

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Application and Procedure for Application for Variance/Interpretation/View Preservation



Case number: Date of application:

Property owner: Richard + Liz Steinberg
 Property address: 102 Lincoln Ave, Hastings-on-Hudson, NY
 Name all streets on which the property is located:
 Sheet: 4.90 Block: 83 Lot/Parcel: 6 Zoning District: R-10

Applicant: Christina Griffin Architect
 Standing of applicant if not owner: Architect
 Address: 10 Spring Street, Hastings-on-Hudson, NY 10706
 Daytime phone number: 914.478.0799 Fax number: N/A
 E-mail address: jm@cgaudio.com

ZBA action requested for (See §295-146B & C : ☐ Use Variance/s; ☒ Area Variance/s;
☐ Interpretation; ☐ View Preservation (See §295-82)

List code sections & provisions from which the variance or interpretation is requested:

Section*	Code Provision*	Existing Condition*	Proposed Condition*
295-68F 1a	front yard min 30 ft.	Front yard setback is currently 25.6 ft.	25.6 ft setback.

*See example below:

295-68F.1a...	Front Yard Min. 30 ft. deep.....	26.5 ft.....	19.5 ft.....
295-68A.....	Permitted Principal Use.....	Single Family Home.....	Conversion to Dental Office.....

VILLAGE OF HASTINGS-ON-HUDSON

Zoning Board of Appeals

Zoning Analysis



ZONING REQUIREMENTS: R-10

YARD SETBACKS (Principal Structure)

	REQUIRED	EXISTING	PROPOSED
FRONT	30'	25.6'	25.6'
REAR	30'	7.4'	7.4'
SIDE ONE	15'	23.3'	23.3'
SIDE TWO	15'	29.4'	29.4'
TOTAL OF TWO SIDES	30'	52.7'	52.7'

YARD SETBACKS (Accessory Structure)

	REQUIRED	EXISTING	PROPOSED
TO PRINCIPAL BLDG.			
REAR			
SIDE			

BUILDING HEIGHT

	PERMITTED	EXISTING	PROPOSED
STORIES	2 1/2	2 1/2	2 1/2
FEET	35'	+/- 23.7'	+/- 23.7'

LOT COVERAGE

	PERMITTED	EXISTING	PROPOSED
LOT AREA	10,000 sf	8,141 sf	8,141 sf
BLDG. COVERAGE/ % OF LOT AREA	25%	22.68% (1846.9 sf)	23.6% (1921.7 sf)
DEVELOPMENT COVERAGE / % OF LOT AREA	35%	29.06% (2366.5 sf)	29.77% (2424.14 sf)

*See Definitions of Building and Development Coverage in Section 295-5 of the Village code.

OCCUPANCY AND USE

	PERMITTED	EXISTING	PROPOSED
CURRENT USE**	Single	single family	Single family

** Single Family, Two Family, Commercial, Mixed Use etc.

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- List any previous application or appeal filed with The Zoning Board of Appeals for this premises:

Date of Appeal	Purpose of the Appeal	Resolution if any	Date of Action
.....
.....

- List pending violations on this property if any:

.....

.....

- Is there an approved site plan for this property?: ☐ (Yes) ☒ (No)
- Is there an Accessory Apartment at this property?: ☐ (Yes) ☒ (No)
- Does this property have Boarder's Permit?: ☐ (Yes) ☒ (No)
- On a separate typewritten sheet of paper, state the principal points on which you are making this application. Describe the construction, addition or alteration that requires the variance. Explain why a variance is necessary and demonstrate how the variance satisfies the criteria for the type of variance (use or area) sought. The criteria for the two types of variances are attached. (If an interpretation is sought, explain the issue. If you wish you may also state your argument for how the issue should be resolved.)

Submit a flash drive and a total of three (3) copies (residential) or eight (8) copies (commercial), of the application along with the property survey showing the existing and proposed construction and all other supporting documents (plans, drawings, site maps, photographs, etc. as necessary to describe and support your application) with required fee, to the Office of the Building Inspector, no less than four (4) weeks prior to the date of scheduled meeting of the Zoning Board of Appeals.

STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

I hereby depose and say that all of the above statements and statements contained in all papers I have submitted in connection with this application are true:

Sworn to before me this 21st day
of February 2017

Mary Ellen Ballantine
Notary Public



[Signature]
Applicant

VILLAGE OF HASTINGS-ON-HUDSON
Zoning Board of Appeals
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STATE OF NEW YORK COUNTY OF
WESTCHESTER VILLAGE OF
HASTINGS ON HUDSON

Name : Richard Steinberg, being duly sworn, deposes and says that
he/she resides at 102 Lincoln Avenue in the Village of Hastings-on-
Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot,
parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and
designated as Sheet 4.90 Block 83 and Lot 6 of the tax map, and that
he/she hereby authorized Christina Griffin to make the annexed
application in his/her behalf and that the statement of fact contained in said application are true.

