

HASTINGS-ON-HUDSON ARCHITECTURAL REVIEW BOARD APPLICATION AND CHECKLIST



The ARB normally meets on the 1st Monday of every month at 8:00 P.M. Please complete and submit this application along with the appropriate fee, as per the Building Department fee schedule, and all the required supporting material -- three (3) copies for residential projects or eight (8) copies for commercial projects, plus a flash drive that contains the entire submission, including the application -- to the Building Department, no later than two weeks before the date of the meeting.

Applicant's Name: Brian Korb (21 Ridge LLC)		Date: 5/18/20
Tel. 917-453-6465	Fax:	E-mail: brikorb@gmail.com
Property Owner's Name: Same as applicant		Property Address: 21 Ridge St
Brief Project Description:	Full exterior renovation of 4 family house with new doors and windows, new Juliet balconies, new siding, and new exterior stairs.	

✓ Check off completed items:

The following items are required with every application:			
1	<input checked="" type="checkbox"/>	DRAWINGS:	
	<input checked="" type="checkbox"/>	Elevations and/or photographs with dimensions that show how the proposed elements relate to each other and to the building façade, and to adjacent facades. Identify proposed materials and colors, windows, doors, and light fixtures, if applicable. Provide details of all structures such as awnings and canopies, if applicable.	
2	<input checked="" type="checkbox"/>	PHOTOS:	
	<input checked="" type="checkbox"/>	Photographs of the property/building.	
	<input checked="" type="checkbox"/>	Photographs of architectural details, existing lighting, etc.	
	<input checked="" type="checkbox"/>	Photographs (full views) of all adjacent properties.	
3	<input checked="" type="checkbox"/>	SAMPLES of all materials related to the project. For example:	
	<input checked="" type="checkbox"/>	Awning fabric	Lighting cut sheets
	<input checked="" type="checkbox"/>	Paint chips	Siding samples
	<input checked="" type="checkbox"/>	Window and door cut sheets	Brick and stucco samples
	<input checked="" type="checkbox"/>	Other	Other
The following additional items may be required by the Building Inspector or the ARB.			
4	<input checked="" type="checkbox"/>	ARCHITECTURAL PLANS:	
	<input checked="" type="checkbox"/>	Including layouts at the street wall, and sidewalks, curbs, and street amenities, if applicable.	
	<input checked="" type="checkbox"/>	Wall sections and architectural details	
	<input checked="" type="checkbox"/>	Equipment (including roof equipment, A/C, refuse containers, etc.) if applicable	

APPLICANT MUST ATTEND ARB MEETING.

Please feel free to provide any brochures, models, photographs, renderings or other visual aids, or any additional information that might clarify your proposed project and assist in your presentation. No changes to the form, design, color, or materials of a project will be permitted after the Architectural Review Board has approved it.

Brian J. Korb
Applicant Signature/Date

5/18/20

PROPOSED ALTERATION

AT: 21 RIDGE STREET HASTINGS-ON-HUDSON, NY

GENERAL NOTES

All work shall comply with the strictest requirements of the 2015 IBC and all applicable codes whether specifically stated or not.
All work shall conform with the strictest interpretation of State and Local codes, laws, rules and regulations of all authorities having jurisdiction over the project, whether specifically shown, or not.

Where the contract, construction notes or drawings call for any work of a more stringent nature than that required by code or any other department having jurisdiction over the work, the work of the more stringent nature called for by the contract, construction notes or drawings shall be furnished.

The Contractor shall visit the site prior to submitting a bid. The Contractor will be responsible for the verification of all dimensions and conditions. All discrepancies shall be brought to the attention of the Architect before proceeding.

All drawings and notes are complementary, and what is called for by either will be binding as if called for by all. Any work shown or referred to on any one set of drawings shall be provided as though shown on all related drawings.

The drawings are not to be scaled at any time. Only written dimensions and notes are to be used. All dimensions are given to finishes. All dimensional discrepancies shall be immediately brought to the attention of the Architect. All dimensions shall be verified before starting work by the respective Contractor, who shall be held responsible for his phase of the work.

All "Plus-Minus" dimensions are provided in situations where existing conditions exist. Such dimensions shall be verified in the field by the Contractor.

All work listed on the construction notes sheets and shown or implied on all drawings shall be supplied and installed by the Contractor, unless otherwise noted.

The Contractor shall notify the Architect in writing immediately if he cannot comply with all notes contained within the Contract Documents.

The Contractor shall notify the Architect in writing immediately of any discrepancies between the drawings, the notes and field conditions before commencing any work to request clarification.

The Contractor shall be responsible for all damage to existing property as a result of his work, his workmanship and subcontractors. The Contractor shall provide adequate protection for his work, and shall be responsible for the same. The Contractor shall restore to original condition and existing element damaged as a result of his work.

Where a product is specified by a particular manufacturer, the Contractor shall furnish and install the product in accordance with the strictest specifications set forth by the manufacturer's best standards.

The General Conditions of the contract for construction of Buildings, the Standard form of the American Institute of Architects (AIA), latest edition of Form A-201, inclusive as it pertains to this project, are part of these Contract Documents.

Work included in this contract shall be all labor, material and equipment required to complete the proposed construction as shown or implied in the Contract Documents. Work included in this contract shall be according to the true intent of these drawings and shall be first class in all respects.

The Contractor is responsible for dimensions to be confirmed and correlated at the job site and for information that pertains to the fabrication process, and/or to techniques for construction and coordination of the work of all trades.

The Architect shall be the sole judge as to the adequacy of any work performed. The Architect shall have the right to order the removal of defective work and material, and its replacement without any additional cost to the Owner.

All work to comply with governing State and Local Building Codes.

All plumbing to comply with governing State and Local Plumbing Codes.

All Electrical work to comply with governing National and Local Electrical Codes.

The Contractor shall assume full responsibility for the confirmation of actual field dimensions as they pertain to the fabrication and installation of any materials and/or equipment requiring such.

The General Contractor shall exercise strict control over job cleaning to prevent any debris, dust or dirt from leaving the job site and adjacent finished areas.

The Contractor shall properly protect all adjoining property or work or work and any damage to the same caused by his work or workmen must be made good without delay. Patching and and replacing or damaged work shall be done by the contractor who is responsible for the damage.

The Contractor shall provide all necessary protection for his work until it is turned over to the Owner.

The Construction Drawings and/or notes are supplied to illustrate the design and general type of construction desired and are intended to imply the finest quality construction materials and craftsmanship throughout.

The Contractor, upon acceptance of these drawings, assumes full responsibility for the construction, materials and workmanship of the of the work described in these notes and drawings, and he will be expected to comply with the spirit, as well as with the letter in which they were written and drawn.

Controlled tests required by those having jurisdiction over the project shall be executed and paid for by the Contractor.

Demolition.

The general contractor shall furnish all labor and materials as required to complete demolition and removal of all items indicated on the architectural drawings as required to perform all contract work, or as otherwise directed by architect, inc.

The contractor is to occupy himself with actual conditions at locations where alterations occur at the existing building, when walls, partitions and other work exists, where new work is indicated, all such existing work shall be removed, verify all such conditions at the site.

The contractor shall report to the architect any and all conditions which may interfere with or otherwise affect or prevent the proper execution and completion of the work of this contract. The general contractor shall execute all work within the regulations of the building for demolition and removal of debris including overtime work required.

The general contractor shall at all times protect the property of the building owner, including but not limited to windows, floor and ceiling tile, public toilets, elevators, doors, bucks, electrical, air-conditioning equipment, peripheral enclosures, etc. (a temporary filter shall be installed on the return air duct above hung ceiling during demolition phase.)

The general contractor shall erect all necessary temporary solid or drop cloth/plastic partitions to protect finished areas while demolition and/or construction is in progress, care and attention shall be paid by the general contractor so as to insure that no damage takes place to the surrounding job site installations.

The general contractor shall survey all existing finished surfaces to include corner beads, stops, etc. For chips, cracks, holes, damaged surfaces, marble waterseal and plaster ceiling wherever door bucks have been removed, and any other defects causing an appearance different from a new first class finished installation. These defective surfaces shall be repaired or if beyond repairing, then the general contractor shall remove all existing and install new surfaces to the satisfaction of the tenant and architect.

The general contractor shall inspect all existing surfaces and where, as a result of demolition, finished surfaces do not align, the existing finish shall be chipped away, new corner beads and stops installed and resurfaced smooth, flush, aligned surface.

All damaged existing areas to remain and existing areas affected by demolition or new construction work shown on drawings shall be patched as required to match immediate existing adjacent areas in material, fire rating, finish and color, unless otherwise noted.

All defective plaster and/or finished surfaces on columns and existing walls shall be chipped out and/or patched free of all irregularities and shall match adjacent walls in finish and thickness.

All work demolished shall be removed from the premises except items to be reused or returned to the client or as otherwise directed.

In all areas where demolition (removal of tile, carpeting, tackless, partitions, etc.) causes an unevenness in slab, the contractor shall patch to level the slab to receive new finished flooring.

All exposed light fixtures, wiring switches, and metal molding not being reused shall be removed and either stored or carted away by the general contractor.

The general contractor shall furnish a system of temporary power and lights throughout the space under construction and demolition as required.

The general contractor shall remove to the source all wall conduits left after wall demolition, including switch boxes, plates, bridges, or any other telephone or electrical wiring or equipment.

The general contractor shall carefully remove existing wall covering as shown on the architectural drawings, finishing schedule and patch wall surface underneath as required to receive paint and/or new wall covering. The architect and tenant shall inspect and approve all patched surfaces prior to application of finish paint and/or new wall covering.

All "existing to remain" existing relocated, or new items installed by the general contractor, in addition to being amply protected throughout the period of construction, be thoroughly cleaned to the satisfaction of the architect prior to being turned over to the tenant.

All defective baseboards shall be removed, provide new to match.
Refer to drawings for removal and/or relocation if required of hvac ducts, sprinkler heads, diffusers, exit lights, etc.

Upon completion of demolition work, the general contractor shall provide that all areas be left broom clean.

A hazardous materials report has been conducted by the owner and any and all asbestos removal procedures shall be adhered to according to all local and state regulations concerning such.

The general contractor shall check and verify all dimensions and conditions at the job site and notify the architect and tenant of any discrepancies between drawings and field conditions before commencing any work in order to clarify these conditions.

Existing items on the job site (ie. light fixtures, furniture, etc.) not being reused shall be turned over to the tenant or as otherwise directed by the architect.

In all areas where demolition causes unevenness or voids in floor, the general contractor shall patch to level floor with existing slab and/or required surface to receive new finished floor.

Patching and Cuttings.

The General Contractor shall survey all existing finished surfaces to include corner beads, stops, existing construction to remain, etc. For chips, cracks, holes, damaged surfaces and any other surfaces and defects causing an appearance different from a new finished first-class installation. These defective surfaces shall be repaired, or if beyond repairing, then the General Contractor shall remove existing and install new surfaces to the satisfaction of the Architect.

Construction:

Unless otherwise specified in these documents, all openings in wall shall receive (22x12 wood headers. This includes, but is not limited to, all doors and windows.

All footings shall be placed on undisturbed soil, or controlled fill with a minimum bearing capacity of two (2) tons per square foot. The bottom of footings shall be a minimum of 3'-6" below finished grade. All footings shall be sized as indicated in the documents.

Prior to backfilling, the Contractor shall waterproof all foundation walls below grade. Backfill only after framing is in place.

All concrete slabs shall be placed over a 6 mil. vlsogeen vapor barrier and 4" compacted gravel. Reinforce all concrete slabs with #4-10x10 WAF.

All concrete shall be air-entrained and have a minimum strength of 3000 p.s.i. after 21 days.

All flashing shall be aluminum or copper, unless specified otherwise.

Unless otherwise specified in these documents, all openings in wall shall receive (22x12 wood headers. This includes, but is not limited to, all doors and windows.

All walls and ceilings shall receive 1/2" thick, tapered edge gypsum wall board, except: Bathrooms, which shall receive 1/2" thick, moisture resistant wall board and/or 1/2" thick "Wonderboard", in accordance with finishes selected by the Owner. Such variations shall be coordinated by the Contractor with the Owner.

All interior surfaces shall be taped three (3) times and sanded smooth for paint.

All windows, doors and transition spaces (i.e. openings without doors) shall receive a paint grade colonial wood trim as selected by the Owner, and approved by the Architect.

All interior walls and ceilings shall receive 1 coat of latex primer and two coats of latex flat finish house paint. Colors as selected by the Owner. Paint as manufactured by "Benjamin Moore", or approved equal.

All interior wood trim shall receive 1 coat of latex primer and 2 coats of latex semi-gloss flat finish trim paint. Colors as selected by the Owner. Paint as manufactured by "Benjamin Moore", or approved equal.

All exterior wood shall be painted. All surfaces shall receive 1 coat of exterior oil primer, and 2 coats of exterior oil house or trim paint. All surfaces shall receive a "White" finish. Paint as manufactured by "Benjamin Moore", or approved equal.

All existing exterior wood trim shall be painted. All surfaces shall receive 1 coat of exterior oil primer, and 2 coats of exterior oil house or trim paint. All surfaces shall receive a "White" finish. Paint as manufactured by "Benjamin Moore", or approved equal.

Windows shall be as manufactured by "Andersen Windows", units as specified in the drawings. All new units shall be ordered with the appropriate grilles (as demonstrated in the drawings), insect screens, extension joints and standard handles.

In accordance with the International Energy Code, all habitable spaces shall have a secondary opening for emergency egress use. The opening shall have a minimum clear opening area of no less than four (4) square feet, with no less than an eighteen (18) inch width clear opening. The bottom of the required openings shall be no higher than 3'6" above the finished floor in all above grade stories, and no higher than 4'-6" above the finished floor, where required, in basement or cellar spaces.

All glazing on doors, fixed side panels adjoining doors, interior partitions, and where glazing extends to 10' or less of a floor level shall be tempered safety glass, and shall have window guards, if the unit is operable.

New asphalt roofing to shall match the existing in color in size. Contractor to submit sample to the Owner for their approval.

