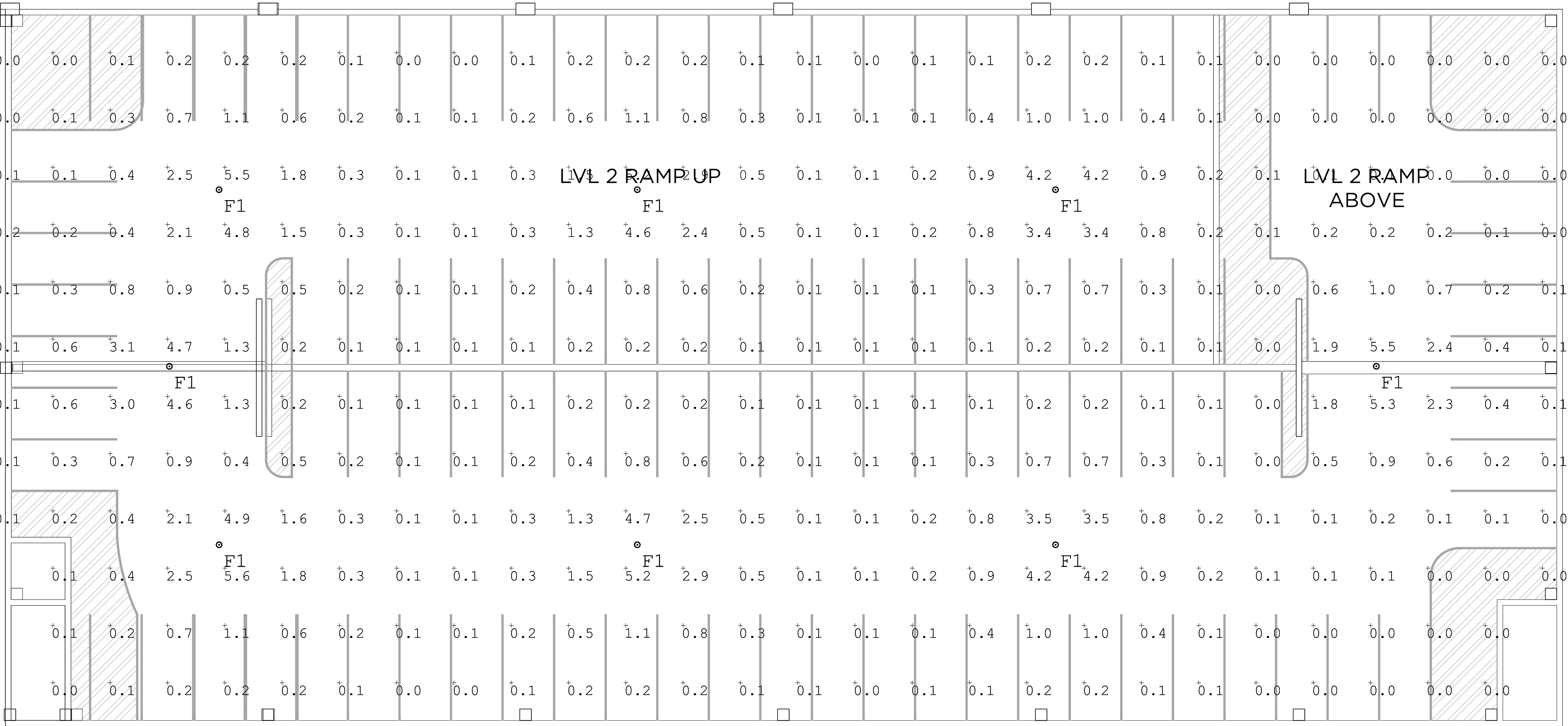
DRAWING TITLE
PHOTOMETRICS - GARAGE RCP
LVL 1

DRAWING NO.

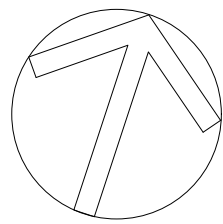
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File: 18-2024-Electric Owl Studios 23000006 - Construction Drawings 02_CD - Landscape Architecture\BASE DRAWINGS\02_CD_LAR.dwg



LVL 2 - STUDIO PARKING



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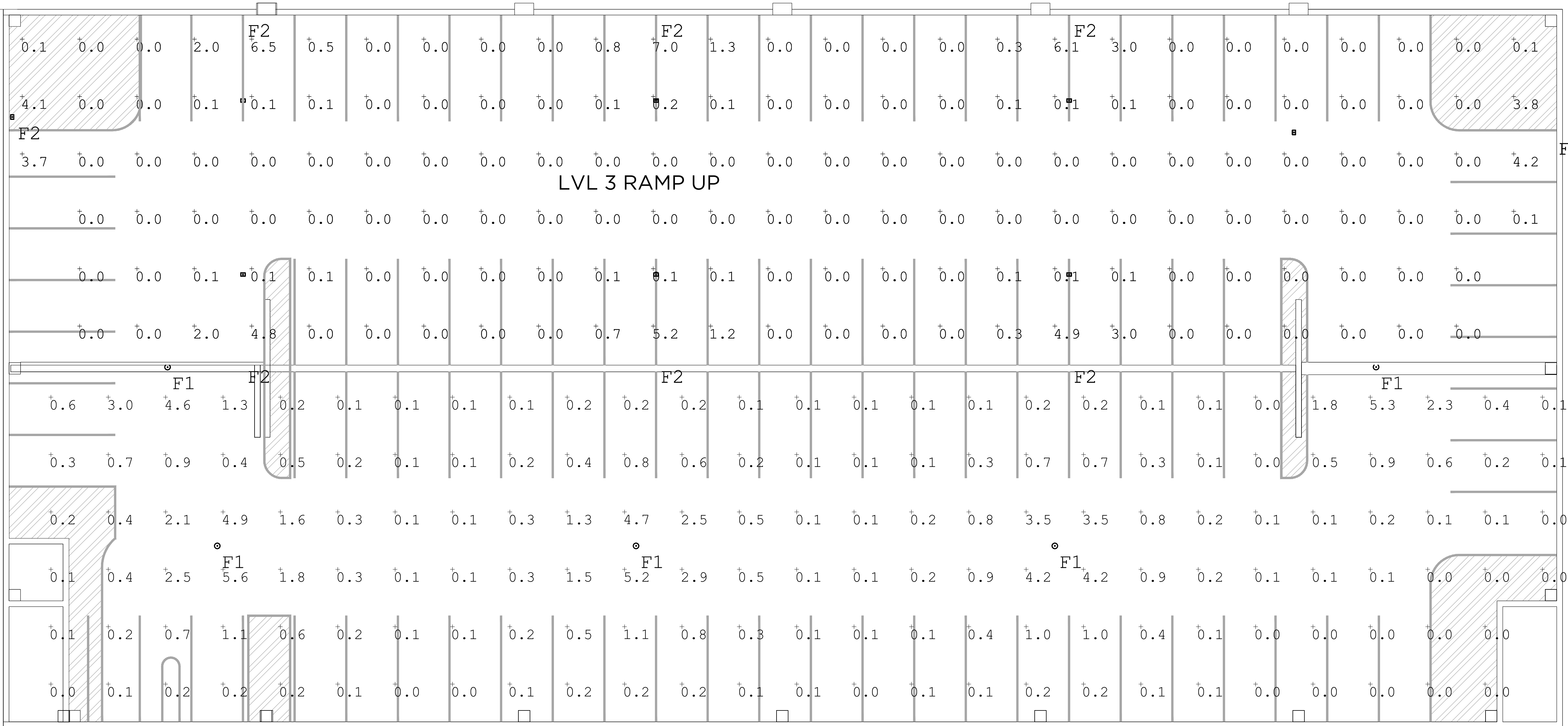
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**PHOTOMETRICS - GARAGE RCP
LVL 2**

DRAWING NO.

