

VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



Case number: Date of application: JANUARY 17, 2018

Planning Board action requested for: ☒ Site Plan (§295-104) ☐ Subdivision (Article XIII)
 (Check all that apply) ☐ Steep Slopes (§295-147) ☐ View Preservation (§295-82)

Property owner: PAM 555 WARBURTON REALTY, LLC
 Property address: 555 WARBURTON AVENUE
 Name all streets on which the property is located: SPRING STREET & WARBURTON (CORNER)
 SBL: 4.30-22-1 Zoning District: CC

Applicant: WORLD DESIGN ARCHITECTURE, PLLC
 Standing of applicant if not owner: ARCHITECT - WILLIAM ALICEA, RA
 Address: 1925 7TH AVENUE, SUITE 211, N.Y. N.Y. 10026
 Daytime phone number: 917-294-6946 Fax number:
 E-mail address: WILL @ A WORLD DESIGN. NET

Total Area of subject Land/property: 4216 S.F.
 Is the subject Property in View Preservation District? ☐ yes ☐ No
 Does Property currently contain or will contain Steep Slopes? ☐ yes ☒ No
 Is the subject property within 500 ft. of any other jurisdiction? ☒ yes ☐ No
 Will the project affect (remove or injure) any designated trees? ☐ yes ☒ No

Please provide brief description of proposed work:

FULL BUILDING RENOVATION:
BASEMENT: RESTAURANT
1ST FLR: RESTAURANT
2ND FLR: 1-FLOOR THROUGH APARTMENT
3RD FLR: 1-FLOOR THROUGH APARTMENT
ROOF: ACCESSORY USE RESTAURANT

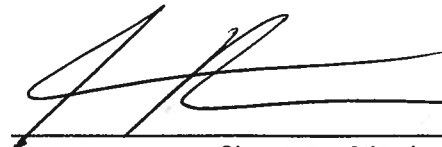
VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



STATE OF NEW YORK
COUNTY OF ~~WESTCHESTER~~ ss.:
New York

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this 18th day
of January, 2018


Signature of the Applicant

Mamabou Drame
Notary Public

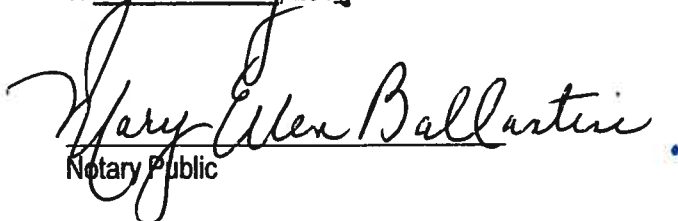
MAMABOU DRAME
NOTARY PUBLIC-STATE OF NEW YORK
NO. 01DR6319138
QUALIFIED IN NEW YORK COUNTY
MY COMMISSION EXPIRES 03-09-2019

STATE OF NEW YORK
COUNTY OF WESTCHESTER

Name: J'Wayne Prieto, being duly sworn, deposes and says that
he/she resides at 81 Main St. Dobbs Ferry, NY 10522 in the Village of Hastings-on-Hudson in
the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in
fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet
 Block 630 and Lot 28 of the tax map, and that he/she hereby authorized
 to make the annexed application in his/her behalf and that the
statement of fact contained in said application are true.

Sworn to before me this 18th day
of January, 2018


Signature of the Owner


Notary Public

MARY ELLEN BALLANTINE
Notary Public, State of New York
Reg # 01BA6278291
Qualified in Westchester County
Commission Expires 3/25/2021

Submit a flash drive and a total of three (3) sets (residential) or thirteen (13) sets, 11 copies and 2 original (commercial), of this application, with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.

ORIGINAL SET

World Design Architecture, PLLC

January 17, 2018

Design – Planning - Zoning

1925 7th Avenue, Suite 2H

New York, NY 10026

C: 917.294.6946

O: 212.691.6946

will@aworldldesign.net

Village of Hastings-On-Hudson

Planning Board

Village of Hastings-On-Hudson

Hastings-On Hudson, NY 10706

212-340-9604

Re: 555 Warburton Avenue
Restaurant & Apartments
Application for Planning Board Review/Action
NY, NY, 10021

Dear Sirs:

The attached application is submitted for your review and site Plan approval of the captioned project.

The project as submitted is a full building renovation and is comprised of the following:

Basement:	Restaurant
First Floor:	Restaurant
Second Floor:	One floor through apartment
Third floor:	One floor through apartment
Roof:	Accessory use restaurant

The project is located within the Central Commercial District and as presented in the plans submitted adheres to the Design guidelines for this district as stated in the Hastings Design Principles and Standards for the CC district.

We feel that the adaptive re-use of the building as proposed preserves the character of the village and the Historic Downtown while providing the best mix of uses. The uses are the low impact residential use of the second and third floors and the revitalization of the commercial basement and first floors.

We look forward to your review and input. .
Please contact my office with any questions or comments.

Sincerely,



William A. Alicea, RA

cc: D'Wayne Prieto
PAM 555 Warburton Realty, LLC

File:ltr555Warbuton1.17.18

Will Alicea

From: info=nygisgroup.com@mailgun.org on behalf of info@nygisgroup.co:
Sent: Wednesday, January 17, 2018 4:26 PM
To: dp@wardcm.com; will@aworldldesign.net
Cc: mmonxhwedey@nygisgroup.com
Subject: Municipal application confirmation

Your permit application has been submitted successfully.

To avoid delays in processing, please read and follow the instructions provided on the final page of the application form and make sure to deliver the appropriate number of copies of plans (if required) and the signed and notarized application form to the building department.

PLEASE NOTE: Preparing an application or receipt of this confirmation does not constitute permission to begin work. If found doing work without a permit, you could receive a court summons.

Project Details:

Application number: 126

Job filed by : William A. Alicea (9172946946)