Insulation as manufactured by Owens Corning. Thickness as specified in drawings.

Unless otherwise noted, all dimensions for partitions are from finish material-to-finish material.

All flashing shall be aluminum or copper, unless specified otherwise.

The new Construction depicted in these plans and specifications comply with the minimum standards of the New York State Energy Conservation Code.

Asbestos Removal.

The Architect shall not be responsible for the uncovering of, or identification thereof, any asbestos, asbestos-related materials, lead, mold-paints or any other pollutants of any kind. The Architect is not responsible for the performance of any services in connection with or related to such materials, and the Contractor shall retain an expert(s) to arrange for the prompt identification of, and the removal or treatment of such potentially harmful materials, and indemnify and hold the Architect and its consultants harmless from any claims, injuries or expenses incurred by Architect in any manner related to the existence of such materials on the project.

Ceiling/Floor Draftstopping

Dropped ceilings below wood joists or attached directly to wood floor framing shall be draftstopping with 1/2" drywall or 3/8" plywood at 1000 sq.ft. intervals and parallel to framing members.

Firestopping

Firestopping consisting of 2" lumber, minimum 23/32" structural panel or approved non-combustible materials shall be provided at the ceiling line in concealed spaces of stud walls/partitions, including framed or studless-off spaces of concrete foundation walls and at soffits, dropped ceilings and similar spaces.

Smoke Detectors

AC powered U.L. listed smoke detectors with battery backup shall be placed throughout the dwelling. All detectors within a dwelling shall be interconnected and hard wired so that the activation of any alarm will sound all alarms throughout the house.

Exception: Detector locations in existing areas shall not be required to be interconnected and hard wired where the alterations or repairs do not result in the removal of interior wall or ceiling finishes exposing the structure, unless there is an attic, crawl space, or basement available which could provide access for hard wiring and interconnection without the removal of interior finishes.

Smoke detectors shall be placed in the following locations:

Floor levels with bedrooms: A smoke detector is required in each bedroom and one centrally located detector is required outside of a group of bedrooms in the hall way.

Floor level without bedrooms: A smoke detector is required adjacent to the stair.

Carbon Monoxide Detectors

A carbon monoxide alarm shall be installed in each of the following locations:

Within 10 ft. of any bedroom and shall have a digital readout.

When more than one carbon monoxide alarm is required to be installed within an individual dwelling unit, the alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all sleeping areas over background noise levels with all intervening doors closed. (Exception: Interconnection is not required where carbon monoxide alarms are permitted to be battery operated in accordance with section R308.4.2.1)

All carbon monoxide alarms shall be listed and labeled as complying with UL 2034 or CAN/CSA 614, and shall be installed in accordance with the manufacturer's installation instructions and New York State Code.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
30 PSF	120	C	SEVERE	3'-6"	MODERATE TO HEAVY	MODERATE TO SEVERE	7°	YES	NO

CODE INFORMATION	
TYPE	APPLICABLE CODES
ARCHITECTURAL	2015 RESIDENTIAL IBC w/ NYS SUPPLEMENT
MECHANICAL	2015 RESIDENTIAL IBC w/ NYS SUPPLEMENT
PLUMBING	2015 RESIDENTIAL IBC w/ NYS SUPPLEMENT
FIRE PROTECTION	2015 RESIDENTIAL IBC w/ NYS SUPPLEMENT
ELECTRICAL	2015 RESIDENTIAL IBC w/ NYS SUPPLEMENT
ENERGY	2015 RESIDENTIAL IBC w/ NYS SUPPLEMENT
CATEGORY	REQUIREMENT REFERENCE
CLASSIFICATION OF WORK	ALTERATION - LEVEL 2 SECTION 405
OCCUPANCY CLASSIFICATION	GROUP R-3-SINGLE FAMILY SECTION 310
CONSTRUCTION CLASSIFICATION	TYPE 5B - WOOD FRAME SECTION 601

SYMBOLS LEGEND	
	INTERIOR WALL
	NEW 2x4 WOOD STUDS @ 16"oc. w/ 5/8" GYP. BD. EA. SIDE
	HALL TO BE REMOVED
	NEW DOOR, NUMBER INDICATES WIDTH & HEIGHT
	NEW CERAMIC TILE
	NEW HARD WIRED OR BATT. CARBON MONOXIDE DETECTOR w/ DIGITAL READOUT
	NEW HARD WIRED OR BATT. SMOKE DETECTOR
	NEW HARD WIRED HEAT DETECTOR
	100 CFM EXHAUST FAN VENTED TO EXTERIOR

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FOR PERMIT 10.30.19
FOR BIDDING 07.01.19
FOR CLIENT REVIEW 04.06.19

REVISION DATE



joseph r. crocco architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
airmont, new york 10504
(914) 273-2774 fax (914) 273-2776

PROPOSED ALTERATION FOR:

21 RIDGE STREET
HASTINGS-ON-HUDSON, NY

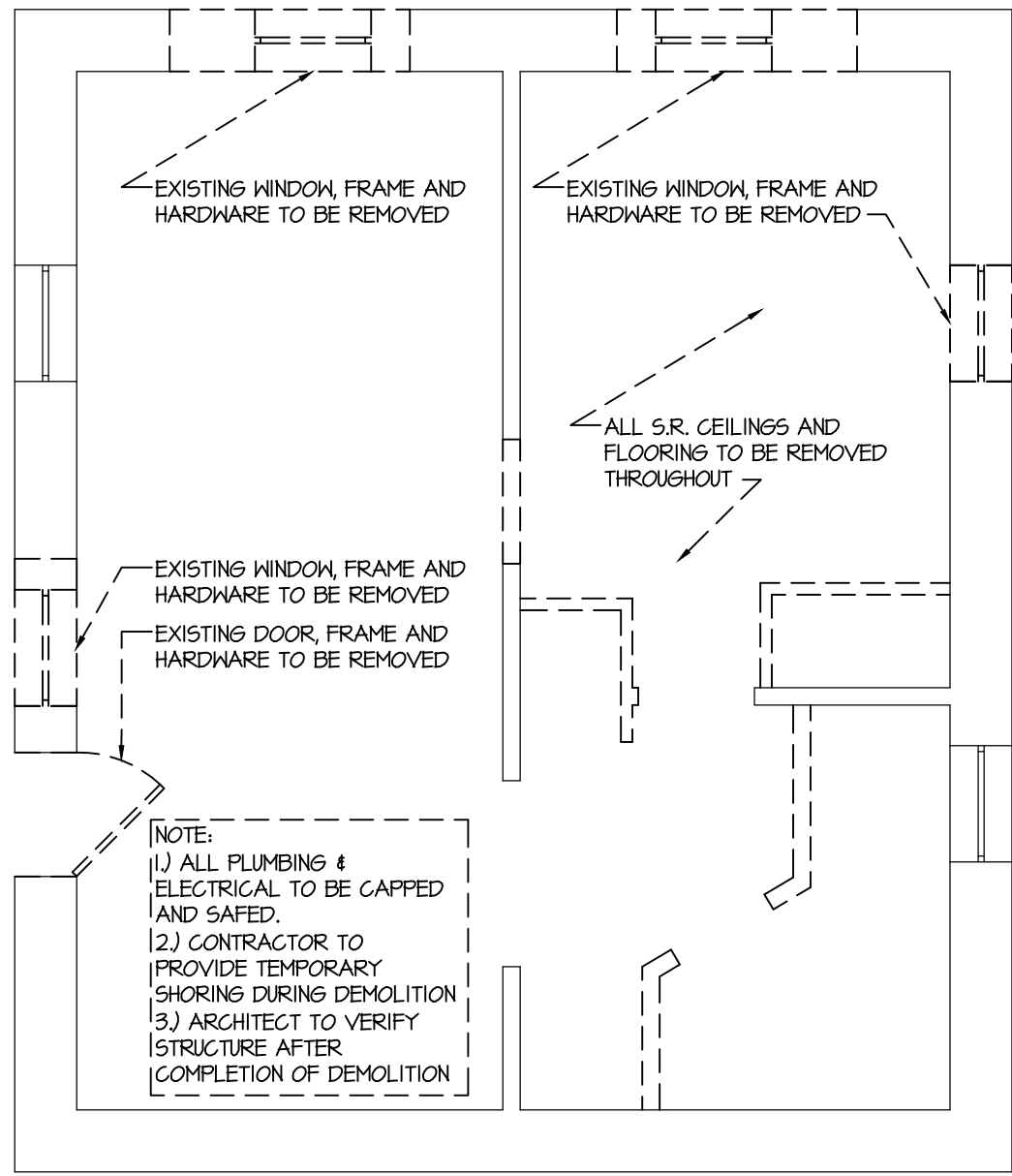
Dwg. Name:
TITLE SHEET

Project No:
19007

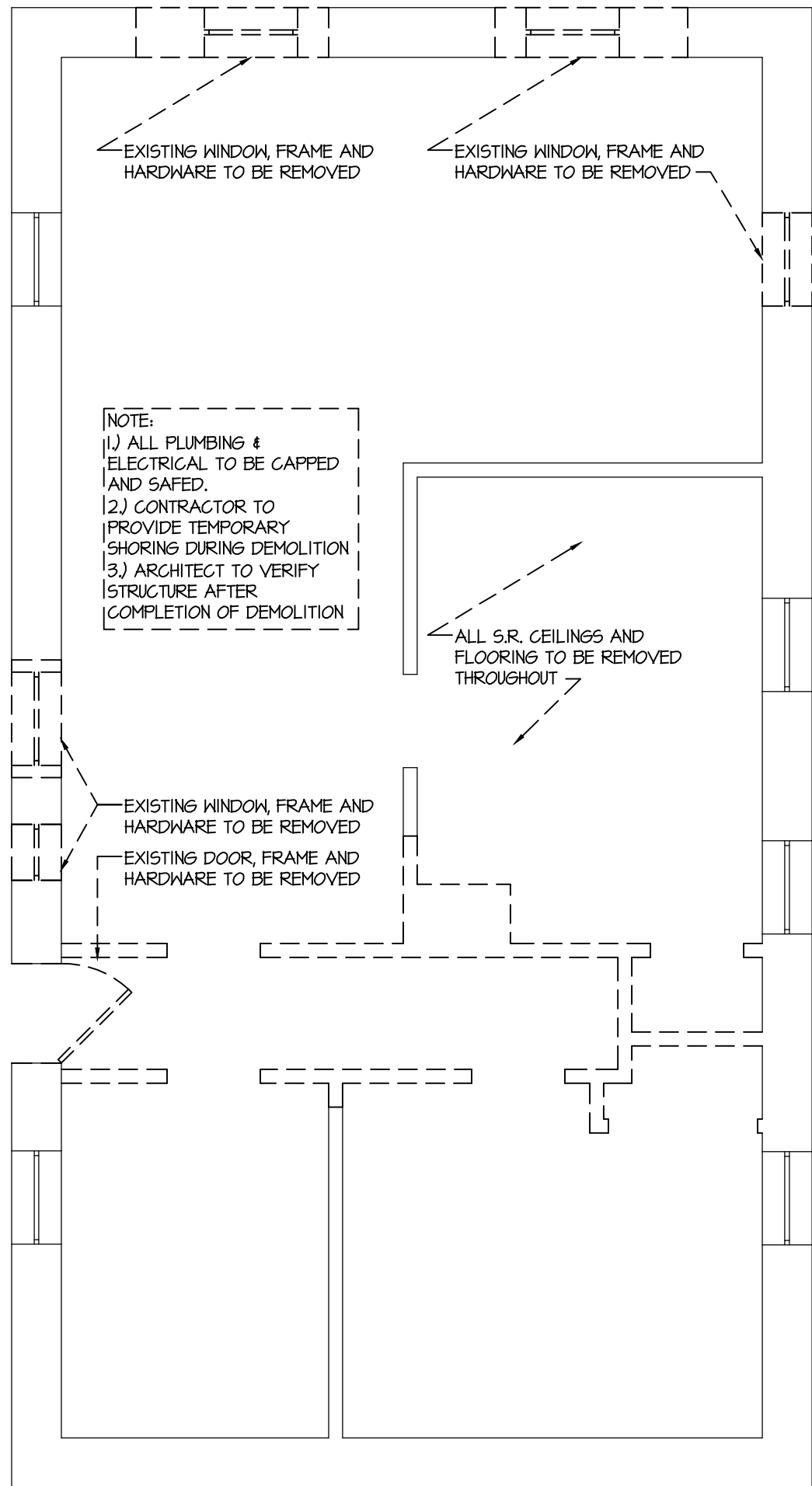
Date:
APRIL 3, 2019

Sheet Number:

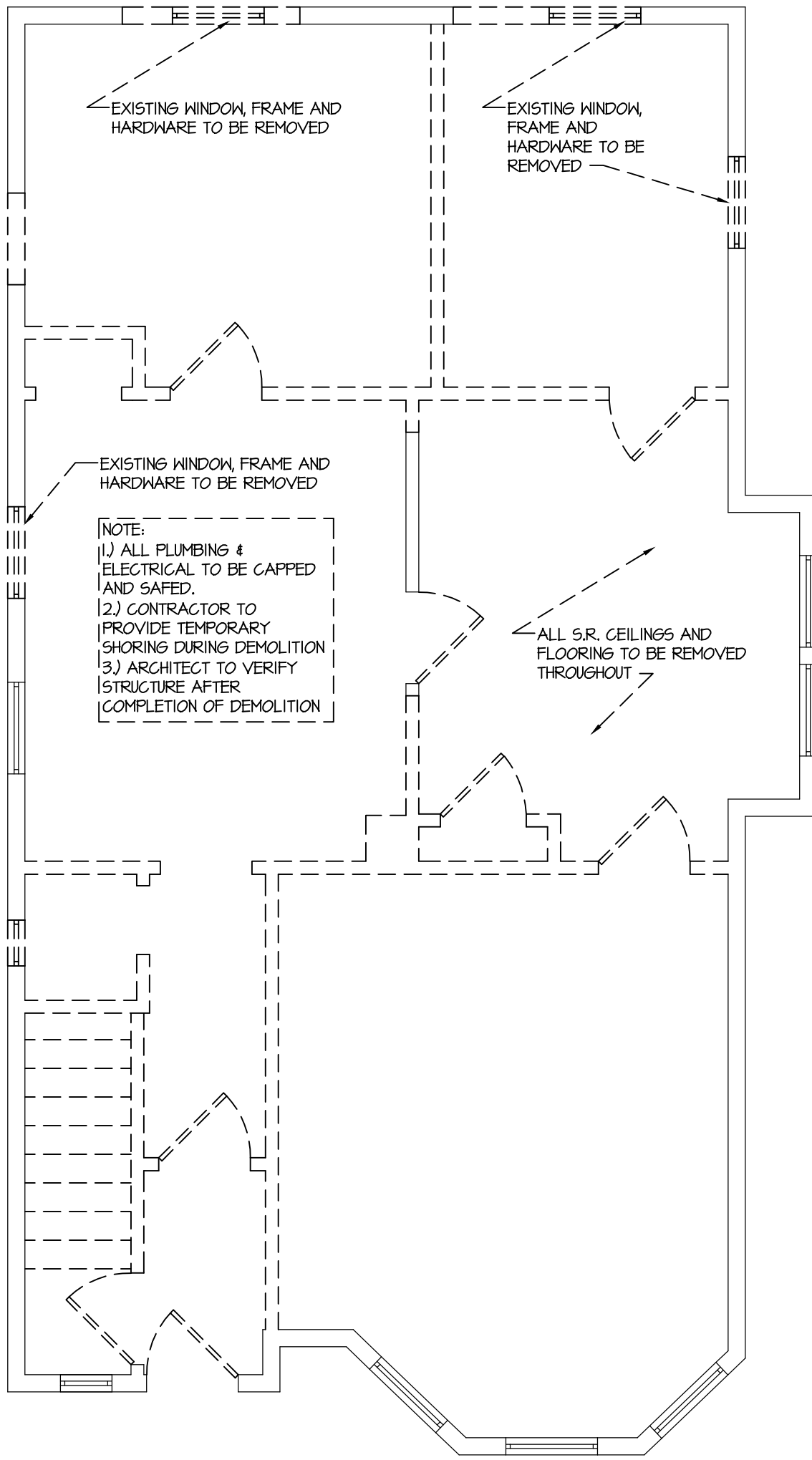
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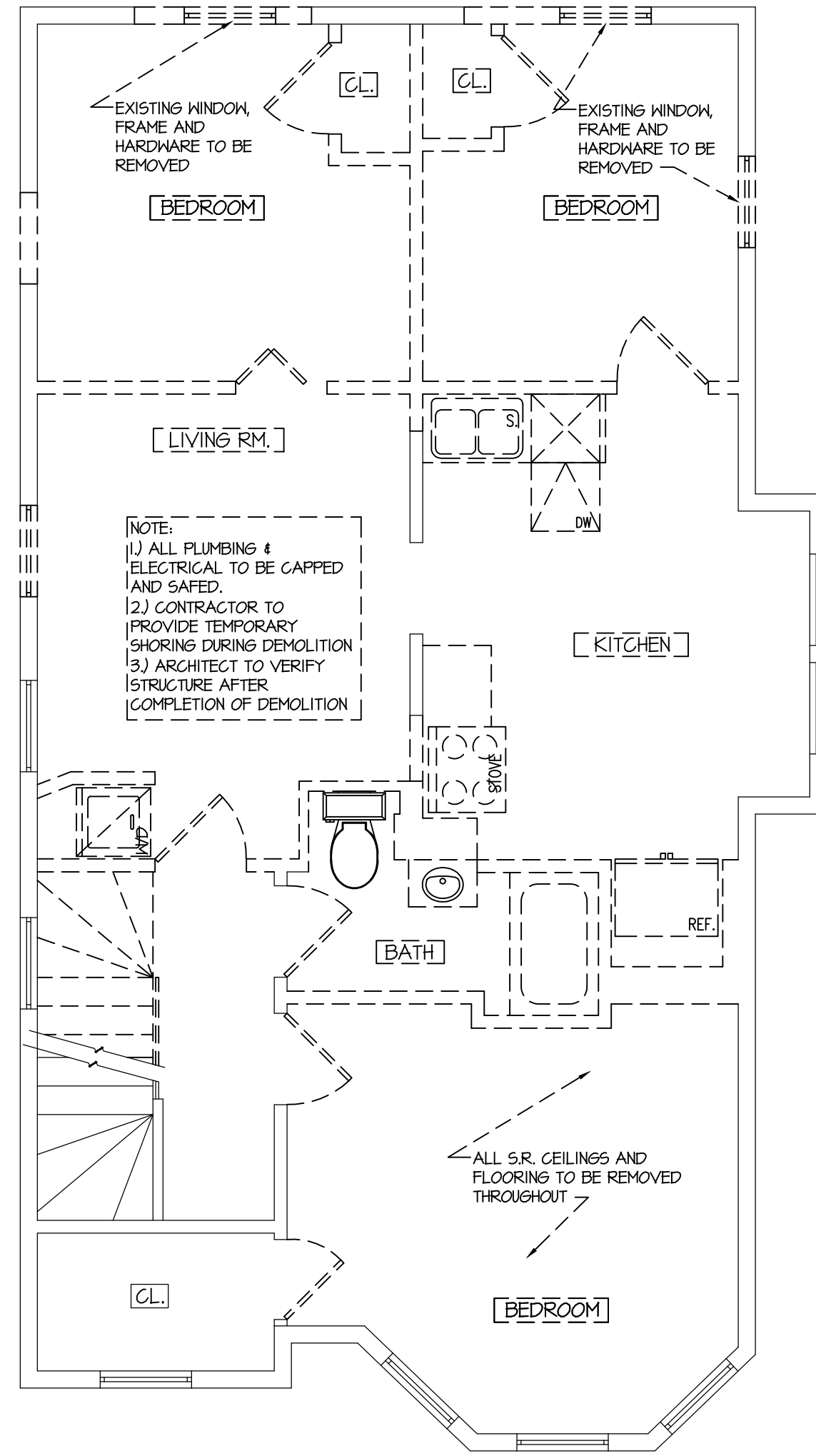
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A-1
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2
A-1
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3
A-1
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4
A-1
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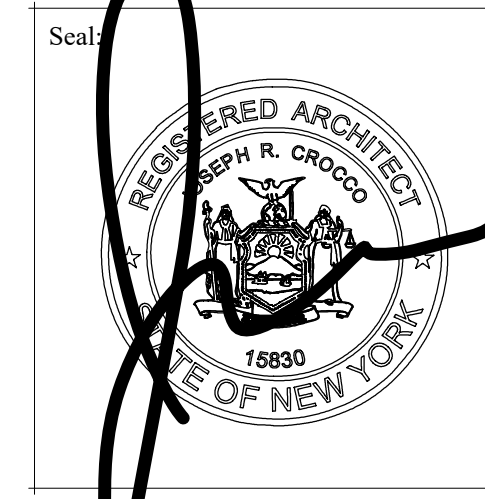
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FOR BIDDING	07.01.19
FOR CLIENT REVIEW	04.06.19
REVISION	DATE



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**PROPOSED
ALTERATION
FOR:**

21 RIDGE STREET
HASTINGS-ON-HUDSON, NY

Dwg. Name:
**DEMOLITION
FLOOR PLANS**

Project No:
19007

Date:
APRIL 3, 2019

Sheet Number:

A-1

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PROPOSED ALTERATION FOR:

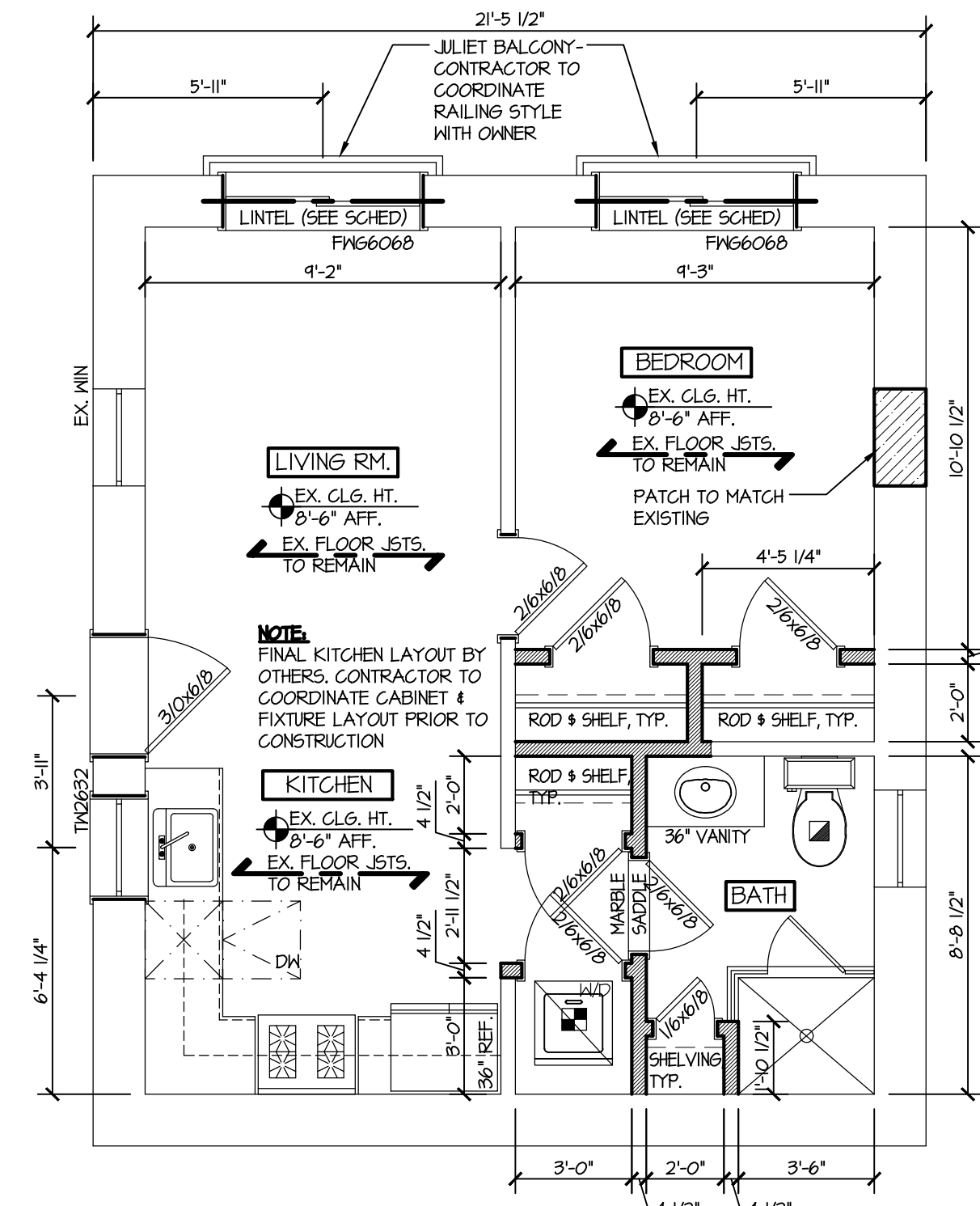
21 RIDGE STREET
HASTINGS-ON-HUDSON, NY

Dwg. Name: **PROPOSED FLOOR PLANS**

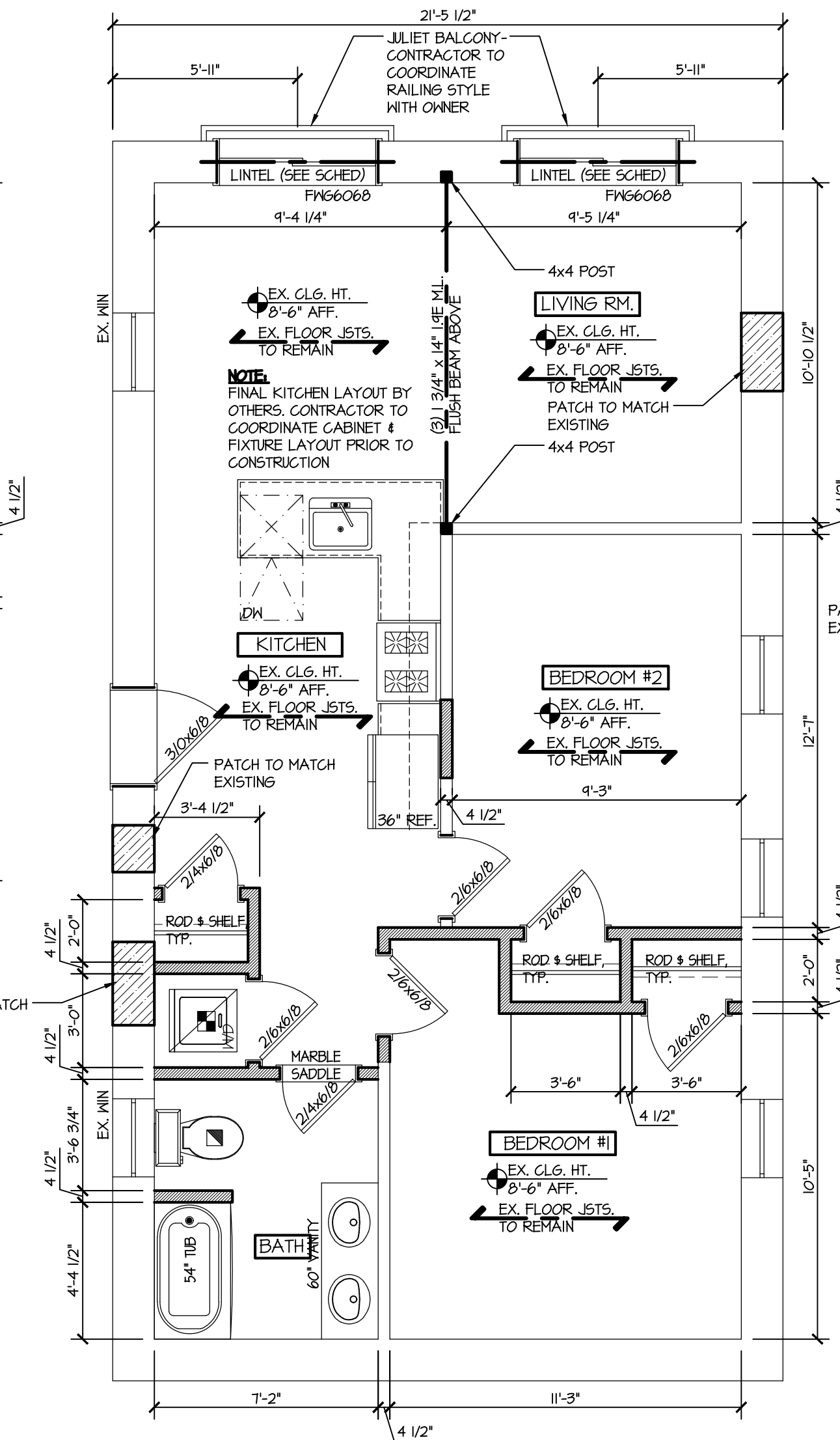
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Sheet Number:

Date: APRIL 3, 2019

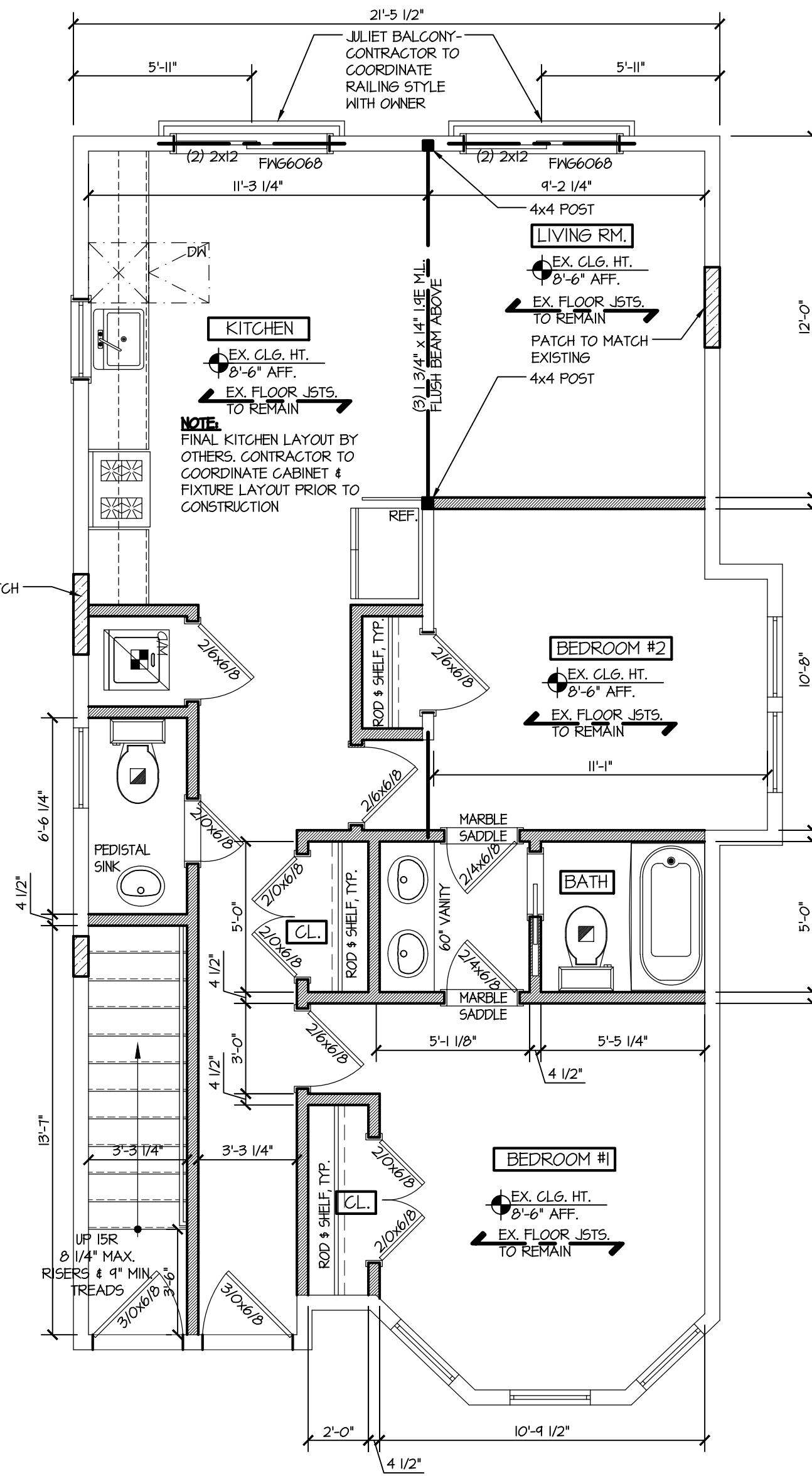
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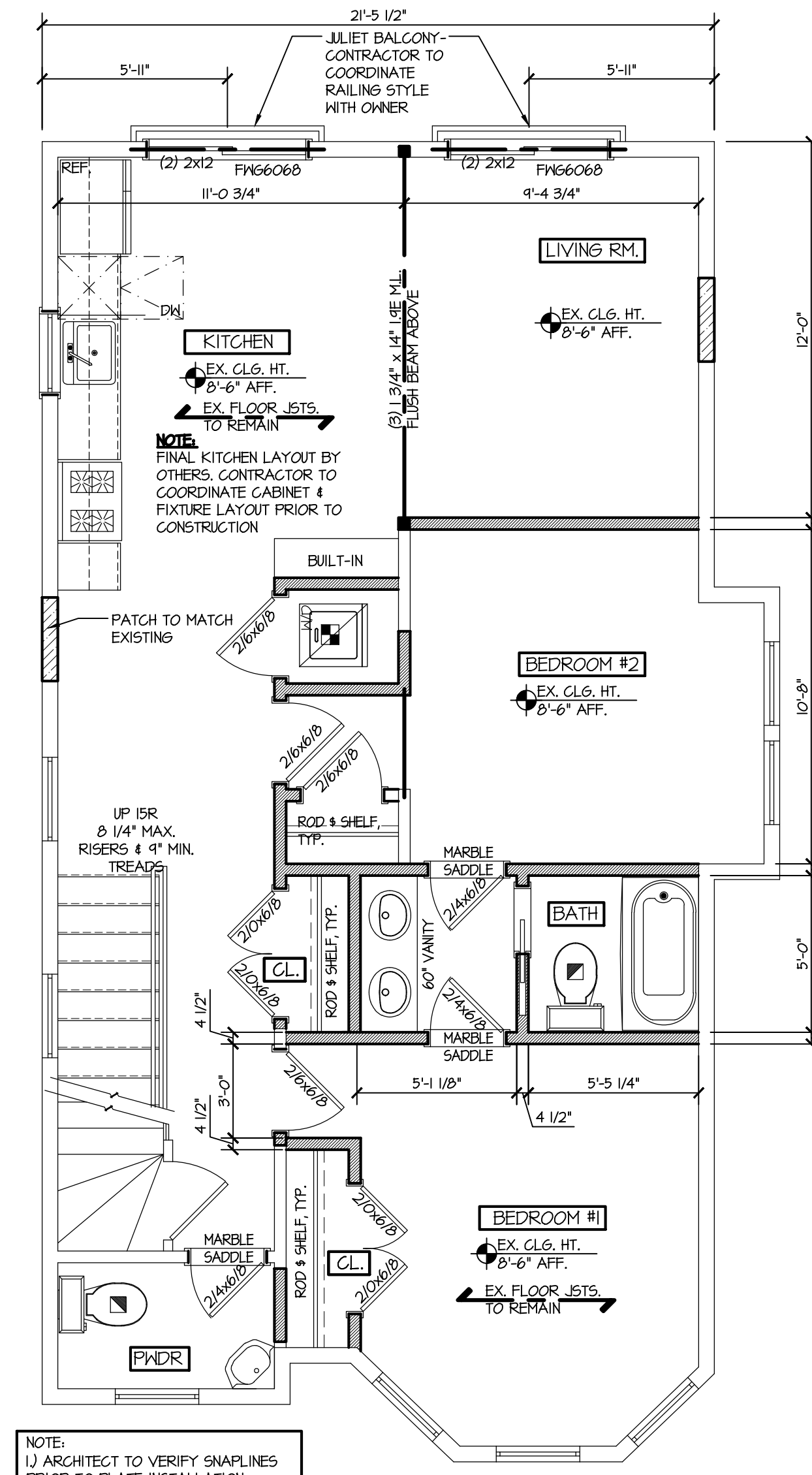
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2 PROPOSED UNIT #2
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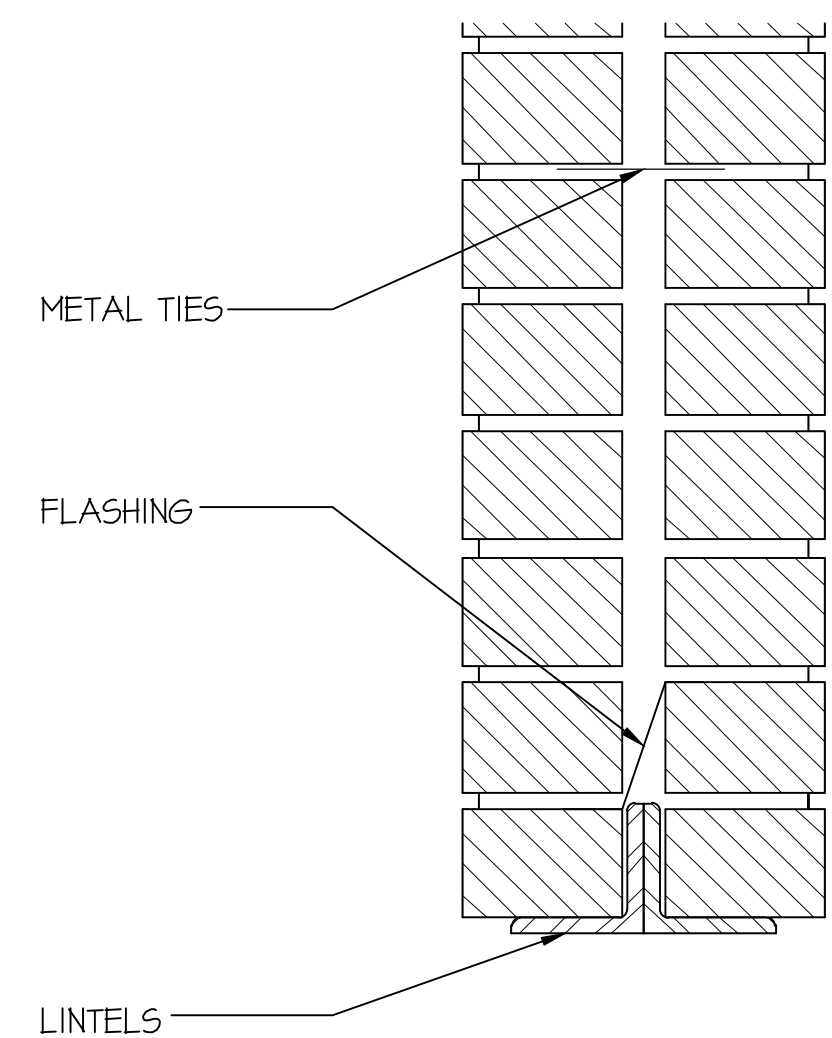


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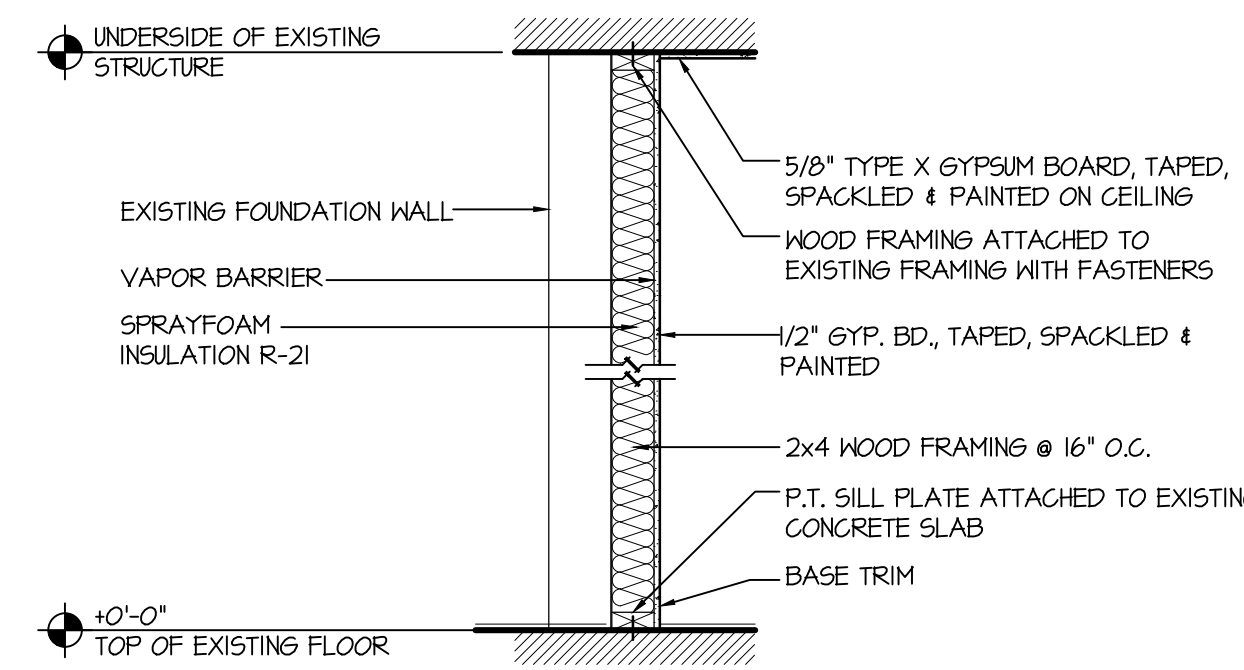


