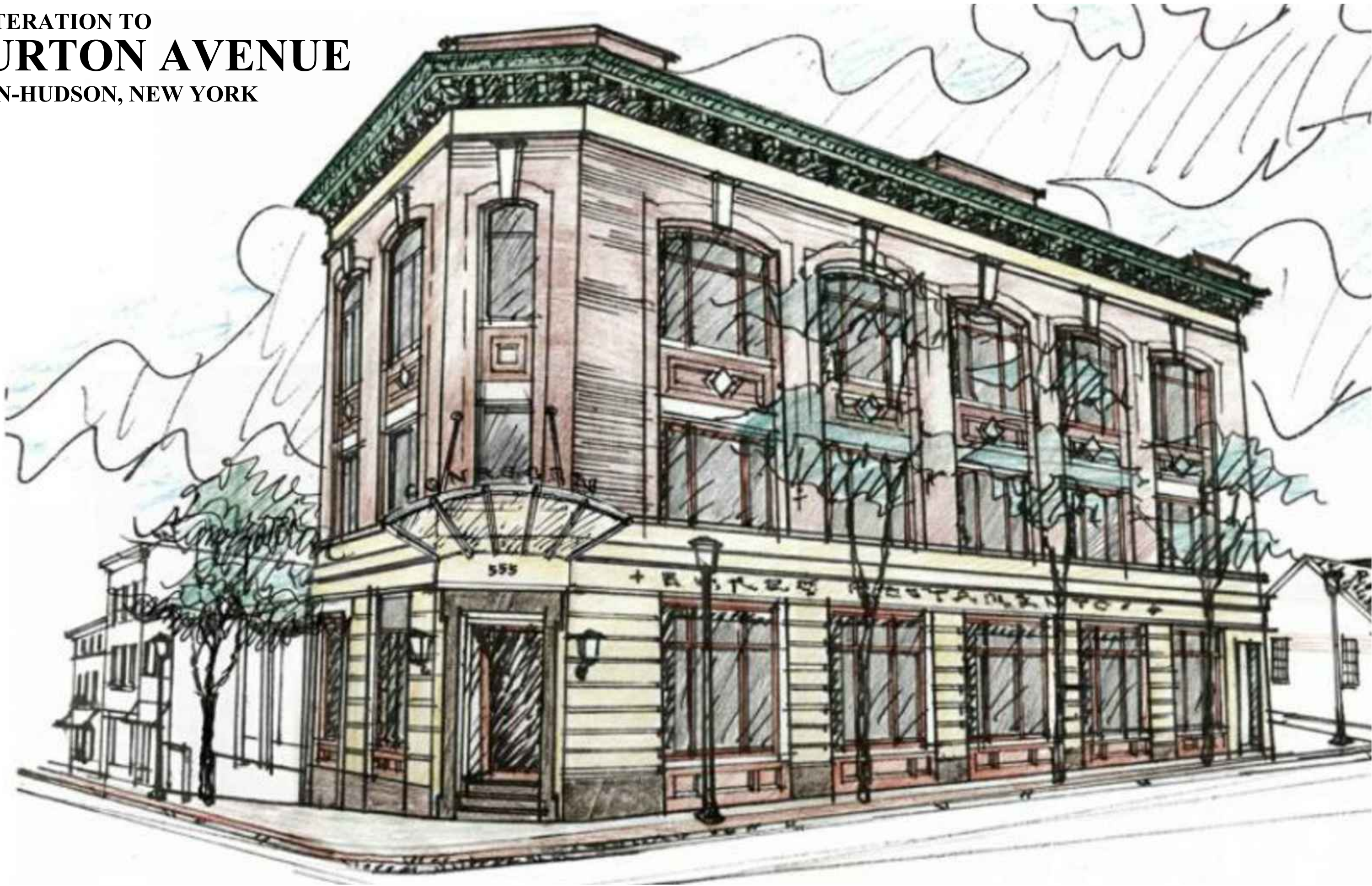


ALTERATION TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NEW YORK

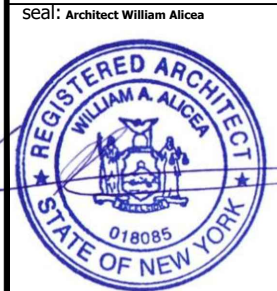


PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

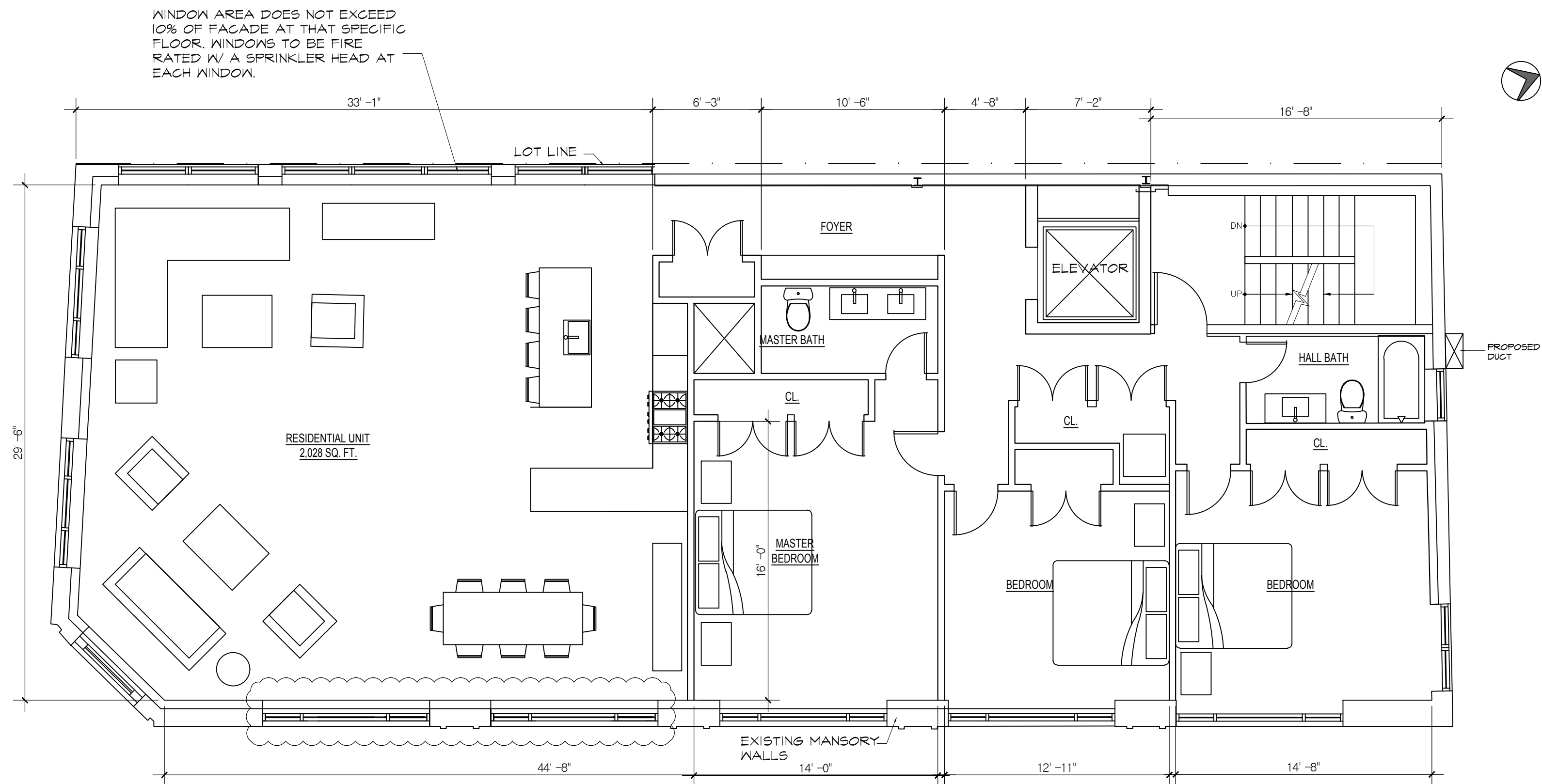
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net



COVER PAGE

DRAWN BY: R.T.	DRAWING NO.: T-1
CHECKED BY: W.A.	JOB NUMBER: 2018-01
DATE: 1.17.2018 REV.: 4.23.18	1 16

SITE DATA FOR ZONING CODE COMPLIANCE					BUILDING CODE DATA		LIST OF DRAWINGS	
ZONING DISTRICT: CC SHEET:	SECTION: 10 SHEET:	BLOCK: 630 LOT: 28	SURVEYED BY: ERIC J. LINK SURVEY DATE: DEC.19.05	MUNICIPALITY: HASTINGS-ON-HUDSON SURVEY DATE: DEC.19.05	APPLICABLE CODES	2015 INTERNATIONAL BUILDING CODE & 2016 NYS CODE SUPPLEMENT ENERGY CONSERVATION CODE OF NEW YORK STATE 2016 ICC/ANSI A117.1-2003 HANDICAP ACCESSIBILITY CODE	1 T-1....COVER PAGE	
DESCRIPTION	CODE REQUIREMENT	EXISTING	PROPOSED	CONFORMS	USE & OCCUPANCY CLASIFICATION	ASSEMBLY GROUP A-2 (303.3) RESIDENTIAL GROUP R-3	2 T.2... APPROVAL COMPARISON CHART	
BUILDING USE	COMMERCIAL	COMMERCIAL REST. & RESIDENTIAL	RESTAURANT & RESIDENTIAL	YES	TYPE OF CONSTRUCTION	TYPE III A NON-COMBUSTIBLE EXTERIOR WALLS AND WOOD FLOOR FRAMING.	3 T.3... APPROVAL COMPARISON CHART	
TOTAL AREA OF PROPERTY	MIN. 2500 SF.	4,216 SF. 0.968 ACRE	4,216 SF. 0.968 ACRE	YES	FIRE PROTECTION	NFPA-13 SPRINKLER SYSTEM PROVIDED THROUGHOUT PER 903.3.2 SMOKE ALARM PER 907.2.11	4 VP-1...VIEW PRESERVATION DWG.	
LOT WIDTH	20'	32.5'	32.5'	YES	ALLOWABLE HEIGHT OF BUILDING	A-2: 4 STORIES (85') R-3: 5 STORIES (85') IF PROTECTED BY AUTOMATIC SPRINKLER SYSTEM	5 VP-2...VIEW PRESERVATION DWG.	
YARDS (295-76-E) FRONT	0'	0'	0'	YES	ALLOWABLE AREA OF BUILDING	FOR GROUP A-2 TYPE III BUILDING, 42,000 SF. R-3 TYPE IIIA BUILDING =UL ACTUAL= 7500 SF.	6 S-1....SITE PLAN	
SIDE	0'	0'	0'	YES	FIRE RESISTANTCE RATING TO BE IN ACCORDANCE WITH BCNYS TABLE 601e FOR TYPE III A CONSTRUCTION; AND APPROVED SPRINKLER SYSTEM WILL BE SUBSTITUTED FOR 1 HR FIRE RESISTANCE RATED CONSTRUCTION, EXCEPT FOR 1 HR RATED EXT. WALLS.	STRUCTURAL FRAME: 1 HOUR EXTERIOR BEARING WALLS: 2 HOURS 1 HR. FOR 5' FIRE SEPARATION DISTANCE INTERIOR BEARING WALLS 1 HOUR FLOOR CONSTRUCTION INCL. BEAMS 1 HOUR ROOF CONSTRUCTION 1 HOUR	7 A-1.1..BASEMENT FLOOR PLAN	
REAR	10' AT GROUND FLOOR 20' ABOVE	18.04'	18.04'	YES	MAX FLOOR AREA ALLOWANCE PER OCCUPANT (BCNYS TABLE 1004.1.1)	SEE OCCUPANCY CALCULATION AT EACH FLOOR PLAN,	8 A-1.2..GROUND FLOOR PLAN	
PRINCIPAL BUILDING FOOTPRINT	-	2,576 GSF	2,500	-	EGRESS REQUIREMENTS	SEE EGRESS REQ. ON EACH FLOOR PLAN	9 A-1.3..SECOND FLOOR PLAN	
HEIGHT	MAX. (40')	47.5'	51.9'	NO	MIN. NUMBER OF PLUMBING FIXTURES	SEE PLUMBING REQ. ON EACH FLOOR PLAN	10 A-1.4..3RD. FLOOR PLAN	
STORIES	3	3	3	YES	ACCESSIBILITY	ACCESSIBLE ROUTES: WALK WITH SLOPE, 1:20 TO COMPLY WITH (CC/ANSI 117.1. SECTION 405. ACCESSIBLE PARKING SPACES: 2% OF PARKING NOT LESS THAN 1 MUST BE ACCESSIBLE WITH 8FT ACCESS AISLE.	11 A-1.5..ROOF PLAN	
OFF STREET PARKING (295-36)	SEE PARKING ANALYSIS DRAWING (X)	7 SPACES	SEE PARKING ANALYSIS	YES			12 A-2.1..EAST ELEVATION	
NOTE: 1. ALL STRUCTURAL WORK BY OTHERS AS APPROVED PREVIOUSLY 2. ALL EXTERIOR WORK BY OTHERS AS APPROVED PREVIOUSLY							13 A-2.2..SOUTH ELEVATION	
							14 A-2.3..NORTH ELEVATION	
							15 A-2.4..WEST ELEVATION	
							16 A-3.1..SECTION	
							DATES FOR PREVIOUS APPROVALS FOR RESTAURANT	
							PLANNING BOARD APPROVAL	12 17 09
							ARCHITECTURAL REV. BOARD APPROVAL	10 04 10
							BUILDING PERMIT SUBMISSION	2 03 11
							REVISED BUILDING PERMIT SUBMISSION	3 30 11
							TITLE SHEET REVISED	04 14 11
							AMENDED BUILDING PERMIT SUBMISSION	06 13 13