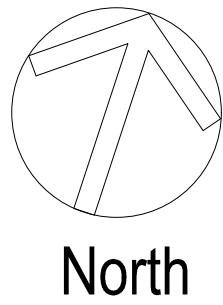
L5.1

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File: 18-2024-Electric Owl Studios 20200006 - Construction Drawings 02_CD - Landscape Architecture\BASE DRAWINGS\02_CD_LAR.dwg



LVL 3 - STUDIO PARKING



SCALE 1" = 10' - 0" 0 5 10 20

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1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
**PHOTOMETRICS - GARAGE RCP
LVL 3**

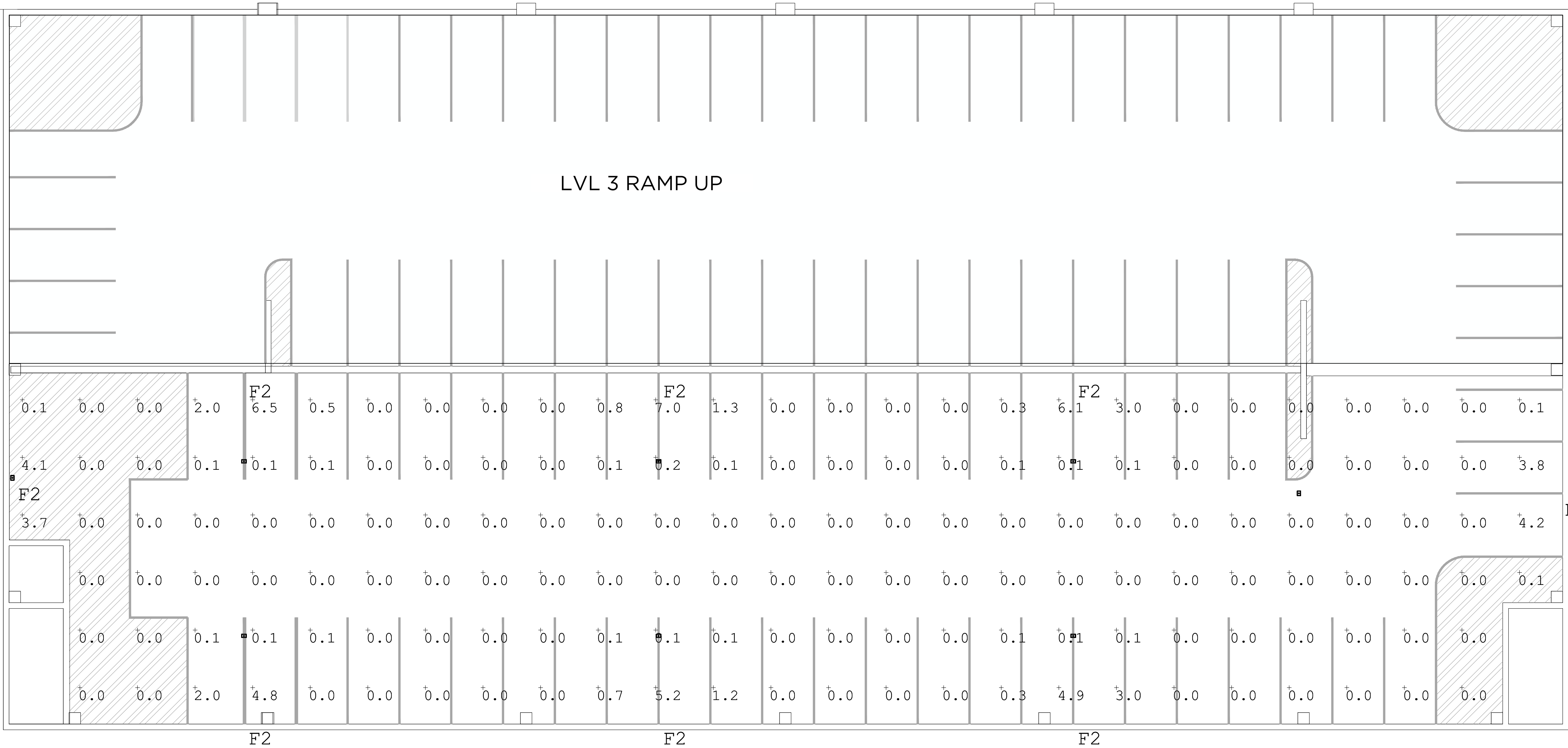
DRAWING NO.

L5.2

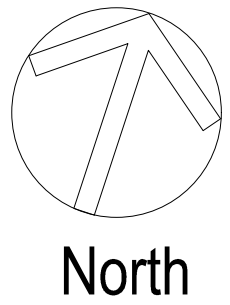
File: L5.3 - Electric Owl Studios 202406 - Construction Drawings - 02 - Landscape Architecture BASE DRAWINGS - EDS - LAR.dwg

Luminaire Schedule						
Qty	Label	Luminaire Watts	Total Watts	Arrangement	LLF	Description
8	F2	10.1	80.8	Single	0.900	Beacon RWL1-48L-10-3K7-4W-U BOF @ 3FT 6IN AFF

Calculation Summary							
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Height
Calculation Grid @ Floor	Fc	0.37	7.0	0.0	N.A.	N.A.	0



LVL 4 - STUDIO PARKING



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#	DATE	REVISION DESCRIPTION	BY:

PHASE

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REGISTERED ARCHITECT
ANDREAS STRESEMAN
024023
STATE OF NEW YORK

PROJECT NAME

ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE

PHOTOMETRICS - GARAGE RCP
LVL 4

DRAWING NO.

L5.3

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GREEN METAL OPTION - AERIAL IMAGE VIEW FROM ABOVE S. BROADWAY
NTS



GREEN METAL OPTION - ZOOMED AERIAL FROM ABOVE S. BROADWAY
NTS



GREEN METAL OPTION - STUDIO BUILDINGS FROM ENTRY
NTS



GREEN METAL OPTION - STUDIO BUILDINGS FROM CAMPUS
NTS

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DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
**ARCHITECTURAL RENDERINGS -
GREEN METAL**

DRAWING NO.