NOTE:
1) ARCHITECT TO VERIFY SNAPLINES PRIOR TO PLATE INSTALLATION
2) ALL EXTERIOR WALLS THAT OUR OPEN CAVITIES SHALL BE FILLED WITH MINIMUM R-21

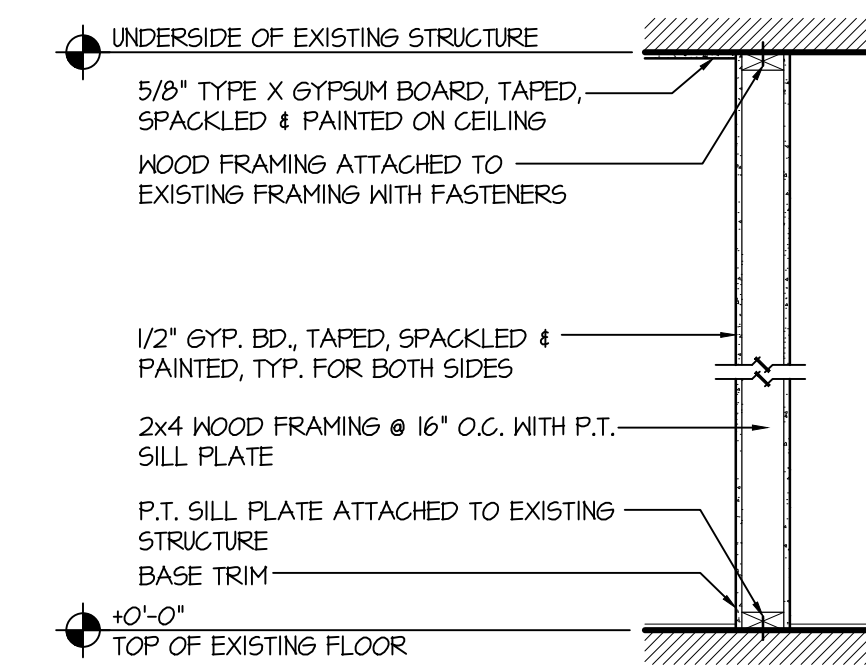
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SCALE: 1/4"=1'-0"



5 BRICK LINTEL DETAIL
SCALE: 3/4"=1'-0"



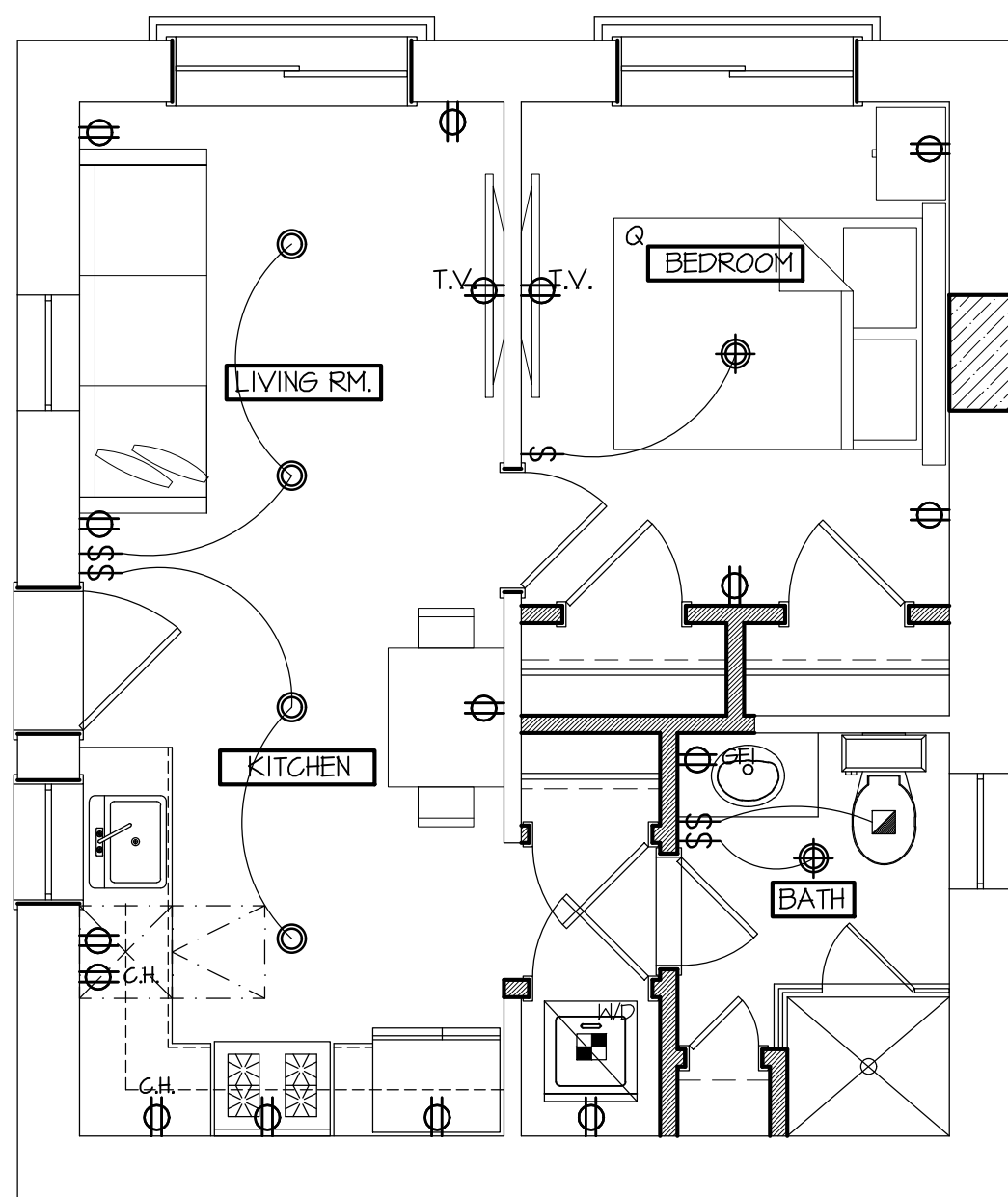
A EXTERIOR MASONRY WALL DETAIL
SCALE: 3/4"=1'-0"



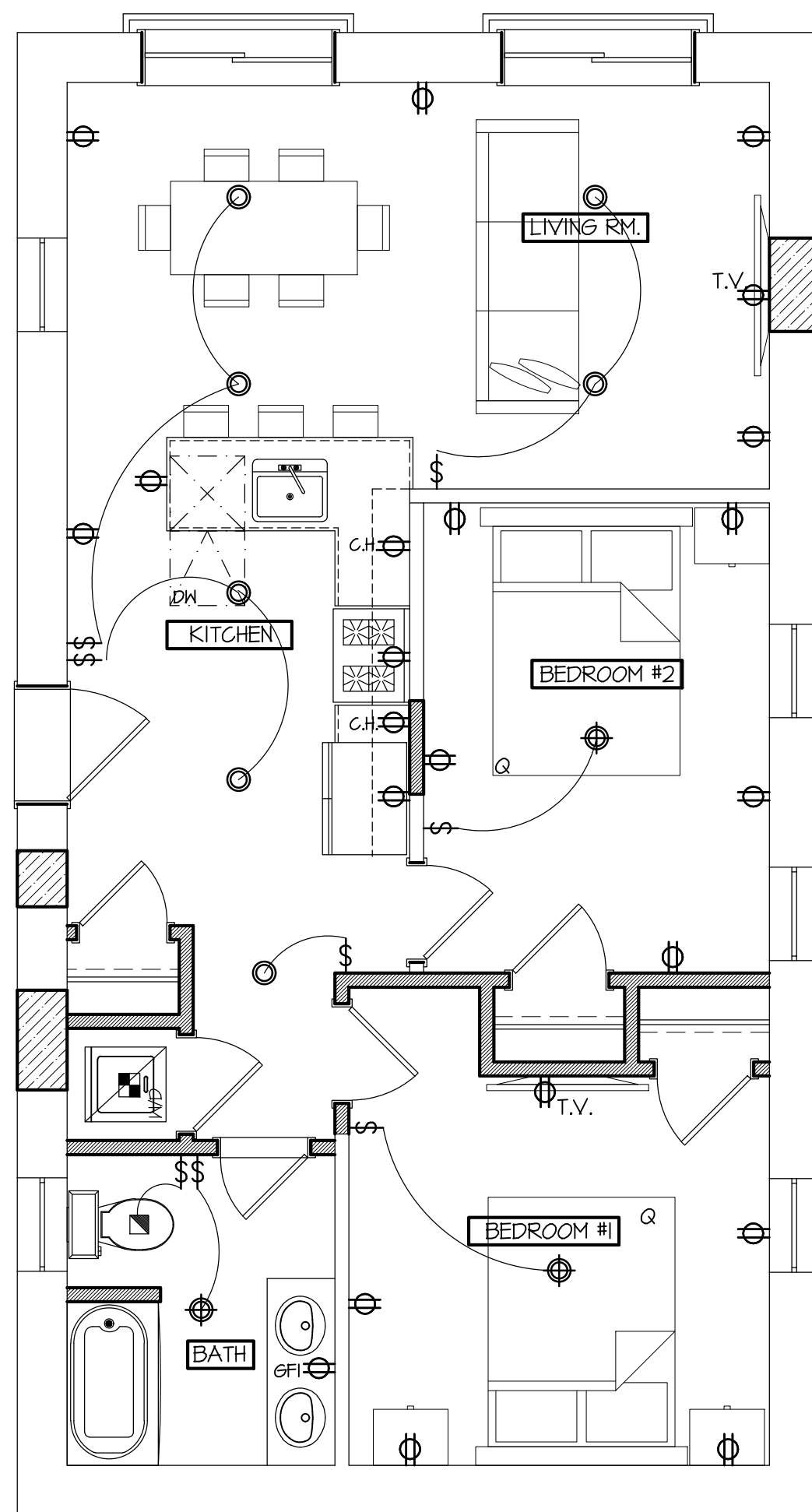
B TYPICAL INTERIOR WALL DETAIL
SCALE: 3/4"=1'-0"

BRICK LINTEL SCHEDULE	
CLEAR SPAN	LINTEL
< 4'-0"	L 4 x 4 x 3/8
4'-0" - 10'-0"	L 6 x 4 x 3/8 (LLV)
10'-0" - 12'-0"	L 8 x 4 x 3/8 (LLV)

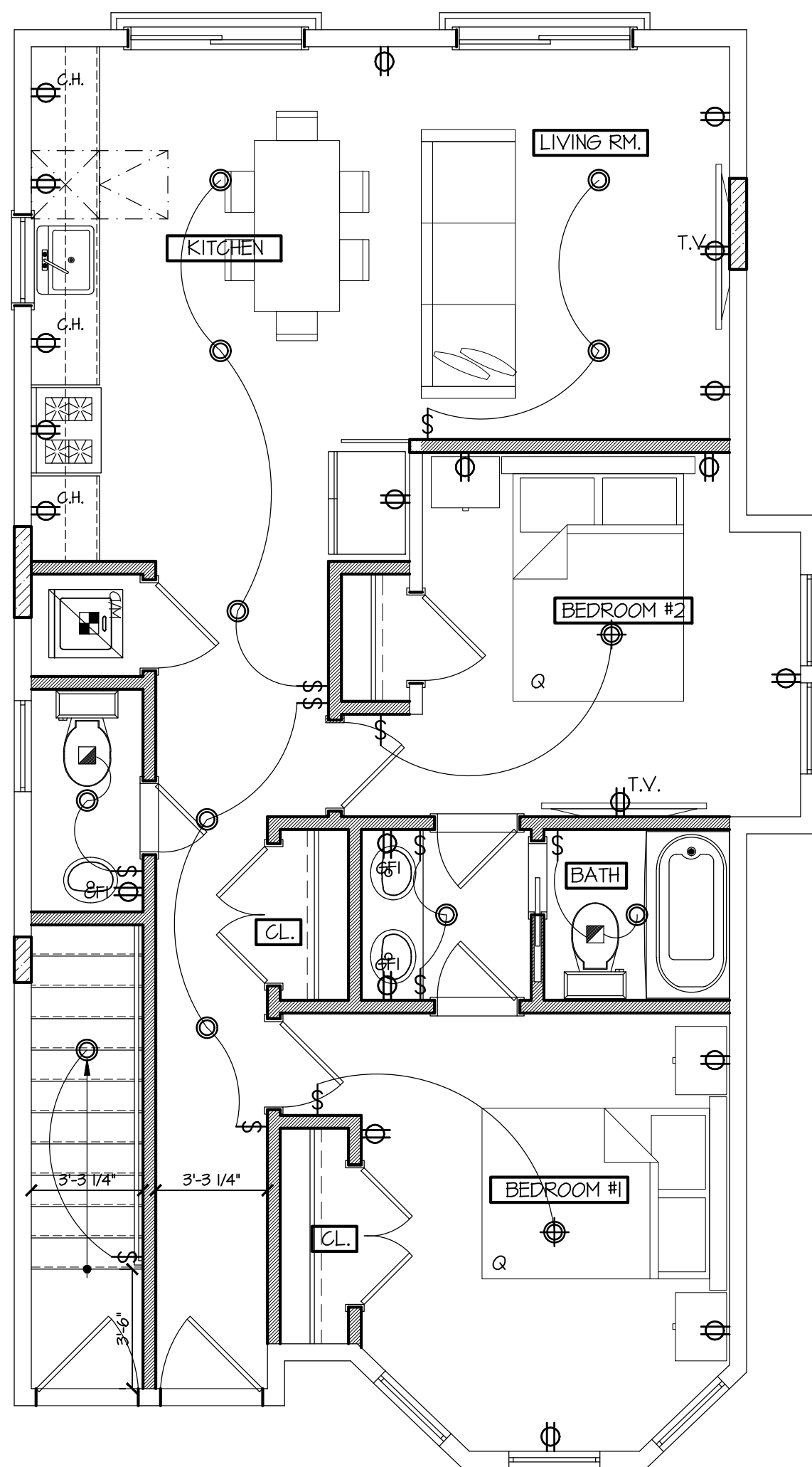
NOTE:
BEAR LINTEL 6" MIN. ON EITHER SIDE OF OPENING