[Signature]
Owner

SWORN TO BEFORE ME THIS 21st DAY
OF February 17

Mary Ellen Ballantine
Notary Public



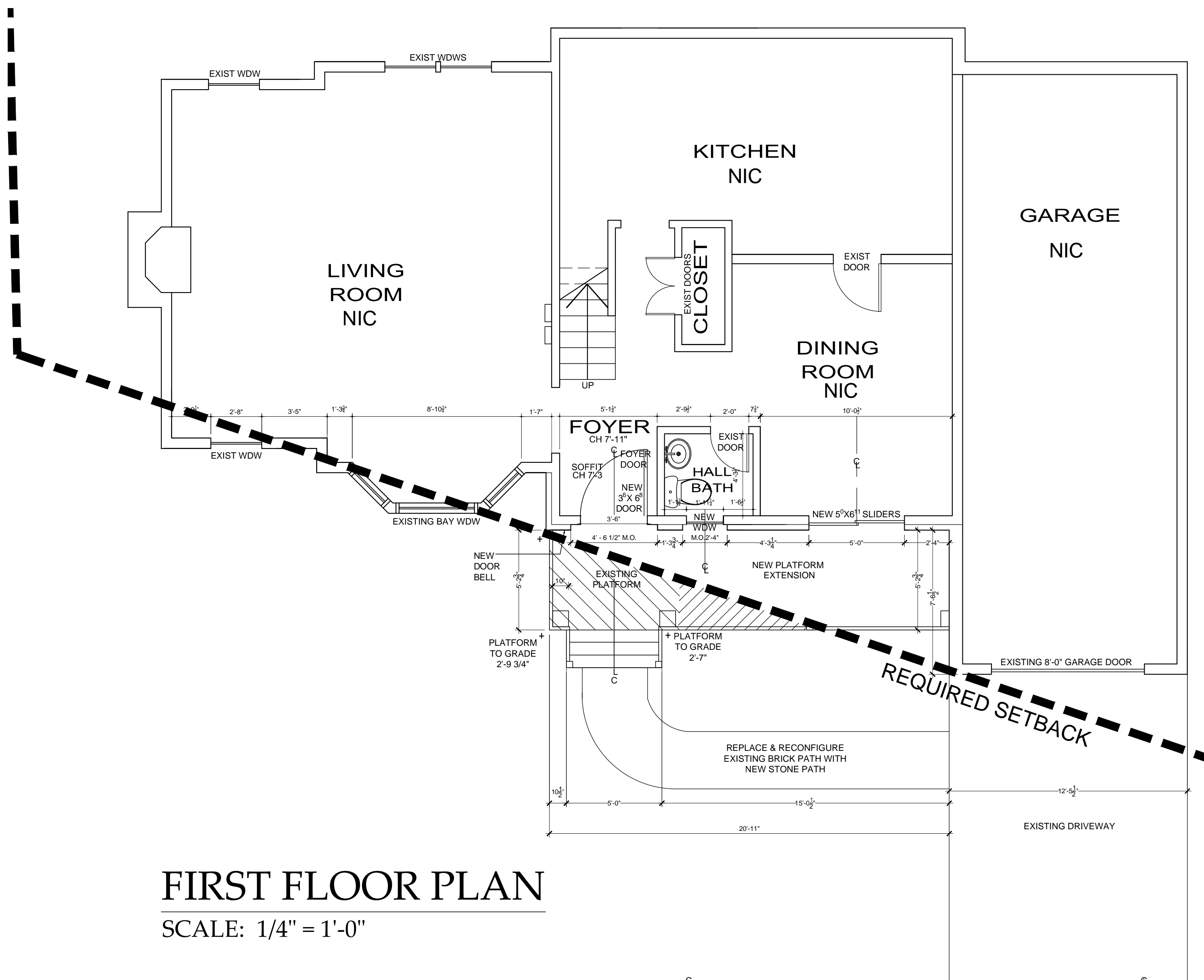
NOTICE

This application will not be accepted for filing unless accompanied by all necessary papers, plans and data, in accordance with the foregoing and as required by law.