3RD FL. PLAN
SCALE: $\frac{3}{16}" = 1'-0"$

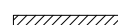
NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT									
THIRD FLOOR OCCUPANCY CALCULATIONS:				3 RD FLOOR PLUMBING FIXTURE CALCULATIONS: 2902.1					EGRESS STAIR CALCUALTIONS
Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants	RESIDENTIAL PLUMBING FIXTURES/GROUP R-3 OCCUPANCY: 10 OCCUPANTS					NO. OF EXITS NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:
RESIDENTIAL-R-3	200/ GSF	2,028 SF	10 ALLOWED 4 PROVIDED	NYBC REQUIREMENT	WATER CLOSETS	LAVATORIES	TUBS/SHOWE RS	OTHER	1. FOR OCCUPANCY R-3, MAX, OCCUPANT LOAD IS GREATER THAN 49 2. PATH OF EGRESS TRAVEL EXCEEDS 75' FOR THIRD FLOOR OCCUPANCY LOAD IS 10. TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 1 IS PROVIDED + ELEVATOR STAIR WIDTH: NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS: 1.STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36" NYSBC 1011.5.2 STAIR RISER HEIGHT: MAX = 7", MIN = 4" STAIR TREAD WIDTH: MIN.=11"
				WC	1/DU				
				LAVATORIES		1/DU			
				TUBS/SHOWER			1/DU		
				KITCHEN SINK				1KT.SINK/DU	
				WASH.MACHINE				1WM/DU	
TOTAL NOS. OF OCCUPANTS = 10									

LEGEND

PARTITIONS

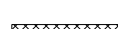
 EXISTING WALL TO BE REMOVED

 EXISTING WALL TO REMAIN

 NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.

 NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.

 NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.

 EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD

 EXISTING MASONRY WALL

 EXISTING CONCRETE FOUNDATION WALL

SYMBOLS

 ELEVATION NO.

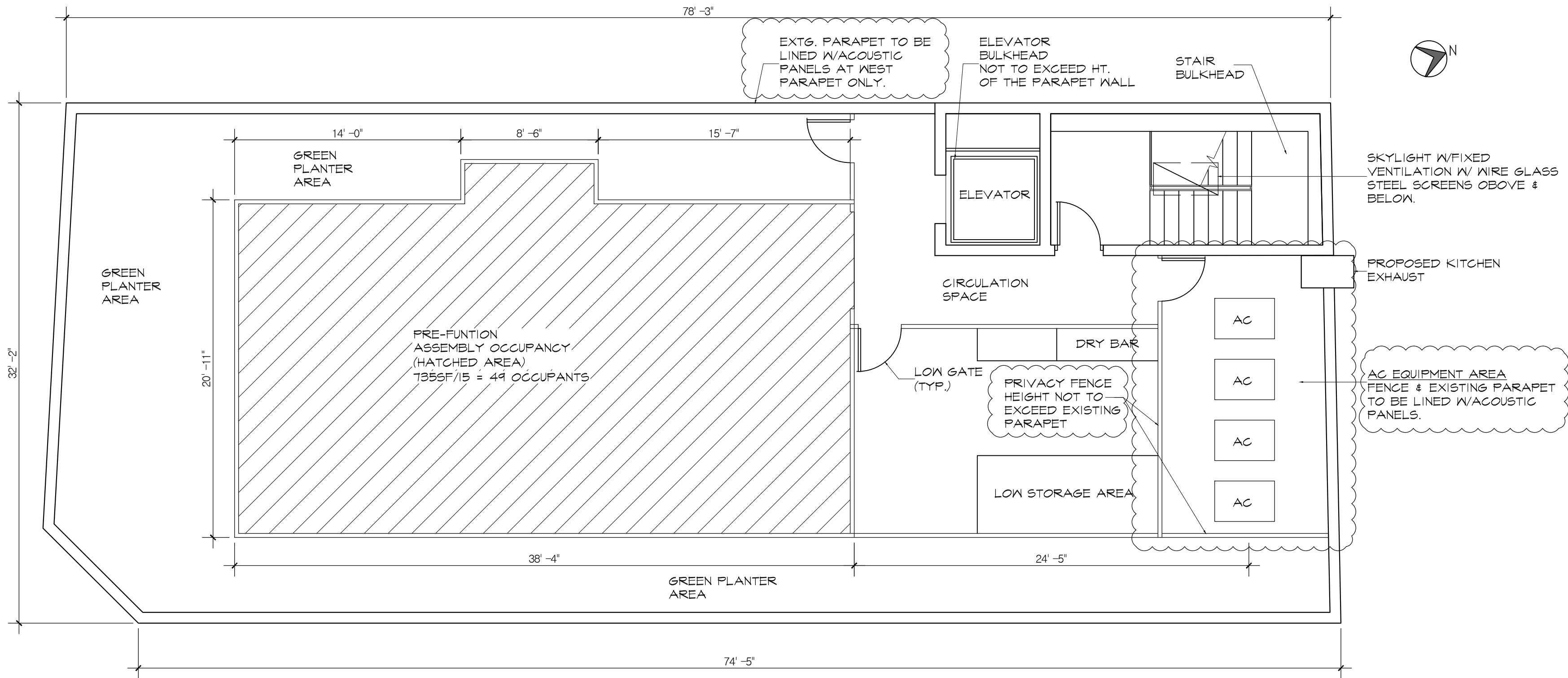
 ELEVATION SHEET NO.

 ELEVATION, SECTION, OR DETAIL NO.

 SHEET NO.

 DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE

 WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE



1 **NEW ROOF PLAN**
SCALE: $\frac{1}{8}'' = 1'-0''$

NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT										
ROOF FLOOR OCCUPANCY CALCULATIONS:				BASEMENT, FIRST FLOOR, & ROOF PLUMBING FIXTURE CALCULATIONS:				EGRESS STAIR CALCUALTIONS		
Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants	RESTAURANT PLUMBING FIXTURES/GROUP A2 OCCUPANCY- 45 BASMENT OCCUPANCY + 122 @ 1 ST FLOOR + 49 OCCUPANCY @ ROOF = 216 OCCUPANTS					NO. OF EXITS NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:	
PREFUNCTION AREA ASSEMBLY W/O FIXED SEATS (NET AREA EXCLUDES CORRIDORS, ELEVATORS, SHAFTS, STAIRWAYS & TOILETS)	15/ GSF	735 SF	49 ALLOWED	NYBC REQUIREMENT	WATER CLOSETS	LAVATORIES	SERVICE SINKS	DRINKING FOUNTAIN	1. FOR OCCUPANCY A, MAX. OOCUPANT LOAD IS GREATER THAN 49 2. PATH OF EGRESS TRAVEL EXCEEDS 75'	
				MALE WC 1/75, 216/2=108/75=1.4 URINALS: .67X1.44=.96	3 PROVD				FOR THE ROOF OCCUPANCY LOAD IS 49. TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 2 ARE PROVIDED*	
				FEMALE WC 1/75 216/2=108/75 =1.4	3 PROVD				*BC 1009.2.1: FOR AN OCCUPIED SPACE 4 STORIES ABOVE THE LEVEL OF EXIT DISCHARGE, THE ELEVATOR IS REQUIRED AS AN ACCESSIBLE MEANS OF EGRESS. ELEVATOR MUST COMPLY W/BC1009.4 (STAND-BY POWER).	
				MALE LAVATORIES 1/200 216/2=108/200=.54		3 PROVD			STAIR WIDTH: NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS: 1. STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"	
				FEMALE LAVATORIES 1/200 216/2=108/200=.54		2 PRVD			NYSBC 1011.5.2 STAIR RISER HEIGHT: MAX = 7", MIN = 4" STAIR TREAD WIDTH: MIN.=11"	
				SERVICE SINK			2			
				DRINKING FOUNTAIN 1/500						0
TOTAL NOS. OF OCCUPANTS =			49							

PROJECT TITLE:
ALTERATIONS TO

555 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

WORLD DESIGN ARCHITECTURE

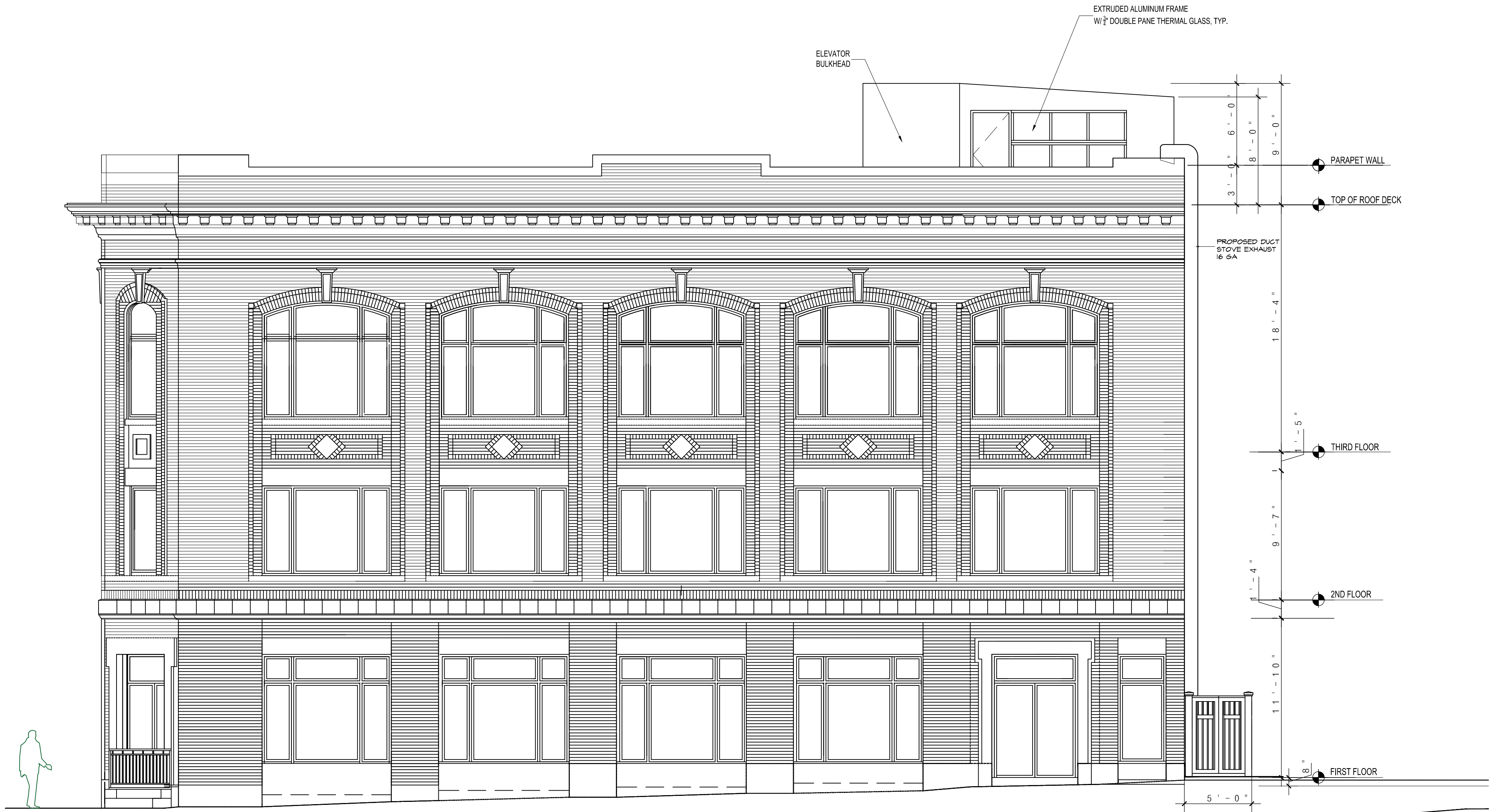
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net

