

February 23, 2017

Members of the Hastings Zoning Board of Appeals
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re:
Renovations & Extensions to the Moran Residence
42 Darwin Avenue, Hastings-on-Hudson, NY

To the Members of the Zoning Board of Appeals:

As the Architect for proposed Renovation & Extension to the Moran Residence, I am requesting that the Zoning Board of Appeals grant the following variances from the Hastings Zoning Code:

1. Variance from Section 295-68F.1c – Side Yard Setback / Combined Side Yards

We are requesting a variance for a 9.5 FT side yard setback, which is 5.5 FT closer to the property line than the 15 FT allowed. The existing side yard setback is 9.5 FT at the 1-story part of the house where we are proposing a 2nd floor extension – the extension continues the non-conformity.

In addition, we are requesting a variance for 24.5 FT combined side yards, which is 5.5 FT less than the required combined side yards of 30 FT.

2. Variance from Section 295-68F.2a.2 – Development Coverage

We are requesting a variance for a 41% development coverage, which is 6% over the 35% maximum allowed. The existing development coverage for the property is 40%, the proposed reconfiguration of the existing porch and relocation of the exterior stair to the basement increases the coverage to 41%. Note that this is an undersized lot at 6,000 SF, which creates a hardship in expanding the house to meet the development coverage.

3. Variance from Section 295-55a – Increasing a Non-Conformity

We are requesting a variance to increase an existing non-conformity at the side yard. The existing side yard setback is 9.5 FT at the 1-story part of the house where we are proposing a 2nd floor extension – the extension continues the non-conformity.

I appreciate your understanding of our request for these variances, and look forward to presenting the drawings at the next Zoning Board of Appeals meeting. Thank you for your review of our proposal.

Sincerely,

A handwritten signature in black ink, reading "Christina Griffin", is written over a thin horizontal line.

Christina Griffin AIA LEED AP CPHC



**TOPOGRAPHIC
SURVEY OF PROPERTY
SITUATE IN THE
VILLAGE OF HASTING ON HUDSON
TOWN OF GREENBURGH
WESTCHESTER COUNTY
NEW YORK**

SCALE: 1"= 10'
SURVEYED: DECEMBER 8, 2016

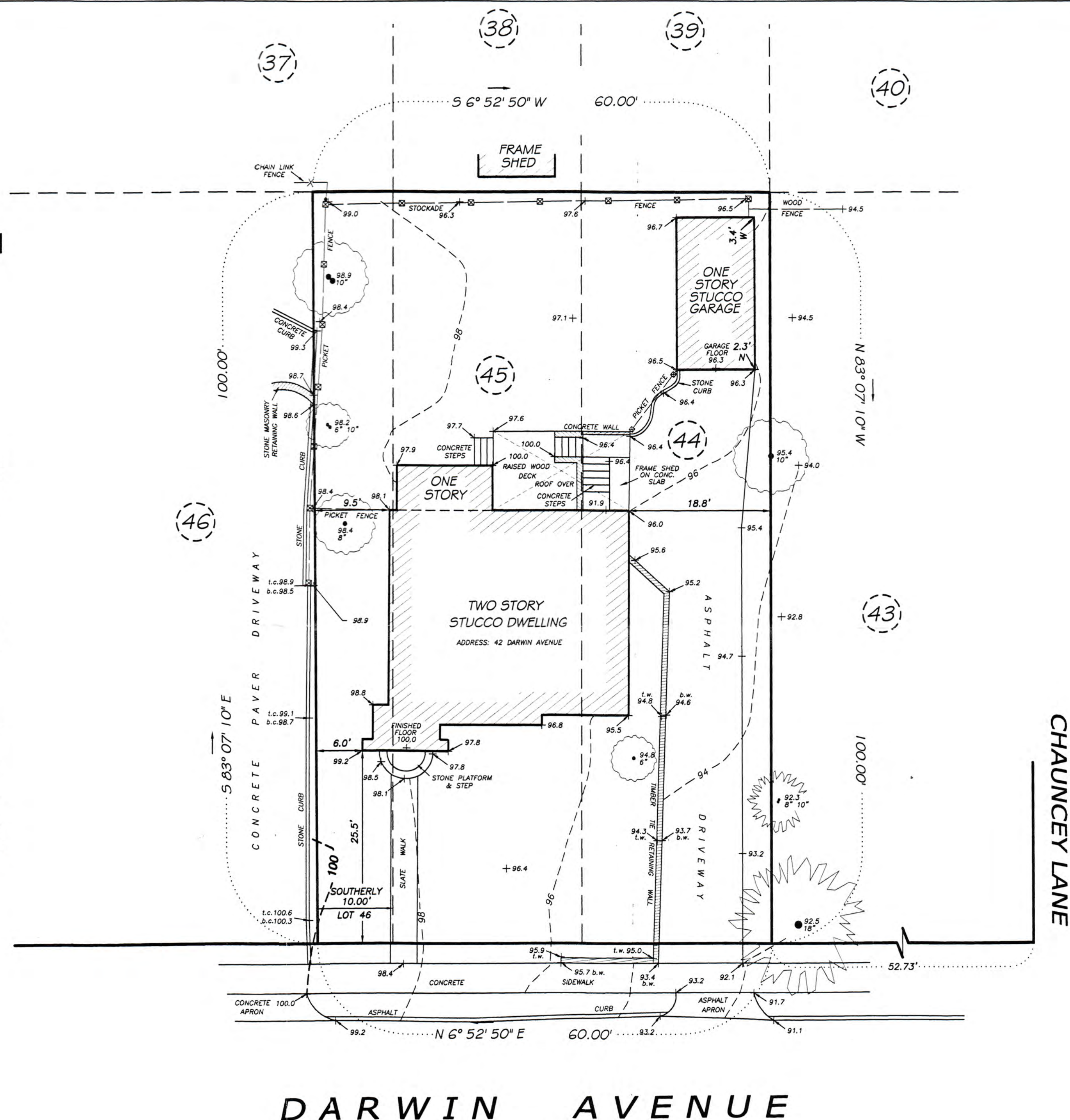
- THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOTS 44 & 45 AND THE SOUTHERLY 10 FEET OF LOT 46 AS SHOWN ON A CERTAIN MAP ENTITLED, "MAP OF RIVERVIEW PARK", DATED JUNE 1909 AND PREPARED BY WARD CARPENTER & SON, CIVIL ENGINEERS & SURVEYORS AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE, DIVISION OF LAND RECORDS, FORMERLY THE WESTCHESTER COUNTY REGISTER'S OFFICE, ON SEPTEMBER 29, 1924, AS FILED MAP No. 2663. THE PREMISES ARE MORE PARTICULAR DESCRIBED IN DEED UNDER CONTROL No. 511603548.
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE VILLAGE OF HASTINGS ON HUDSON / TOWN OF GREENBURGH SECTION 4.40; BLOCK 39; LOT 14; PROPERTY AREA: 6,000 SQ. FT. / 0.1377 AC.
- THIS MAP IS BASED UPON THE INFORMATION SUPPLIED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND SUBJECT TO THE FINDINGS THAT A COMPLETE ABSTRACT OF TITLE MAY UNCOVER
- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- ELEVATIONS ARE BASED ON AN ARBITRARY DATUM, FINISHED FLOOR IS 100.0
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: HELEN MORAN

Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Phone 845-628-5857
Mahopac N.Y. 10541 Fax 845-621-0013

STATE OF NEW YORK
ERIK J. LINK
NEW YORK STATE LICENSED
LAND SURVEYOR NO. 050542

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VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



Case number:..... Date of application:.....

Property owner: **Kevin and Helen Moran**
 Property address: **42 Darwin Avenue**
 Name all streets on which the property is located:.....
 Sheet: **4.40** Block: **39** Lot/Parcel: **14** Zoning District: **R-10**

Applicant: **Christina Griffin Architect, PC**
 Standing of applicant if not owner: **Architect**
 Address: **10 Spring Street, Hastings-on-Hudson, NY 10706**
 Daytime phone number: **914-478-0799** Fax number:
 E-mail address: **sl@cgastudio.com**

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68 F(1)(c)	15 FT min. side yard	6.0 FT	9.5 FT at 2nd Floor Extension
.....	30 FT combined side yards	24.8 FT	24.8 FT at Existing / 24.5 FT at Extension
295-68 F (2)(a)[2]	35% max. development coverage	40%	41%
.....
295-55 A	Increasing a non-conformity	9.5 FT	9.5 FT
.....

*See example below:

...295-68F.1a...Front Yard Min. 30 ft. deep.....26.5 ft.....19.5 ft.....
...295-68A.....Permitted Principal Use.Single Family Home.....Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Zoning Analysis



ZONING REQUIREMENTS:

YARD SETBACKS
(Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30 FT	25.5 FT	25.5 FT
REAR	30 FT	32 FT	32 FT
SIDE ONE	15 FT	6.0 FT	6.0 FT / 9.5 FT at 2nd Fl. Extension
SIDE TWO	15 FT	18.8 FT	18.8 FT to Building / 15 FT to Basement Stair
TOTAL OF TWO SIDES	30 FT	24.8 FT	24.8 FT at Existing / 24.5 FT at Extension

YARD SETBACKS
(Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2 1/2	2 1/2
FEET	35 FT	27.7 FT	27.7 FT

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 SF	6,000 SF	6,000 SF
BLDG. COVERAGE / % OF LOT AREA	25%	22%	23%
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	39.8%	41.6%

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single Family	Single Family	Single Family

** Single Family, Two Family, Commercial, Mixed Use etc.

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
Application and Procedure for Application for
Variance/Interpretation/View Preservation



- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

.....

.....