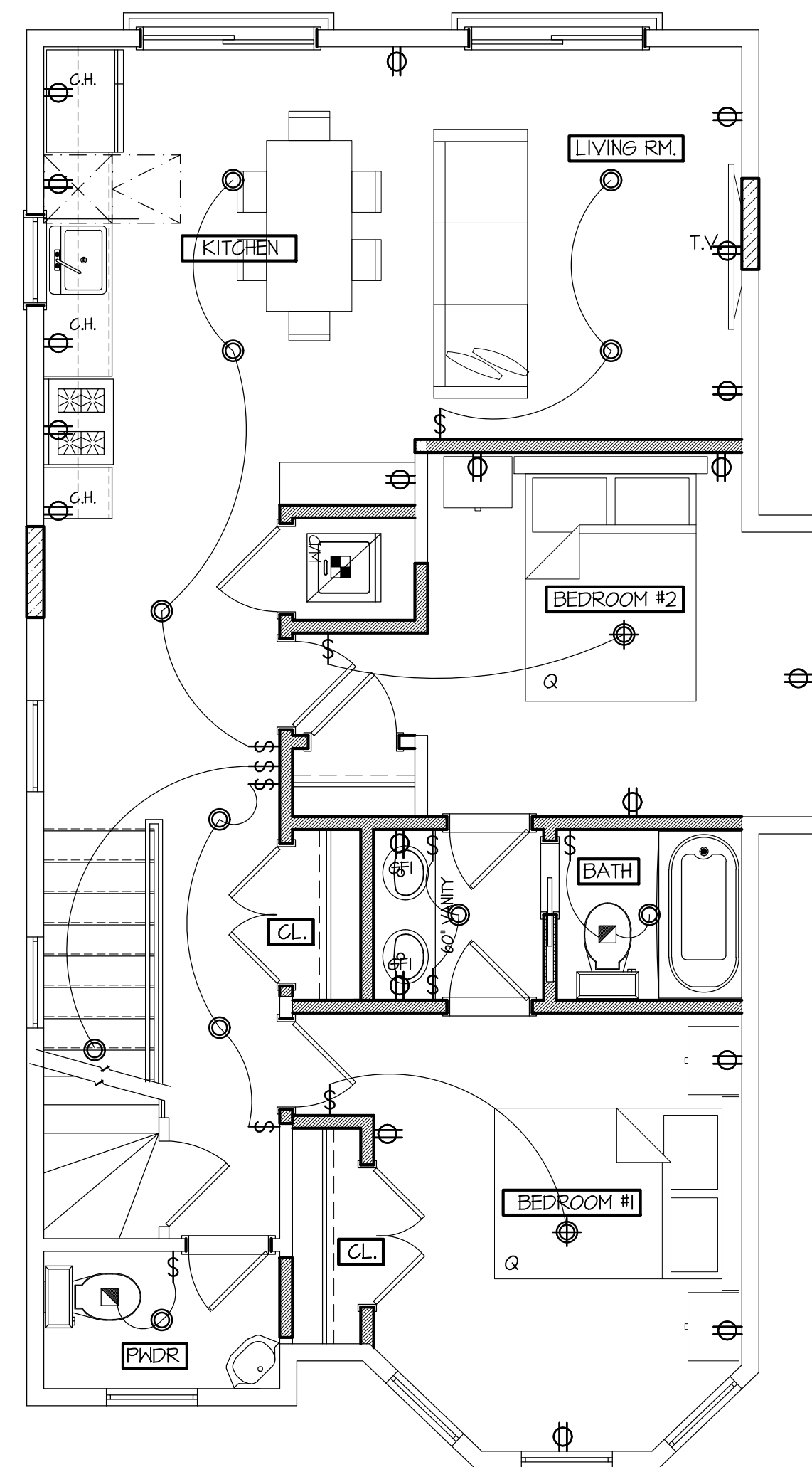
1 PROPOSED UNIT #1
A-2 SCALE: 1/4"=1'-0"



2 PROPOSED UNIT #2
A-2 SCALE: 1/4"=1'-0"



3 PROPOSED UNIT #3
A-2 SCALE: 1/4"=1'-0"



4 PROPOSED UNIT #4
A-2 SCALE: 1/4"=1'-0"

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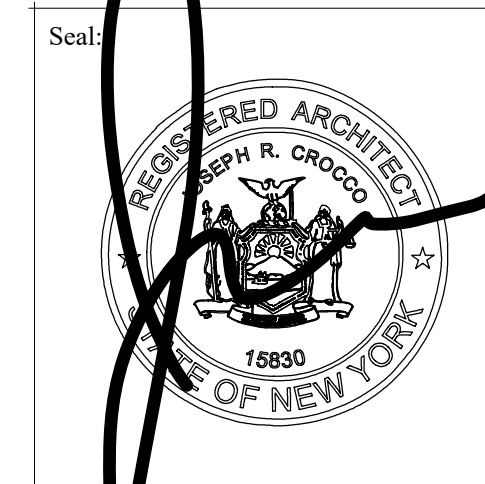
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FOR BIDDING 07.01.19
FOR CLIENT REVIEW 04.06.19

REVISION DATE



joseph r. crocco architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armenok, new york 10504
(914) 273-2774 fax (914) 273-2776

**PROPOSED
ALTERATION
FOR:**

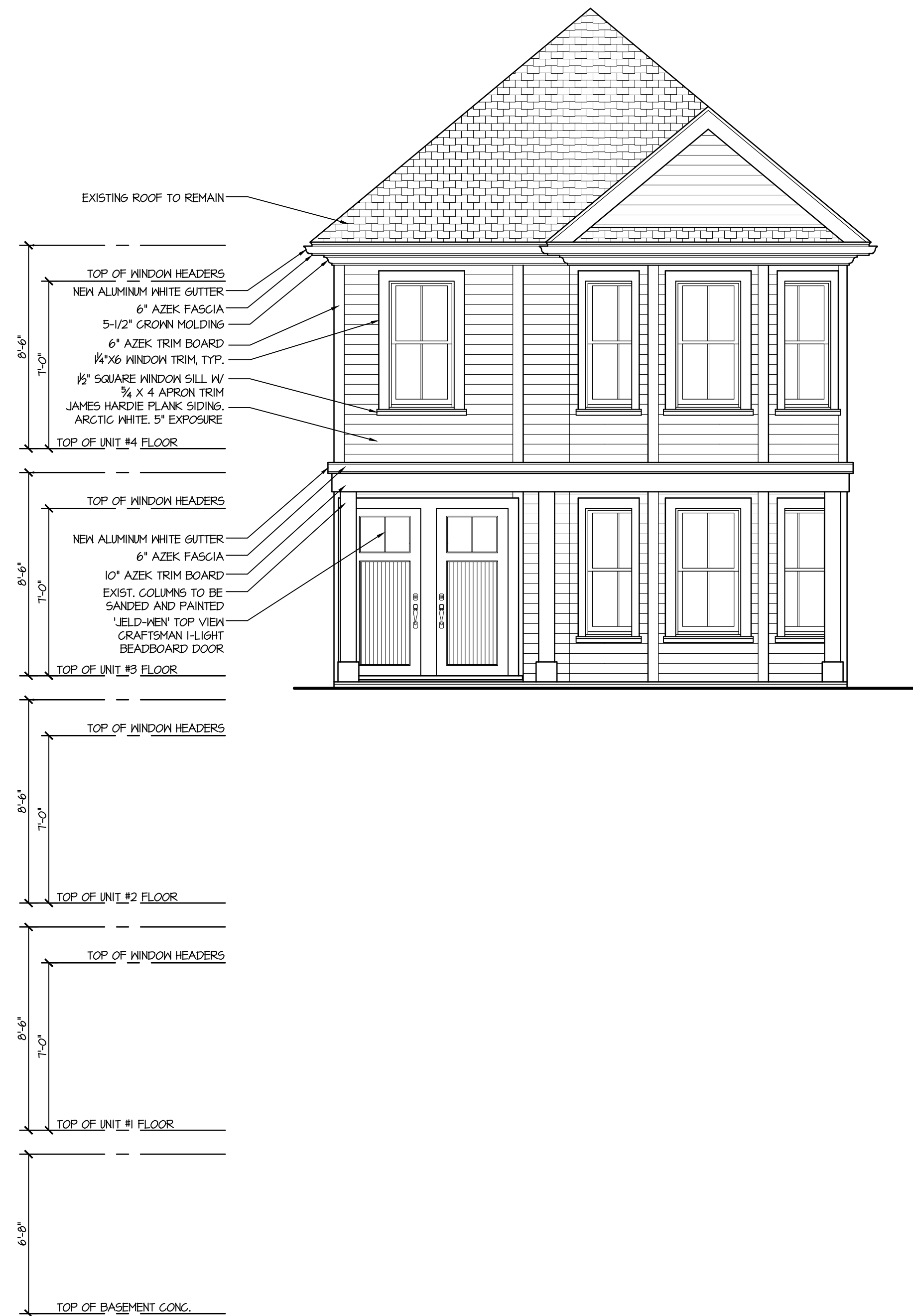
21 RIDGE STREET
HASTINGS-ON-HUDSON, NY

Dwg. Name: **PROPOSED
ELECTRICAL PLANS**

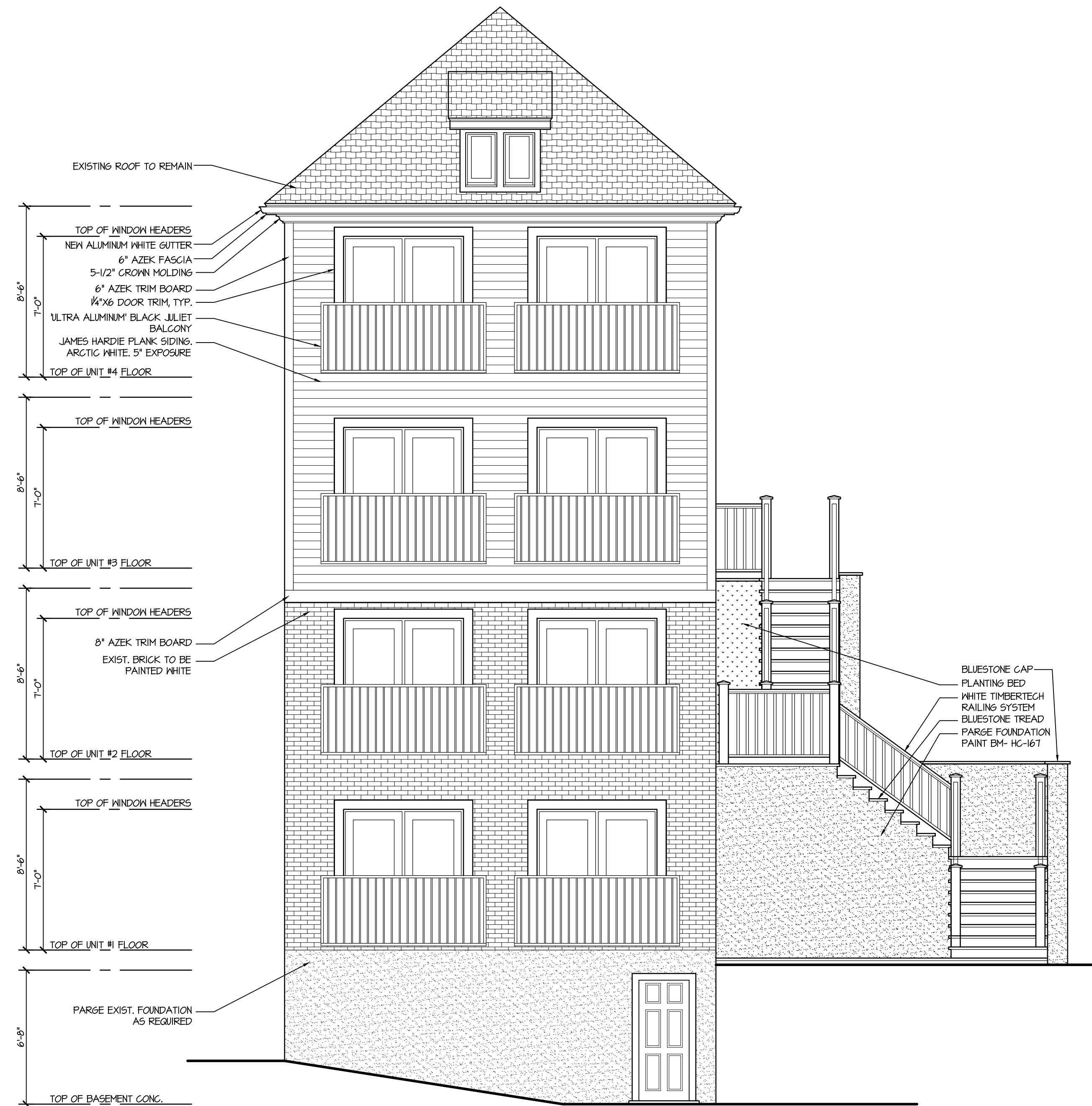
Project No: 19007 Sheet Number:

Date: APRIL 3, 2019

A-3



1 FRONT/ EAST ELEVATION
A-5 SCALE 1/4" = 1'-0"



2 REAR/ WEST ELEVATION
A-5 SCALE 1/4" = 1'-0"

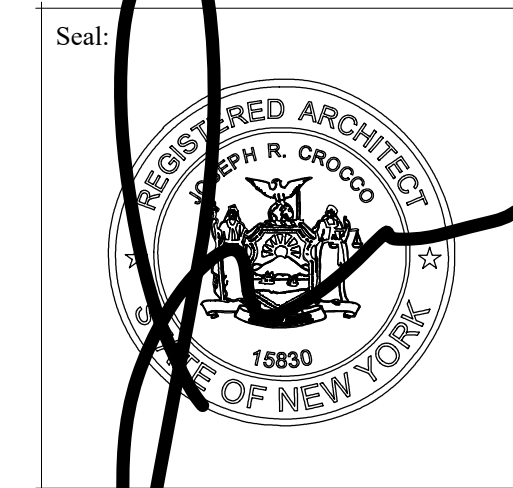
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FOR ARB 05.14.20
REVISION DATE



