

TOWNHOUSES at 32-34 WASHINGTON AVENUE

HASTINGS-ON-HUDSON, N Y 10706

C H R I S T I N A G R I F F I N A R C H I T E C T

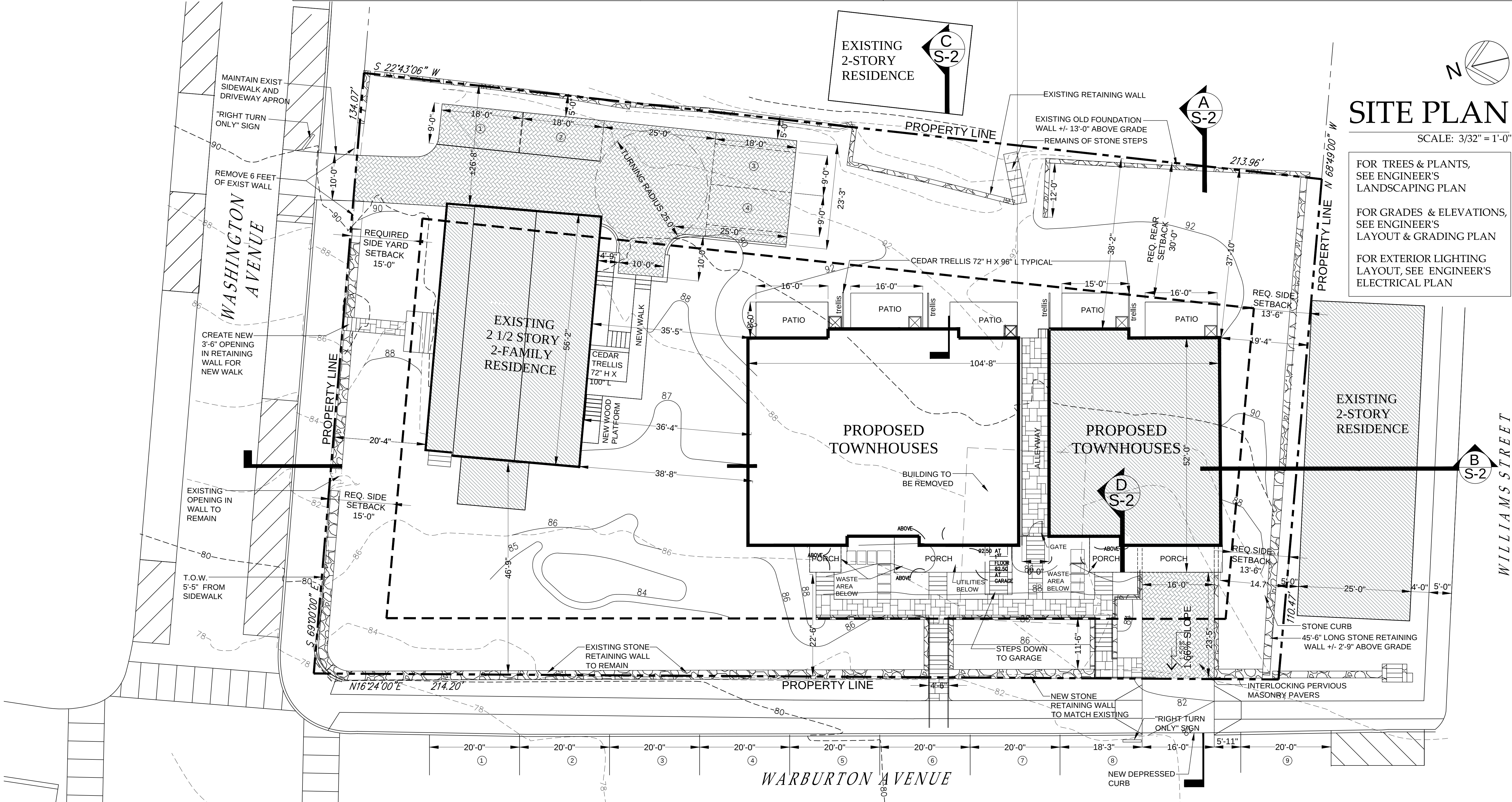
10 Spring Street, Hastings-on-Hudson, NY 10706