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)


Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:


Applicant

Sworn to before me this 23 day
of February, 2017


Notary Public

LINDA LOEB
Notary Public, State of New York
No. 01LO6332392
Qualified in Westchester County
Commission Expires Nov. 2, 2019

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for
Variance/Interpretation/View Preservation



STATE OF NEW YORK COUNTY OF
WESTCHESTER VILLAGE OF
HASTINGS ON HUDSON

Name : Helen Moran & KEVIN MORAN, being duly sworn, deposes and says that
he/she resides at 42 Darwin Avenue in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 4.40 Block 39 and Lot 14 of the tax map, and that
he/she hereby authorized Christina Griffin Architect, PC to make the annexed
application in his/her behalf and that the statement of fact contained in said application are true.



Owner

SWORN TO BEFORE ME THIS 18 DAY
OF Feb 20 17


Notary Public



NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in
accordance with the foregoing and as required by law.

EXTENSIONS & RENOVATIONS TO THE

MORAN RESIDENCE

42 DARWIN AVENUE, HASTINGS-ON-HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT PC

10 Spring Street, Hastings-on-Hudson, NY 10706



GENERAL NOTES

1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.

2. All construction shall comply fully with the Residential Code of NYS, existing building code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.

3. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires

4. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.

5. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.

6. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.

7. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.

8. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.
9. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.

10. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.

11. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.

12. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.

13. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.

14. All dimensions and conditions shown and assumed on the drawings must be verified at site by contractor before ordering any material or doing any work.
15. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.

16. The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.

17. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.

18. The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.

19. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.

20. The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.
21. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.

22. Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.

23. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.

24. New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.

25. All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.

26. Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for
- approval before releasing any order for fabrication and/or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.

27. All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.

28. Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following:

1. Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.

2. Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.

3. Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.

4. Final cleaning of all chrome and aluminum metal work.

29. Finish materials and paint colors shall be reviewed and approved by the homeowner.

30. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.
- Energy Notes R-Values & U-Factors

NYS Energy Code

Climate Zone 4

	Required	Proposed
Ceiling	R-38	R-38
Wall	R-13	R-18
Glazing	0.35	0.32
Floor	R-19	R-30

Design Criteria:
5750 Degree Days
15% Maximum Glazing

Certification
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2010 Residential Code of New York State, and the 2010 New York State Energy Conservation Construction code.

Christina Griffin

INSULATION & FENESTRATION REQUIREMENT BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR b	CEILING R-VALUE	WOOD FRAME WALL R-VALUE
4	0.35	0.60	38	
MASS WALL R-VALUE (g)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB R-VALUE & DEPTH (d)	CRAWL SPACE WALL R-VALUE
5/10 (g)	19	10/13 (c)	10, 2FT (d)	

- a. R-VALUE ARE MINIMUMS. U-FACTORS. R-19 INSULATION SHALL BE PERMITTED TO BE COMPRESSED INTO 2X6 CAVITY.

b. THE FENESTRATION U-FACTORS COLUMN EXCLUDES SKYLIGHTS.

c. THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION. THE SECOND TO FRAMING CAVITY INSULATION; EITHER INSULATION MEETS THE REQUIREMENTS.

d. R-5 SHALL BE ADD TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS.

e. THE SECOND R-VALUES APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE EXTERIOR OF THE MASS WALL.
- 13 (c)
- 10/13 (c)

DESIGN REQUIREMENTS for the 2010
RESIDENTIAL CODE OF NEW YORK STATE
CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

			SUBJECT TO DAMAGE FROM				
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 psf	100-110	C	severe	42" min	medium to heavy	yes	NO

HASTINGS GREEN BUILDING CODE COMPLIANCE NOTES

1. TOILET, SHOWERS & FAUCETS TO COMPLY WITH HGBC 160.10A, B & C
3. PAINTS, STAINS AND OTHER FINISHING MATERIALS TO COMPLY WITH HGBC 160.11.A.1,2,3,4,& 5
4. LOW SLOPE ROOF TO HAVE MIN. 0.78 SRI, STEEP SLOPE ROOF TO HAVE MIN. 0.29 SRI, TO COMPLY WITH HGBC 160.11.B
5. CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH HGBC 160-11.C

DATES

DESIGN DRAWINGS	1-4-17
DESIGN DRAWINGS	1-5-17
CONSTRUCTION DRAWINGS	2-17-17
ZONING BOARD SUBMISSION	2-23-17

LIST of DRAWINGS

TITLE SHEET	GENERAL NOTES, CLIMATIC & GEOGRAPHIC CRITERIA, DATES, LIST OF DRAWINGS, SKETCH OF FRONT ELEVATION
S-1	SITE PLAN, PHOTOGRAPHS, LOCATION MAP & ZONING COMPLIANCE DATA
A-1	BASEMENT, FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN
A-3	EXTERIOR ELEVATIONS

PHOTOGRAPHS OF
NEIGHBORING PROPERTIES

SCALE: N.T.S.