Joseph R. Crocco
architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armstrong, new york 10504
(914) 273-2774 fax (914) 273-2776

**PROPOSED
ALTERATION
FOR:**

21 RIDGE STREET
HASTINGS-ON-HUDSON, NY

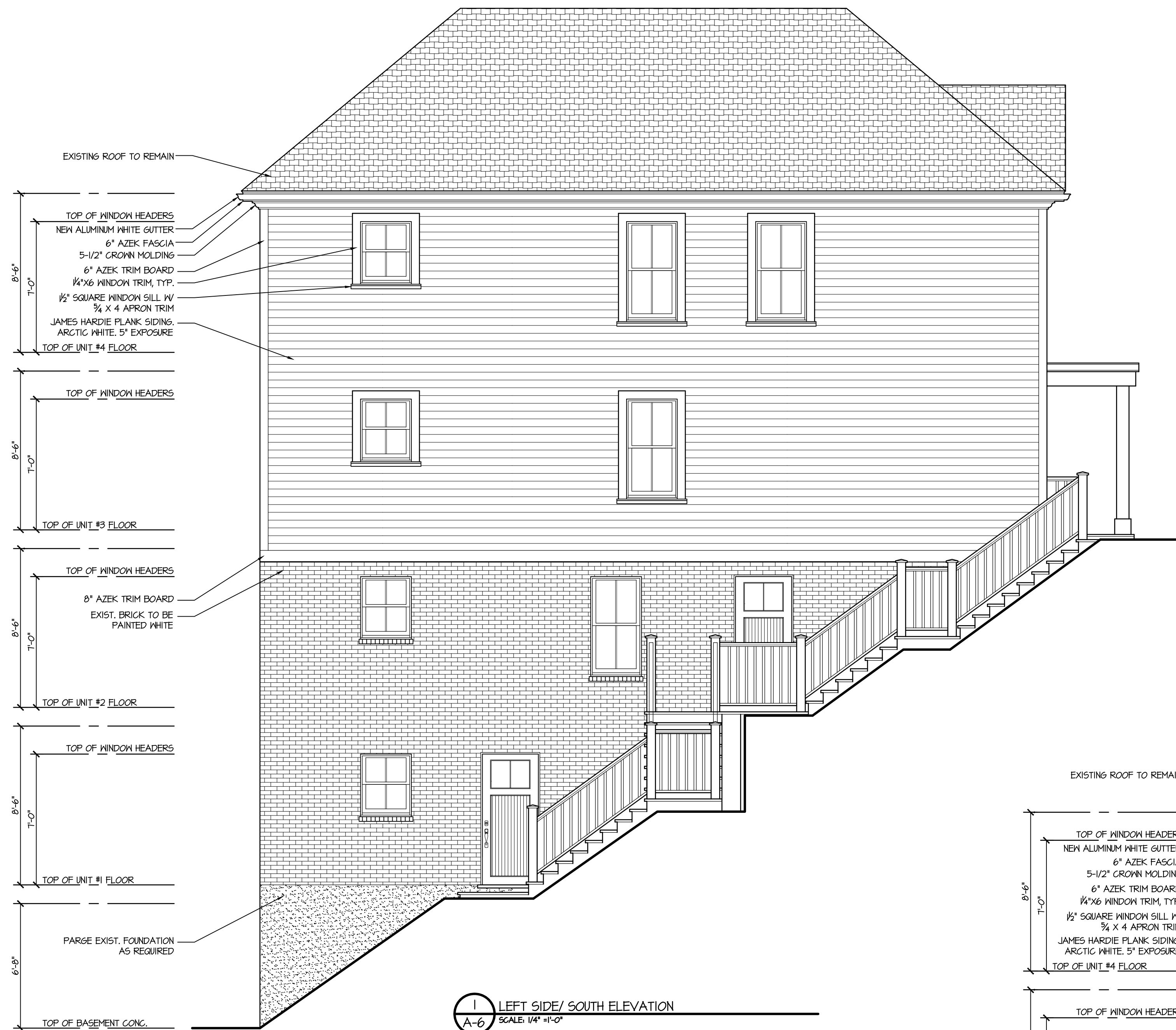
Dwg. Name:
ELEVATIONS

Project No:
19007

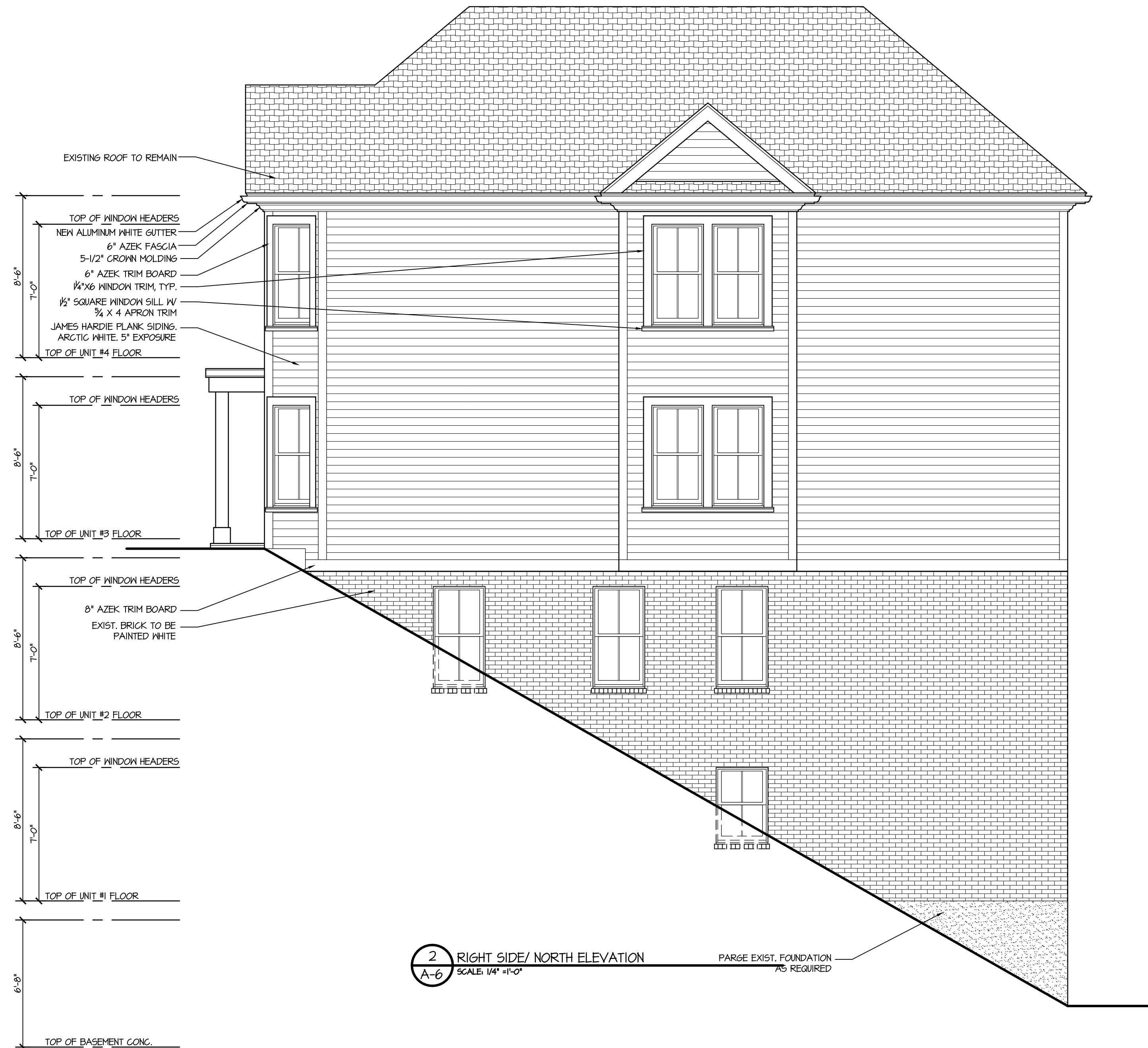
Date:
APRIL 3, 2019

Sheet Number:

A-5



1 LEFT SIDE/ SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE/ NORTH ELEVATION
SCALE: 1/4" = 1'-0"

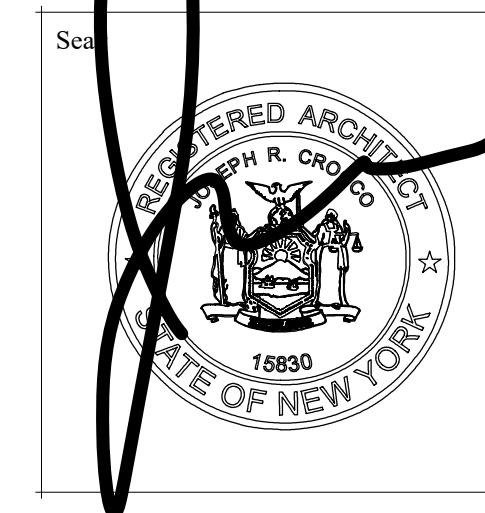
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FOR ARB 05.14.20
REVISION DATE



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(914) 273-2774 fax (914) 273-2776

**PROPOSED
ALTERATION
FOR:**

21 RIDGE STREET
HASTINGS-ON-HUDSON, NY

Dwg. Name:
ELEVATIONS

Project No:
19007

Date:
APRIL 3, 2019

Sheet Number:

A-6



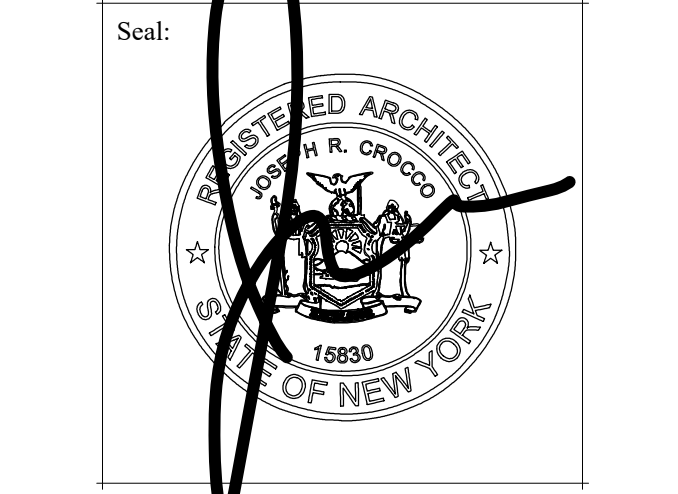
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FOR ARB	05.14.20
REVISION	DATE



|||

JOSEPH R. CROCCO
architects

new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
armmonk, new york 10504
(914) 273-2774 fax (914) 273-2776

**PROPOSED
ALTERATION
FOR:**

21 RIDGE STREET
HASTINGS-ON-HUDSON, NY

Dwg. Name:
RENDERINGS

Project No:
19007

Date:
APRIL 3, 2019

Sheet Number:
R-1



Andersen Windows - Abbreviated Quote Report



Project Name: SERRANO - 21 RIDGE

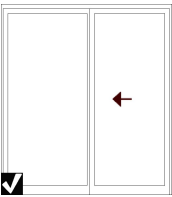
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Print Date: 12/30/2019

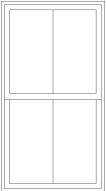
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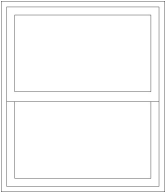
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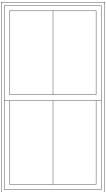
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	Fax:

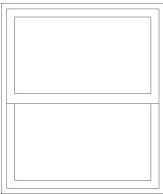
Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
	0010	8 NLGD6068 (SR)	1, 2, 3, 4, 5, 6, 7, 8	\$ 1692.75	\$ 13542.00
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H					
200 Series					
Unit, Assembled, Gray Sill, SR Handing, White/PI White, Low E Tempered Glass					
Insect Screen, Gliding, White					
Hardware Trim Set, GD, 2 Panel, Tribeca - White					
Zone: Northern					
U-Factor: 0.29, SHGC: 0.32, ENERGY STAR® Certified: Yes					

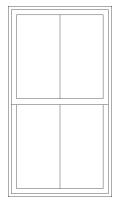
	0009	3 100CS3040 (L)	9, 10, 11	\$ 362.40	\$ 1087.20
RO Size = 3' 0" W x 4' 0" H Unit Size = 2' 11 1/2" W x 3' 11 1/2" H					
100 Series					
Unit, 1 3/8" Flange Setback, White/White, L Handing, Low E Glass, Insect Screen, White, White Lock Hardware					
Zone: Northern					
U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes					

	Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
 Viewed from Exterior	0007	4	244DH3056 (AA)	UNIT # 2 - #12, #13, #14, #15	\$ 436.51	\$ 1746.04
	RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H					
	200 Series Unit, 3 1/4" Frame Depth, White/PI White, Low E Glass, Divided Light without Spacer, Specified Equal Lite, 2W1H, 3/4", Chamfer, Ext Grille - White, Int Grille - Prefinished White (Each Sash) Insect Screen, White					
	Zone: Northern U-Factor: 0.29, SHGC: 0.29, ENERGY STAR® Certified: No					

 Viewed from Exterior	0006	1	244DH3036 (AA)	UNIT # 2 - #16 - TEMPERED	\$ 326.49	\$ 326.49
	RO Size = 3' 0" W x 3' 6" H Unit Size = 2' 11 1/2" W x 3' 5 1/2" H					
	200 Series Unit, 3 1/4" Frame Depth, White/PI White, Low E Tempered Glass (Each Sash) Insect Screen, White					
	Zone: Northern U-Factor: 0.30, SHGC: 0.32, ENERGY STAR® Certified: No					