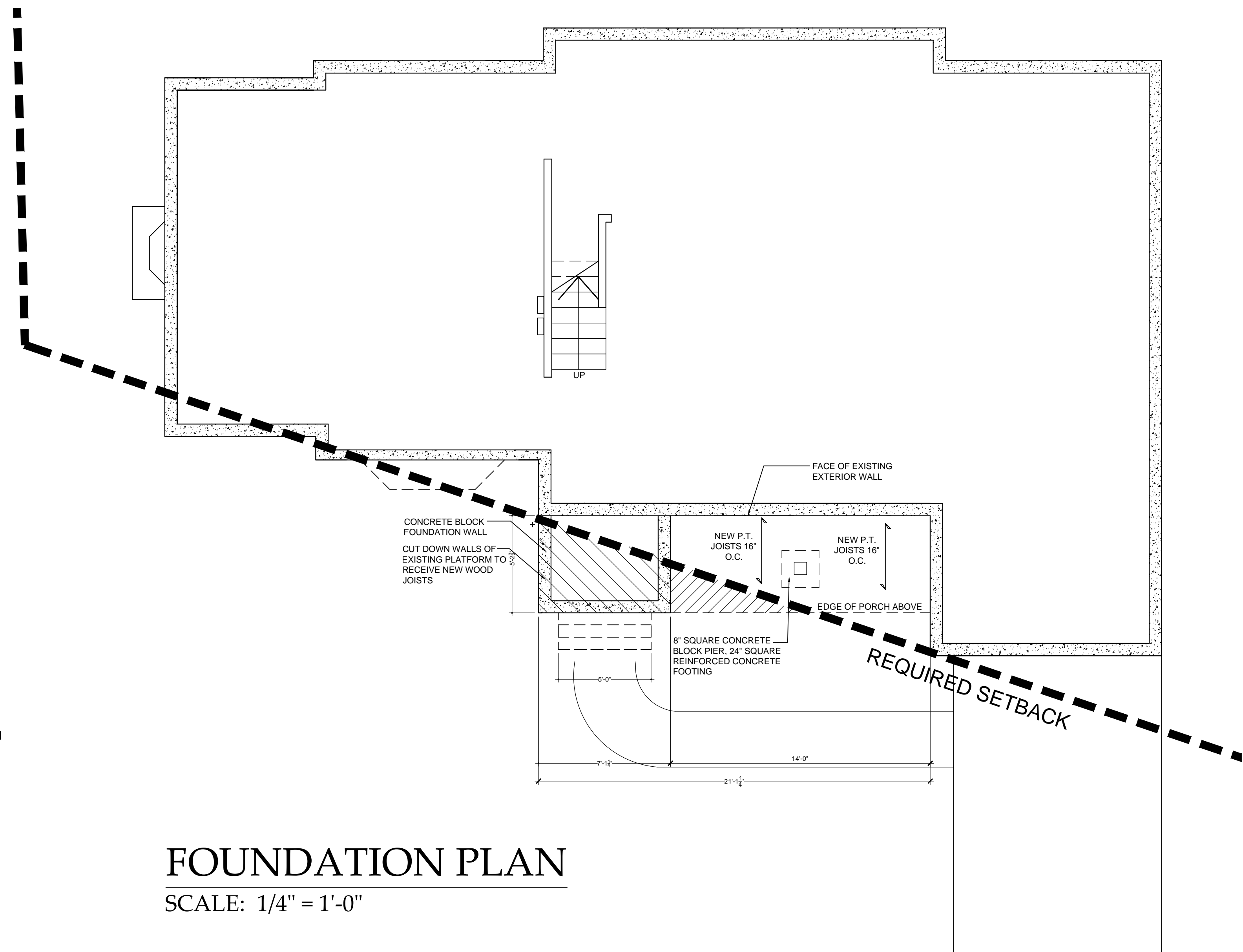


THE SURVEY WHICH IS BEING SUBMITTED IS
"AS THE PROPERTY CURRENTLY EXISTS."