36 DARWIN AVENUE

42 DARWIN AVENUE

46 DARWIN AVENUE



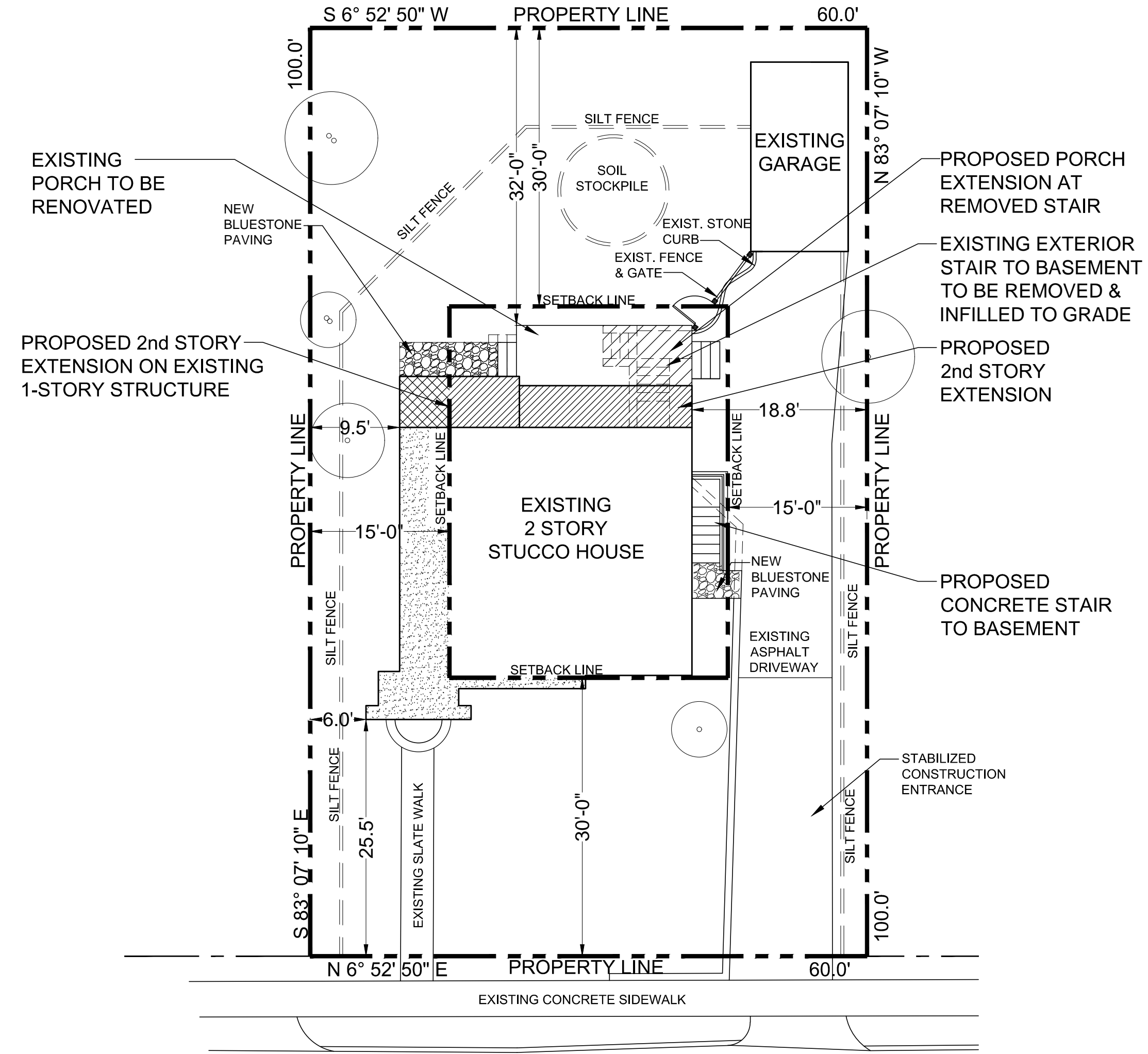
47 DARWIN AVENUE

41 DARWIN AVENUE

37 DARWIN AVENUE

VIEWS OF EXISTING HOUSE at 42 DARWIN AVENUE


SCALE: N.T.S.