SC31: Architect William Alicea



ROOF PLAN

DRAWN BY: R.T.	DRAWING NO.: A-1.5
CHECKED BY: W.A.	
DATE: 4.23.18/6.21.18	JOB NUMBER: 2018-01



1 EAST ELEV. PLAN
SCALE: 1/8" = 1'-0"

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

WORLD DESIGN ARCHITECTURE

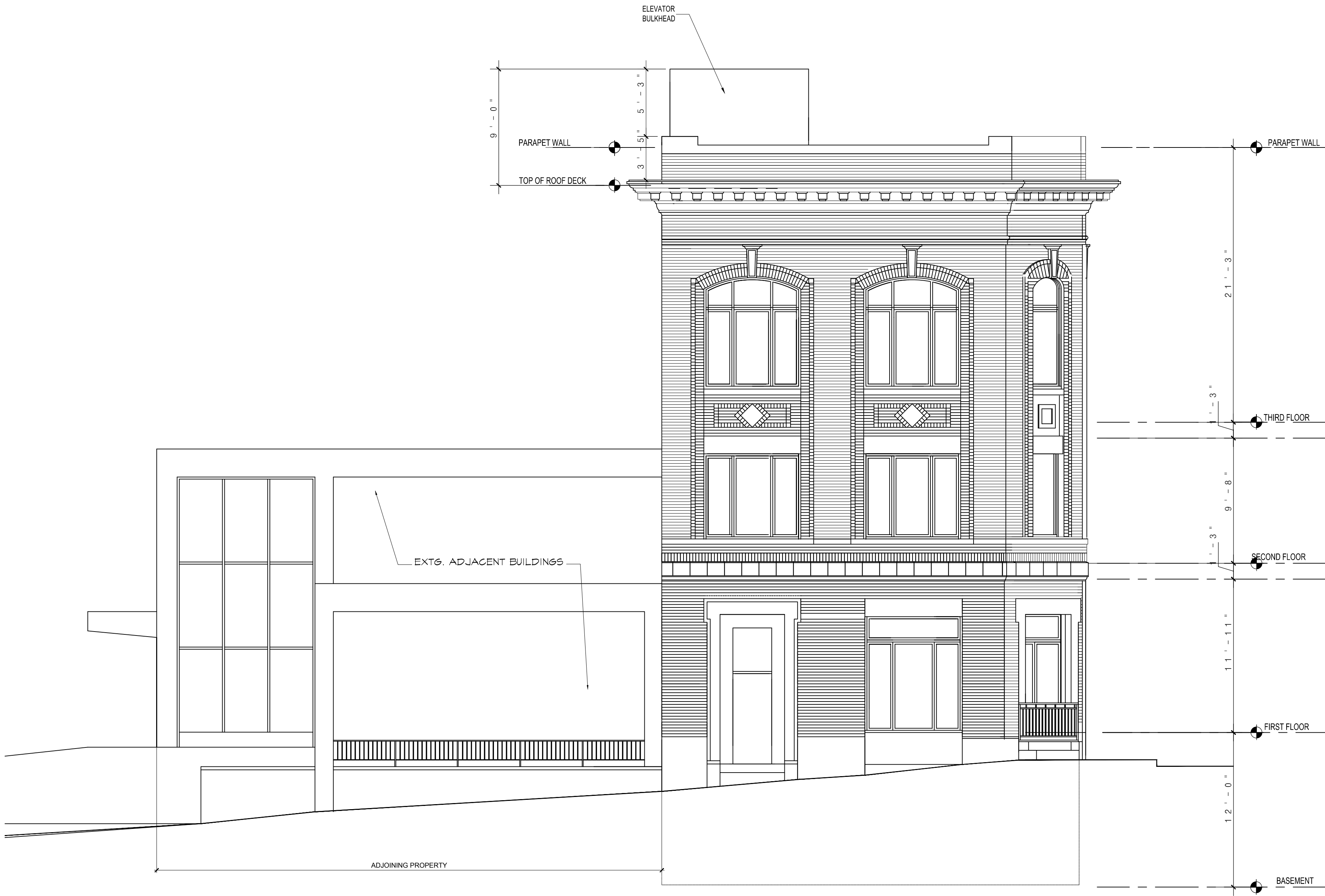
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@worlddesign.net

SEALED: Architect William Alicea



EAST ELEVATION

DRAWN BY: R.T.	DRAWING NO.: A-2.1
CHECKED BY: W.A.	JOB NUMBER: 2018-01
DATE: 1.17.2018 REV.: 4.23.18	12 16



1 **SOUTH ELEVATION**
SCALE: $\frac{3}{16}'' = 1'-0''$

PROJECT TITLE:
ALTERATIONS TO

555 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

WORLD DESIGN ARCHITECTURE

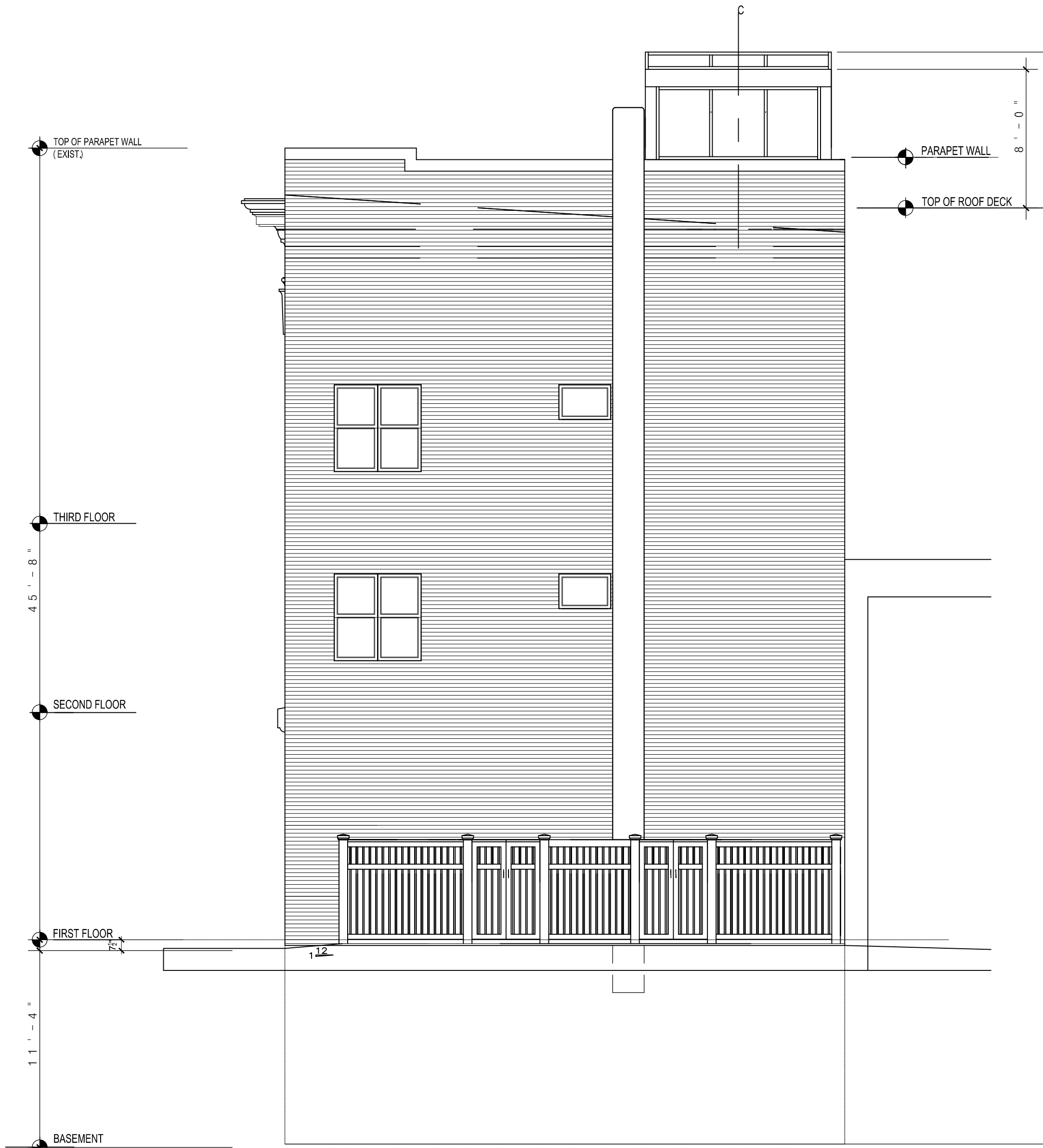
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net