A1.0



GREY METAL OPTION - AERIAL IMAGE VIEW FROM ABOVE S. BROADWAY
NTS



GREY METAL OPTION - ZOOMED AERIAL FROM ABOVE S. BROADWAY
NTS



GREY METAL OPTION - STUDIO BUILDINGS FROM ENTRY
NTS



GREY METAL OPTION - STUDIO BUILDINGS FROM CAMPUS
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DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
**ARCHITECTURAL RENDERINGS -
GREY METAL**

DRAWING NO.
A1.1



OPTION 1- SOUTH ELEVATION-GREEN METAL BASE BUILDING



OPTION 1- SOUTH ELEVATION-SKETCH OF FOREGROUND VEGETATION



OPTION 1- AXONOMETRIC SHOWING MASSING CONCEPT

OPTION 1 - GREEN METAL BASE BUILDING WITH FALSE FACADE
NTS

CONSULTANTS

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JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
**DUDLEY ST. ARTICULATION
OPTION 1 - GREEN METAL**

DRAWING NO.
A1.2



OPTION 1A- SOUTH ELEVATION-GREY METAL BASE BUILDING



OPTION 1A- SOUTH ELEVATION-SKETCH OF FOREGROUND VEGETATION



OPTION 1A- AXONOMETRIC SHOWING MASSING CONCEPT

OPTION 1A - GREY METAL BASE BUILDING WITH FALSE FACADE
NTS

CONSULTANTS

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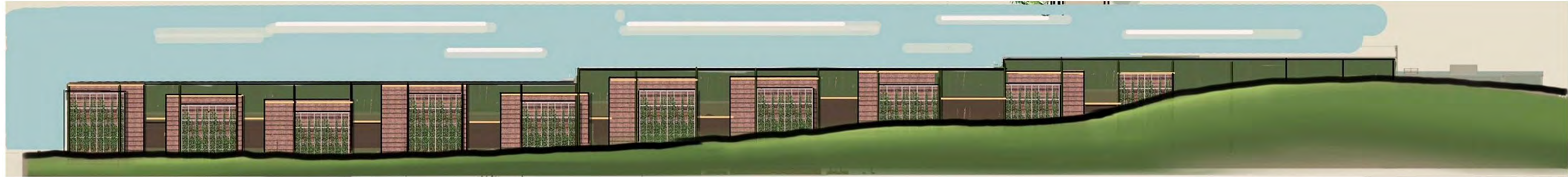
DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
**DUDLEY ST. ARTICULATION
OPTION 1A - GREY METAL**

DRAWING NO.

A1.3

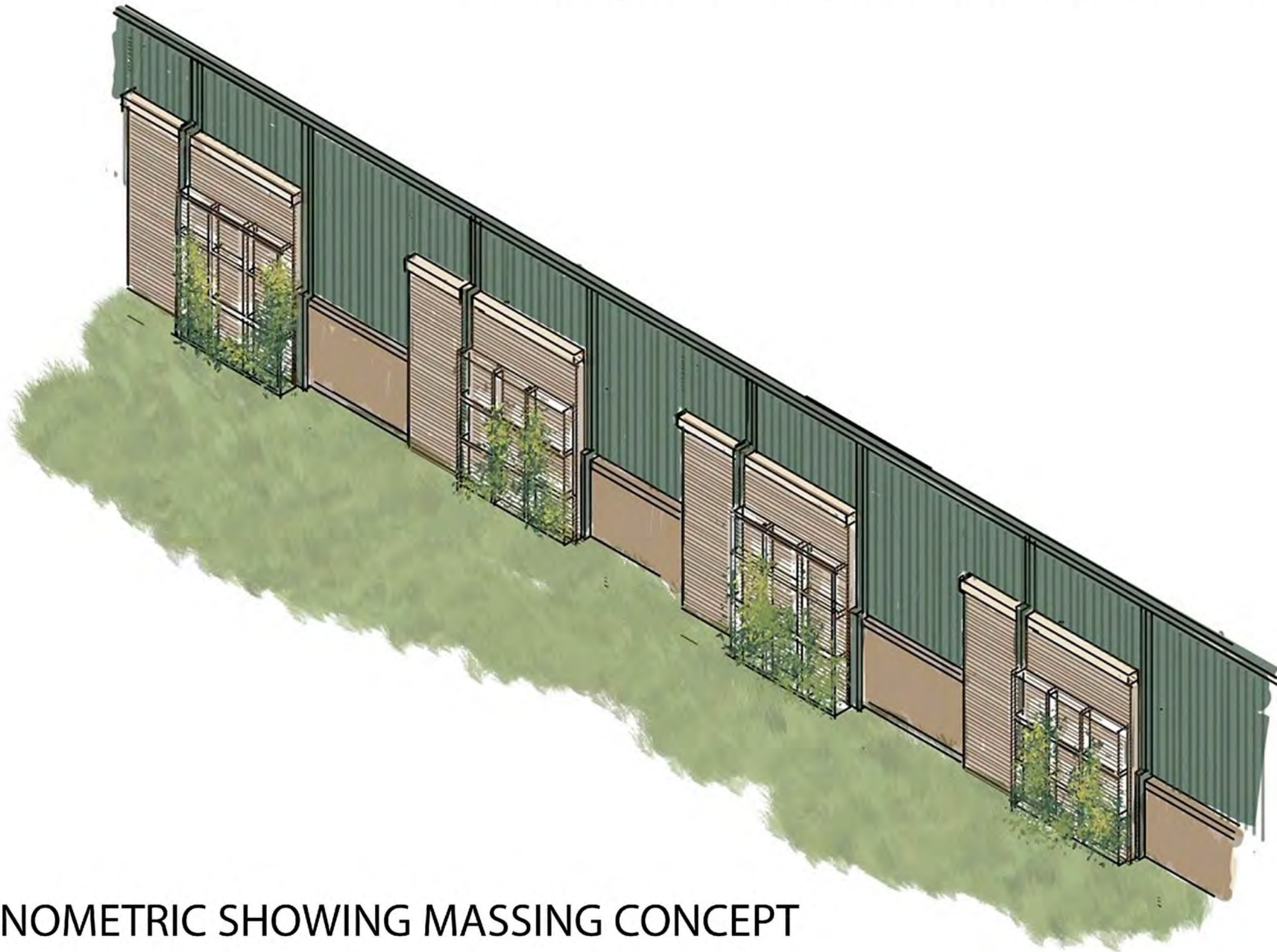
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OPTION 2- SOUTH ELEVATION-GREEN METAL BASE BUILDING



OPTION 2- SOUTH ELEVATION-SKETCH OF FOREGROUND VEGETATION



OPTION 2- AXONOMETRIC SHOWING MASSING CONCEPT

OPTION 2 - GREEN METAL BASE BUILDING WITH ARCHITECTURAL ELEMENTS
NTS

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#	DATE	REVISION DESCRIPTION	BY:

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PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