Job location : 555 Warburton Ave

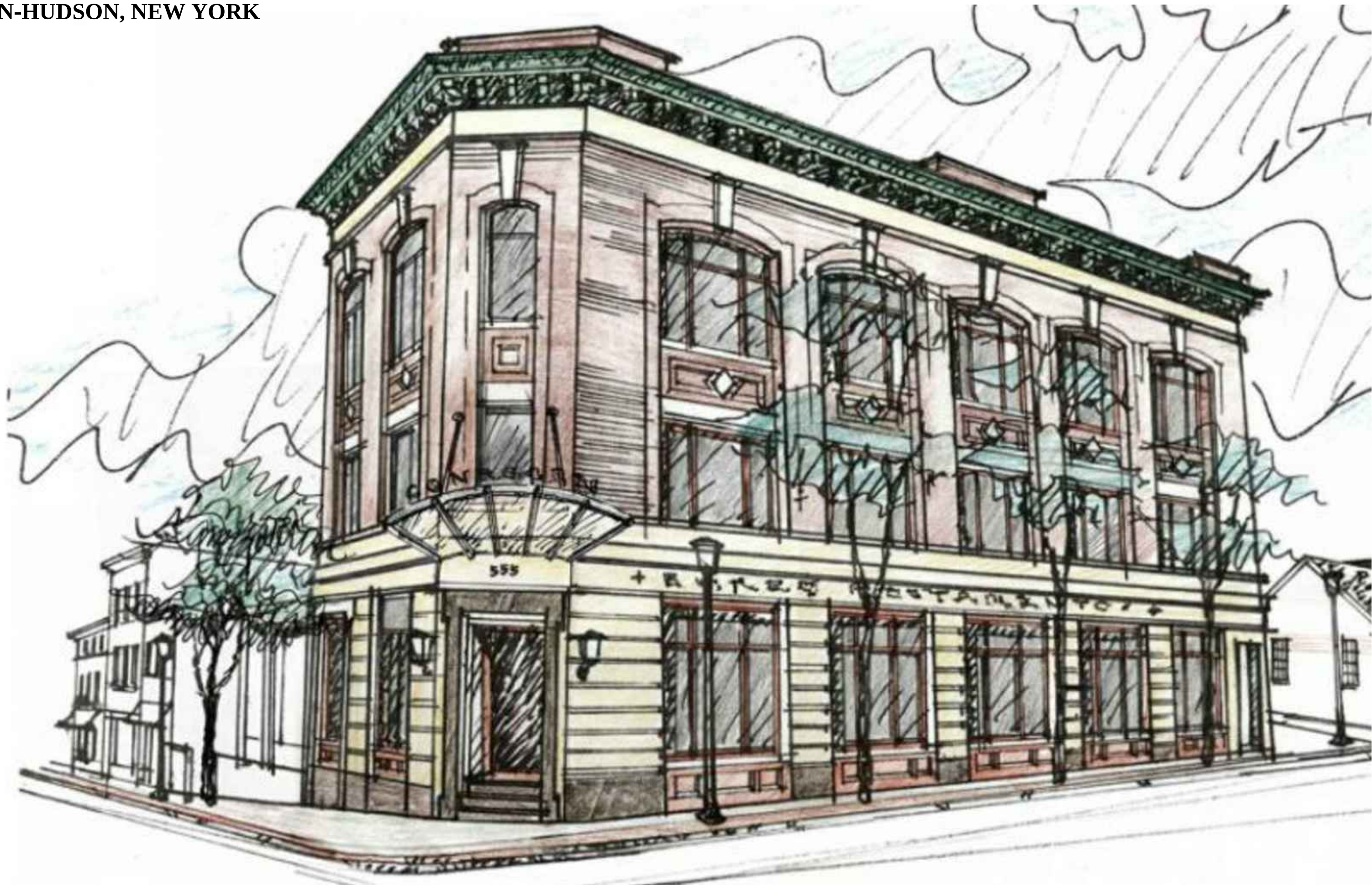
Municipality : Hastings

Type of work : Interior Renovation/ Repair

[Application Form](#)

Thank You.

ALTERATION TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NEW YORK



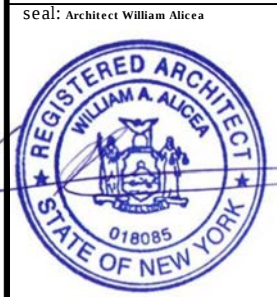
SITE DATA FOR ZONING CODE COMPLIANCE					BUILDING CODE DATA		LIST OF DRAWINGS					
ZONING DISTRICT: CC SHEET:	SECTION: 10 SHEET:	BLOCK: 630: LOT: 28	SURVEYED BY: ERIC J. LINK SURVEY DATE: DEC.19.05	MUNICIPALITY: HASTINGS-ON-HUDSON SURVEY DATE: DEC.19.05	APPLICABLE CODES	2015 INTERNATIONAL BUILDING CODE & 2016 NYS CODE SUPPLEMENT ENERGY CONSERVATION CODE OF NEW YORK STATE 2010 ICC/ANSI A117.1-2008 HANDICAP ACCESSIBILITY CODE	1_T-1.... COVER PAGE 2_S-1.... SITE PLAN 3_A-1.1.... BASEMENT FLOOR PLAN 4_A-1.2....GROUND FLOOR PLAN 5_A-1.3....SECOND FLOOR PLAN 6_A-1.4....3RD. FLOOR PLAN 7_A-1.5....ROOF PLAN 8_A-2.1....EAST ELEVATION 9_A-2.2....SOUTH ELEVATION 10_A-2.3....NORTH ELEVATION 11_A-2.4....WEST ELEVATION 12_A-3.1....SECTION					
DESCRIPTION	CODE REQUIREMENT	EXISTING	PROPOSED	CONFORMS								
BUILDING USE	COMMERCIAL	COMMERCIAL REST. & RESIDENTIAL	RESTAURANT	YES	USE & OCCUPANCY CLASIFICATION	ASSEMBLY GROUP A-2 (303.3) + RESIDENTIAL GROUP R-3	DATES FOR PREVIOUS APPROVALS FOR RESTAURANT					
TOTAL AREA OF PROPERTY	MIN. 2500 SF.	4,216 SF. 0.968 ACRE	4,216 SF. 0.968 ACRE	YES	TYPE OF CONSTRUCTION	TYPE III A NON-COMBUSTIBLE EXTERIOR WALLS AND WOOD FLOOR FRAMING.						
LOT WIDTH	20'	32.5'	32.5'	YES	FIRE PROTECTION	NFPA-13 SPRINKLER SYSTEM PROVIDED THROUGHOUT PER 903.3.2 SMOKE ALARM PER 907.2.11	PLANNING BOARD APPROVAL12 17 09 ARCHITECTURAL REV. BOARD APPROVAL10 04 10 BUILDING PERMIT SUBMISSION2 03 11 REVISED BUILDING PERMIT SUBMISSION3 30 11 TITLE SHEET REVISED04 14 11 AMENDED BUILDING PERMIT SUBMISSION06 13 13					
YARDS (295-76-E) FRONT	0'	0'	0'	YES	ALLOWABLE HEIGHT OF BUILDING 504.3, 503.4	A-2: 4 STORIES (85') R-3: 5 STORIES (85') IF PROTECTED BY AUTOMATIC SPRINKLER SYSTEM						
SIDE	0'	0'	0'	YES	ALLOWABLE AREA OF BUILDING	FOR GROUP A-2 TYPE III BUILDING, 42,000 SF. R-3 TYPE IIIA BUILDING =UL						
REAR	10' AT GROUND FLOOR 20' ABOVE	18.04'	18.04'	YES	FIRE RESISTANCE RATING TO BE IN ACCORDANCE WITH BCNYS TABLE 601.6 FOR TYPE III A CONSTRUCTION; AND APPROVED SPRINKLER SYSTEM WILL BE SUBSTITUTED FOR 1 HR FIRE RESISTANCE RATED CONSTRUCTION, EXCEPT FOR 1 HR RATED EXT. WALLS.	STRUCTURAL FRAME: EXTERIOR BEARING WALLS:1 HOUR 2 HOURS 1 HR. FOR 5' FIRE SEPARATION DISTANCE						
PRINCIPAL BUILDING FOOTPRINT	-	2,576 GSF	2,500	-		INTERIOR BEARING WALLS FLOOR CONSTRUCTION INCL. BEAMS ROOF CONSTRUCTION1 HOUR 1 HOUR						
HEIGHT	MAX. (40')	47.5'	51.9'	NO	MAX FLOOR AREA ALLOWANCE PER OCCUPANT (BCNYS TABLE 1004.1.1)	SEE OCCUPANCY CALCULATION AT EACH FLOOR PLAN.						
STORIES	3	3	3	YES								
OFF STREET PARKING (295-36)	SEE PARKING ANALYSIS DRAWING (X)	7 SPACES	SEE PARKING ANALYSIS	YES	EGRESS REQUIREMENTS	SEE EGRESS REQ. ON EACH FLOOR PLAN				ARCHITECTURAL REV. BOARD APPROVAL10 04 10		
NOTE: 1. ALL STRUCTURAL WORK BY OTHERS AS APPROVED PREVIOUSLY 2. ALL EXTERIOR WORK BY OTHERS AS APPROVED PREVIOUSLY					MIN. NUMBER OF PLUMBING FIXTURES	SEE PLUMBING REQ. ON EACH FLOOR PLAN						
					ACCESSIBILITY	ACCESSIBLE ROUTES: WALK WITH SLOPE, 1:20 TO COMPLY WITH (ICC/ANSI 117.1. SECTION 405. ACCESSIBLE PARKING SPACES: 2% OF PARKING NOT LESS THAN 1 MUST BE ACCESSIBLE WITH 8FT ACCESS AISLE.				BUILDING PERMIT SUBMISSION2 03 11		