ARCITECTURAL REVIEW BOARD SUBMISSION 3-20-17

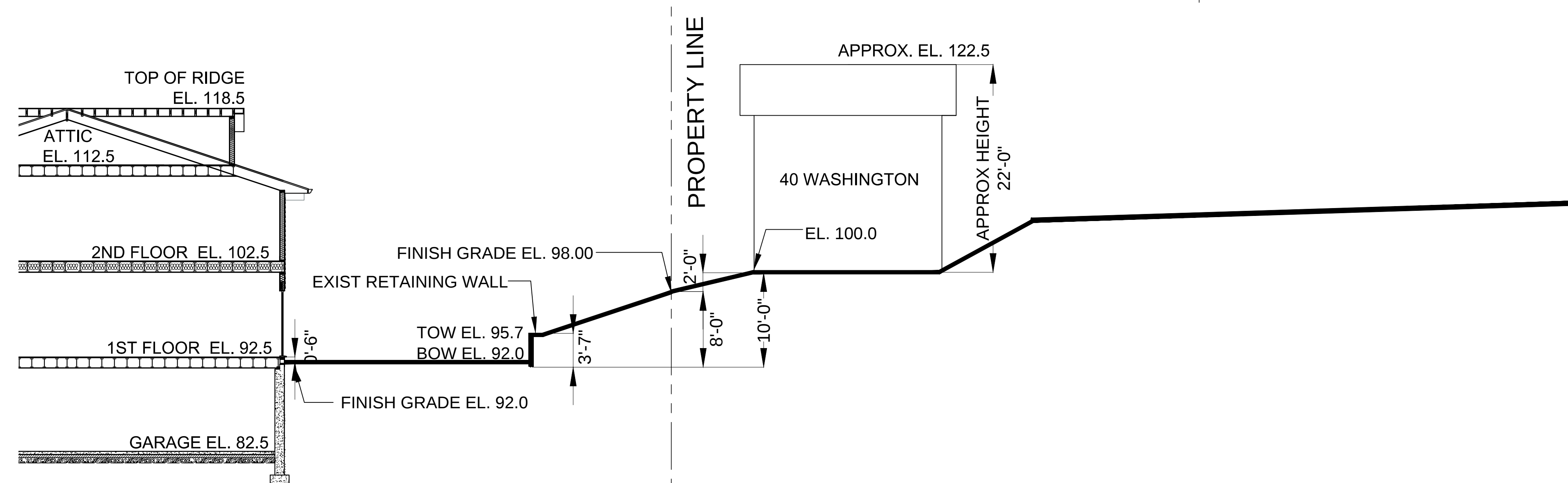
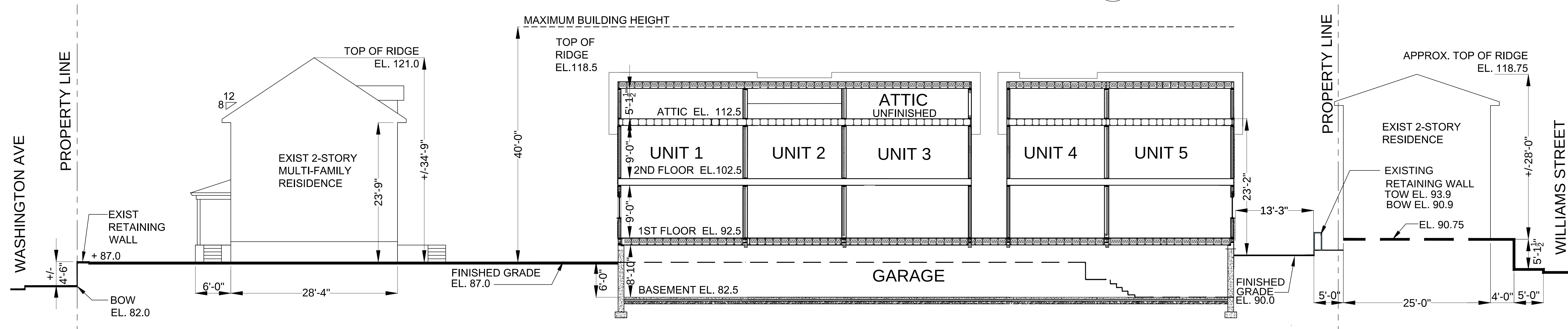
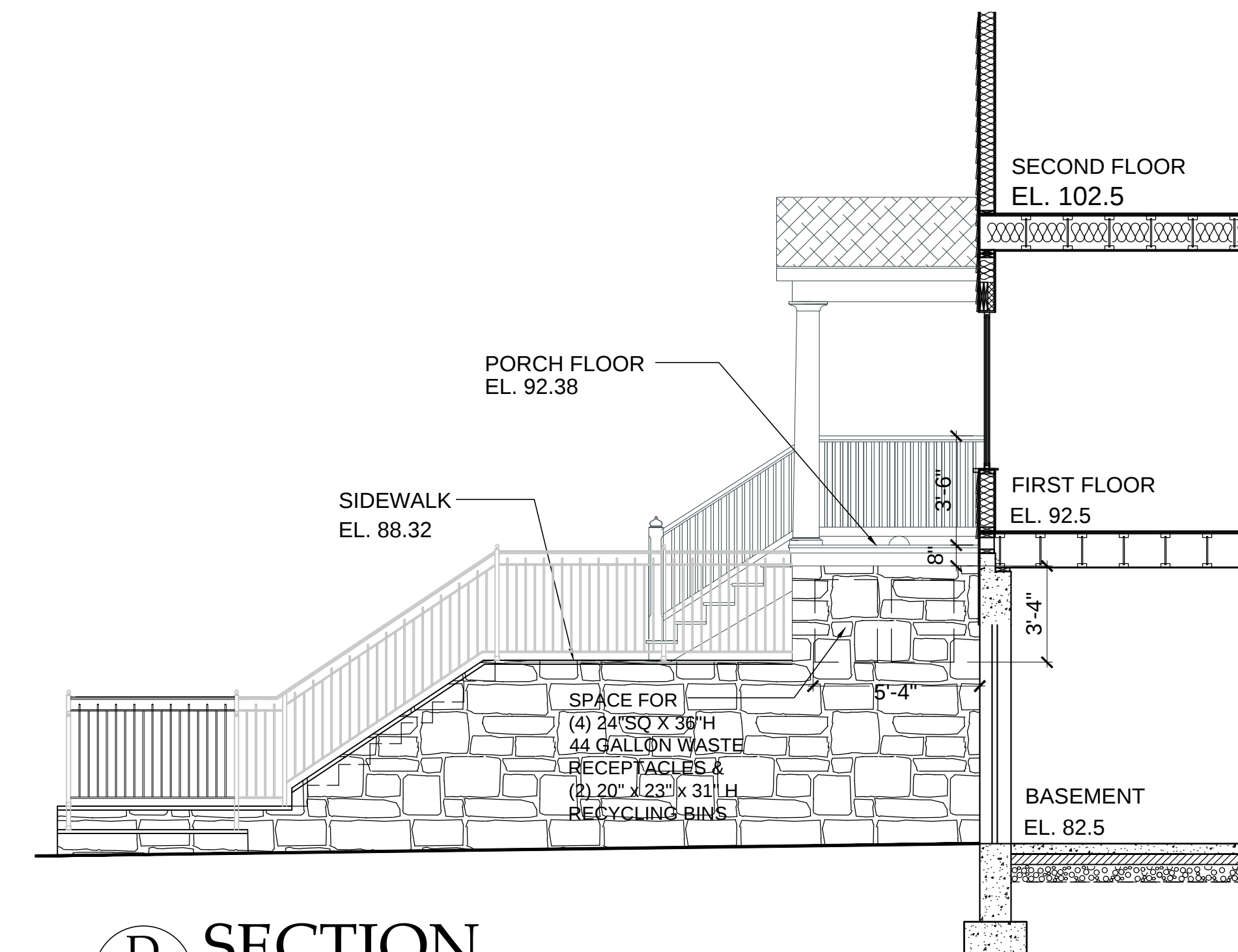
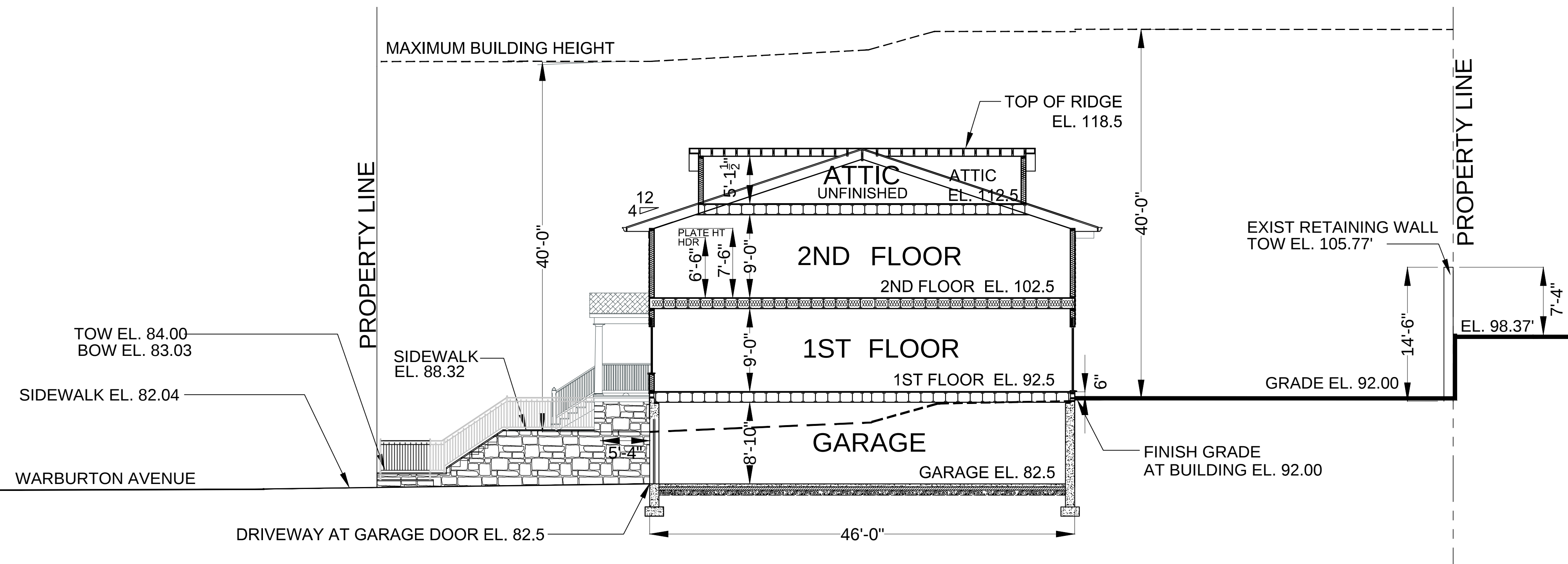
OWNER	ARCHITECT	CIVIL ENGINEER	LIST OF DRAWINGS	DATES
CCI Properties Andrew Cortese, President 52 Cedar Street Dobbs Ferry, NY 10522 914.447.3965 andrew@corteseconstruction.com	Christina Griffin Architect, PC Christina Griffin AIA LEED AP CPHC 10 Spring Street Hastings-on-Hudson, NY 10706 914.478.0799 cg@cghostudio.com	JMC John Meyer Consulting, PC 120 Bedford Road Armonk, NY, 10504 914.273.5225	TITLE SHEET RENDERING OF PROPOSED BUILDING S-1 SITE PLAN S-2 SECTIONS through SITE A-1 BASEMENT PLAN A-2 FIRST FLOOR PLAN A-3 SECOND FLOOR PLAN A-4 ATTIC PLAN A-5 WEST ELEVATION -COLOR SCHEME A-6 WEST ELEVATION A-7 EAST ELEVATION A-8 NORTH & SOUTH ELEVATIONS A-9 NORTH & SOUTH ELEVATION from ALLEYWAY	PRELIMINARY PLANNING BOARD SUBMISSION 2-19-15 PLANNING BOARD SUBMISSION 3-19-15 PLANNING BOARD SUBMISSION 4-15-15 PLANNING BOARD SUBMISSION 5-07-15 PLANNING BOARD SUBMISSION 6-30-15 WESTCHESTER COUNTY PLANNING SUBMISSION 7-28-15 PLANNING BOARD SUBMISSION 8-11-15 PLANNING BOARD SUBMISSION 10-01-15 ZONING BOARD SUBMISSION 1-14-16 ZONING BOARD SUBMISSION 2-10-16 ARB SUBMISSION 3-21-16 ARB SUBMISSION 4-11-16 PLANNING BOARD SUBMISSION 5-05-16 PLANNING BOARD SUBMISSION 6-02-16 ARB SUBMISSION 3-20-17
As-Built drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining Certificate of Occupancy.				