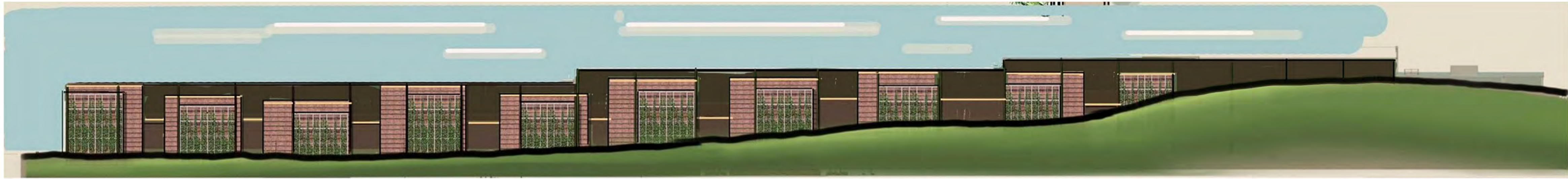
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DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
**DUDLEY ST. ARTICULATION
OPTION 2 - GREEN METAL**

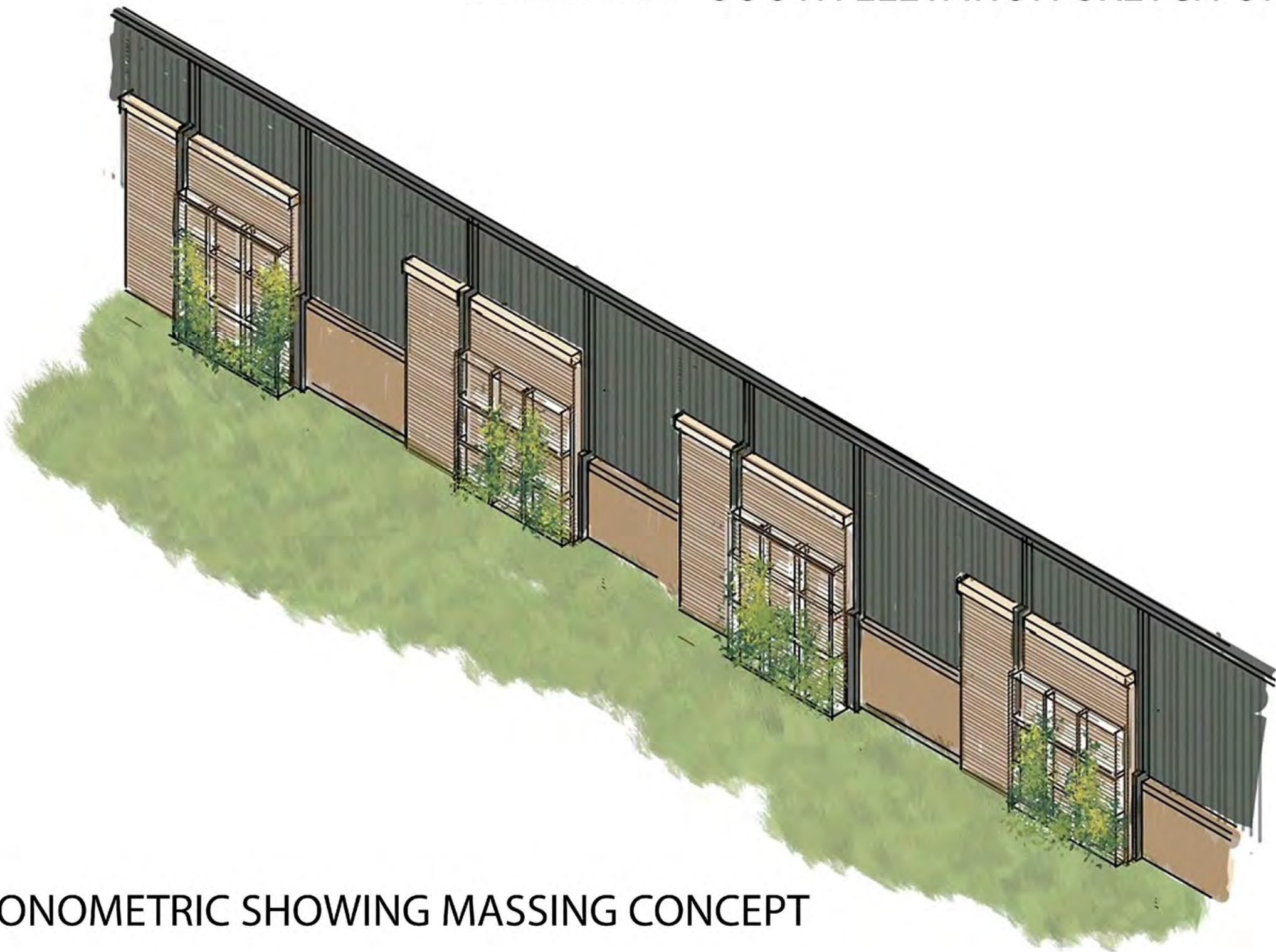
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A1.4



OPTION 2A - SOUTH ELEVATION-GREEN METAL BASE BUILDING



OPTION 2A - SOUTH ELEVATION-SKETCH OF FOREGROUND VEGETATION



OPTION 2A - AXONOMETRIC SHOWING MASSING CONCEPT

OPTION 2A - GREY METAL BASE BUILDING WITH ARCHITECTURAL ELEMENTS
NTS

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JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
DUDLEY ST. ARTICULATION
OPTION 2A - GREY METAL

DRAWING NO.

A1.5



PARKING GARAGE - WEST ELEVATION (NO TREES)
NTS



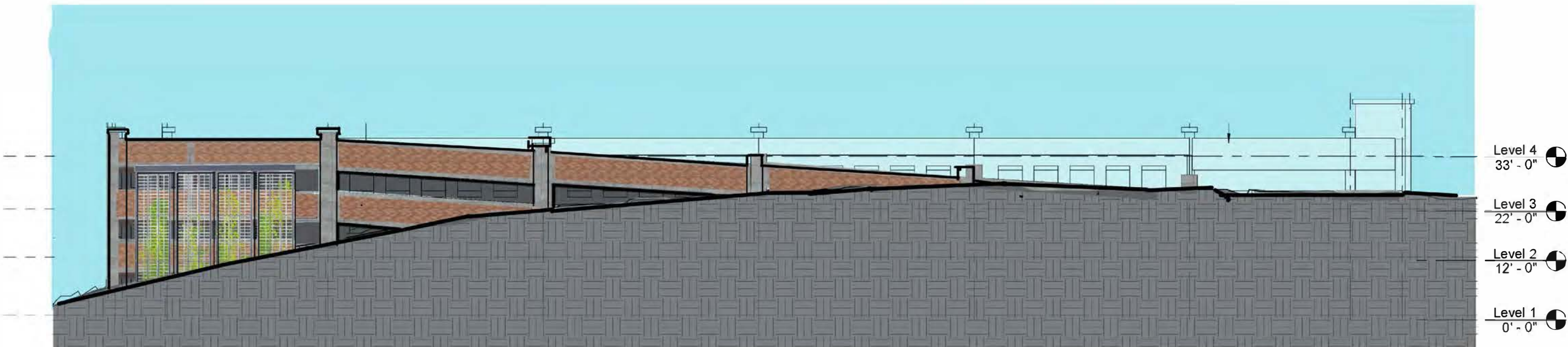
PARKING GARAGE - WEST ELEVATION (W/ TREES)
NTS