DARWIN AVENUE

SITE PLAN
SCALE: 3/32" = 1'-0"

SITE PLAN LEGEND	
	EXISTING NON-CONFORMING BUILDING
	PROPOSED CONFORMING CONSTRUCTION
	PROPOSED CONTINUATION OF NON-CONFORMITY

TABLE OF ZONING DATA				42 DARWIN AVENUE SECTION: 4.40 BLOCK: 39 LOT: 14		ZONING DISTRICT: R-10		COVERAGE CALCULATIONS			LOCATION MAP	
	REQUIRED	EXISTING	PROPOSED	LOT AREA	6,000 SF							
MIN. LOT SIZE	10,000 SF	6,000 SF	6,000 SF		BUILDING, PORCH, GARAGE	EXISTING		PROPOSED				
WIDTH AT FRONT OF BLDG.	100 FT	60 FT	60 FT			1,312 SF / 22%		1,398 SF / 23%				
BUILDING COVERAGE	25% (1,500 SF)	22% (1,312 SF)	23% (1,398 SF)		PAVED AREAS	18 SF CONCRETE SLAB		57 SF BLUESTONE PAVING				
DEVELOPMENT COVERAGE (ALL STRUCTURES, DRIVEWAYS, IMPERVIOUS SURFACES)	35% (2,100 SF)	40% (2,397 SF) *	41% (2,485 SF) **			STEPS & WALKS		178 SF	152 SF			
				WALLS	N/A	N/A						
MIN. FRONT YARD	30 FT	25.5 FT *	25.5 FT *	DRIVEWAY (TOTAL)	889 SF	878 SF						
MIN. REAR YARD	30 FT	32.0 FT	32.0 FT	TOTAL DEVELOPMENT COVERAGE (ALL BLDG., STRUCTURES, DRIVEWAY, IMPERVIOUS SURFACES)	EXISTING	PROPOSED						
MIN. SIDE 1 YARD	15 FT	6.0 FT *	6.0 FT* TO EXISTING 9.5 FT** TO PROPOSED 2nd STORY EXTENSION		2,397 SF / 40%	2,485 SF / 41%						
MIN. SIDE 2 YARD	15 FT	18.8 FT	18.8 FT TO BUILDING / 15 FT TO BASEMENT STAIR									
MIN. 2 SIDE YARDS	30 FT	24.8 FT *	24.8 FT* TO EXISTING 24.5 FT** TO PROPOSED EXTENSION									
MAXIMUM HEIGHT	35 FT / 2.5 STORIES	27.7 FT / 2.5 STORIES	27.7 FT / 2.5 STORIES									
* EXISTING NON-CONFORMING												
** VARIANCE REQUIRED												

EXTENSIONS & RENOVATIONS TO
MORAN RESIDENCE
42 DARWIN AVENUE, HASTINGS-ON-HUDSON, NY

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

CONSTRUCTION DRAWINGS 2-3-17
BUILDING PERMIT / ZONING BOARD SUBMISSION 2-23-17

Drawing Title
SITE PLAN
ZONING DATA

Scale:
AS SHOWN

S-1

LEGEND

INTERIOR WALL:
5/8" gypsum board ea. side
of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2 x 4s @ 16" o.c.,
Blue Jeans acoustical insul.

3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2x4s @ 16" o.c.

EXTERIOR WALL:
Textured cement stucco to match existing,
stuccowing, 5/8" Advantech engineered panel,
2x6 studs 16" o.c., R-19 batt insulation,
5/8" gypsum board

FOUNDATION WALL:
10" reinforced concrete wall, stucco
finish above grade, troweled on
waterproofing below grade

FOUNDATION WALL W/ STONE VENEER:
4" stone veneer, 8" reinforced concrete wall

ELEVATION
NO.
ELEVATION
SHEET NO.

ELEVATION
NO.
ELEVATION
SHEET NO.

SECTION DETAIL

XX

DOOR TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE

XX

WINDOW TYPE,
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE

Basement plan showing finished basement, office, utility room, and various setbacks and dimensions. The plan includes a finished basement with a porch above, a utility room with a boiler, and an office. Dimensions and setbacks are indicated throughout the plan.

BASEMENT PLAN
SCALE: 1/4" = 1'-0"

First floor plan showing living room, kitchen, dining room, laundry, half bath, and various setbacks and dimensions. The plan includes a living room, kitchen, dining room, laundry, half bath, and a porch. Dimensions and setbacks are indicated throughout the plan.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXTENSIONS & RENOVATIONS TO
MORAN RESIDENCE
42 DARWIN AVENUE, HASTINGS-ON-HUDSON, NY

CHRISTINA GRIFFIN ARCHITECT PC
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Date

DESIGN DRAWINGS 11-22-16
DESIGN DRAWINGS 1-4-17
CONSTRUCTION DRAWINGS 2-3-17
ZONING BOARD SUBMISSION 2-23-17

Drawing Title
BASEMENT PLAN
FIRST FLOOR PLAN

Scale:
AS SHOWN

A-1

LEGEND

INTERIOR WALL:
5/8" gypsum board ea. side
of 2 x 4s @ 16" o.c.

INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2 x 4s @ 16" o.c.,
Blue Jeans acoustical insul.

3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2x4s @ 16" o.c.