COVERAGE CALCULATIONS		TABLE of ZONING DATA		ZONING DISTRICT: MR 1.5		TAX DESIGNATION: SECTION 4.75, BLOCK 53, LOT 11	
LOT AREA	26,126 SF / 0.60 AC			REQUIRED	EXISTING	PROPOSED	ZONING NOTES
WALLS	686 SF (2.6%)	LOT AREA		1,500 SF / .034 AC	26,126.47 SF / 0.6 AC	26,126.47 SF / 0.6 AC	1. PER ZONING CODE (295-71A), OPEN SPACE IS CALCULATED 200 SQUARE FEET FOR EACH BEDROOM: NEW TOWNHOUSES: (4) 3-BEDROOM UNITS AND (1) 2-BEDROOM UNIT = 14 BEDROOMS X 200 = 2800 SF EXISTING 2-FAMILY HOUSE: 8 BEDROOMS X 200 = 1,600 SF
SIDEWALKS & STEPS INCLUDING 82 SF COMMON WALK & STAIR	1,047 SF (4.0%)	NUMBER OF DWELLING UNITS		TO BE DETERMINED	2	7	
PARKING AREA AT 2-FAMILY HOUSE	755 SF (2.8%)	MINIMUM LOT AREA PER DWELLING UNIT (DENSITY)		1,500 SF PER UNIT	13,063 SF PER UNIT	3,732 SF PER UNIT	
DRIVEWAY (OVER 960 SF) 1,090 SF EXIST DRIVEWAY + 220 NEW TURN-AROUND 380 SF NEW DRIVEWAY = 1690 SF - 960 SF = 730 SF	NOT INCLUDED	MAXIMUM DEVELOPMENT COVERAGE		15% / 1,491 SF	12% / 3,018 SF	39.8% / 10,393 SF VARIANCE REQUIRED	
BUILDING NOT INCLUDING PORCHES	6,591 SF (25.2%) (1,743 SF EXIST. + 4,848 SF NEW)	TOTAL BUILDING COVERAGE (bldg. & porches only)		-	-	27.8% / 7185 SF	2. PER ZONING CODE (295-72E), THE MIN. SIDE YARD IS AT LEAST 12 FEET OR 1/2 OF THE HEIGHT OF THE BUILDING WALL NEAREST THE SIDE LOT LINE, WHICHEVER IS GREATER, PLUS 1 FOOT FOR EACH 10 FEET LENGTH IN EXCESS OF 50 FEET.
PORCHES	690 SF (2.6%) (339 SF EXISTING + 351 SF NEW)	OPEN SPACE		1,600 SF FOR EXISTING 2-FAMILY HOUSE 2,800 SF FOR NEW TOWNHOUSES	20,613 SF	2,135 SF AT EXISTING 2- FAMILY HOUSE, 5,628 SF AT TOWNHOUSES, 7,800 SF COMMON SPACE	
PATIOS	624 SF (2.0%)	MINIMUM LOT WIDTH FRONTAGE		25	134	134	
TOTAL COVERAGE	10,393 SF (39.8%)	MAXIMUM BUILDING LENGTH		160 FT	56.16 FT	56.16 FT AT EXISTING BLDG., 104.6 FT AT NEW BLDG.	
TOTAL BUILDING COVERAGE BUILDING AND PORCHES ONLY	7,185 SF (27.8%)	MAXIMUM BUILDING HEIGHT		3 STORIES / 40 FT	2 1/2 STORIES / 34.75 FT	2 1/2 STORIES / 32.6 FT at NEW BUILDING	3. A BUILDING WALL HEIGHT OF 25 FEET WAS USED TO CALCULATE THE FRONT AND SIDE YARD SETBACK. BASED ON INTERPRETATION PROVIDED BY HASTINGS BUILDING DEPARTMENT, BUILDING WALL HEIGHT IS FROM GRADE TO TOP OF ATTIC FLOOR.
		MAXIMUM DRIVEWAY SLOPE		3%	-	3%	
		MAXIMUM CURB CUT		24.0 FT	10.0 FT	26.0 FT	
		FRONT YARD SETBACK		12.5 FT	36.33 FT	19.33 SF	
		REAR YARD SETBACK		30.0 FT	26.66 FT	26.66 FT at OLD HOUSE, 37.83 FT at NEW BUILDING	
		SIDE ONE		13.5 FT	159.00 FT	14.70 FT	
		SIDE TWO		15.0 FT	20.33 FT	20.33 FT	
		TOTAL OF TWO SIDES		27.5 FT	179.33 FT	35.03 FT	
		FRONT PARKING SETBACK		10 FT	-	-	
		REAR PARKING SETBACK		5 FT	+/- 2 FT	5 FT	
		SIDE PARKING SETBACK		5 FT	0 FT	0 FT	
		PARKING SUMMARY - TOTAL SPACES PROVIDED		4 SPACES	+/- 2 SPACES	14 SPACES	



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HASTINGS-ON-HUDSON, NY 10706