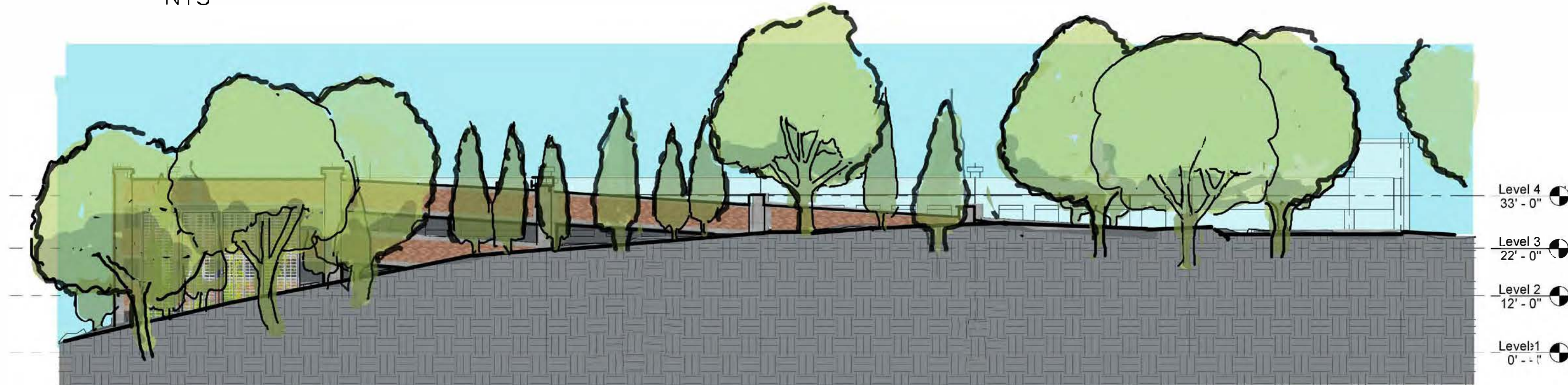
PARKING GARAGE - EAST ELEVATION
NTS



PARKING GARAGE - 3D VIEW FROM EMERGENCY ROAD
NTS



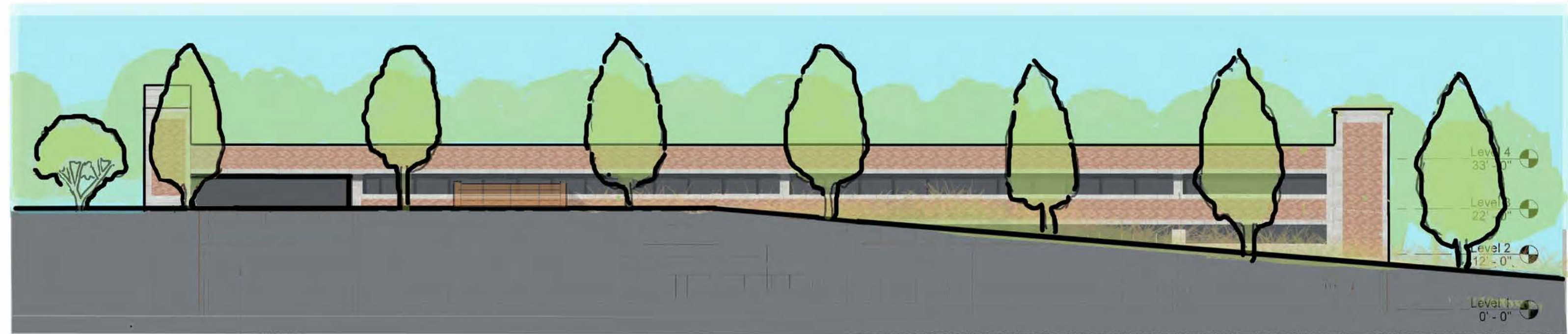
PARKING GARAGE - NORTH ELEVATION (NO TREES)
NTS



PARKING GARAGE - NORTH ELEVATION (W/ TREES)
NTS



PARKING GARAGE - SOUTH ELEVATION (NO TREES)
NTS



PARKING GARAGE - SOUTH ELEVATION (W/ TREES)
NTS

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PROJECT NAME
ELECTRIC OWL STUDIOS

15 BROADWAY
HASTINGS ON HUDSON, NY

JOB NO: 23003
DRAWN BY: JS PROJ. MANAGER: AS
DATE: 02/07/24 SCALE: AS NOTED
DRAWING TITLE
PARKING GARAGE RENDERED SECTIONS

DRAWING NO
A1.6



AERIAL VIEW OF EXISTING CAMPUS FROM ABOVE EMERGENCY ENTRY ROADWAY
NTS



AERIAL VIEW OF EXISTING CAMPUS FROM ABOVE HUDSON RIVER
NTS

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JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
**EXISTING PHOTOS - OVERALL
CAMPUS**

DRAWING NO.

E1.0



ADMINISTRATION BUILDING EXISTING CONDITION - REAR OF BUILDING
NTS



ADMINISTRATION BUILDING EXISTING CONDITION - NORTH SIDE OF BUILDING
NTS



ADMINISTRATION BUILDING EXISTING CONDITION - FRONT OF BUILDING
NTS

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ELECTRIC OWL STUDIOS

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JOB NO.: **23003**

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DRAWING TITLE
**EXISTING PHOTOS -
ADMINISTRATION BUILDING**

DRAWING NO.

E1.1

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PROJECT NAME
ELECTRIC OWL STUDIOS

1 S BROADWAY
HASTINGS ON HUDSON, NY

JOB NO.: **23003**

DRAWN BY: **JS** PROJ. MANAGER: **AS**

DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
EXISTING PHOTOS - COTTAGE BUILDINGS

DRAWING NO.

E1.2



FRASER EXISTING CONDITION - REAR OF BUILDING
NTS



SATTERLEE EXISTING CONDITION - REAR OF BUILDING
NTS



FRASER EXISTING CONDITION - FRONT OF BUILDING
NTS



SATTERLEE EXISTING CONDITION - FRONT OF BUILDING
NTS

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HASTINGS ON HUDSON, NY

JOB NO.: **23003**

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DRAWING TITLE
STUDIO BUILDINGS MATERIAL BOARD

DRAWING NO.