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

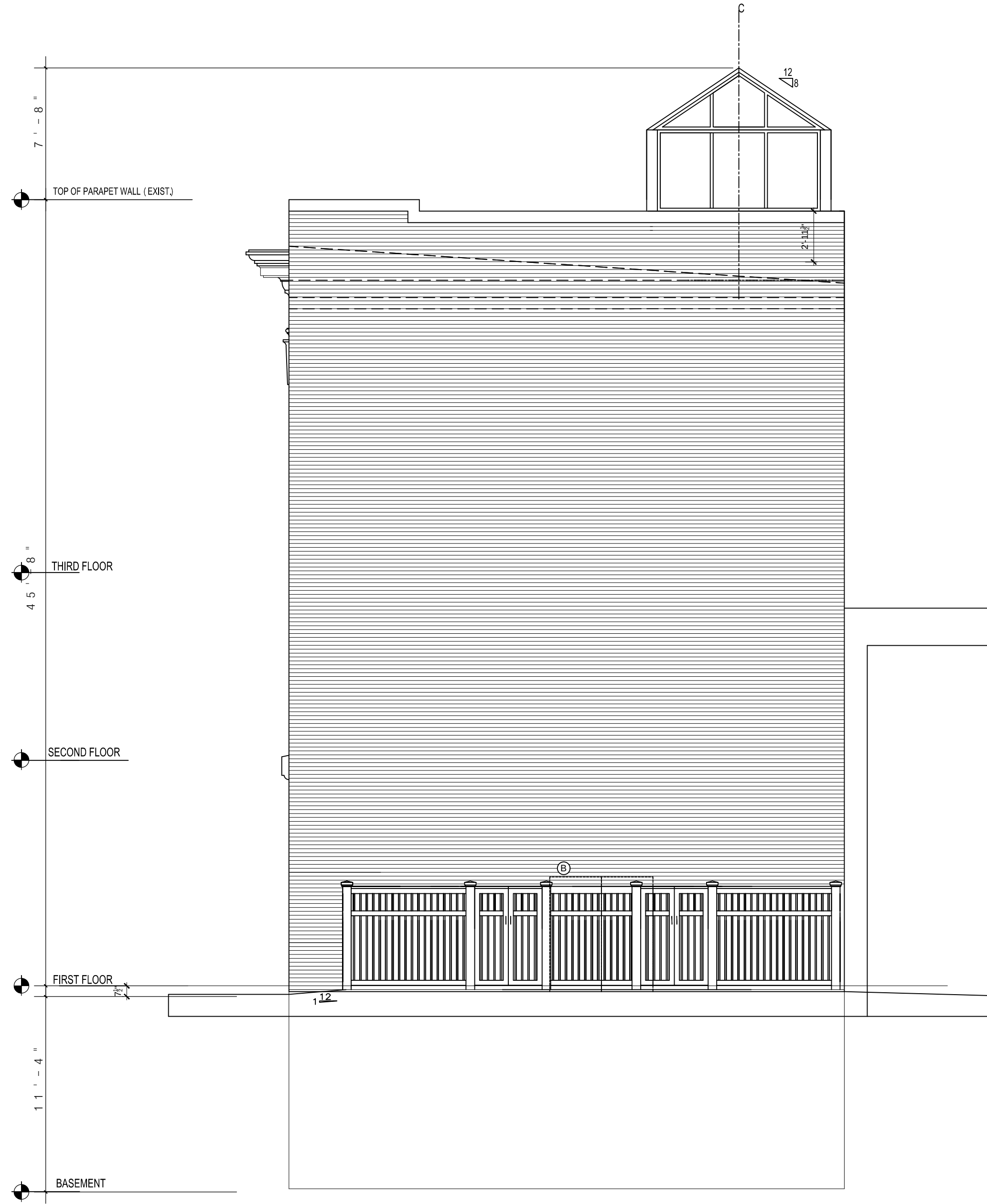
REVISIONS:

NOTES:

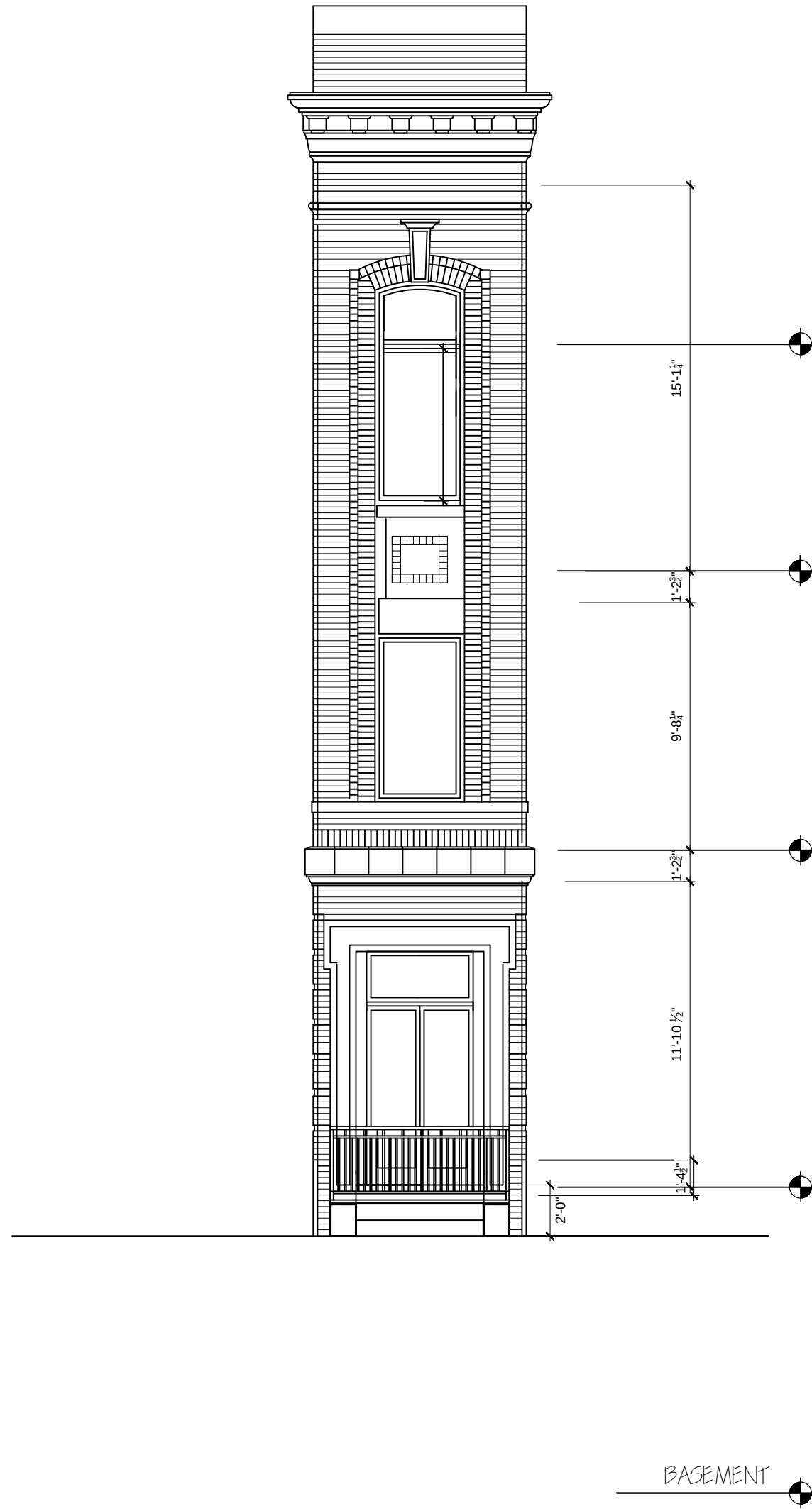
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net



COVER PAGE	
DRAWN BY: R.T.	DRAWING NO.: T-1
CHECKED BY: W.A.	JOB NUMBER:
DATE: JAN.17.2018	PAGE 1 OF 12
2018-01	



1 **NORTH ELEVATION**
SCALE: $\frac{3}{16}'' = 1'-0''$



2 **SOUTH EAST
CORNER ELEVATION**
SCALE: $\frac{3}{16}'' = 1'-0''$

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REVISIONS:

NOTES:

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1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net

Seal: Architect William Alicea



**NORTH
ELEVATION**

DRAWN BY: R.T.