Drawing Title SITE PLAN	CHRISTINA GRIFFIN ARCHITECT PC	
	10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 tel 914.478.0806 fax www.christinagriffinarchitect.com	
	DATE	DESCRIPTION
	2010.16	ZBA RE-SUBMISSION
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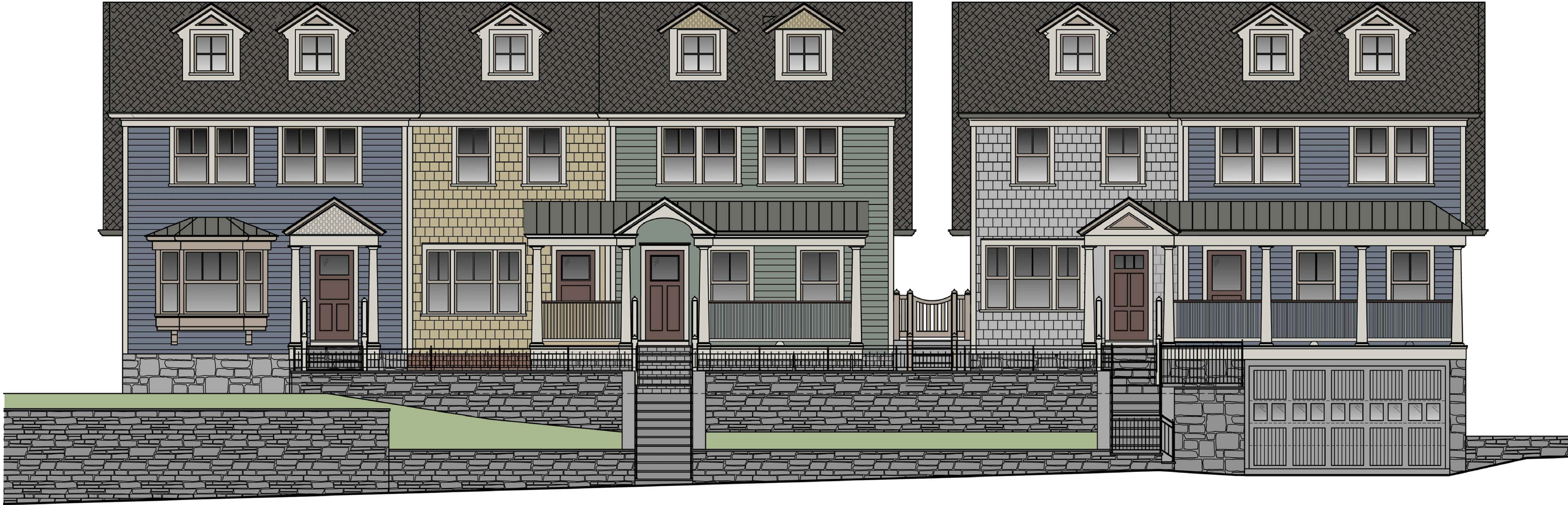
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Date		ZBA RE-SUBMISSION	2-10-16
	PLANNING BOARD PRE-SUBMISSION		
	PLANNING BOARD SUBMISSION	2-11-15	
	PLANNING BOARD SUBMISSION	3-11-15	
	PLANNING BOARD SUBMISSION	5-07-15	
	PLANNING BOARD SUBMISSION	5-19-15	
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	ARB SUBMISSION	2-21-16	
	ARB SUBMISSION	3-13-16	
	PLANNING BOARD SUBMISSION	4-11-16	
	PLANNING BOARD SUB	5-5-16	
	PLANNING BOARD SUB	6-02-16	
	ARB SUBMISSION	5-20-17	

Drawing Title
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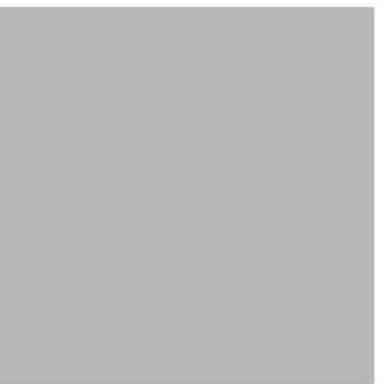
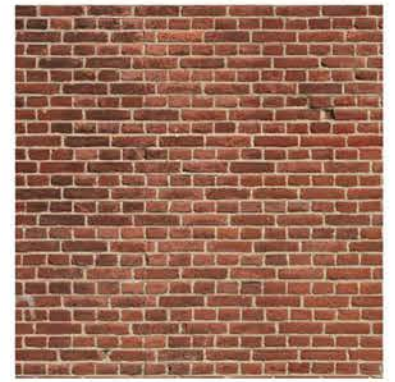
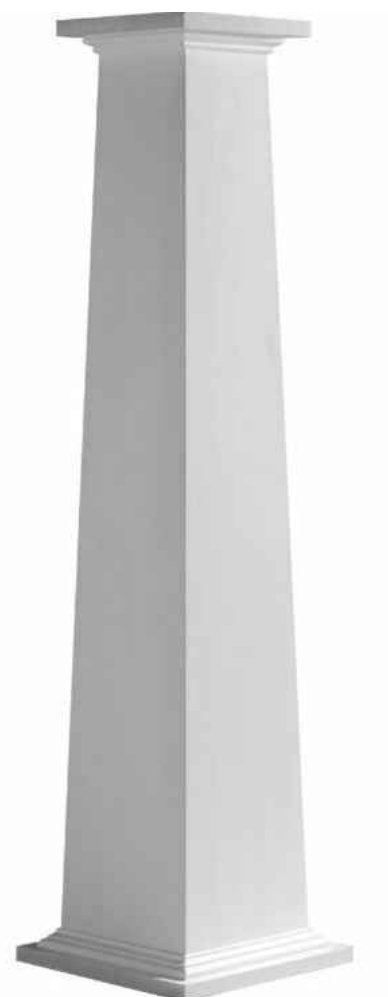
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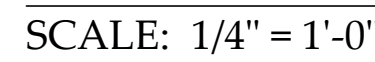
WEST ELEVATION COLOR SCHEME

SCALE: N.T.S.

												
HARDIPLANK CLAPBOARD SMOOTH Boothbay Blue	HARDIPLANK SHINGLES STRAIGHT EDGE PANEL Evening Blue	HARDIPLANK CLAPBOARD SMOOTH Heathered Moss	HARDIPLANK SHINGLES STRAIGHT EDGE PANEL Mountain Sage	HARDIPLANK STRAIGHT EDGE PANEL SHINGLES Pearl Grey	HARDIPLANK SHINGLES STRAIGHT EDGE PANEL Woodland Cream	FRONT DOORS Mahogany	BLUESTONE Steps & Walk	ANDERSEN WINDOW CLAD Sandstone	ANDERSEN WINDOW CLAD Terratone	TRIM Benjamin Moore Willow Creek #1468	TRIM Benjamin Moore Light Pewter #1464	GARAGE DOOR Benjamin Moore
												
RED BRICK	GREY BRICK	RETAINING WALLS STONE COLOR, PATTERN, TEXTURE & MORTAR OF NEW RETAINING WALLS TO MATCH EXISTING	DRIVEWAY PAVERS	ENGERT Metal Roof Slate Grey	CERTAINTEED SHINGLES Driftwood	CERTAINTEED SHINGLES Weathered Wood	CERTAINTEED SHINGLES Country Grey	SQUARE TAPERED COLUMN SCALE: N.T.S.		BLACK PAINTED STEEL RAILING See Elevations SCALE: N.T.S.		