EXTERIOR WALL:
Textured cement stucco to match existing,
stuccowrap, 5/8" Adventech engineered panel,
2x6 studs 16" o.c., R-19 batt insulation,
5/8" gypsum board

FOUNDATION WALL:
10" reinforced concrete wall, stucco
finish above grade, troweled on
waterproofing below grade

FOUNDATION WALL W/ STONE VENEER:
4" stone veneer, 8" reinforced concrete wall

ELEVATION
NO.
XX

ELEVATION
NO.
XX

SECTION DETAIL

DOOR TYPE
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE

WINDOW TYPE
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE

The Second Floor Plan shows a rectangular building footprint with setbacks on all four sides. The layout includes a central Hall connecting to a Master Bedroom, Master Bath, two additional Bedrooms, and two Baths. A Walk-In Closet is located near the Master Bedroom. The plan is annotated with numerous construction details, including window and door types, wall materials, and floor finishes. Specific notes include: 'SINGLE CHROME ROD, (2)12" DEEP 3/4" PLYWOOD SHELVES WITH 1 1/2" SOLID WOOD EDGE ABOVE' for the roof; 'NEW OAK FLOORING TO MATCH EXIST. AT ADDITION' for Bedroom 2; 'REFINISH EXIST. OAK FLOORING' for the Master Bedroom; and 'REPLACE EXIST. WDW.' for several windows. The plan also shows existing and new walls, doors, and closets. A dashed line indicates the 'SETBACK' boundary.

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

The Roof Plan shows the layout of the roof structure, including the main roof and a dormer. The plan is annotated with construction details, including: 'ROOF CONSTRUCTION: 30 YEAR ARCHITECTURAL FIBERGLASS SHINGLE ROOFING ON 30 LB FELT, 5/8" ADVENTECH SHEATHING, 2"x12" RAFTERS @ 16" O.C.'; 'NEW FLASHING & ICE SHIELD AT ROOF VALLEY'; 'NEW FLASHING AT EXISTING & NEW ROOF INTERSECTION'; 'EXISTING ROOF STRUCTURE TO REMAIN'; and 'NEW 30 YEAR ARCHITECTURAL FIBERGLASS SHINGLE ROOFING ON 30 LB FELT AT EXISTING ROOF'. The plan also shows the location of the existing chimney and the new roof intersection. A dashed line indicates the 'SETBACK' boundary.

ROOF PLAN

SCALE: 1/4" = 1'-0"