CHECKED BY: W.A.

DATE: JAN. 17, 2018

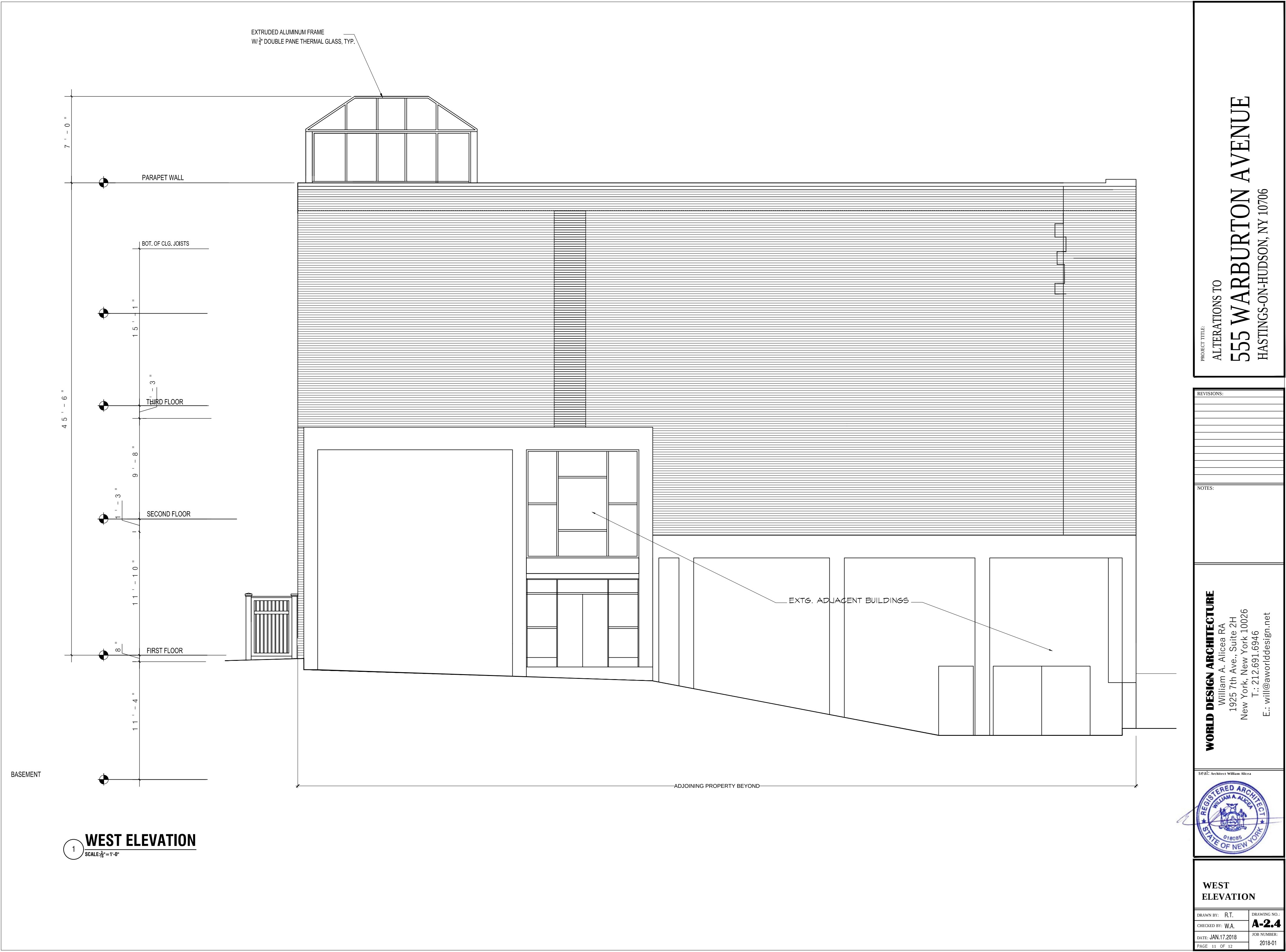
PAGE 10 OF 12

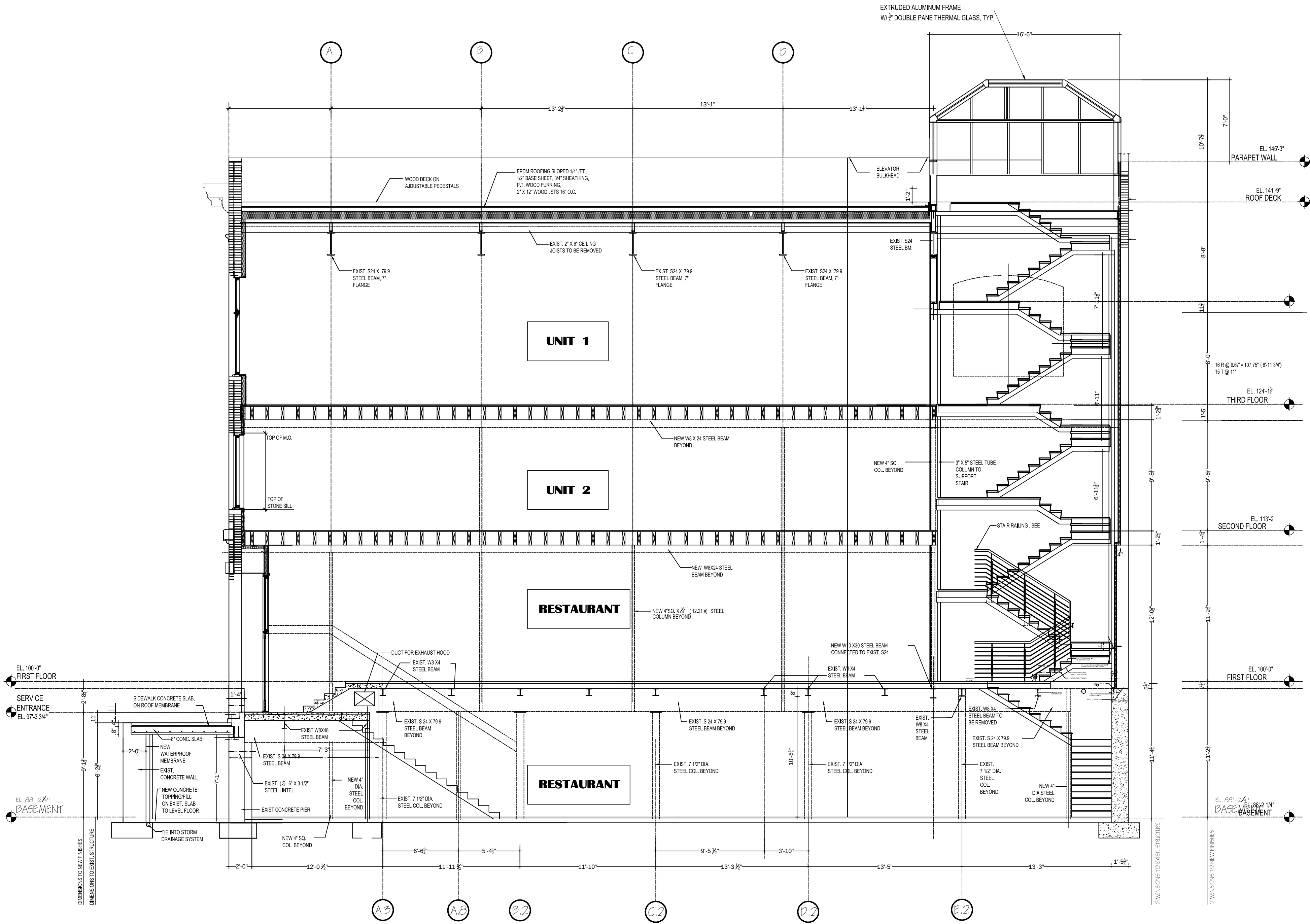
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A-2.3