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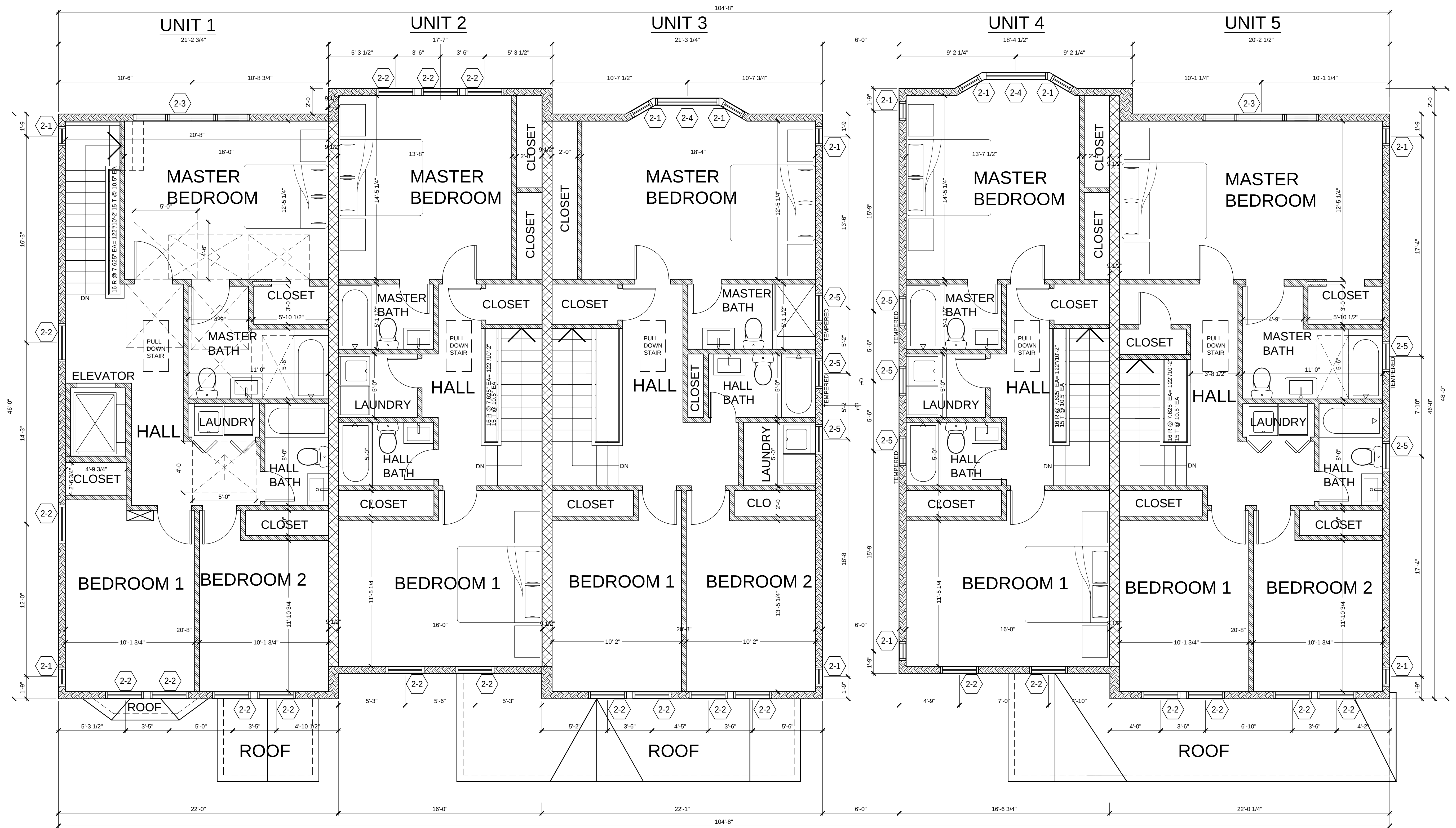
Drawing Title COLOR SCHEME SITE DETAILS	ZBA PRE-SUBMISSION	2-10-16
	ARB SUBMISSION	3-21-16
	ARB SUBMISSION	4-11-16
	PLANNING BOARD SUBMISSION	4-11-16
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Date	Drawing Title	Scale
	1ST FLOOR PLAN	
	PLANNING DIS. SUBMISSION	2-1-15
	PLANNING BOARD SUBMISSION	4-15-15
	PLANNING BOARD SUBMISSION	4-15-15
	PLANNING BOARD SUBMISSION	5-07-15
	PLANNING BOARD SUBMISSION	7-14-15
	WESTCHESTER CITY PLANNING SUB	7-28-15
	PLANNING BOARD SUB	8-11-15
	PLANNING BOARD SUB	10-12-15
	70A RE SUBMISSION	2-10-16
	ARB SUBMISSION	3-21-16
	ARB SUBMISSION	4-11-16
	PLANNING BOARD SUB	4-11-16
	PLANNING BOARD SUB	6-02-16
	ARB SUBMISSION	3-20-17



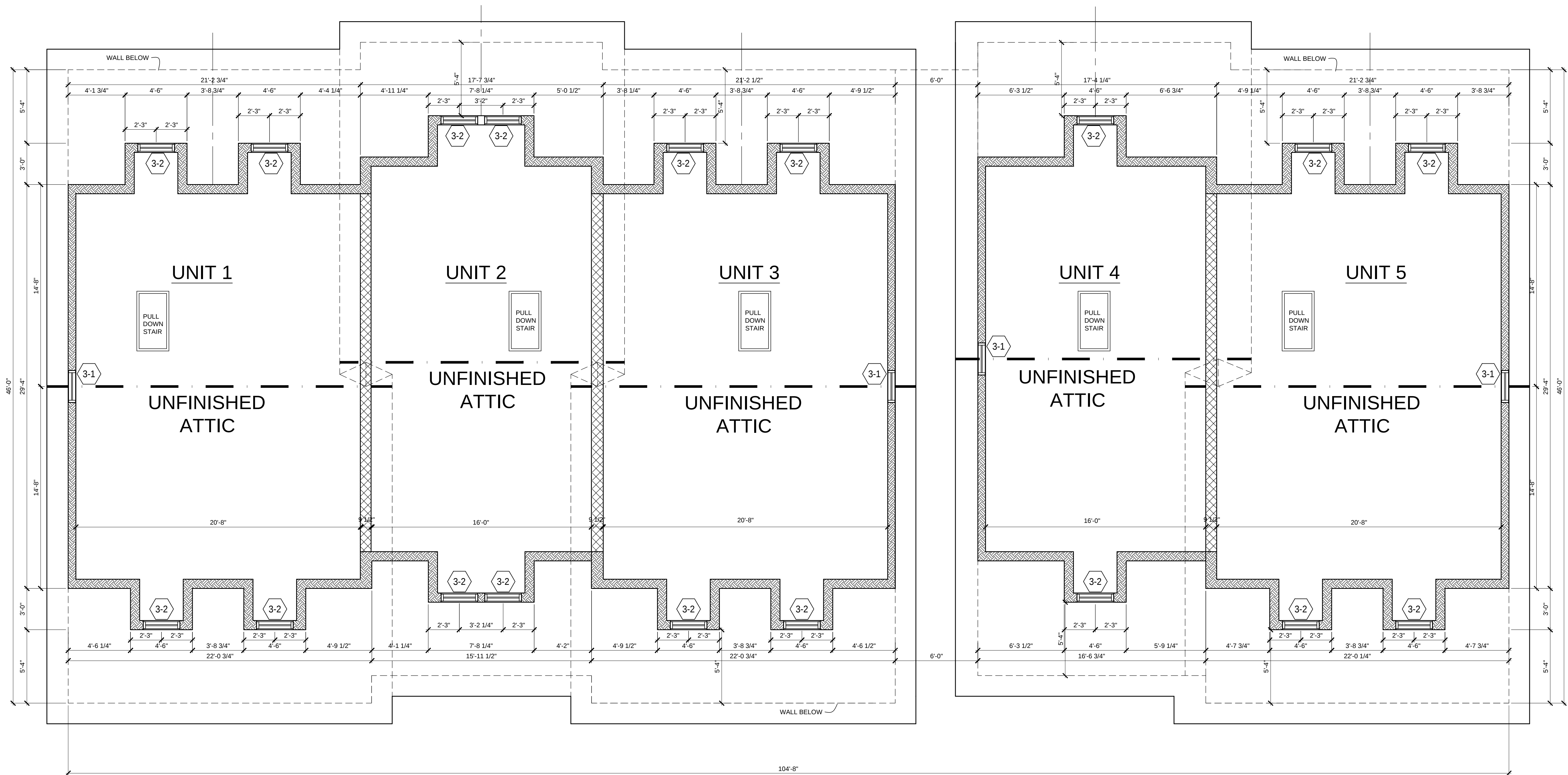
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

TOWNHOUSES at
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

Drawing Title 2ND FLOOR PLAN	Scale: AS SHOWN	CHRISTINA GRIFFIN ARCHITECT PC	
		10 Spring Street Hastings-on-Hudson, New York 10706 914.478.0799 tel 914.478.0806 fax www.christinagriffinarchitect.com	
Date: PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION PLANNING BOARD SUBMISSION ZBA SUBMISSION	2-1-15 3-14-15 4-15-15 5-07-15 5-07-15 5-07-15 5-07-15 5-07-15 5-07-15 5-07-15	ZBA RE-SUBMISSION 2-10-16	
		ARB SUBMISSION 3-21-16	
		ARB SUBMISSION 4-11-16	
		PLANNING BOARD SUBMISSION 4-11-16	
		PLANNING BOARD SUB 6-02-16	
		PLANNING BOARD SUB 6-02-16	
		ARB SUBMISSION 3-20-17	
		ARB SUBMISSION 3-20-17	
		ARB SUBMISSION 3-20-17	
		ARB SUBMISSION 3-20-17	