M1.0



EXISTING BRICK PATTERN TO MATCH
NTS



Used Wall Brick

DRYVIT BRICK EIFS MATERIAL
NTS

OPTION 1



Fern
PRIME

POWDER COATED METAL BUILDING MATERIAL
NTS

OPTION 2



Charcoal
THRIFTY | PRIME



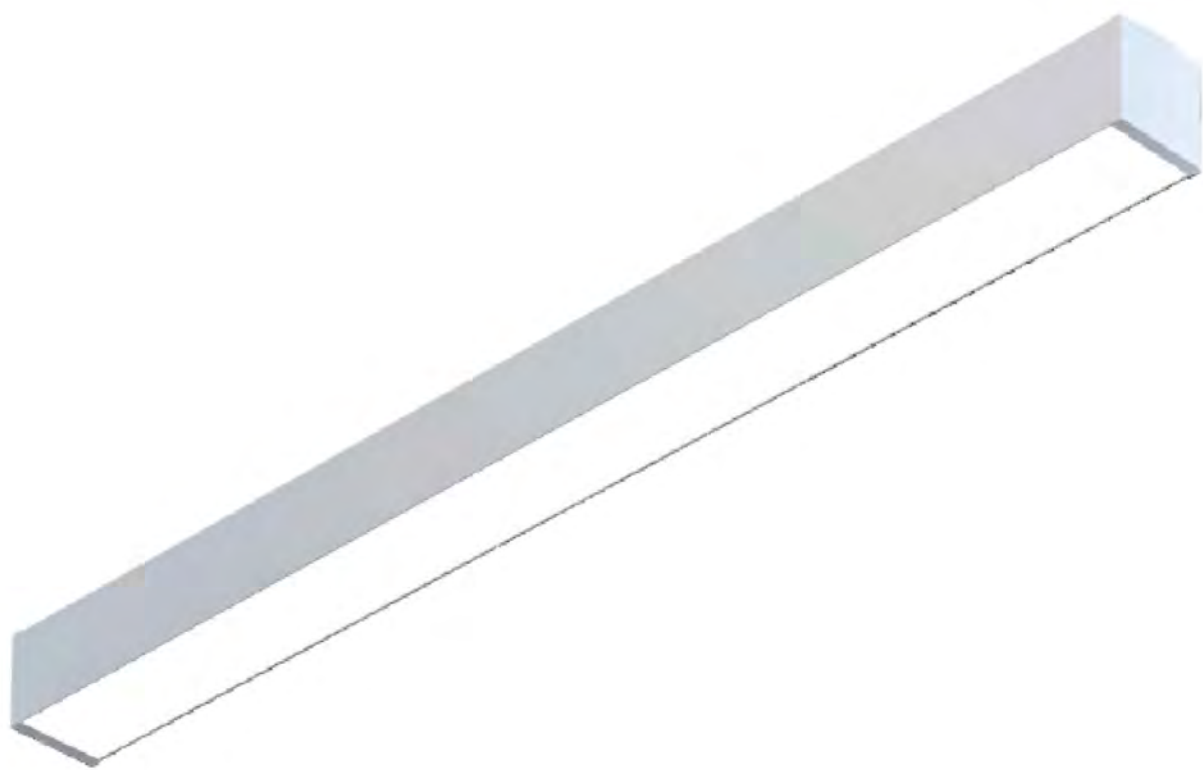
■ **BOLLARD FIXTURE - B (BLACK FINISH)**
CAT # KIM SL1-18L3KUV-BLT TOF @ 42IN AFG



■ **BUILDING WALL PACK FIXTURE - W (BLACK FINISH)**
CAT # EXO LNC-5LU-3K-3-BLT WALL MOUNTED @ 6FT AFG TO BOF



■ **GARAGE WALL LIGHT - (BLACK FINISH)**
F2 CAT # RWL1-48L-10-3K7-4W-U-BLT BOF @ 3FT 6IN AFF



■ **INTEGRATED CANOPY FIXTURE - L (BLACK FINISH)**
CAT # Coronet LS WET 2.5-x-30-MED-UNV-x-BLK-SM-SD



■ **LANDSCAPE WALL STEPS FIXTURE - (BLACK FINISH)**
B-K LIGHTING YUKON LED INDIRECT WALL LIGHT
CAT # YK-I-LED- 2790-BLP-VR -B1-010-MT



■ **GARAGE CEILING LIGHT - (BLACK FINISH)**
F1 CAT # SRT1-20-3K7-5QW-UNV-BL



■ **POLE FIXTURES - S3, S4, S5 (BLACK FINISH)**
S3 CAT # VP-ST-1-36L-85-3K7-3-UNV-A-BLT TOF @ 16FT AFG
S4 CAT # VP-ST-1-36L-85-3K7-4W-UNV-A-BLT TOF @ 16FT AFG
S5 CAT # VP-ST-1-36L-120-3K7-5W-UNV-A-BLT TOF @ 16FT AFG



■ **LANDSCAPE PLANTING BED LIGHT FIXTURE - (BLACK FINISH)**
B-K LIGHTING DELTA STAR STAKE MOUNT
CAT # SF-30-L-e65(3000K)-MFL-A9-BLP-12-11-A-PP18B-SF



■ **LANDSCAPE DOWN LIGHT FIXTURE - (BLACK FINISH)**
B-K LIGHTING DELTA LASSEN
CAT # LA-524(3000K)-BLP TREE AND STAKE MOUNTED

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PROJECT NAME
ELECTRIC OWL STUDIOS

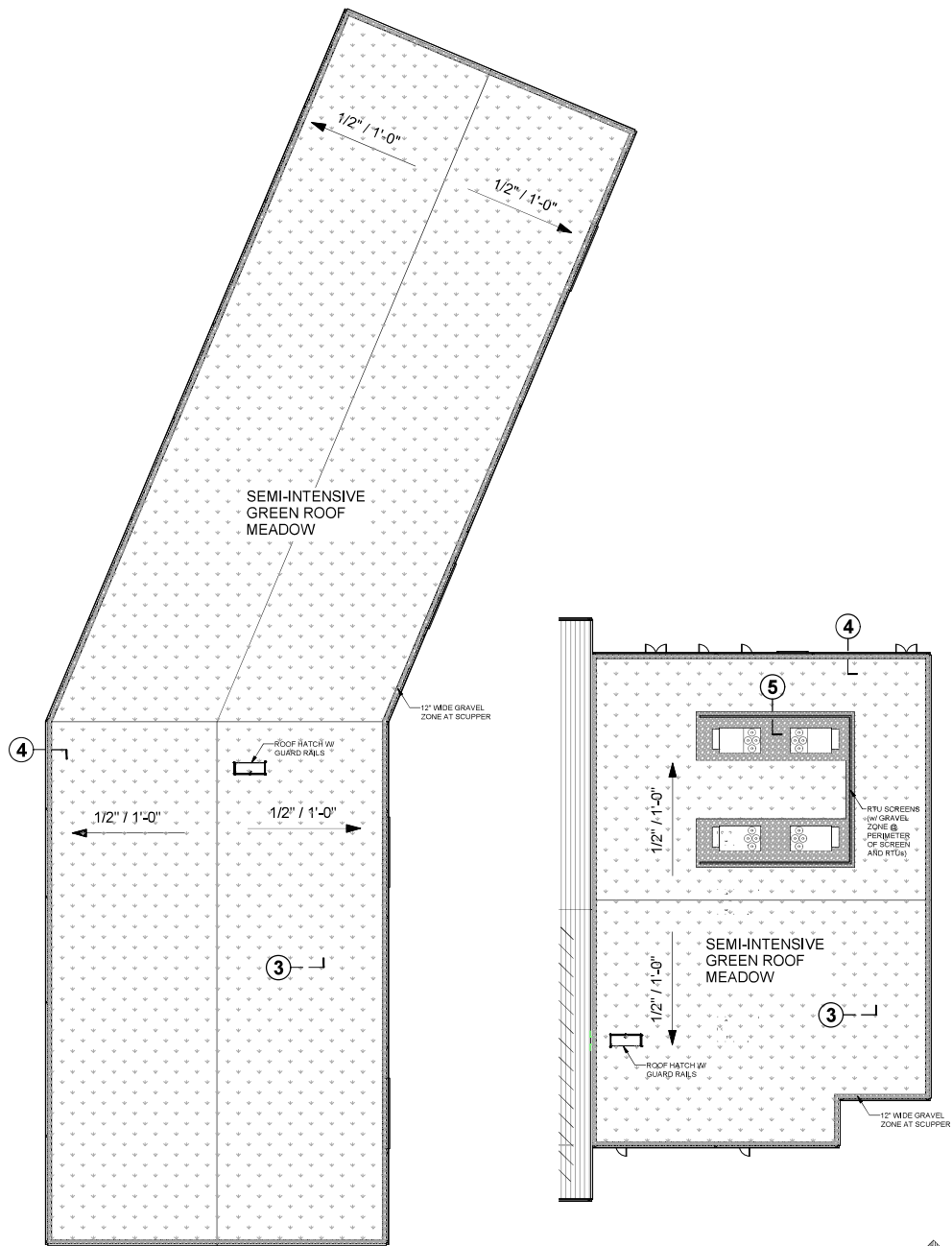
1 S BROADWAY
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JOB NO.: **23003**