Seal: Architect William Alicea

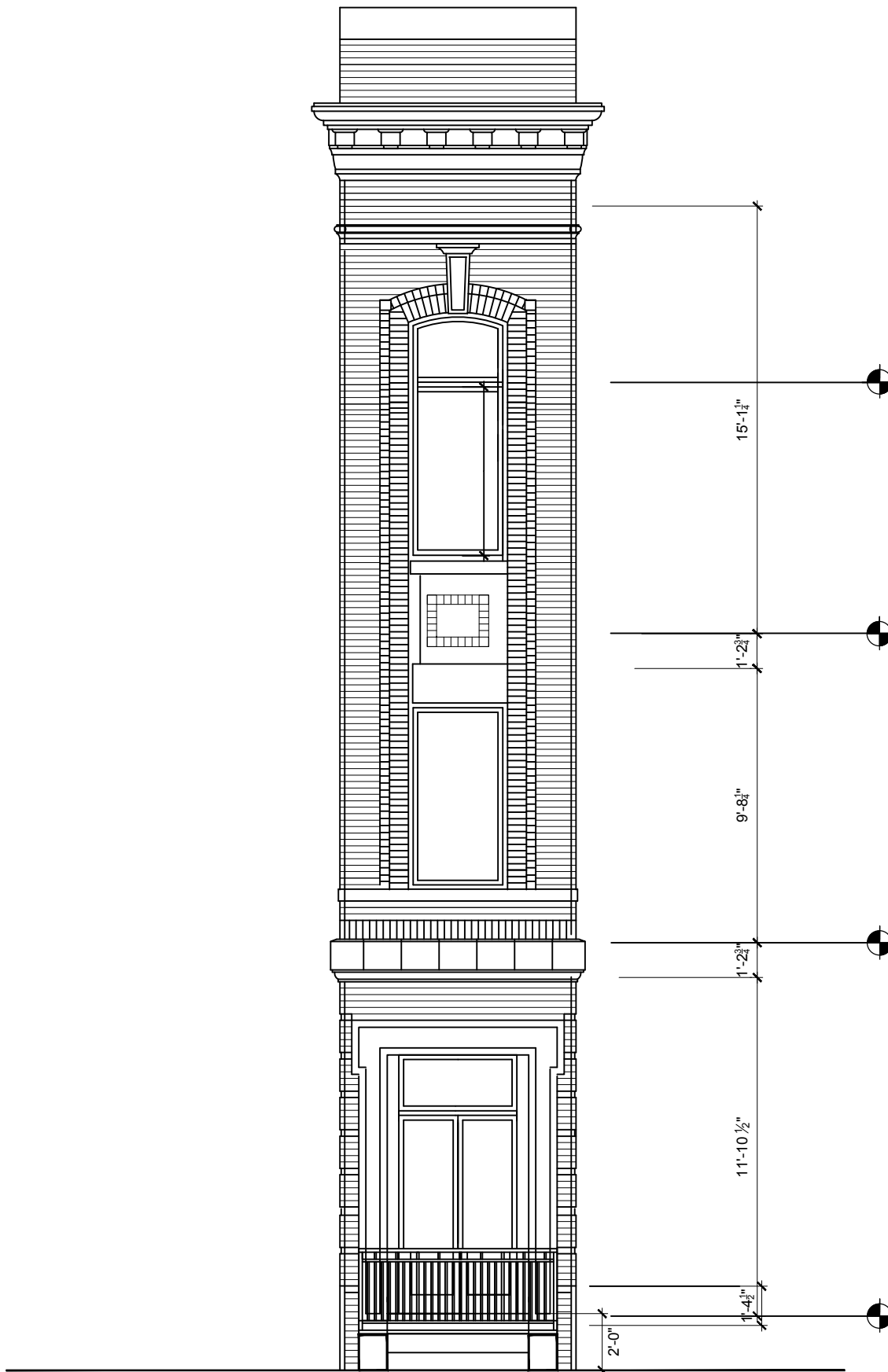


**SOUTH
ELEVATION**

DRAWN BY: R.T.	DRAWING NO.: A-2.2
CHECKED BY: W.A.	JOB NUMBER: 2018-01
DATE: 1.17.2018	REV.: 4.23.18



1 **NORTH ELEVATION**
SCALE: $\frac{1}{8}'' = 1'-0''$



2 **SOUTH EAST
CORNER ELEVATION**
SCALE: $\frac{1}{8}'' = 1'-0''$

REVISIONS:

NOTES:

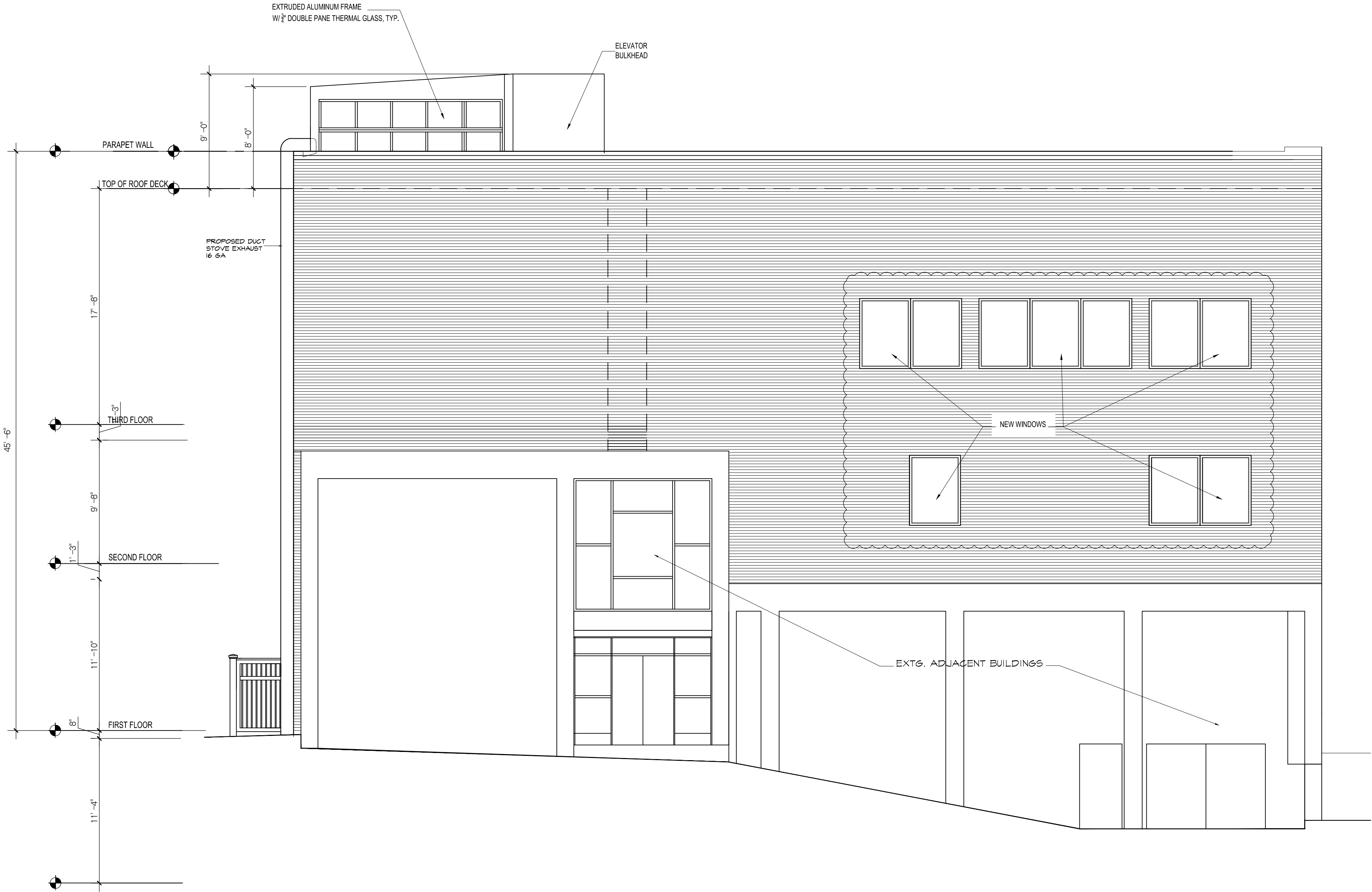
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net



**NORTH
ELEVATION**

DRAWN BY: R.T.	DRAWING NO.: A-2.3
CHECKED BY: W.A.	JOB NUMBER: 2018-01
DATE: 1.17.2018	REV.: 4.23.18

MENT



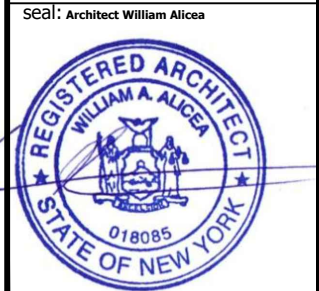
1 WEST ELEVATION
SCALE: $\frac{1}{8}'' = 1'-0''$

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

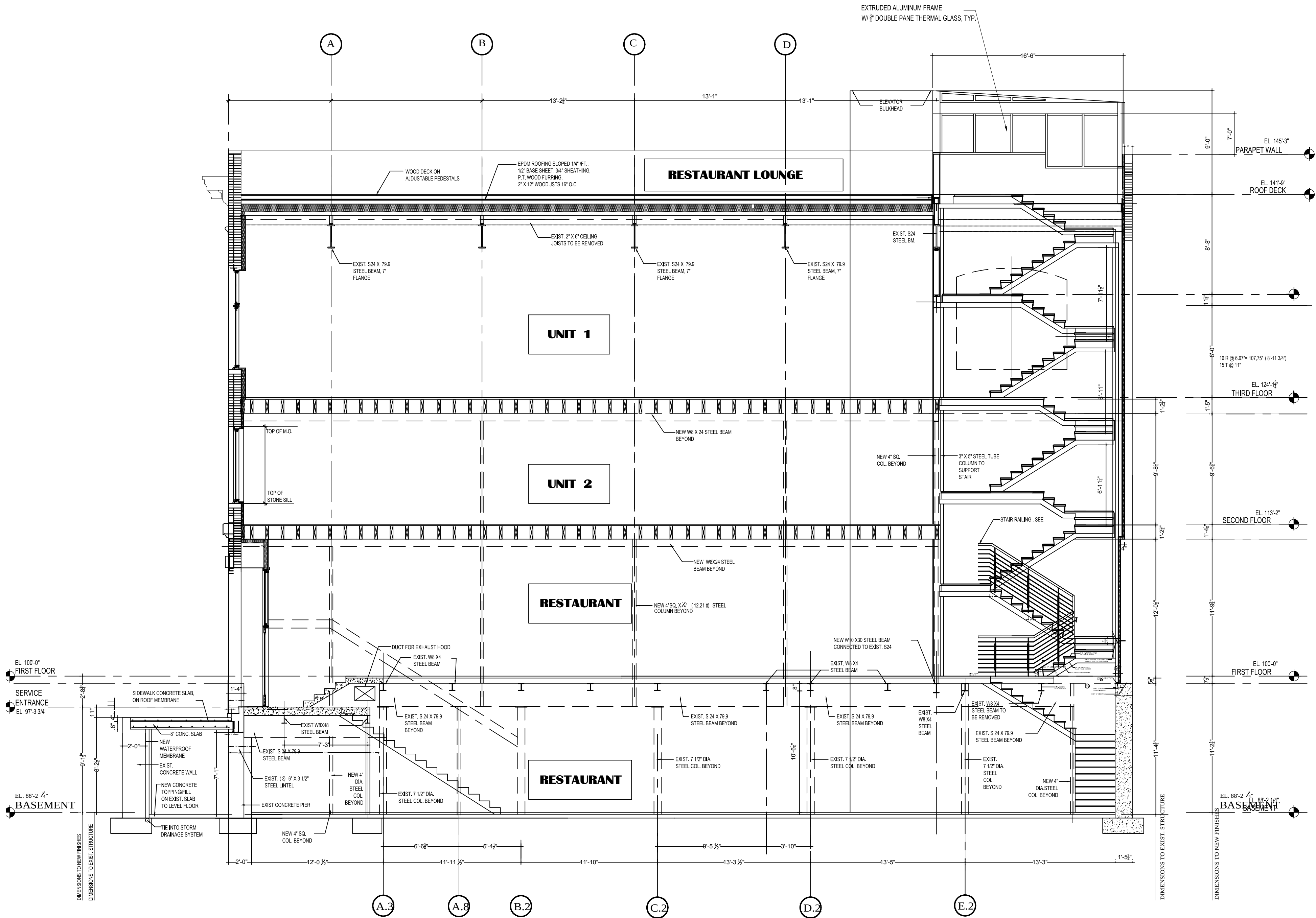
NOTES:

WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@worlddesign.net



**WEST
ELEVATION**

DRAWN BY: R.T.	DRAWING NO.: A-2.4
CHECKED BY: W.A.	JOB NUMBER: 2018-01
DATE: 1.17.2018	REV.: 4.23.18/6.21.18



SECTION
1
SCALE: 1/8" = 1'-0"

PROJECT TITLE:
ALTERATIONS TO

555 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

WORLD DESIGN ARCHITECTURE

William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@worlddesign.net

SC01: Architect William Alicea



SECTION

DRAWN BY: R.T.	DRAWING NO.:
CHECKED BY: W.A.	A-3.1
DATE: 1.17.2018	JOB NUMBER:
REV.: 4.23.18	2018-01

555 Warburton Ave., Hastings-on-Hudson, NY 10706: Approval Comparison Chart* *Planning Board Approvals 12/17/2009, (Based on Plans Dated 10/7/09 & 12/7/09 - Compared to Proposed Plans Dated April 23, 2018 (Revised 5/1/2018)	1 OF 2 APRIL 23, 2018
--	--