A-3



ATTIC PLAN

SCALE: 1/4" = 1'-0"

TOWNHOUSES at
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Date	Drawing Title	Revision
2-1-15	PLANNING BOARD PRE-SUBMISSION	2-1-15
3-18-15	PLANNING BOARD SUBMISSION	3-18-15
4-1-15	PLANNING BOARD SUBMISSION	4-1-15
5-20-15	PLANNING BOARD SUBMISSION	5-20-15
6-30-15	PLANNING BOARD SUBMISSION	6-30-15
7-14-15	PLANNING BOARD SUBMISSION	7-14-15
8-11-15	PLANNING BOARD SUBMISSION	8-11-15
10-12-15	PLANNING BOARD SUBMISSION	10-12-15
1-14-16	ZBA SUBMISSION	1-14-16

AS SHOWN

A-4

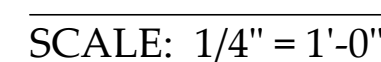
CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

		ZBA PRE-SUBMISSION	2-10-16
		ARB SUBMISSION	3-21-16
		ARB SUBMISSION	4-11-16
		PLANNING BOARD SUBMISSION	4-11-16
		PLANNING BOARD SUBMISSION	5-18-16
		PLANNING BOARD SUB	6-02-16
		ARB SUBMISSION	3-20-17
		PLANNING BD PRE-SUBMISSION	2-1-15
		PLANNING BOARD SUBMISSION	3-9-15
		PLANNING BOARD SUBMISSION	4-15-15
		PLANNING BOARD SUBMISSION	5-07-15
		PLANNING BOARD SUBMISSION	7-14-15
		WESTCHESTER CITY PLANNING SUB	7-28-15
		PLANNING BOARD SUBMISSION	8-11-15
		PLANNING BOARD SUB	10-12-15