JOB NUMBER:

2018-01



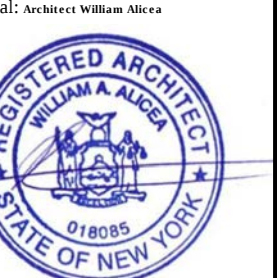


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REVISIONS:

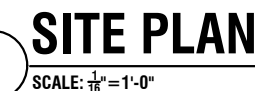
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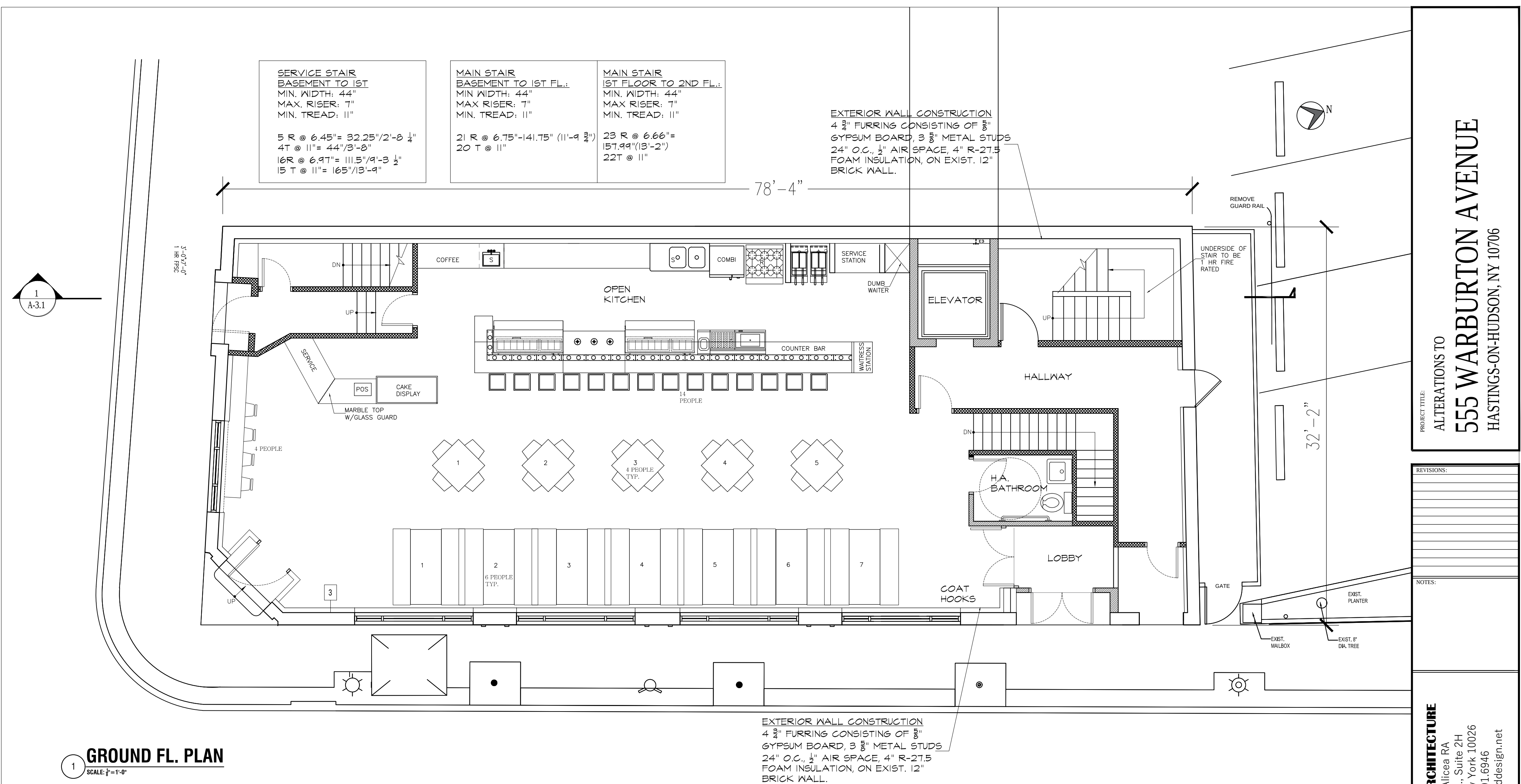
SECTION

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CHECKED BY: W.A.	JOB NUMBER:
DATE: JAN. 17, 2018	PAGE 12 OF 12



Parking Required by Hastings Zoning Code	
PARKING - OFF STREET (295-36)	I space for each employee per shift, plus the greater of I space for each 4 seats or I space for 100 square ft of gross floor area
295-24 A	Buildings, structures and land uses in existence or for which building permits have been approved on the effective date of this chapter shall be subject to the parking or loading space requirements set forth in this chapter. However, any parking and loading facilities now existing to serve such buildings, structures or uses shall not be reduced, except where they exceed such requirements, in which case they shall not be reduced below those requirements. Required parking and loading facilities for the existing portion of such uses shall, however, be provided at the time of any enlargement of such existing building, structures or uses in the future, unless said building, structures or uses are located in the CC District, in which case the provisions set forth in § 295-24 shall apply.

DRAWN BY: R.T.	DRAWING NO.: S-1
CHECKED BY: W.A.	
DATE: JAN.17.2018	JOB NUMBER:
PAGE 3 OF 12	2018-01



GROUND FL. PLAN

SCALE: 1/8" = 1'-0"

NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT

FIRST FLOOR OCCUPANCY CALCULATIONS:

Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants
ASSEMBLY W/O FIXED SEATING (RESTAURANT & BAR) Gross area excludes stairs, elevators, shafts, open storage	15/ NSF	1,831 SF	123 ALLOWED 80 PROVIDED
TOTAL NOS. OF OCCUPANTS =			124

BASEMENT & FIRST FLOOR PLUMBING FIXTURE CALCULATIONS:

RESTAURANT PLUMBING FIXTURES/GROUP A2 OCCUPANCY 45 BASMENT OCCUPANCY + 123@1 ST FLOOR OCCUPANCY = 168 OCCUPANTS				
NYBC REQUIREMENT	WATER CLOSETS	LAVATORIES	SERVICE SINKS	DRINKING FOUNTAIN
MALE WC = 1/75, 168/2=84/75=1.1 67% URINALS =1	1 +1 URINAL	1		
FEMALE WC=1/75 168/2=84/75=1.1	2			
MALE LAVATORIES 1/200 168/2=84/75=1.1		1		
FEMALE LAVATORIES 1/200 168/2=84/75=1.1		1		
SERVICE SINK DRINKING FOUNTAIN 1/500			1	0