ITEM #	REQUIRED PER PLANNING BOARD SITE PLAN APPROVAL 12-17-2009 FOR PERMITTED DRAWINGS DATED 10/7/2009 & 12/7/2009 BY CHRISTINA GRIFFIN ARCHITECT.	PROPOSED PLANS- 4/23/2018	COMPLIANT "Y" IF NOT "N" - +AMOUNT OVER OR UNDER
--------	--	---------------------------	---

COMPLIANT "Y" IF NOT "N"
- +AMOUNT OVER OR
UNDER

1	THE MAXIMUM NUMBER OF GUESTS ALLOWED AT THE DINING AND BAR OF THE RESTAURANT (INCLUDING ANY IN THE BASEMENT AND ON THE ROOF) SHALL BE 75 UNLESS THE OWNER OF 555 WARBURTON AVENUE ("OWNER") HAS A VALID AGREEMENT, SATISFACTORY TO THE VILLAGE ATTORNEY, TO LEASE, LICENSE, OR OTHERWISE HAVE THE RIGHT TO THE EXCLUSIVE USE OF A MINIMUM OF 41 PARKING SPACES LOCATED AT 565 WARBURTON AVENUE. MORE THAN 75 GUESTS ARE ALLOWED ONLY DURING THOSE TIMES THAT PARKING SPACES ARE EXCLUSIVELY AVAILABLE TO THE OWNER. IF FOR ANY REASON SUCH AGREEMENT IS CANCELLED OR EXPIRES AND IS NOT RENEWED OR THE USE OF THE 41 PARKING SPACES IS LIMITED OR RESTRICTED, NO MORE THAN 75 GUESTS SHALL BE PERMITTED.	-VALID AGREEMENTS FOR EXCLUSIVE USE OF 42 PARKING SPACES LOCATED AT 565 WARBURTON. We agree with the original approval of 75.	"Y" SEE AGREEMENT "Y"
2	UPON APPLICATION OF THE OWNER, THE PLANNING BOARD, AT ITS DISCRETION MAY APPROVE A DIFFERENT LOCATION FOR THE 41 PARKING SPACES.	DIFFERENT & ADDITIONAL LOCATIONS FOR SPACES TO BE PROVIDED	"Y" W/ PARKING EXEMPTIONS
3	THE PROPOSED RESTAURANT AND ANY DINING SERVICE ANCILLARY TO THE WELLNESS CENTER SHALL NOT BE OPEN FOR LUNCH OR BRUNCH ON SATURDAYS.	N/A – WELLNESS CENTER NO LONGER PART OF THE PLAN RESIDENTIAL APARTMENT HAS REPLACED IT.	"N" Restaurant & Roof to operate for lunch and Sunday Brunch
4	THE ROOF MAY NOT BE USED LATER THAN ONE HOUR AFTER SUNSET.	5 pm-11 pm from the first day of Spring to the last day of fall.	"N" +2.5 Hours.
5	THERE SHALL BE NO LIGHT SPILLAGE BEYOND THE PARAPET FROM ANY USE OF THE ROOF	1 WAY BOLLARD, SCONCE, & PATHWAY LIGHTING -SEE ATTACHED SPECS	"Y"
6	IN ORDER TO HOLD AN ORGANIZED EVENT (I.E., ONE AT WHICH ALL GUESTS ARE INVITED FOR A CERTAIN TIME OR TIME PERIOD), THE OWNER MUST HAVE FOUR VALETS PARKING CARS AT 565 WARBURTON AVENUE. IF 80 OR MORE GUESTS ARE EXPECTED, 3 VALETS IF 40 TO 79 GUESTS ARE EXPECTED; 2 VALETS IF FEWER THAN 40 GUESTS EXPECTED. NO CHARGE MAY BE MADE FOR VALET PARKING.	We Agree to the same Valet Parameters as approved before. SAME-AGREED	"Y"
7	FOR ALL ORGANIZED EVENTS, ALL INVITEES MUST BE SENT A LETTER, SATISFACTORY TO THE VILLAGE ATTORNEY, DIRECTING THE INVITEES TO PARK IN THE LOT AT 565 WARBURTON AVENUE (OR SUCH OTHER LOCATION APPROVED BY THE PLANNING BOARD). THE LETTER MUST ADVISE THE INVITEES THAT THE PARKING AT THE 565 WARBURTON LOT IS WITHOUT CHARGE.	SAME-AGREED -LETTER TO BE PROVIDED	"Y"
8	EXCEPT WHEN AN ORGANIZED EVENT IS SCHEDULED, THE PARKING LOT AT 565 WARBURTON AVENUE SHALL BE AVAILABLE TO THE PUBLIC DURING THE HOURS THAT THE PARKING SPACES ARE EXCLUSIVELY AVAILABLE TO THE OWNER.	AT OWNERS DISCRETION	"N"

PROJECT TITLE:
ALTERATIONS TO

[illegible]

100

WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworldesign.net

Professional Seal of William A. Algea, Registered Architect, State of New York, No. 018085.

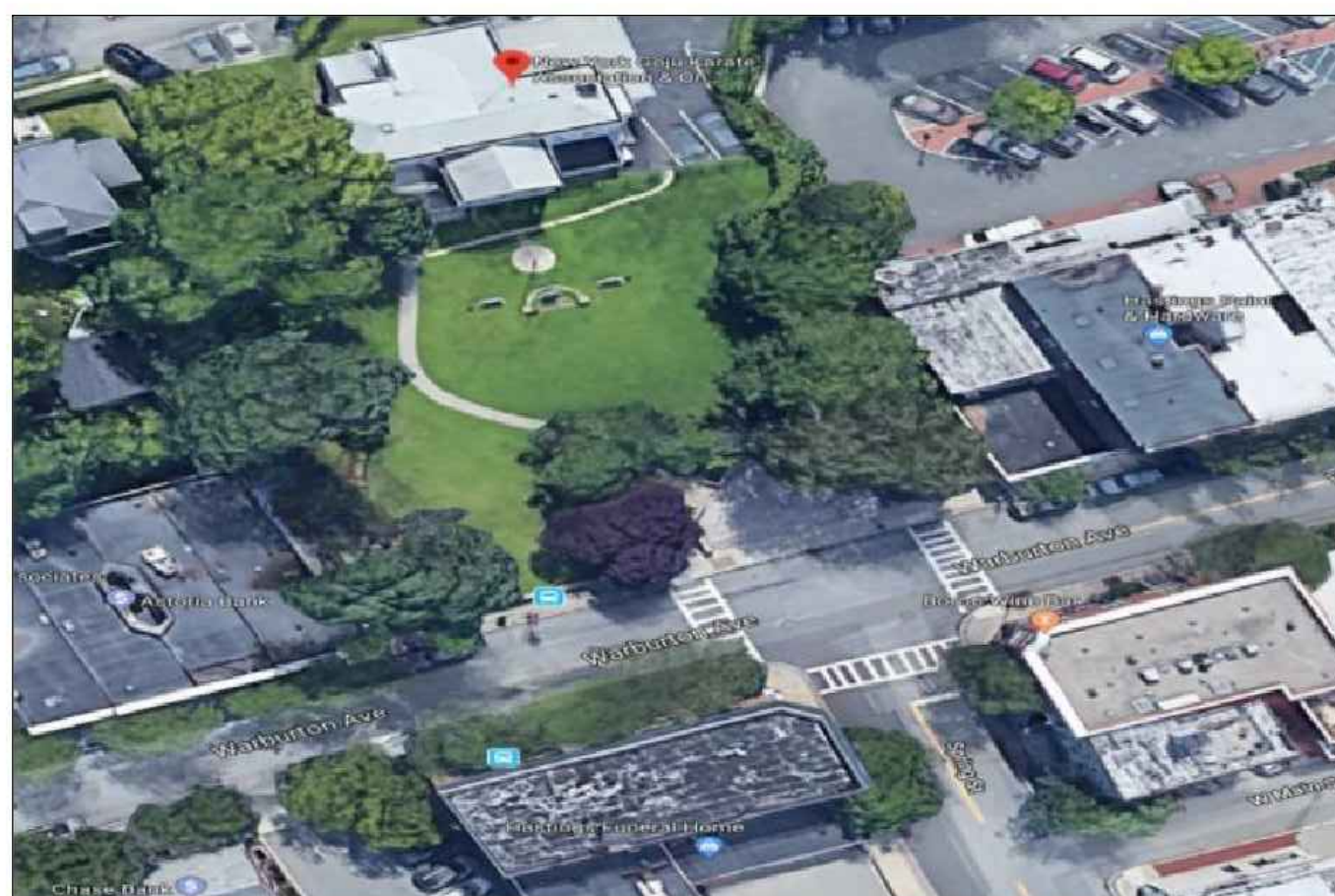
DRAWN BY: R.T.		DRAWING NO.: T-2
CHECKED BY: W.A.		
DATE: 1.17.2018	2 16	JOB NUMBER: 2018-01
REV.: 4.23.18/6.21.18		



**PHOTOGRAPHS FROM VARIOUS VANTAGE POINTS
WITHOUT PROPOSED DEVELOPMENT.**



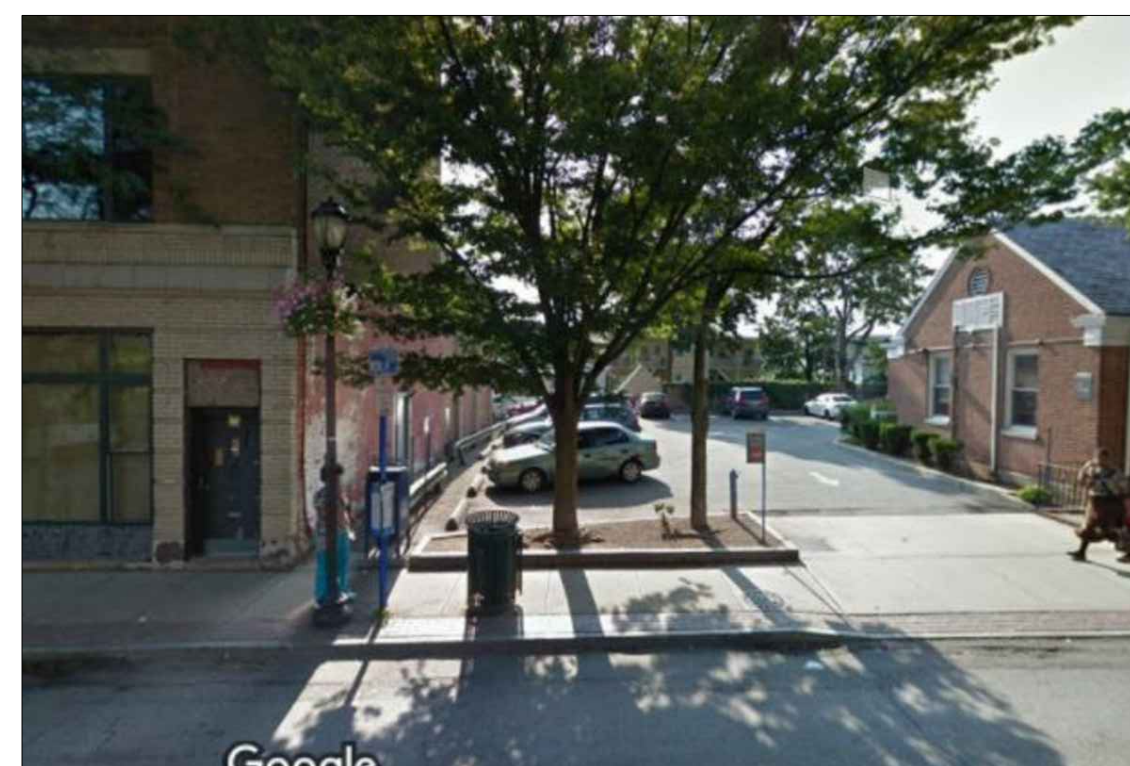
The photos of 555 Warburton Ave Hastings-On-Hudson were taken on the upper right side second floor of the VFW Building across the street. 555 Warburton Ave building faces the VFW building.