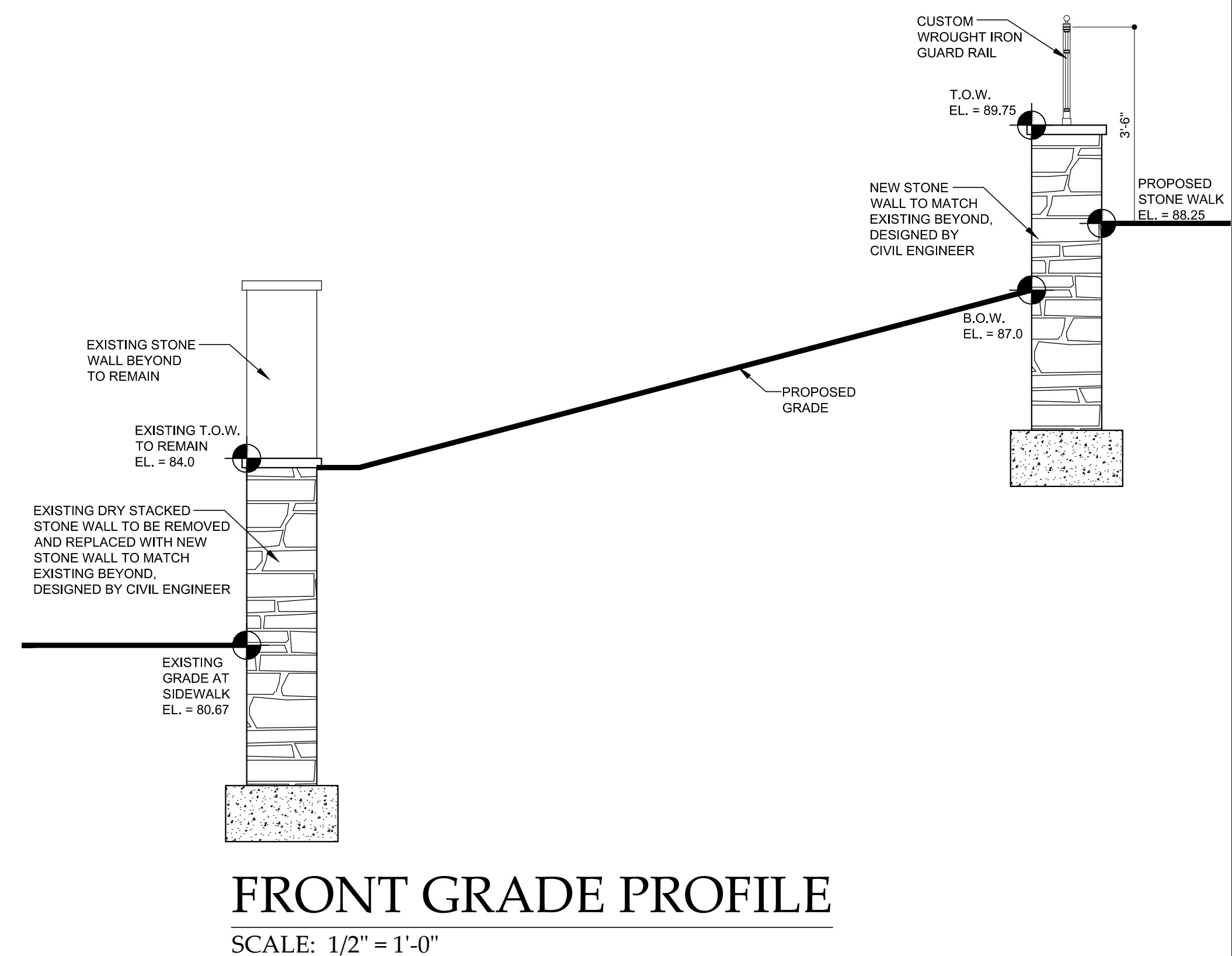
Drawing Title
**WEST
ELEVATION**

Scale:
AS SHOWN

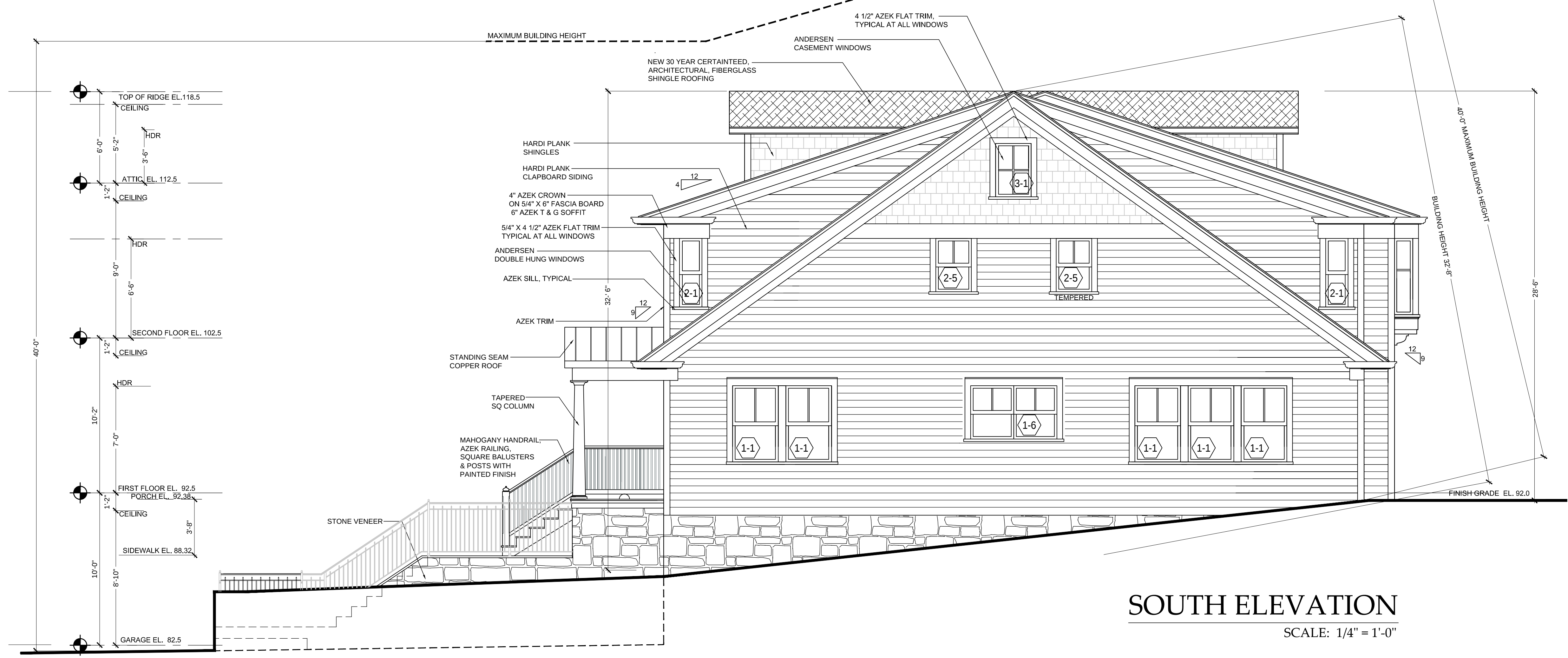
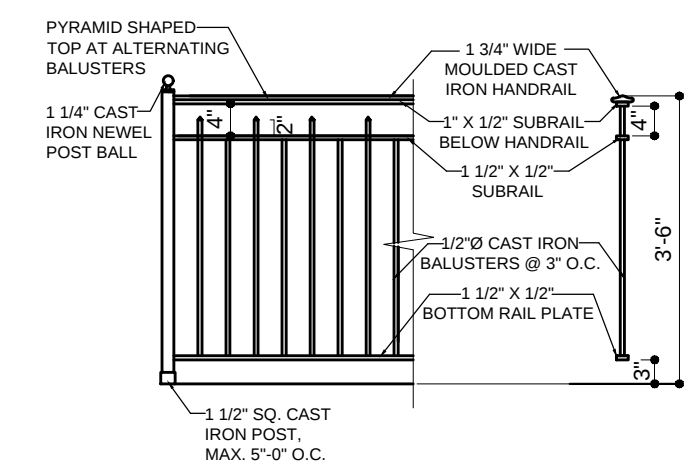
A-5



SCALE: 1/4" = 1'-0"



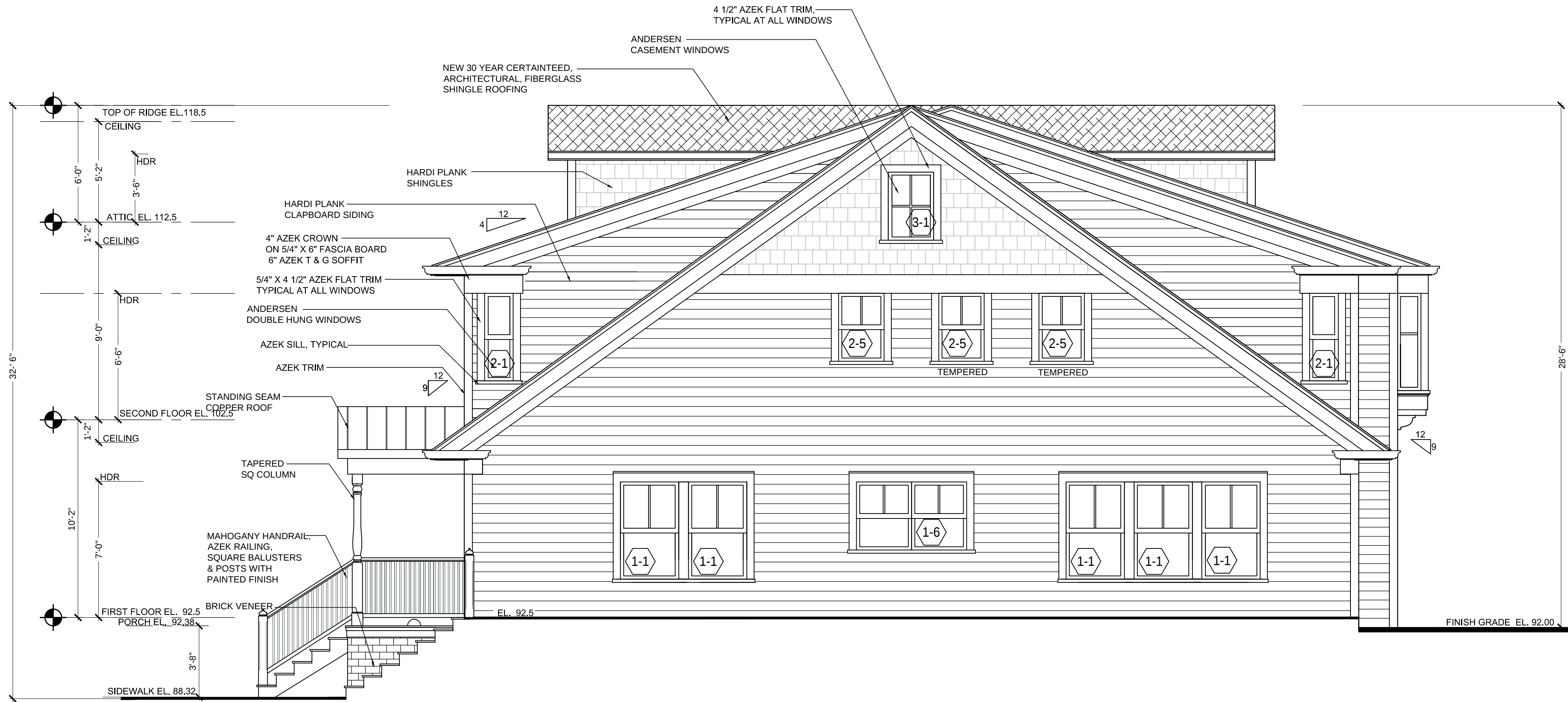
TOWNHOUSES at
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY 10706



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Drawing Title	WEST ELEVATION SCHEME B	Date	PLANNING BOARD SUBMISSION	2-14-15	ZBA PER SUBMISSION	2-10-16	PC
			PLANNING BOARD SUBMISSION	2-13-15	ZBA SUBMISSION	3-21-16	
			PLANNING BOARD SUBMISSION	4-15-15	ARB SUBMISSION	4-11-16	
			PLANNING BOARD SUBMISSION	5-07-15	PLANNING BOARD SUBMISSION	4-11-16	
			PLANNING BOARD SUBMISSION	7-14-15	PLANNING BOARD SUB	6-02-16	
			PLANNING BOARD SUBMISSION	7-14-15	PLANNING BOARD SUB	6-02-16	
			WESTCHESTER CITY PLANNING SUB	7-28-15	ARB SUBMISSION	3-20-17	
			PLANNING BOARD SUBMISSION	8-11-15			
Scale:			AS SHOWN				
			ZBA SUBMISSION	1-14-16			



SOUTH ELEVATION
as seen from ALLEYWAY
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
as seen from ALLEYWAY
SCALE: 1/4" = 1'-0"

March 22, 2017

Members of the Hastings Architectural Review Board
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re: Townhouses at 32-34 Washington Avenue
Revised Documents for review by the Architectural Review Board

Dear Members of the Architectural Review Board:

As the Architect for the proposed townhouses at 32-34 Washington Avenue, I am submitting an the following revised documents for your review:

Title Sheet, dated 3-20-17
S-1 Site Plan, dated 3-20-17
S-2 Sections through the Site, dated 3-20-17
S-3 Color Scheme, Material Details, dated 3-20-17
A-1-A-4 Basement, First Floor, Second Floor and Attic Floor Plans, dated 3-20-17
A-5 West Elevation, dated 3-20-17
A-6 East Elevation, dated 3-20-17
A-7 North & South Elevations, Railing Detail dated 3-20-17
A-8 North & South Elevations as Seen from Alleyway, dated 3-20-17
C-2 Grading Engineer's Plan