EGRESS STAIR CALCUALTIONS

NO. OF EXITS NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:	
1. FOR OCCUPANCY A, MAX. OCCUPANT LOAD IS GREATER THAN 49 2. PATH OF EGRESS TRAVEL EXCEEDS 75'	
FOR FIRST FLOOR OCCUPANCY LOAD IS 123, TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 2 EXIT ARE REQUIRED AND 3 ARE PROVIDED.	
STAIR WIDTH: NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS: 1. STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"	
NYSBC 1011.5.2 STAIR RISER HEIGHT: MAX = 7", MIN = 4" STAIR TREAD WIDTH: MIN.=11"	

LEGEND

PARTITIONS

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW INTERIOR PARTITION (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c.
	NEW INTERIOR PARTITION W/ ACOUSTICAL INSUL. (unless otherwise noted) 5/8" gypsum board, each side of 2 1/2" metal studs 24" o.c., acoustical insulation.
	NEW 1 HR. FIRE RATED WALL 5/8" firecode gypsum board each side of 2 1/2" metal studs 16" o.c.
	EXISTING EXTERIOR WALL w/ NEW FURRING & GYPSUM BD
	EXISTING MASONRY WALL
	EXISTING CONCRETE FOUNDATION WALL

SYMBOLS

	ELEVATION NO.
	ELEVATION SHEET NO.
	ELEVATION, SECTION, OR DETAIL NO.
	SHEET NO.
	DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
	WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

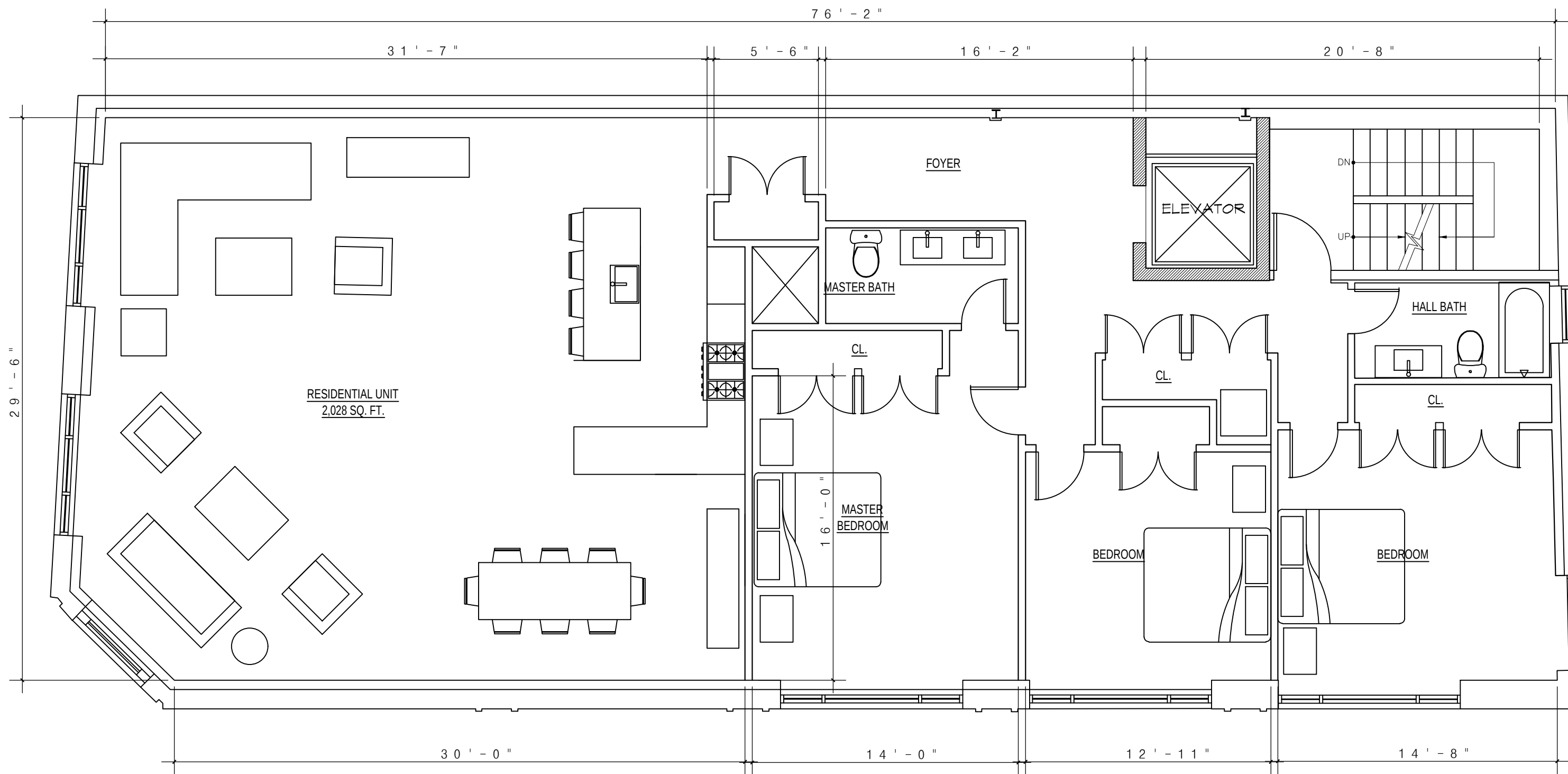
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: wil@aworlddesign.net

Seal: Architect William Alicea



GROUND FL. PLAN

DRAWN BY: R.T.	DRAWING NO.: A-1.2
CHECKED BY: W.A.	JOB NUMBER:
DATE: JAN.17.2018	PAGE 4 OF 12
	2018-01



1 **3RD FL. PLAN**
SCALE: $\frac{1}{8}'' = 1'-0''$

NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT

THIRD FLOOR OCCUPANCY CALCULATIONS:

Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants
RESIDENTIAL-R-3	200/ GSF	2,028 SF	10 ALLOWED 4 PROVIDED

TOTAL NOS. OF OCCUPANTS =

10

3RD FLOOR PLUMBING FIXTURE CALCULATIONS: 2902.1

RESIDENTIAL PLUMBING FIXTURES/GROUP R-3 OCCUPANCY:

10 OCCUPANTS				
NYBC REQUIREMENT	WATER CLOSETS	LAVATORIES	TUBS/SHOWE RS	OTHER
WC	1/DU			
LAVATORIES		1/DU		
TUBS/SHOWER			1/DU	
KITCHEN SINK				1KT.SINK/DU
WASH.MACHINE				1WM/DU

EGRESS STAIR CALCUALTIONS

NO. OF EXITS

NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF:

1. FOR OCCUPANCY R-3, MAX. OCCUPANT LOAD IS GREATER THAN 49
2. PATH OF EGRESS TRAVEL EXCEEDS 75'

FOR THIRD FLOOR OCCUPANCY LOAD IS 10. TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 1 IS PROVIDED.