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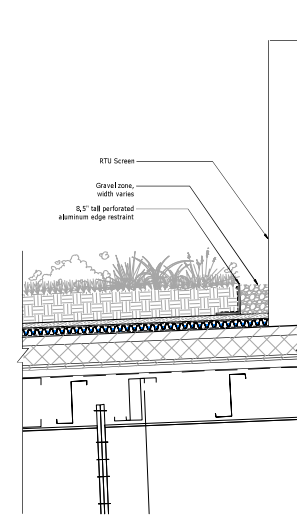
DATE: **02/07/24** SCALE: **AS NOTED**

DRAWING TITLE
SITE LIGHTING FIXTURE IMAGES

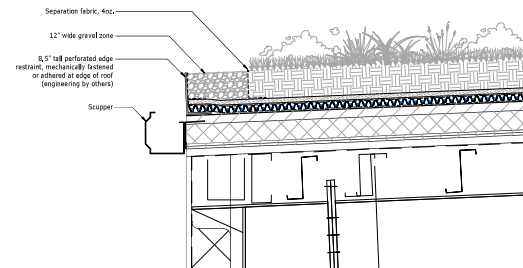


① MILL SHOP BUILDING: OVERALL GREEN ROOF PLAN
1/16" = 1'-0"

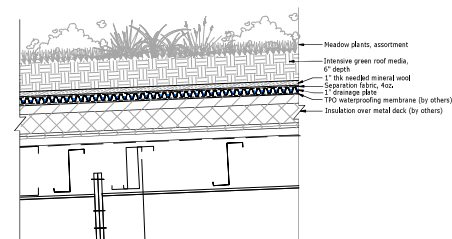
② WARDROBE BUILDING: OVERALL GREEN ROOF PLAN
1/16" = 1'-0"



⑤ GREEN ROOF NON-VEGETATED DETAIL, TYP.
1" = 1'-0"



④ GREEN ROOF EAVE DETAIL, TYP.
1" = 1'-0"



③ GREEN ROOF DETAIL, TYP.
1" = 1'-0"



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PROJECT NAME

ELECTRIC OWL STUDIOS
1 SOUTH BROADWAY,
HASTINGS-ON-HUDSON, NEW YORK

JOB NO.: 23003

DRAWN BY: AS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

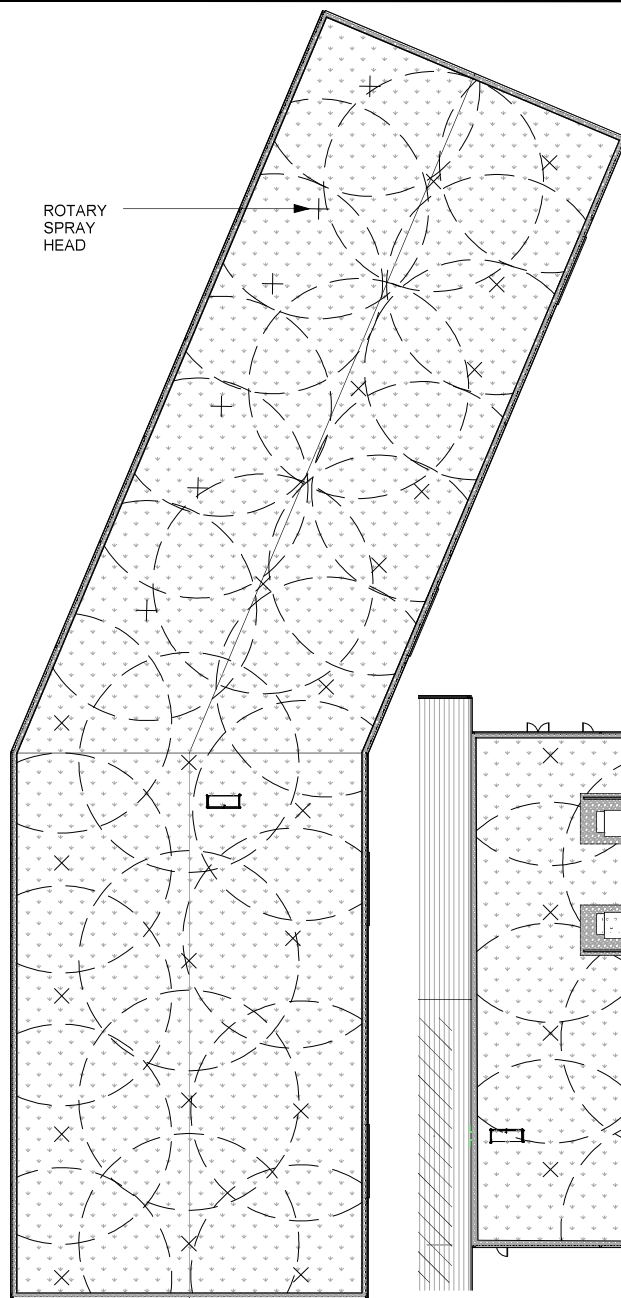
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**GREEN ROOF LAYOUT
PLANS AND DETAILS**

DRAWING NO.