On July 11, 2016, the Architectural Review Board approved on condition the following changes be made:

- Guard rails at retaining walls and along walkway.
- Coordinate Engineering and Architectural Drawings and resubmit railing and wall details.
- The columns notes show square tapered columns, see details on S-3
- Accent path lights to be located in the walls and steps, see attached lighting Specifications.
- Notes have been added to show new stone wall to match existing, see Site Plan & S-3

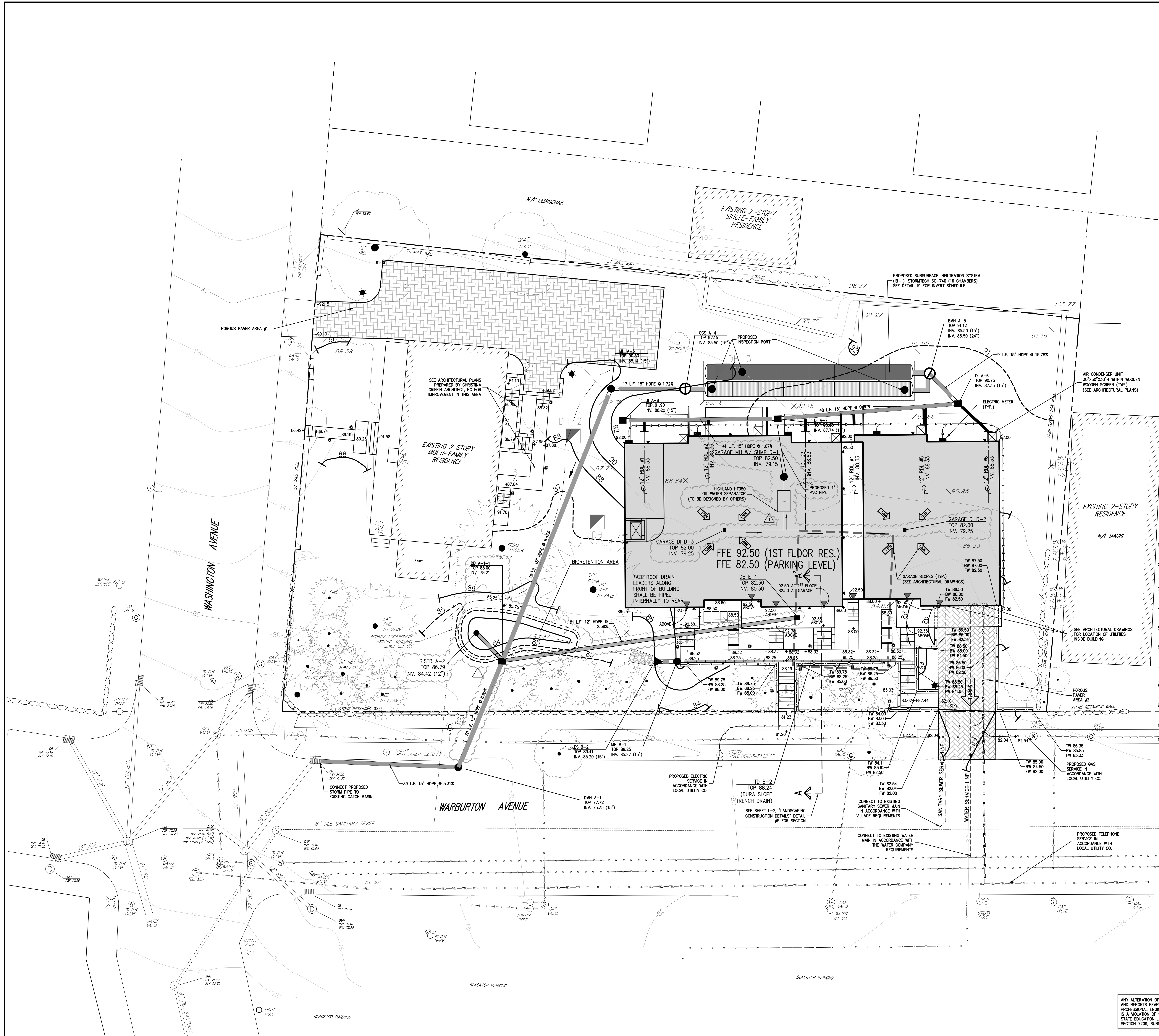
I look forward to presenting the revised drawings at the April 3, 2017 Architectural Review Board meeting. Thank you for your time and effort to review our proposal.

Sincerely,



Christina Griffin AIA LEED AP CPHC

cc: Andrew Cortese, President of CCI Properties



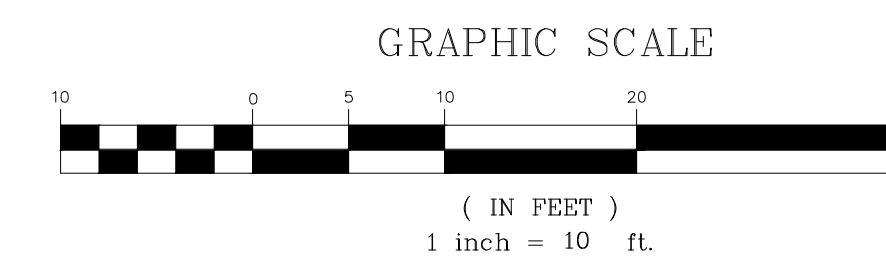
LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING FENCE
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED CONCRETE CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED POROUS PAVERS
- PROPOSED FINISHED GRADE
- PROPOSED SPOT GRADE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED TYPE DB DRAIN INLET
- PROPOSED STORM DRAIN LINE & SIZE
- PROPOSED SANITARY SEWER LINE & SIZE
- PROPOSED WATER LINE & SIZE
- PROPOSED GAS LINE
- PROPOSED TELEPHONE & GAS LINE
- PROPOSED WATER VALVE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- TRENCH DRAIN
- PERCOLATION TEST LOCATION
- OUTLET CONTROL STRUCTURE
- SWALE CENTERLINE
- ROOF DRAIN LEADER

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC SURVEY", PREPARED BY WARD CARPENTER ENGINEERS, INC., DATED APRIL 23, 2015.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-UNITED DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNDESIRABLE SITUATION AND EROSION OF DISTURBED SOILS.
 - "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
 - THE RESTORATION WORK FOR THE ROADWAY AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE HIGHWAY DEPARTMENT.
 - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "SOIL INFILTRATION TEST DATA", DATED 09/09/2015, PREPARED BY CCJ PROPERTIES.
 - APPROXIMATELY 1,300 CUBIC YARDS OF MATERIAL IS TO BE REMOVED FROM THE SITE.
 - ALL ROOF DRAIN LEADERS ALONG FRONT OF BUILDING SHALL BE PIPED INTERNALLY TO REAR.

RETAINING WALL SPOT GRADE LEGEND

(PROPOSED GRADE) BW TW
FW (PROPOSED GRADE)



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52 CEDAR STREET
DOBBS FERRY, NY 10522

CHRISTINA GRIFFIN ARCHITECT, PC
10 SPRING STREET
HASTINGS-ON-HUDSON, NY 10706

JMC
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
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120 BEDFORD ROAD - ARMONK, NY 10504
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www.jmcplc.com

GRADING & UTILITIES PLAN
TOWNHOUSES AT 32-34
WASHINGTON AVENUE
32-34 WASHINGTON AVENUE
HASTINGS-ON-HUDSON, NY

NOT FOR CONSTRUCTION

C-2

DATE	REVISION
07/27/2015	ED
08/11/2015	RR
10/01/2015	ED
10/01/2015	ED
10/15/2015	ED
09/03/2016	ED
09/03/2016	ED
09/03/2016	ED
09/03/2016	ED
09/03/2016	ED