VFW
Building

Location
from
Where
Photos
were
taken
from VFW
Building.
(Above
View)

555 Warburton Ave



EXISTING MAIL BOX LOCATION

PROJECT TITLE: ALTERATIONS TO

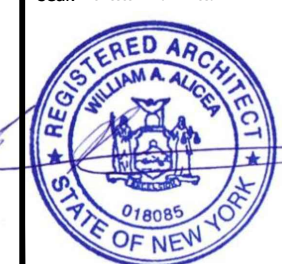
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

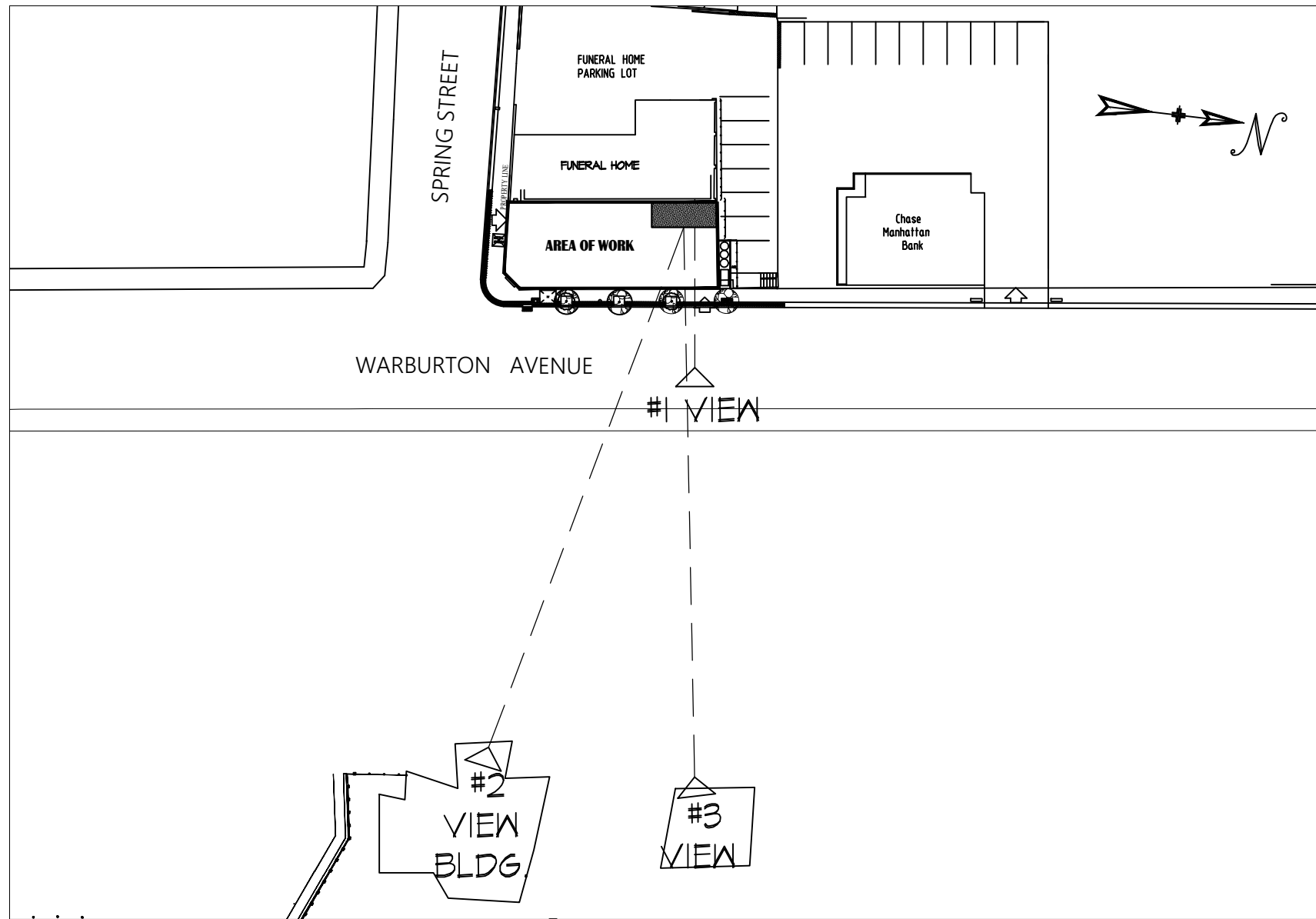
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T: 212.691.6946
E: will@worldiddesign.net

sea: Architect William Alicea

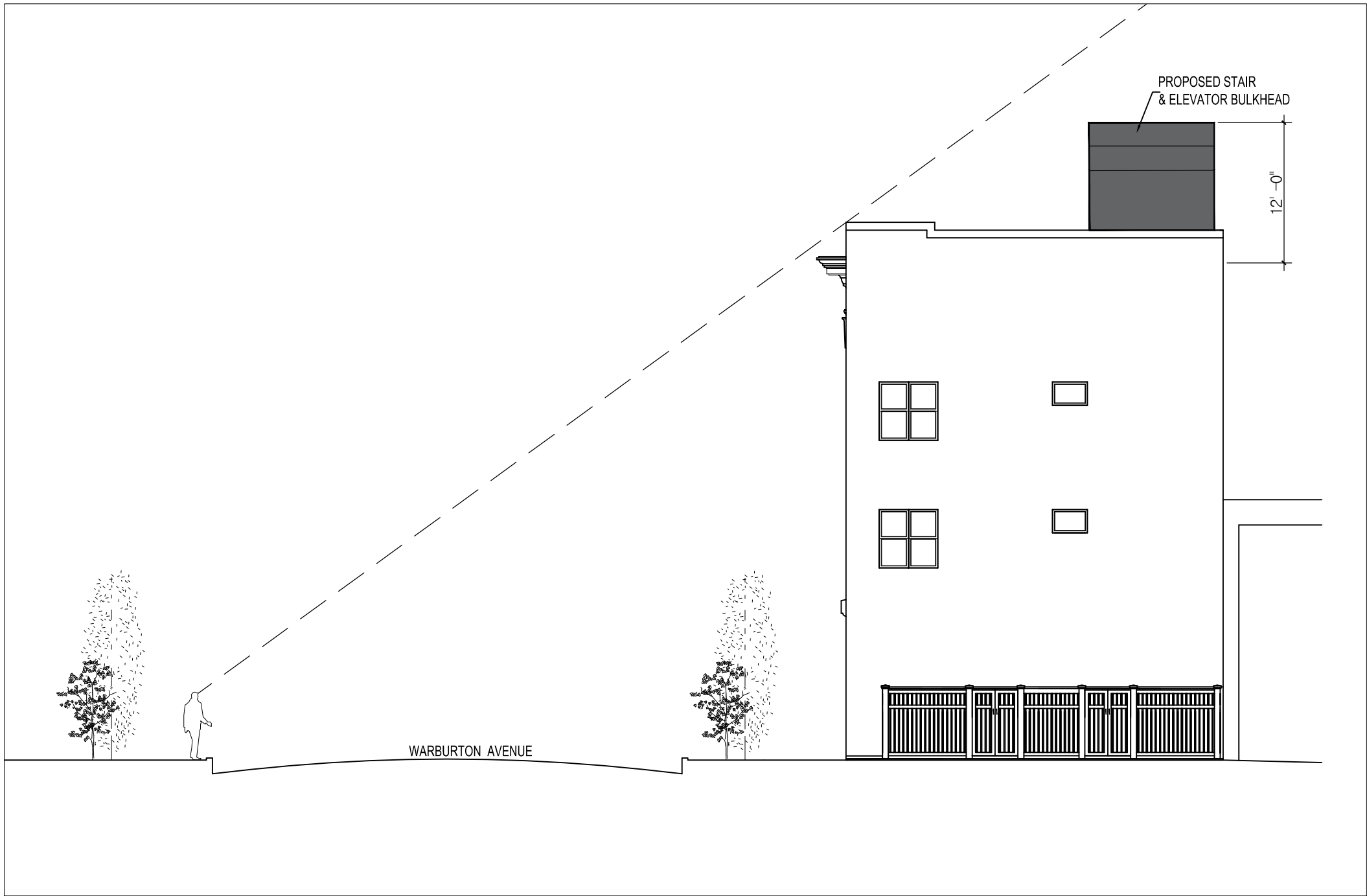


**VIEW
PRESERVATION
DWG.**

DRAWN BY: R.T.		DRAWING VP.
CHECKED BY: W.A.		
DATE: 1.17.2018	4 16	JOB NUMBER 2018
REV: 4 23.18		



LOCATION MAP



#(1) VIEW ACROSS WARBURTON AVE.



**#(2) VIEW: FROM 2ND FLOOR OF UFW BUILDING
EXTG BUILDING WITH PROPOSED DEVELOPMENT.**



**#(3) VIEW
PHOTO TAKEN FROM 41 WHITMAN STREET**

PROJECT TITLE:
**ALTERATIONS TO
555 WARBURTON AVENUE**
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

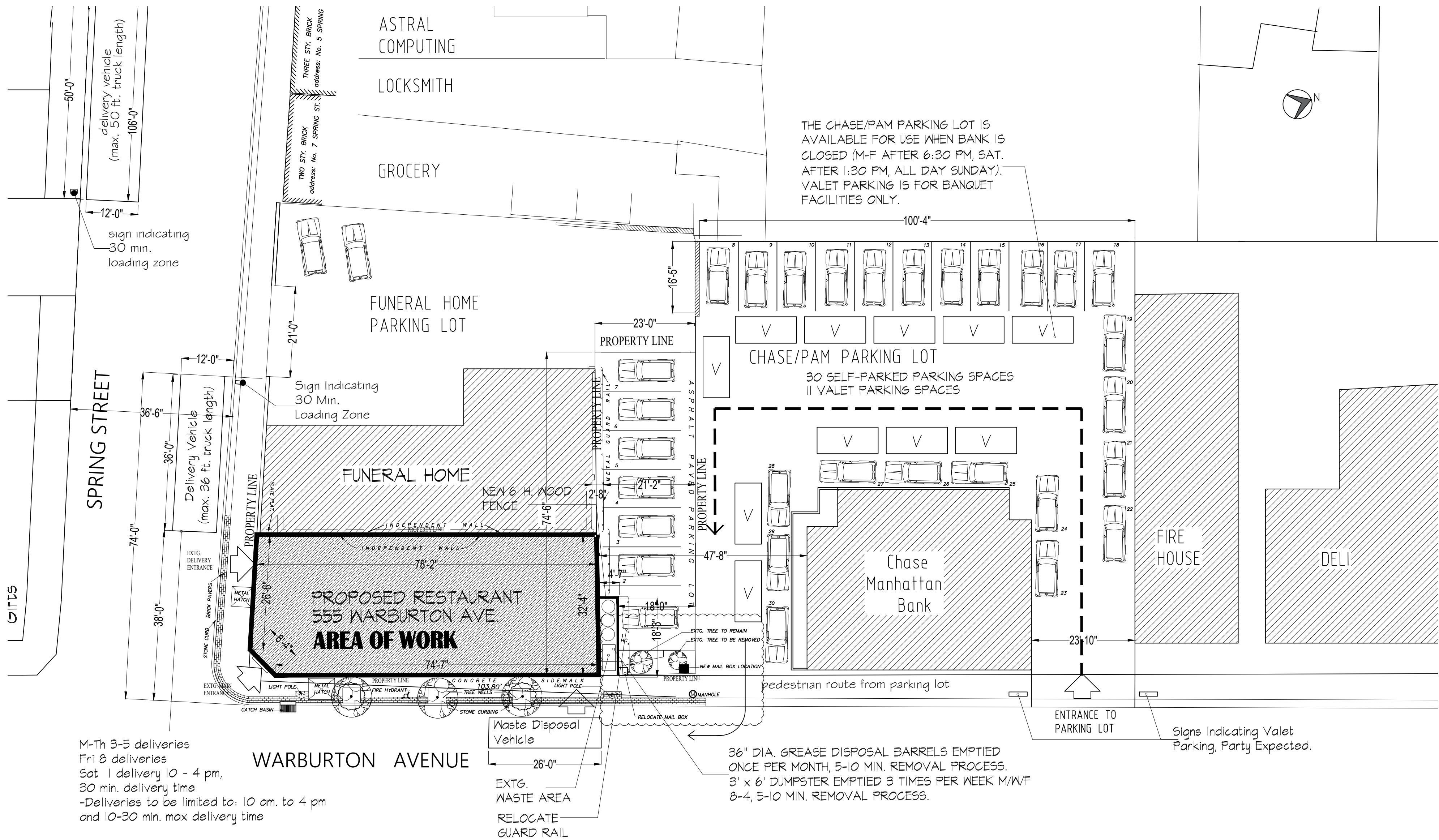
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net