EXTENSIONS & RENOVATIONS TO

MORAN RESIDENCE

42 DARWIN AVENUE, HASTINGS-ON-HUDSON, NY

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Date

DESIGN DRAWINGS 11-22-16
DESIGN DRAWINGS 1-4-17
CONSTRUCTION DRAWINGS 2-3-17
ZONING BOARD SUBMISSION 2-23-17

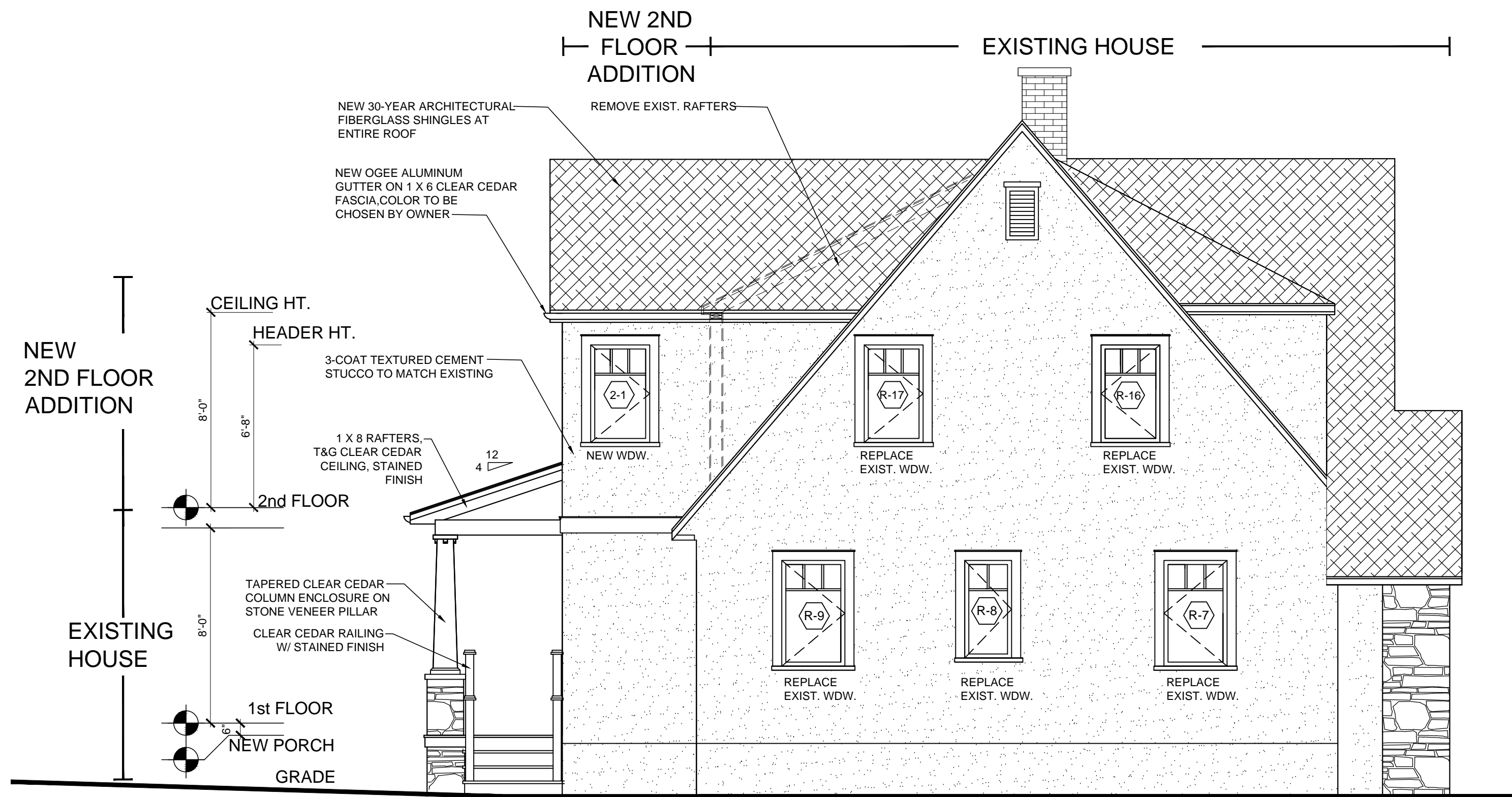
Drawing Title

2ND FLOOR PLAN
REAR ELEVATION

Scale