STAIR WIDTH:

NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS:

1. STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36"

NYSBC 1011.5.2

STAIR RISER HEIGHT: MAX = 7", MIN = 4"

STAIR TREAD WIDTH: MIN.=11"

LEGEND

PARTITIONS

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR PARTITION
(unless otherwise noted)
5/8" gypsum board, each
side of 2 1/2" metal studs 24" o.c.
- NEW INTERIOR PARTITION W/
ACOUSTICAL INSUL.
(unless otherwise noted)
5/8" gypsum board, each side of
2 1/2" metal studs 24" o.c.,
acoustical insulation.
- NEW 1 HR. FIRE RATED WALL
5/8" firecode gypsum board
each side of 2 1/2" metal studs 16"
o.c.
- EXISTING EXTERIOR WALL w/
NEW FURRING & GYPSUM BD
- EXISTING MASONRY WALL
- EXISTING CONCRETE
FOUNDATION WALL

SYMBOLS

- ELEVATION
NO.
ELEVATION
SHEET NO.
- ELEVATION, SECTION,
OR DETAIL NO.
SHEET NO.
- DOOR TYPE
FOR DESCRIPTION, SEE
DOOR SCHEDULE
- WINDOW TYPE
FOR DESCRIPTION, SEE
WINDOW SCHEDULE

PROJECT TITLE:
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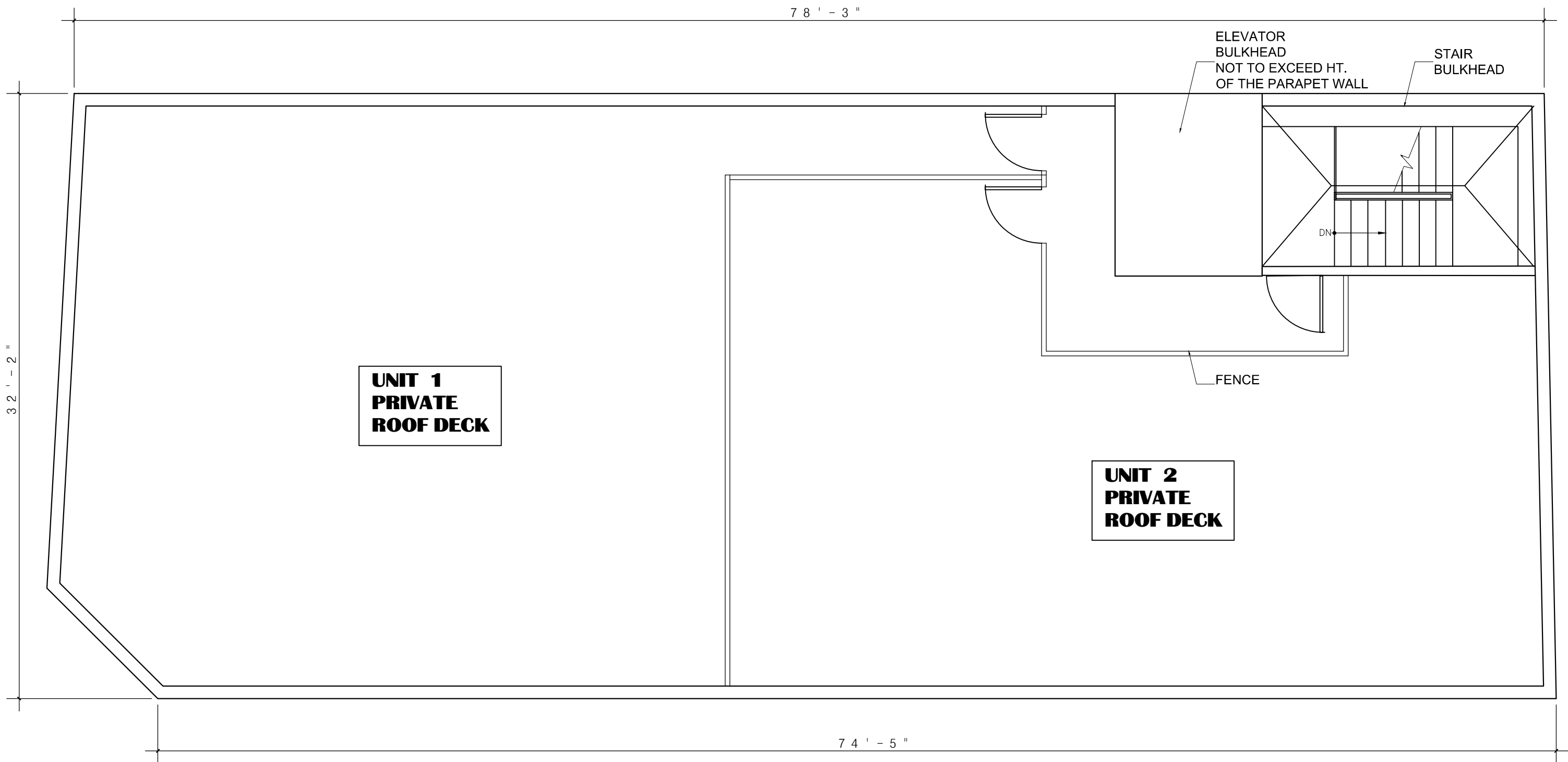
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Seal: Architect William Alicea



3RD FL. PLAN

DRAWN BY: R.T.	DRAWING NO.: A-1.4
CHECKED BY: W.A.	JOB NUMBER:
DATE: JAN.17.2018	2018-01
PAGE: 6 OF 12	



1 **ROOF PLAN**
SCALE: $\frac{1}{8}'' = 1'-0''$

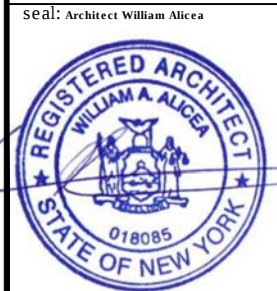
NYS CODE COMPLIANCE: 1004.1.2 MAXIMUM FLOOR AREA ALLOWANCES/OCCUPANT									
ROOF FLOOR OCCUPANCY CALCULATIONS:				ROOF FLOOR PLUMBING FIXTURE CALCULATIONS: 2902.1					EGRESS STAIR CALCUALTIONS
Occupancy Type	NYSBC Occupant/sf	Floor area	No. of occupants	RESIDENTIAL PLUMBING FIXTURES/GROUP R-3 OCCUPANCY: 10 OCCUPANTS					NO. OF EXITS NYSBC 1006.3.2 (2), TWO EXITS OR EXIT ACCESS DOORS REQUIRED IF: 1. FOR OCCUPANCY R-3, MAX. OCCUPANT LOAD IS GREATER THAN 49 2. PATH OF EGRESS TRAVEL EXCEEDS 75' FOR THE ROOF OCCUPANCY LOAD IS 10, TRAVEL DISTANCE IS LESS THAN 75', THEREFORE 1 EXIT IS REQUIRED AND 1 IS PROVIDED. STAIR WIDTH: NYSBC 1011.2 WIDTH OF STAIRWAYS SHALL NOT BE LESS THAN 44", EXCEPTIONS: 1.STAIRWAY SERVING AN OCCUPANCY LOAD OF 50 OR LESS SHALL HAVE A WIDTH OF NOT LESS THAN 36" NYSBC 1011.5.2 STAIR RISER HEIGHT: MAX = 7", MIN = 4" STAIR TREAD WIDTH: MIN.=11"
RESIDENTIAL-R-3	200/ GSF	2,028 SF	10 ALLOWED	NYBC REQUIREMENT	WATER CLOSETS	LAVATORIES	TUBS/SHOWERS	OTHER	
				WC	0/DU				
				LAVATORIES		0/DU			
				TUBS/SHOWER			0/DU		
				KITCHEN SINK				OKT.SINK/DU	
WASH.MACHINE				OWN/DU					
TOTAL NOS. OF OCCUPANTS =			10						