Seal: Architect William Alicea



**VIEW
PRESERVATION
DWG.**

DRAWN BY: R.T.	DRAWING NO.: VP.2
CHECKED BY: W.A.	
DATE: 1.17.2018	JOB NUMBER: 5
REV.: 4.23.18/7.2.18	2018-01



M-Th 3-5 deliveries
Fri 8 deliveries
Sat 1 delivery 10 - 4 pm,
30 min. delivery time
-Deliveries to be limited to: 10 am. to 4 pm
and 10-30 min. max delivery time

SITE PLAN

SCALE: 1/8"=1'-0"

Parking Required by Hastings Zoning Code
PARKING - OFF STREET (295-36) 1 space for each employee per shift, plus the greater of 1 space for each 4 seats or 1 space for 100 square ft of gross floor area
295-24 A Buildings, structures and land uses in existence or for which building permits have been approved on the effective date of this chapter shall not be subject to the parking or loading space requirements set forth in this chapter. However, any parking and loading facilities now existing to serve such buildings, structures or uses shall not be reduced, except where they exceed such requirements, in which case they shall not be reduced below those requirements. Required parking and loading facilities for the existing portion of such uses shall, however, be provided at the time of any enlargement of such existing building, structures or uses in the future, unless said building, structures or uses are located in the CC District, in which case the provisions set forth in § 295-24 shall apply.

EXISTING RESTAURANT/BUILDING PARKING REQUIREMENT PER PREVIOUS APPROVAL ON 12/17/2009				PROPOSED/PROVIDED RESTAURANT/BUILDING PARKING		
FLOOR	USE	BASED ON AREA	BASED ON SEATS		BASED ON AREA	BASED ON SEATS
BASEMENT & 1 ST FLOOR	RESTAURANT	1SPACE/ 100 GSF	1 SPACE/4 SEATS	RESTAURANT	1 SPACE/ 100 GSF	1 SPACE/ 4 SEATS=
		5152 SF/100 =52	170 SEATS/4 = 43	BSMNT=2576	5887 SF/100 = 59	173 SEATS/4 = 43
		1 SPACE/EMPLOYEE =11	1 SPACE/EMPLOYEE = 15	1 ST FLR =2576	1 SPACE/EMPLOYEE = 14	1 SPACE/EMPLOYEE = 14
		SUB-TOTAL =63	SUB-TOTAL = 58	ROOF=735 SF	SUB-TOTAL = 73	SUB-TOTAL = 57
2 ND FLOOR & 3 RD FLOOR	WELLNESS CENTER (PERSONAL SERVICE BUSINESS)	1 SPACE/200 GSF = 5152/200 = 26		1-APARTMENT	= 2	= 2
ROOF	WELLNESS CENTER/ ROOF TERRACE RESTAURANT	1 SPACE/ 100 GSF 2576 SF/100 = 26 1 SPACE / EMPLOYEE = 8 TOTAL = 34		1-APARTMENT (MULTI-FAMILY - 295-36)	<u>= 2</u> TOTAL = 77	<u>= 2</u> TOTAL =61
TOTALS FOR BUILDING: (63 + 26 + 34) = 123 (LESS THAN 125 APPROVED 12/17/08				TOTAL FOR BUILDING:(73 + 4) = 77 (< 123 APPROVED 12-17-09)		
END OF CHART						

PROJECT TITLE:
ALTERATIONS TO

555 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

WORLD DESIGN ARCHITECTURE

William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@worlddesign.net

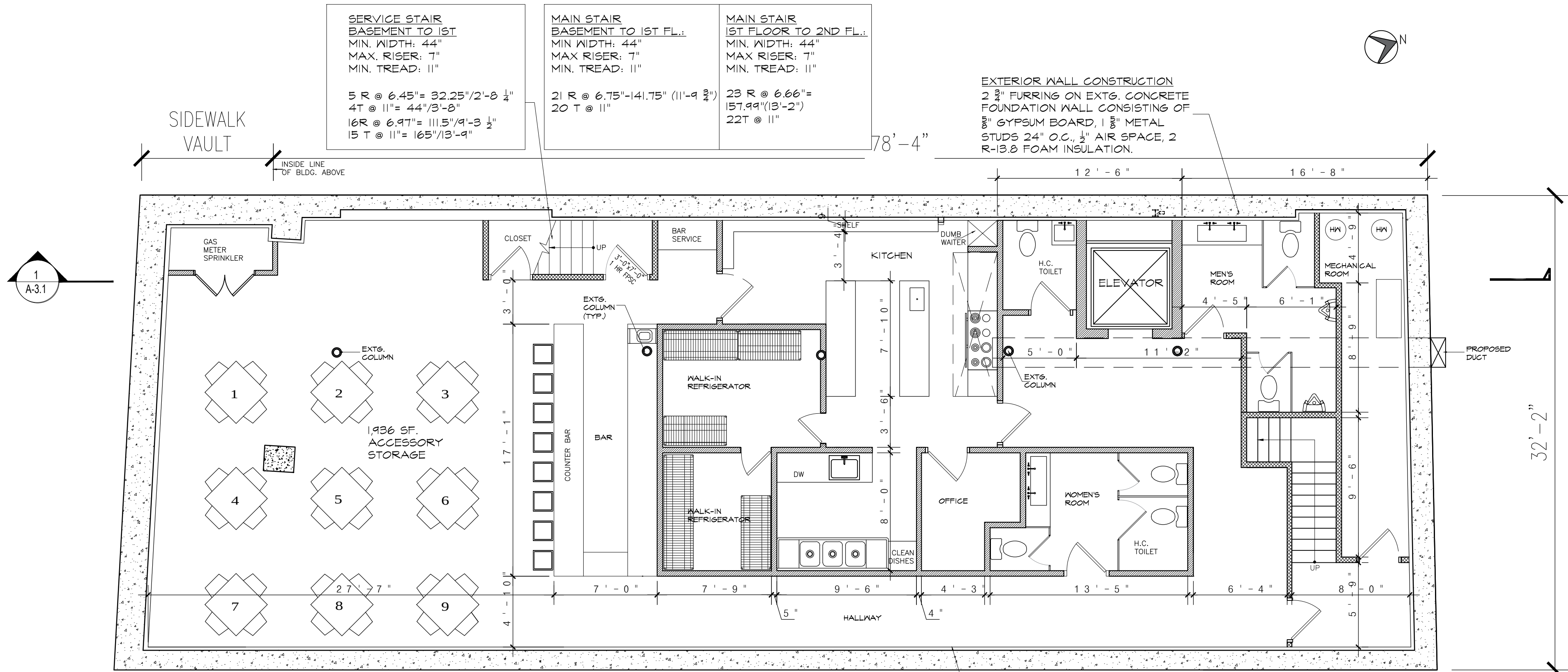
Seal: Architect William Alicea



SITE PLAN

DRAWN BY: R.T.
CHECKED BY: W.A.
DATE: 1.17.2018
REV.: 4.23.18/6.21.18

DRAWING NO.:
S-1
JOB NUMBER:
2018-01



1
SCALE: 3/8" = 1'-0"

BASEMENT FL. PLAN

NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT											
BASEMENT OCCUPANCY CALCULATIONS:				BASEMENT, FIRST FLOOR & ROOF PLUMBING FIXTURE CALCULATIONS:				EGRESS STAIR CALCULATIONS			
Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants	RESTAURANT PLUMBING FIXTURES/GROUP A2 OCCUPANCY- 45 BASMENT OCCUPANCY + 122 @ 1 ST FLOOR + 49 OCCUPANCY @ ROOF = 216 OCCUPANTS				NO. OF EXITS NYSBC 1006.3.2 (2). TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF: 1. FOR OCCUPANCY A, MAX. OCCUPANT LOAD IS GREATER THAN 49 2. PATH OF EGRESS TRAVEL EXCEEDS 75' FOR BASEMENT LEVEL OCCUPANCY LOAD IS 45, TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 2 ARE PROVIDED + ELEVATOR STAIR WIDTH: NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS: 1. STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36" NYSBC 1011.5.2 STAIR RISER HEIGHT: MAX = 7", MIN = 4" STAIR TREAD WIDTH: MIN.=11"			
ASSEMBLY SPACE ASSEMBLY W/O FIXED SEATS (NET AREA EXCLUDES STAIRS, CORRIDORS, ELEVATORS, SHAFTS & TOILETS	15/NSF	560	38								
KITCHEN-(COMMERCIAL) (Gross area excludes stairs, elevators, shafts, open storage)	200/ gsf	800	4	2015 IBC CODE REQUIREMENT 2902.1	WATER CLOSETS	LAVATORIES	SERVICE SINKS	DRINKING FOUNTAIN			
ACCESSORY STORAGE AREA/MECHANICAL RM	300/GSF	280 sf 100 sf 380 sf	2	MALE WC 1/75, 216/2=108/75=1.4 URINALS: 67X1.44= 96	3 PROVID						
STORAGE -UTILITY CLOSET				FEMALE WC 1/75 216/2=108/75 =1.4	3 PROVID						
OFFICE (BUSINESS AREA)	100/GSF	80 SF	1	MALE LAVATORIES 1/200 216/2=108/200= .54	3 PROVID						
				FEMALE LAVATORIES 1/300 216/2=108/200= .54	2 PROVID						
				SERVICE SINK			2				
				DRINKING FOUNTAIN 1/500				0			
TOTAL NOS. OF OCCUPANTS =			45								

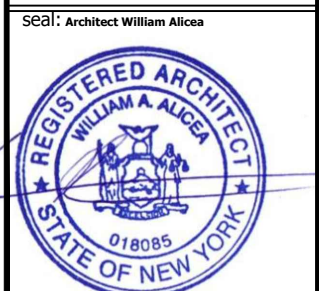
PARTITIONS		SYMBOLS	
	EXISTING WALL TO BE REMOVED		ELEVATION NO.
	EXISTING WALL TO REMAIN		ELEVATION SHEET NO.
	NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.		ELEVATION, SECTION, OR DETAIL NO.
	NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.		SHEET NO.
	NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.		DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
	EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD		WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE
	EXISTING MASONRY WALL		
	EXISTING CONCRETE FOUNDATION WALL		

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

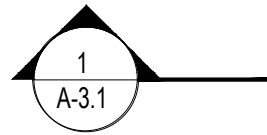
REVISIONS:

NOTES:

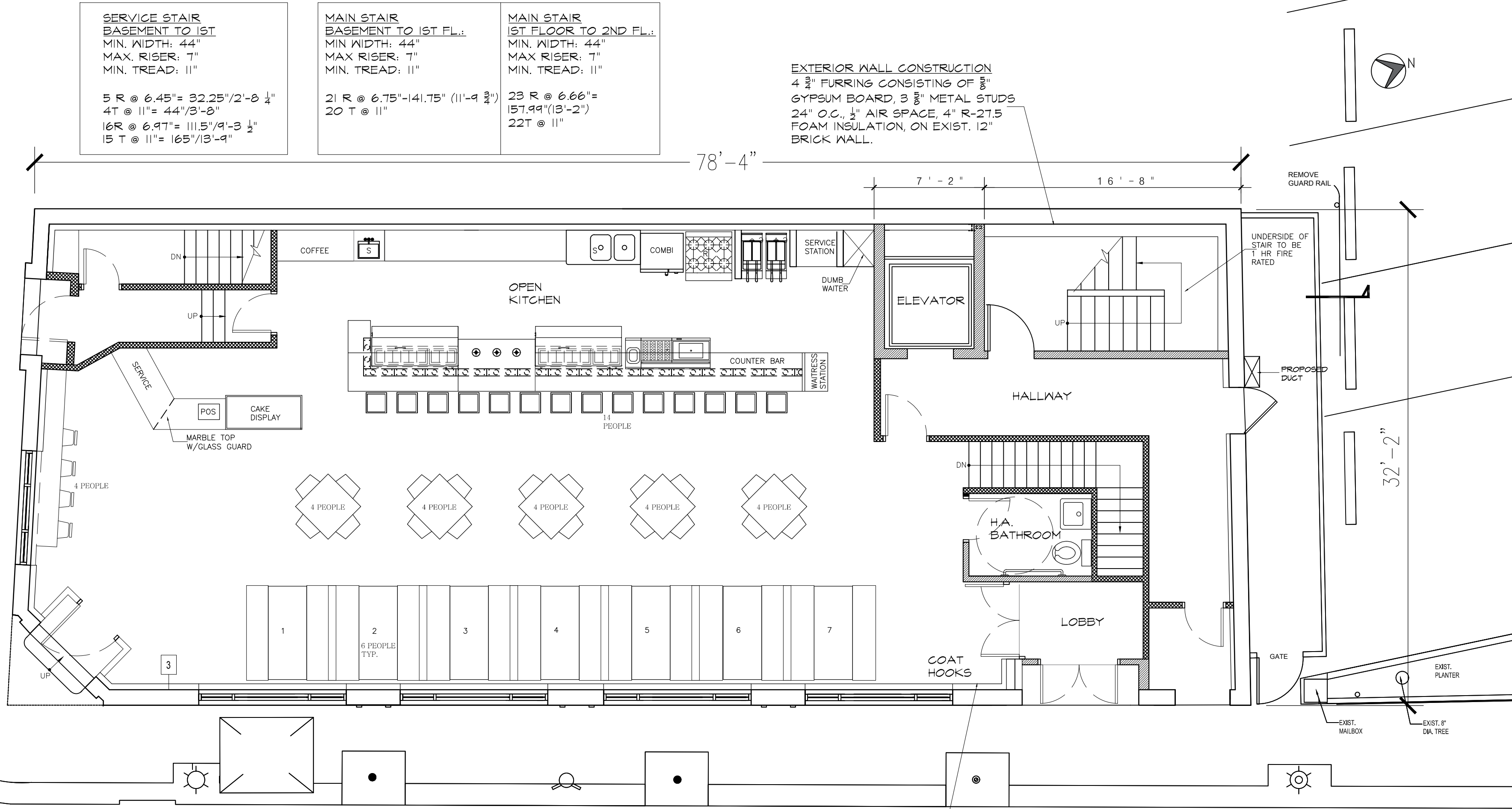
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net



BASEMENT FL. PLAN			
DRAWN BY: R.T.	DRAWING NO.: A-1.1	DATE: 1.17.2018	JOB NUMBER: 7
CHECKED BY: W.A.	REV.: 4.23.18	16	2018-01



3'-0"x7'-0"
1 HR FIRE RATED



PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net

Seal: Architect William Alicea



GROUND FL. PLAN

DRAWN BY: R.T.
CHECKED BY: W.A.
DATE: 1.17.2018
REV.: 4.23.18

DRAWING NO.:
A-1.2
JOB NUMBER:
2018-01

GROUND FL. PLAN

SCALE: 1/8"=1'-0"

NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT

FIRST FLOOR OCCUPANCY CALCULATIONS:

Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants
ASSEMBLY W/O FIXED SEATING (RESTAURANT & BAR) Gross area excludes stairs, elevators, shafts, open storage	15/ NSF	1,831 SF	122 ALLOWED 86 PROVIDED
TOTAL NOS. OF OCCUPANTS =			122

BASEMENT, FIRST FLOOR, & ROOF PLUMBING FIXTURE CALCULATIONS:

RESTAURANT PLUMBING FIXTURES/GROUP A2 OCCUPANCY- 45 BASMENT OCCUPANCY + 122 @ 1 ST FLOOR + 49 OCCUPANCY @ ROOF = 216 OCCUPANTS					
NYBC REQUIREMENT	WATER CLOSETS	LAVATORIES	SERVICE SINKS	DRINKING FOUNTAIN	
MALE WC 1/75, 216/2=108/75=1.4	3 PROVD				
URINALS: .67X1.44=.96	2 PROVD				
FEMALE WC 1/75 216/2=108/75=1.4	3 PROVD				
MALE LAVATORIES 1/200 216/2=108/200=.54		3 PROVD			
FEMALE LAVATORIES 1/200 216/2=108/200=.54		2 PRVD			
SERVICE SINK			2		
DRINKING FOUNTAIN 1/500				0	

EGRESS STAIR CALCUALTIONS

NO. OF EXITS NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:	
1. FOR OCCUPANCY A, MAX. OCCUPANT LOAD IS GREATER THAN 49 2. PATH OF EGRESS TRAVEL EXCEEDS 75'	
FOR FIRST FLOOR OCCUPANCY LOAD IS 122, TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 2 EXIT ARE REQUIRED AND 4 ARE PROVIDED.	
STAIR WIDTH: NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS: 1. STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"	
NYSBC 1011.5.2 STAIR RISER HEIGHT: MAX = 7", MIN = 4" STAIR TREAD WIDTH: MIN.=11"	

LEGEND

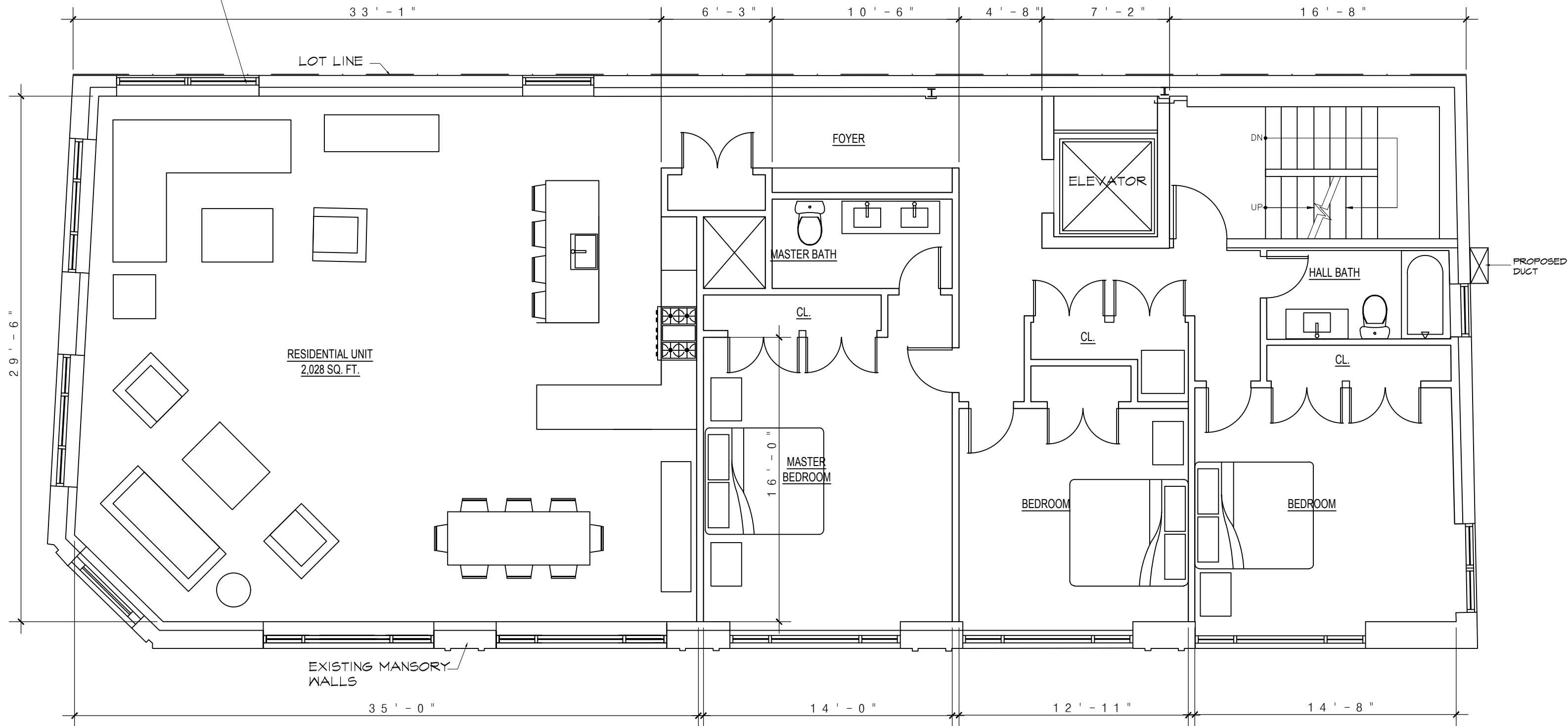
PARTITIONS

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.
	NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.
	NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.
	EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD
	EXISTING MASONRY WALL
	EXISTING CONCRETE FOUNDATION WALL

SYMBOLS

	ELEVATION NO.
	ELEVATION SHEET NO.
	ELEVATION, SECTION, OR DETAIL NO.
	SHEET NO.
	DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
	WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

WINDOW AREA DOES NOT EXCEED 10% OF FACADE AT THAT SPECIFIC FLOOR. WINDOWS TO BE FIRE RATED W/ A SPRINKLER HEAD AT EACH WINDOW.



1 SECOND FL. PLAN
SCALE: 1/8" = 1'-0"

NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT

SECOND FLOOR OCCUPANCY CALCULATIONS:

Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants
RESIDENTIAL-R-3	200/ GSF	2,028 SF	10 ALLOWED 4 PROVIDED
TOTAL NOS. OF OCCUPANTS =			10

2ND FLOOR PLUMBING FIXTURE CALCULATIONS: 2902.1

RESIDENTIAL PLUMBING FIXTURES/GROUP R-3 OCCUPANCY: 10 OCCUPANTS				
NYBC REQUIREMENT	WATER CLOSETS	LAVATORIES	TUBS/SHOWERS	OTHER
WC	1/DU			
LAVATORIES		1/DU		
TUBS/SHOWER			1/DU	
KITCHEN SINK				1KT.SINK/DU
WASH. MACHINE				1WM/DU

EGRESS STAIR CALCUALTIONS

NO. OF EXITS
NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:
1. FOR OCCUPANCY R-3, MAX. OCCUPANT LOAD IS GREATER THAN 49
2. PATH OF EGRESS TRAVEL EXCEEDS 75'

FOR SECOND FLOOR OCCUPANCY LOAD IS 10. TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 1 IS PROVIDED + ELEVATOR

STAIR WIDTH:
NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS:
1. STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"

NYSBC 1011.5.2
STAIR RISER HEIGHT: MAX = 7", MIN = 4"
STAIR TREAD WIDTH: MIN. = 11"

LEGEND

PARTITIONS

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.
- NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.
- NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.
- EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD
- EXISTING MASONRY WALL
- EXISTING CONCRETE FOUNDATION WALL

SYMBOLS

- ELEVATION NO.
- ELEVATION SHEET NO.
- ELEVATION, SECTION, OR DETAIL NO.
- SHEET NO.
- DOOR TYPE FOR DESCRIPTION, SEE DOOR SCHEDULE
- WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

PROJECT TITLE:
ALTERATIONS TO

555 WARBURTON AVENUE

HASTINGS-ON-HUDSON, NY 10706

WORLD DESIGN ARCHITECTURE

William A. Alicea RA

1925 7th Ave., Suite 2H

New York, New York 10026

T.: 212.691.6946

E.: will@aworldesign.net

Seal: Architect William Alicea



SECOND FL. PLAN

DRAWN BY: R.T.	DRAWING NO.: A-1.3
CHECKED BY: W.A.	JOB NUMBER:
DATE: 1.17.2018 9	REV.: 4.23.18 16