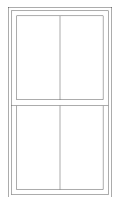
 Viewed from Exterior	0004	5	244DH3056 (AA)	UNIT # 3 - #17, #18, #19, #20, #21	\$ 502.17	\$ 2510.85
	RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H					
	200 Series Unit, 3 1/4" Frame Depth, White/PI White, Low E Tempered Glass, Divided Light without Spacer, Specified Equal Lite, 2W1H, 3/4", Chamfer, Ext Grille - White, Int Grille - Prefinished White (Each Sash) Insect Screen, White					
	Zone: Northern U-Factor: 0.30, SHGC: 0.28, ENERGY STAR® Certified: No					

	Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
 Viewed from Exterior	0003	1	244DH3036 (AA)	UNIT # 3 - #22 TEMPERED	\$ 326.49	\$ 326.49
	RO Size = 3' 0" W x 3' 6" H Unit Size = 2' 11 1/2" W x 3' 5 1/2" H					
	200 Series					
	Unit, 3 1/4" Frame Depth, White/PI White, Low E Tempered Glass (Each Sash)					
	Insect Screen, White					
	Zone: Northern					
	U-Factor: 0.30, SHGC: 0.32, ENERGY STAR® Certified: No					
<hr/>						
 Viewed from Exterior	0005	1	244DH3030 (AA)	UNIT # 3 - #23	\$ 254.06	\$ 254.06
	RO Size = 3' 0" W x 3' 0" H Unit Size = 2' 11 1/2" W x 2' 11 1/2" H					
	200 Series					
	Unit, 3 1/4" Frame Depth, White/PI White, Low E Glass (Each Sash)					
	Insect Screen, White					
	Zone: Northern					
	U-Factor: 0.29, SHGC: 0.32, ENERGY STAR® Certified: No					
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 Viewed from Exterior	0002	5	244DH3056 (AA)	UNIT # 4 - #24, #25, #26, #27, #28	\$ 436.51	\$ 2182.55
	RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H					
	200 Series					
	Unit, 3 1/4" Frame Depth, White/PI White, Low E Glass, Divided Light without Spacer, Specified Equal Lite, 2W1H, 3/4", Chamfer, Ext Grille - White, Int Grille - Prefinished White (Each Sash)					
	Insect Screen, White					
	Zone: Northern					
	U-Factor: 0.29, SHGC: 0.29, ENERGY STAR® Certified: No					



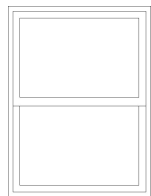
Viewed from Exterior

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
0011	1	244DH3056 (AA)	UNIT # 4 - #29 TEMPERED	\$ 502.17	\$ 502.17
RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H					
200 Series					
Unit, 3 1/4" Frame Depth, White/PI White, Low E Tempered Glass, Divided Light without Spacer, Specified Equal Lite, 2W1H, 3/4", Chamfer, Ext Grille - White, Int Grille - Prefinished White (Each Sash)					
Insect Screen, White					
Zone: Northern					
U-Factor: 0.30, SHGC: 0.28, ENERGY STAR® Certified: No					



Viewed from Exterior

0012	1	244DH3056 (AA)	UNIT # 4 - #30, #31 - TEMPERED	\$ 502.17	\$ 502.17
RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H					
200 Series					
Unit, 3 1/4" Frame Depth, White/PI White, Low E Tempered Glass, Divided Light without Spacer, Specified Equal Lite, 2W1H, 3/4", Chamfer, Ext Grille - White, Int Grille - Prefinished White (Each Sash)					
Insect Screen, White					
Zone: Northern					
U-Factor: 0.30, SHGC: 0.28, ENERGY STAR® Certified: No					



Viewed from Exterior

0001	1	244DH3040 (AA)	UNIT # 4 - #32	\$ 351.28	\$ 351.28
RO Size = 3' 0" W x 4' 0" H Unit Size = 2' 11 1/2" W x 3' 11 1/2" H					
200 Series					
Unit, 3 1/4" Frame Depth, White/PI White, Low E Tempered Glass (Each Sash)					
Insect Screen, White					
Zone: Northern					
U-Factor: 0.30, SHGC: 0.32, ENERGY STAR® Certified: No					

Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
			Total Load Factor	Subtotal	\$ 23,331.30
Customer Signature			10.973	Tax (8.375%)	\$ 1,954.00
				Grand Total	\$ 25,285.30

Dealer Signature

**** All graphics viewed from the exterior**

**** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.**



Ask to see if all of the products you purchase can be upgraded to be ENERGY STAR® certified.



This image indicates that the product selected is certified in the US ENERGY STAR® climate zone that you have selected.

Data is current as of August 2019. This data may change over time due to ongoing product changes or updated test results or requirements. Ratings for all sizes are specified by NFRC for testing and certification. Ratings may vary depending on the use of tempered glass or different grille options or glass for high altitudes etc.

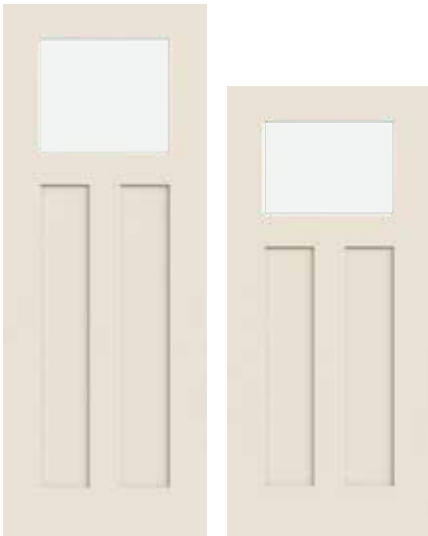
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Project Comments:



Smooth-Pro™

Craftsman



SPC-866DG-LE'
SPC7-866DG-LE'
SPC8-866DG-LE'
SPC-866DG-MG
SPC7-866DG-MG
SPC8-866DG-MG

SPC-866DG-GRF
SPC7-866DG-GRF
SPC8-866DG-GRF
SPC-866DG-KP
SPC7-866DG-KP
SPC8-866DG-KP

SPC-866DG-TPZ
SPC7-866DG-TPZ
SPC8-866DG-TPZ

Available Widths 2'8" 2'10" 3'0"

**Available in clear low-E glass*

Sidelite



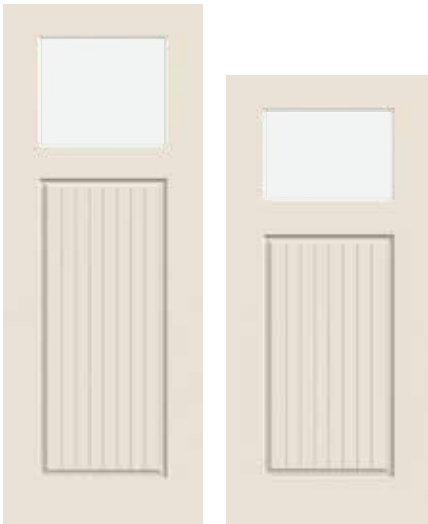
SPC-820DG-LE'
SPC7-820DG-LE'
SPC8-820DG-LE'
SPC-820DG-MG
SPC7-820DG-MG

SPC8-820DG-MG
SPC-820DG-GRF
SPC7-820DG-GRF
SPC8-820DG-GRF
SPC-820DG-KP

SPC7-820DG-KP
SPC8-820DG-KP
SPC-820DG-TPZ
SPC7-820DG-TPZ
SPC8-820DG-TPZ

Available Widths 1'0" 1'2"

Beadboard



SPB-866DG-LE'
SPB7-866DG-LE'
SPB8-866DG-LE'
SPB-866DG-MG
SPB7-866DG-MG
SPB8-866DG-MG

SPB-866DG-GRF
SPB7-866DG-GRF
SPB8-866DG-GRF
SPB-866DG-KP
SPB7-866DG-KP
SPB8-866DG-KP

SPB-866DG-TPZ
SPB7-866DG-TPZ
SPB8-866DG-TPZ

Available Widths 2'8" 2'10" 3'0"

**Available in clear low-E glass*

Sidelite



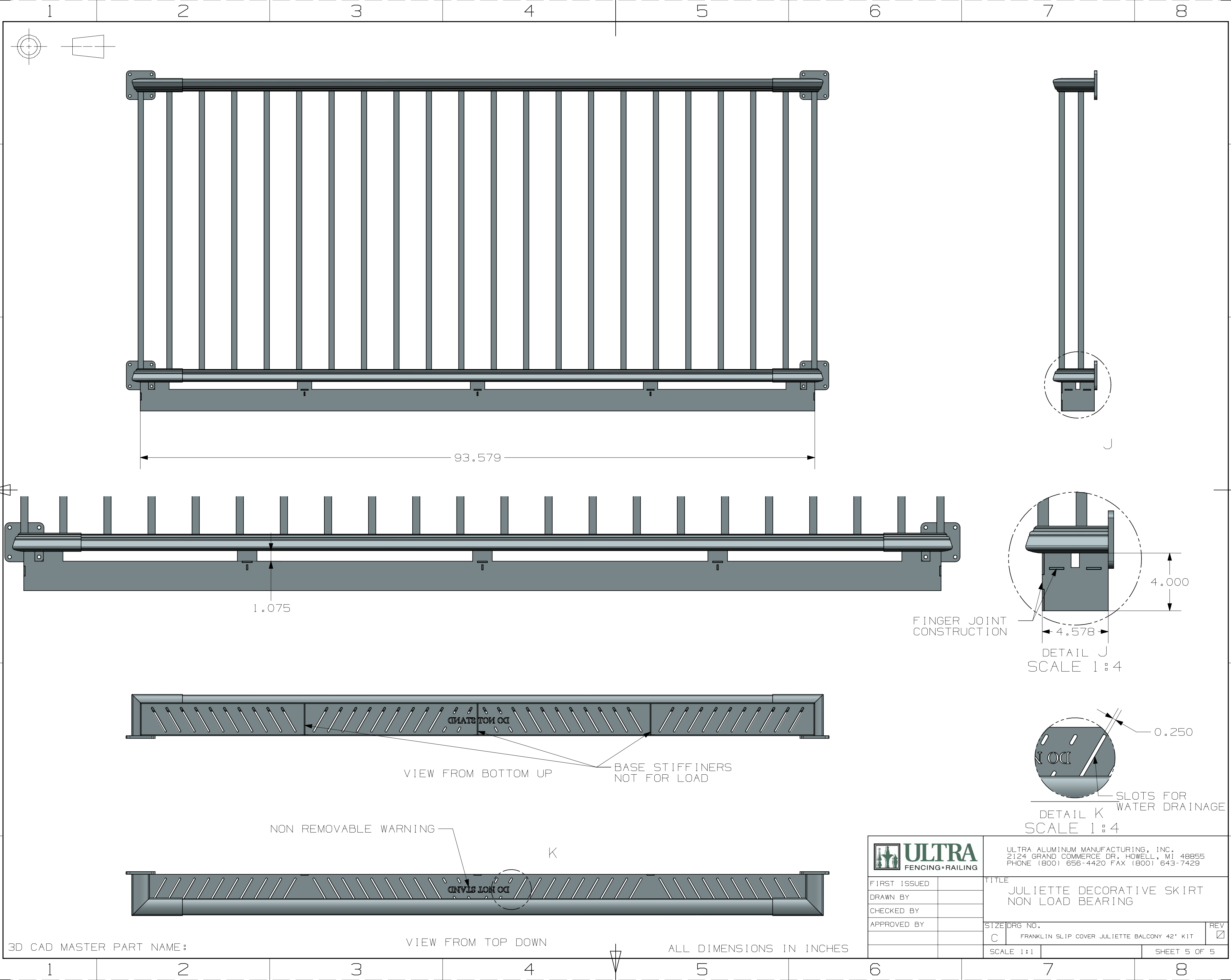
SPB-820DG-LE'
SPB7-820DG-LE'
SPB8-820DG-LE'
SPB-820DG-MG
SPB7-820DG-MG

SPB8-820DG-MG
SPB-820DG-GRF
SPB7-820DG-GRF
SPB8-820DG-GRF
SPB-820DG-KP

SPB7-820DG-KP
SPB8-820DG-KP
SPB-820DG-TPZ
SPB7-820DG-TPZ
SPB8-820DG-TPZ

Available Widths 1'0" 1'2"



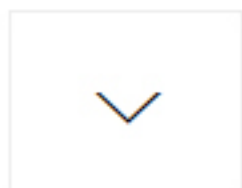


3D CAD MASTER PART NAME:

VIEW FROM TOP DOWN

ALL DIMENSIONS IN INCHES

		ULTRA ALUMINUM MANUFACTURING, INC. 2124 GRAND COMMERCE DR. HOWELL, MI 48855 PHONE (800) 656-4420 FAX (800) 643-7429	
FIRST ISSUED		TITLE JULIETTE DECORATIVE SKIRT NON LOAD BEARING	
DRAWN BY		SIZE DRG NO. C FRANKLIN SLIP COVER JULIETTE BALCONY 42' KIT	
CHECKED BY		REV <input checked="" type="checkbox"/>	
APPROVED BY		SCALE 1:1	
		SHEET 5 OF 5	



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WHITE

Available



Available

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SIDING COLORS

Arctic White



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Low-Maintenance Juliette Balconies

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Ultra Aluminum™ Juliette Balconies are made in America of strong aluminum alloys, with welded corners, welded balusters, and welded flanges for a secure connection to the building. Ultra Balconies come in a variety of colors, all with a Lifetime Warranty against cracking, chipping or peeling.



All Components
are Super
Low-Maintenance
Ultra Aluminum

Never needs
painting

Won't rust, rot,
crack or peel

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Colors

The powder-coated finishes available for Ultra Aluminum™ Railing, Gates and Accessories are all applied with a special Powercoat™ finish to meet AAMA 2604 Standards, and to resist harsh weather and heat.

BL	TB	BR	TZ	BE	TK	WH	TW	GR	SI
Gloss Black	Textured Black	Gloss Bronze	Textured Bronze	Gloss Beige	Textured Khaki	Gloss White	Textured White	Gloss Green	Silver (RAL 9006)

Colors shown represent an approximate comparison and may vary slightly from actual product color.