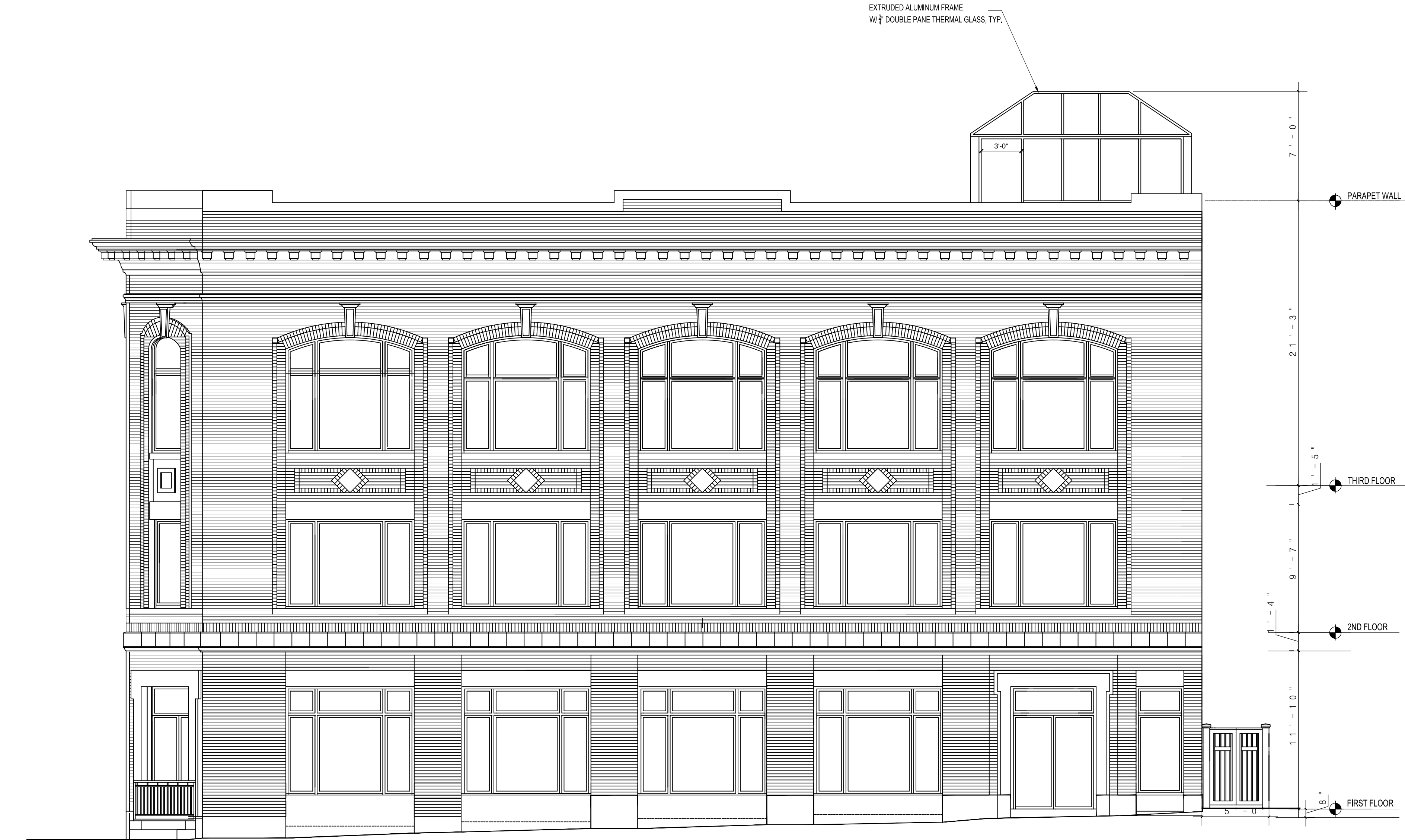
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REVISIONS:

NOTES:

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E.: will@worlddesign.net





1 EAST ELEV. PLAN
SCALE: $\frac{1}{8}'' = 1'-0''$

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HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

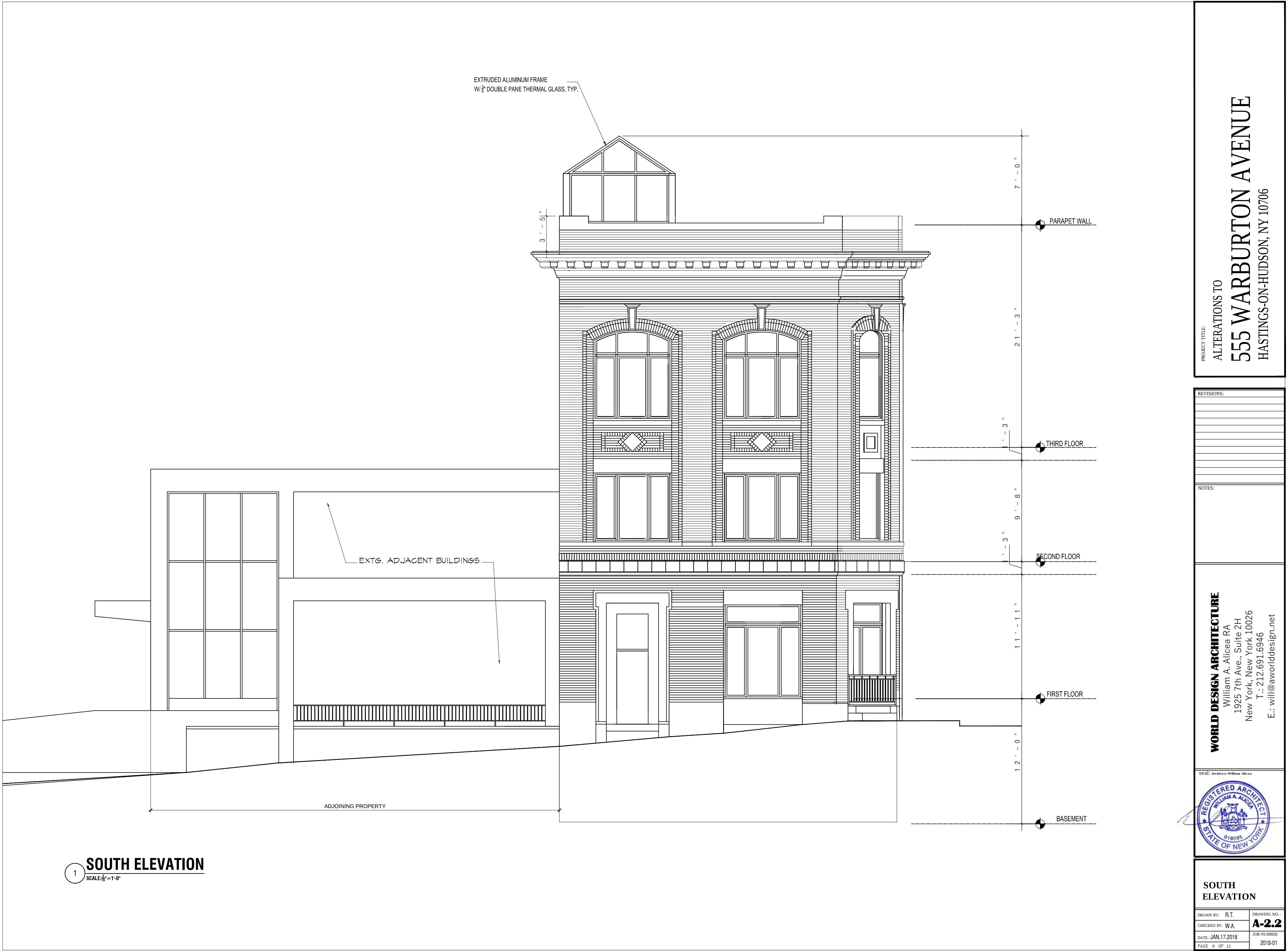
WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net

Seal: Architect William Alicea



EAST ELEVATION

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CHECKED BY: W.A.	JOB NUMBER:
DATE: JAN.17.2018	2018-01
PAGE 8 OF 12	



1 **SOUTH ELEVATION**
SCALE: $\frac{1}{8}'' = 1'-0''$

PROJECT TITLE:
ALTERATIONS TO
555 WARBURTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

REVISIONS:

NOTES:

WORLD DESIGN ARCHITECTURE
William A. Alicea RA
1925 7th Ave., Suite 2H
New York, New York 10026
T.: 212.691.6946
E.: will@aworlddesign.net

Seal: Architect William Alicea

SOUTH ELEVATION

DRAWN BY: R.T.	DRAWING NO.: A-2.2
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PAGE 9 OF 12	