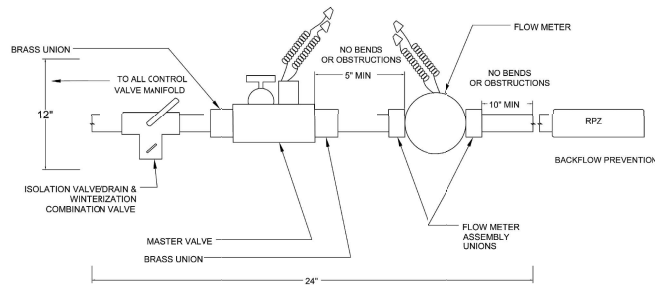
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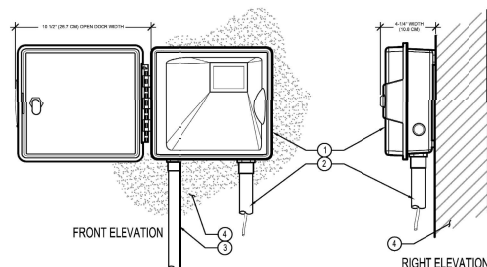


1 MILL SHOP BUILDING: IRRIGATION SPRAY HEAD LAYOUT PLAN
1/16" = 1'-0"

2 WARDROBE BUILDING: IRRIGATION SPRAY HEAD LAYOUT PLAN
1/16" = 1'-0"



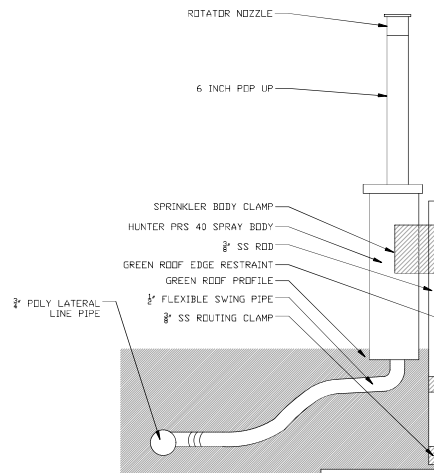
3 IRRIGATION POINT OF CONNECTION
NTS



4 PRO-C CONTROLLER: WALL MOUNT OPEN BOX
NTS

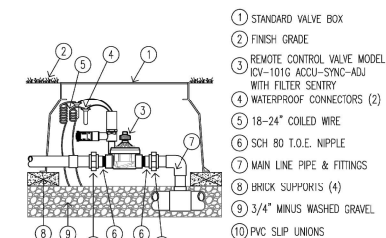
- LEGEND:**
- 1 IRRIGATION CONTROLLER (PRO-C) PER PLAN
 - 2 IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - 3 ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, 2-80V INSIDE CONTROLLER
 - 4 ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE: MOUNT CONTROLLER (LID) SCREEN AT EYE LEVEL. CONTROLLER SHALL BEHIND-WIRED TO GROUND/ED 110 VAC POWER SOURCE.



5 IRRIGATION SPRAY BODY DETAIL
NTS

IRRIGATION LAYOUT NOTE:
Point of connection and manifold to be located inside buildings (locations TBD); components on roof to include lateral line, zone valves, and end of line flush valves.



6 1" GLOBE VALVE
NTS

NOTES:

1. Irrigation plan is diagrammatic; full and complete coverage is a requirement, Contractor shall, at no additional cost to the owner, modify layout and make necessary adjustments to ensure full coverage in all areas.
2. This system shall be installed using accepted and quality installation standards as used in the industry. All manufacturers specifications shall be followed.
3. Irrigation installer shall provide full shop drawings and submittals prior to installation of irrigation system.
4. Irrigation system requirements of 60 PSI and 10 GPM minimum capacity to be supplied at the control valve on roof.
5. The irrigation contractor shall verify water pressures prior to construction. Report differences between requirements and actual readings to the owner's representative.
6. Hunter Industries controllers, valves, meters and sensors are basis of design, submit alternates for approval.
7. Controller(s) to be Hunter Industries Hydrowise capable smart irrigation controller. All individual controllers to be linked into a single client account on the Hydrowise Application.
8. Controller requirements include dedicated 120v electrical circuit and strong continuous WiFi signal or LAN cable.
9. Point of connection (POC) to include: master valve, filter, flow meter and isolation/ winterization drain valve.
10. All POCs to be downstream of a backflow prevention device.
11. All POC and zone valve manifolds to be enclosed in approved enclosures or in building interiors.
12. Pressure regulating sprinkler heads and multi stream nozzles to be used to reduce water loss due to wind conditions on the rooftop.
13. Control wire shall be solid copper wire u.l. approved for direct burial in ground. Minimum gauge #18 u.f. (multi-strand) or #14 gauge single strand for distances over 1000'. Common wire shall be white. Hot wire shall be red. All electrical connections and splices shall be sealed with waterproof connections.
14. As-built drawings indicating POC location, main and distribution line locations, zone valve locations, flush valves, etc and all operation manuals and spec sheets for materials used required for close out.
15. Contractor is to program and maintain controller until final acceptance of the project. Coordinate grow-in irrigation schedule with landscape contractor.



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REVISIONS

#	DATE	REVISION DESCRIPTION	BY:

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NOT FOR CONSTRUCTION



PROJECT NAME

ELECTRIC OWL STUDIOS
1 SOUTH BROADWAY,
HASTINGS-ON-HUDSON, NEW YORK

JOB NO.: 23203

DRAWN BY: AS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

DRAWING TITLE

**IRRIGATION LAYOUT
PLANS AND DETAILS**

DRAWING NO.

GR-02

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View of Proposed Green Roof on Wardrobe Building from Road Below



Aerial View of Electric Owl Studios Campus with Proposed Green Roofs at Wardrobe Building and Mill Shop Building

**SEMI-INTENSIVE GREEN ROOF MEADOW
POTENTIAL PLANT SPECIES (via SEED MIX)**

- PERENNIALS (NATIVE)**
- Asclepias tuberosa (Butterfly Weed)
 - Symphotrichum laeve (Smooth Aster)
 - Aster ericoides (White Heath Aster)
 - Liatris aspera (Rough Blazing Star)
 - Monarda punctata (Spotted Beebalm)
 - Ruellia humilis (Wild Petunia)
 - Dalea purpurea (Purple Prairie Clover)
 - Lupinus perennis (Wild Lupine)
 - Solidago speciosa (Showy Goldenrod)
 - Verbena urticifolia (White Vervain)
 - Geum canadensis (White Avens)
 - Penstemon digitalis (Tall White Beardtongue)
 - Rudbeckia hirta (Black Eyed Susan)

- GRASSES (NATIVE)**
- Bouteloua curtipendula (Sideoats Grama)
 - Koeleria macrantha (Junegrass)
 - Schizachyrium scoparium (Little Bluestem)
 - Sporobolus heterolepis (Prairie Dropseed)

**Final selection of plant species
and % for seed mix, TBD*



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REVISIONS

#	DATE	REVISION DESCRIPTION	BY:

PHASE

NOT FOR CONSTRUCTION



PROJECT NAME

ELECTRIC OWL STUDIOS
1 SOUTH BROADWAY,
HASTINGS-ON-HUDSON, NEW YORK

JOB NO.: 23003

DRAWN BY: AS PROJ. MANAGER: AS

DATE: 02/07/24 SCALE: AS NOTED

DRAWING TITLE
GREEN ROOFS
RENDERED VIEWS
AND PLANT PALETTE

DRAWING NO.

GR-03

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