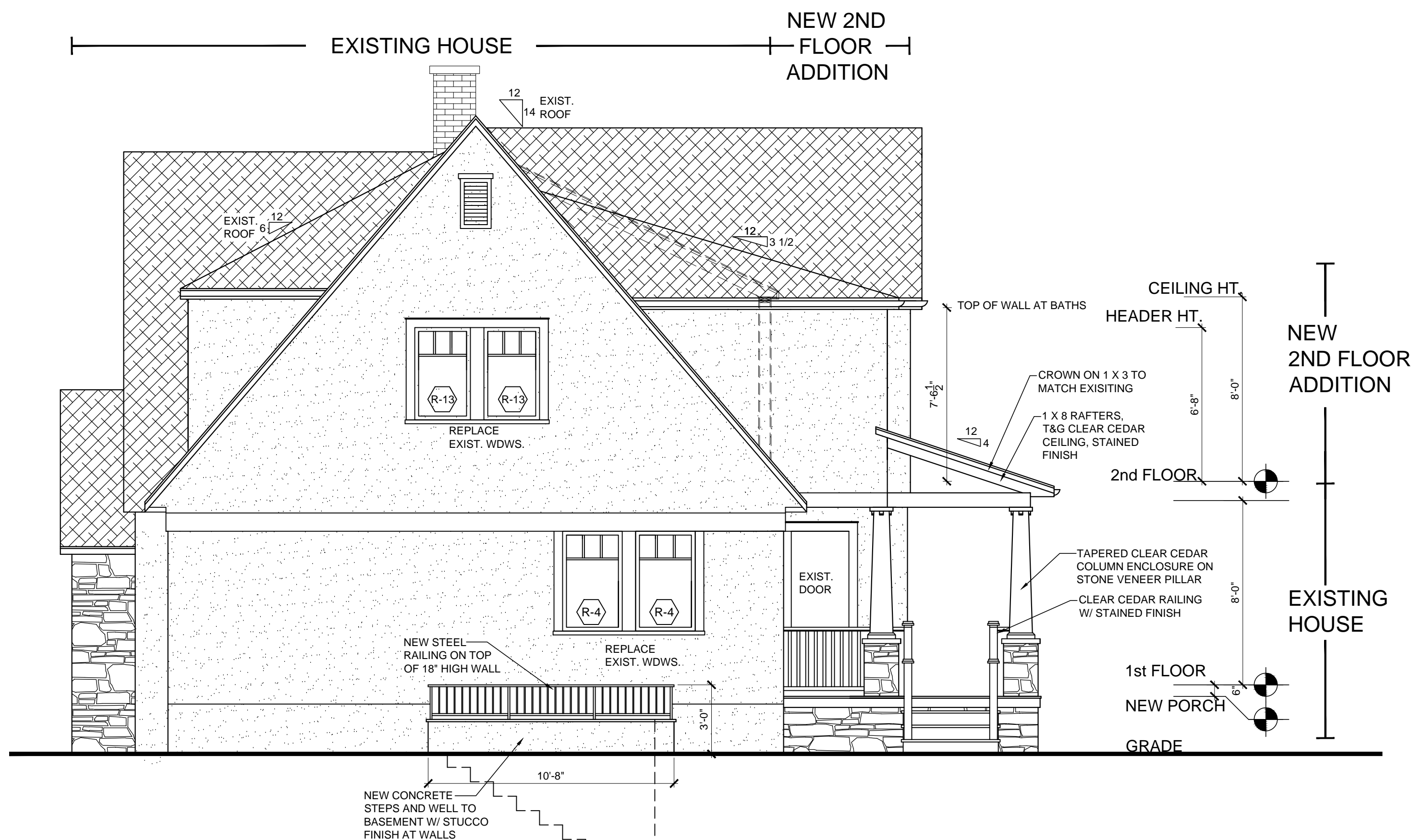
AS SHOWN

A-2



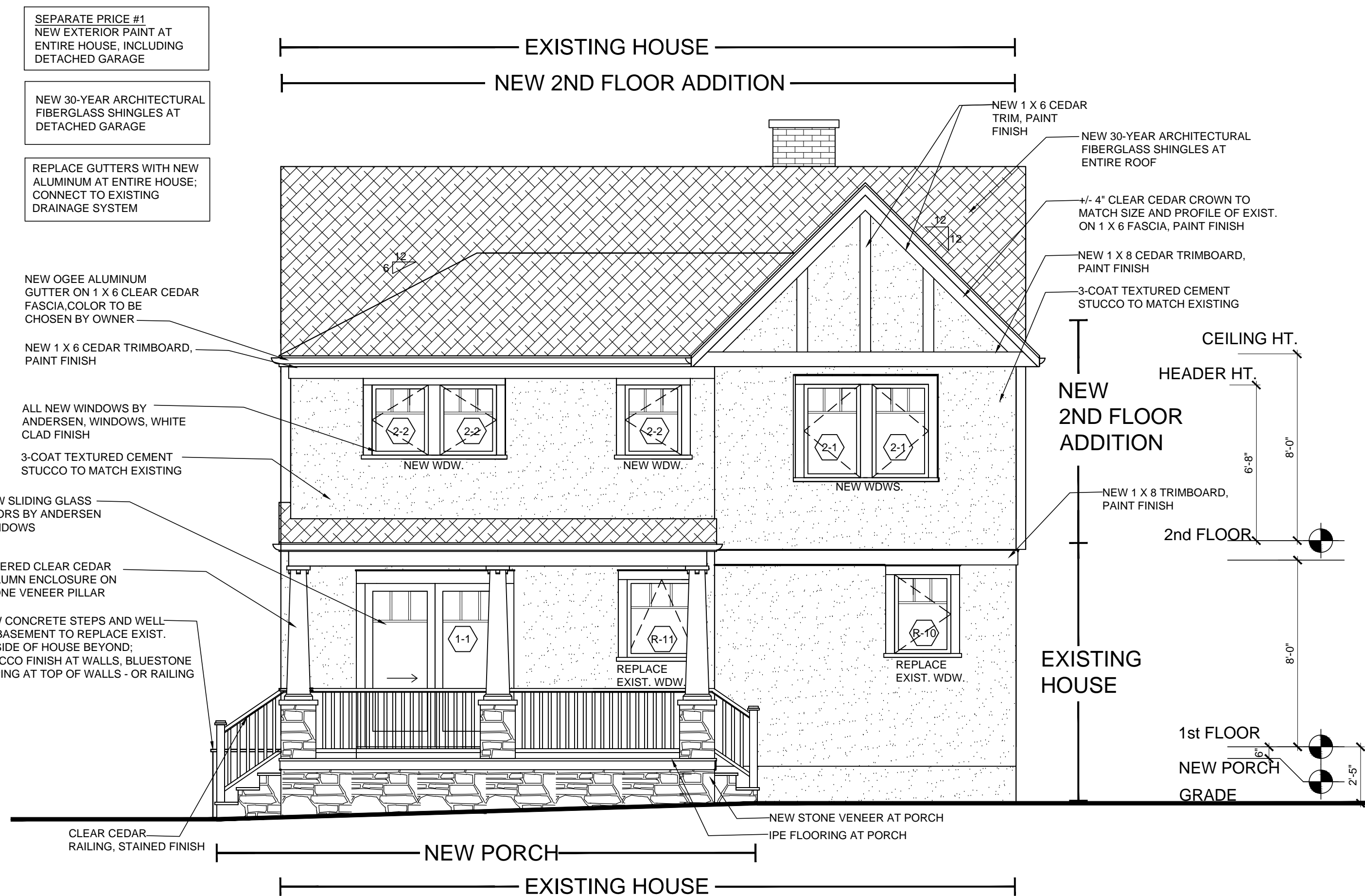
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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Design Title
BASEMENT PLAN
FIRST FLOOR PLAN
Date
DESIGN DRAWINGS 11-22-16
DESIGN DRAWINGS 1-4-17
CONSTRUCTION DRAWINGS 2-3-17
ZONING BOARD SUBMISSION 2-23-17
Scale:
AS SHOWN

A-3