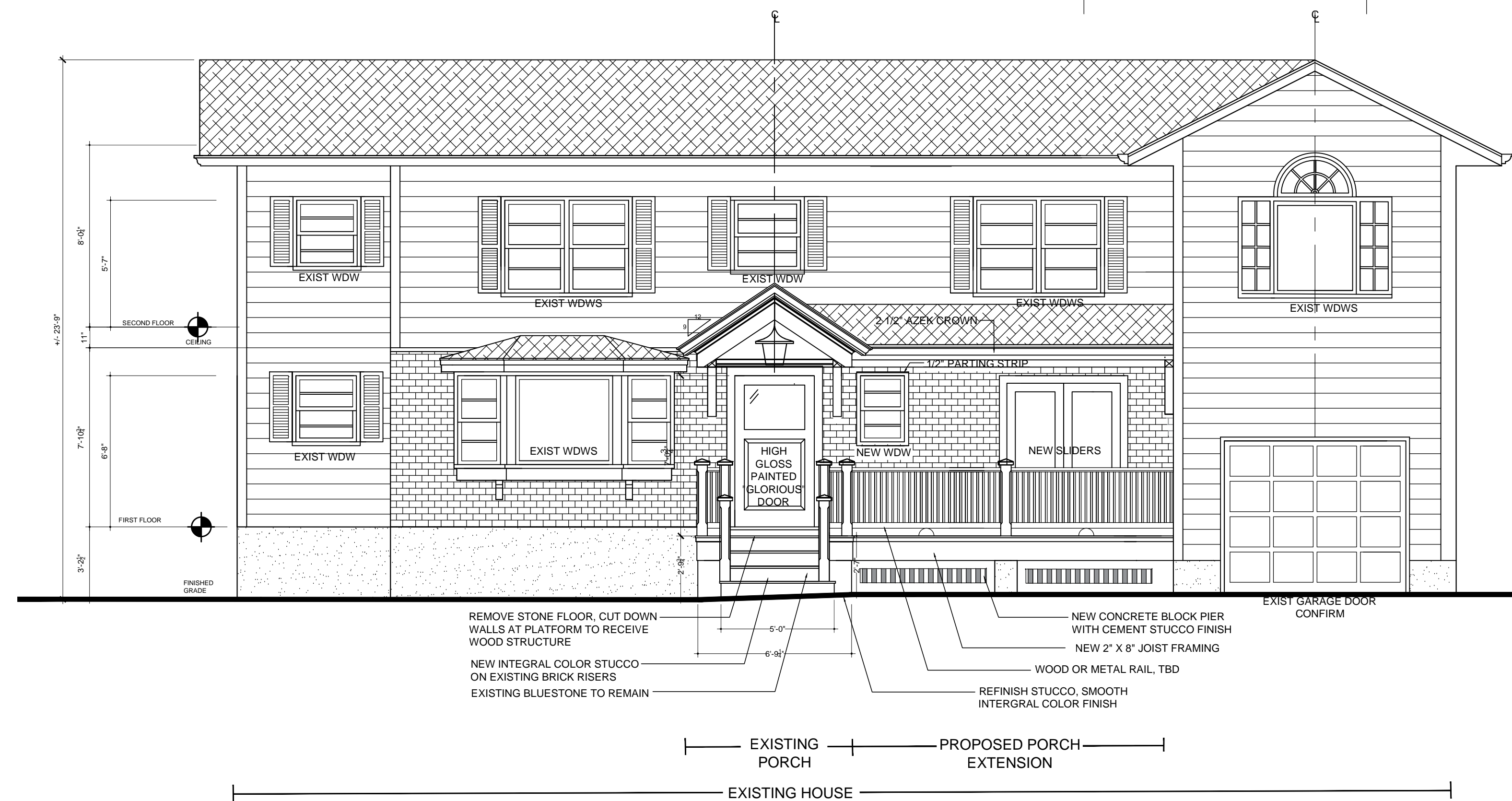
[Signature]
Owner's signature



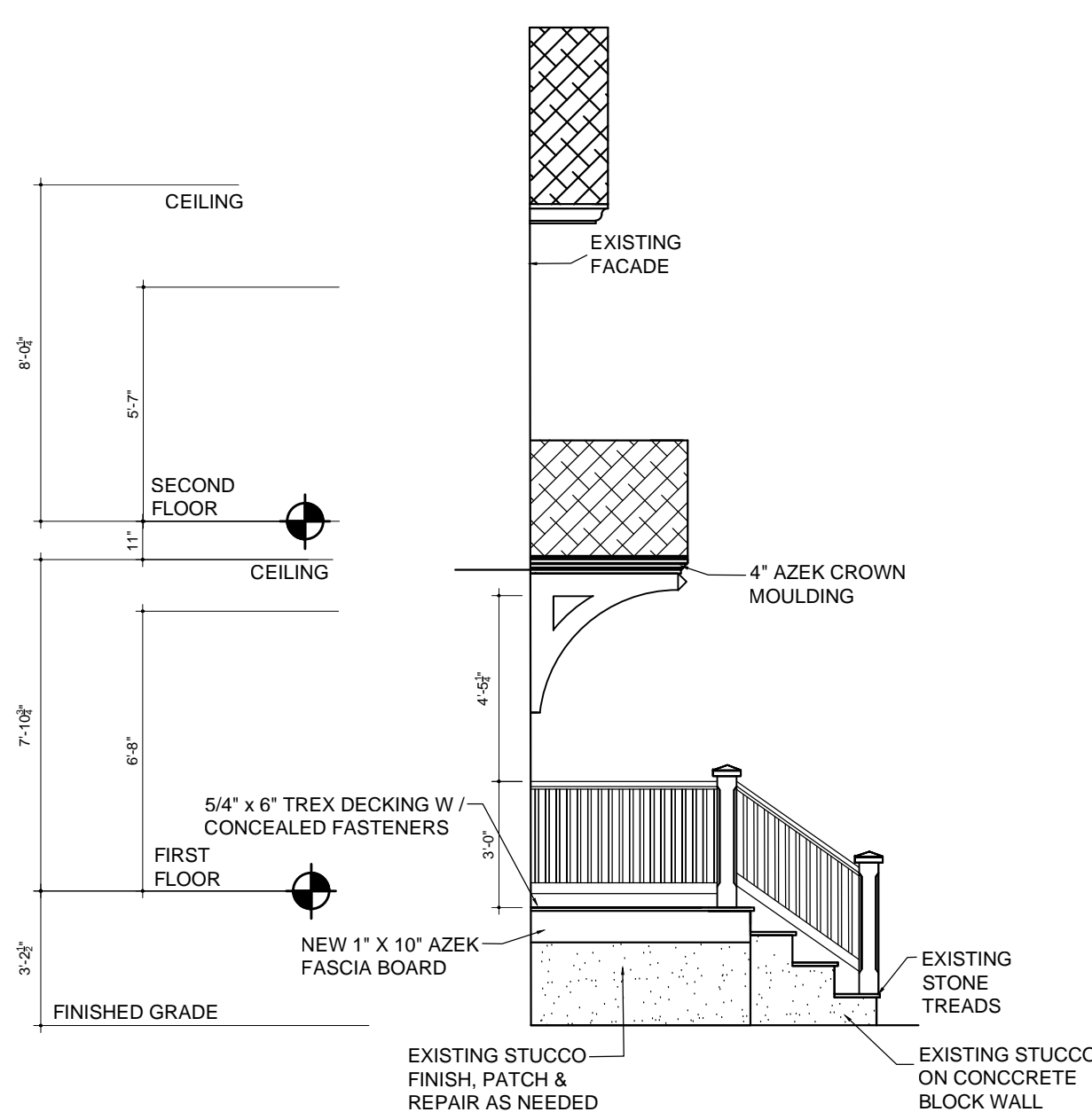
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND	
	EXISTING PARTITION: to be removed
	INTERIOR WALL: 1/2" gypsum board ea. side of 2 x 4s @ 16" o.c.
	INTERIOR WALL WITH ACOUSTICAL INSULATION: 1/2" gypsum board each side of 2 x 4s @ 16" o.c., 3 1/2" thermalfiber acoustical insul.
	EXIST EXTERIOR WALL W/ NEW INSULATION: Existing 2"x4" studs @16" o.c., new R-19 batt insulation if none exists, new 2" furring @ 16" o.c.
	ELEVATION NO. ELEVATION SHEET NO.
	ELEVATION NO. SECTION DETAIL SHEET NO.
	DOOR TYPE, FOR DESCRIPTION, SEE DOOR SCHEDULE
	WINDOW TYPE, FOR DESCRIPTION, SEE WINDOW SCHEDULE

NEW PORCH & ALTERATIONS TO THE
STEINBERG RESIDENCE
102 LINCOLN AVENUE, HASTINGS ON HUDSON, NY 10706

CHRISTINA GRIFFIN ARCHITECT
10 Spring Street
Hastings-on-Hudson, New York 10706
914.478.0799 tel 914.478.0806 fax
www.christinagriffinarchitect.com

Drawing Title
1ST FLOOR PLAN
FRONT ELEVATION
CONSTRUCTION DRAWINGS 1-11-17
ZONING BOARD SUBMISSION 2-21-17

Scale:
AS SHOWN

A-1

TABLE OF ZONING DATA

* REQUIRES A VARIANCE			
MIN. LOT SIZE	10,000 SF	8,141 SF	8,141 SF
WIDTH AT FRONT OF BLDG.	100 FT	106.35 FT	106.35 FT
BUILDING COVERAGE	25%	22.68% (1846.97 SF)	23.60% (1921.7 SF)
DEVELOPMENT COVERAGE	35%	29.06% (2366.58 SF)	29.77% (2424.14 SF)
(ALL STRUCTURES, DRIVEWAYS, IMPERVIOUS SURFACES)			
MIN. FRONT YARD	30 FT	25.6 FT	25.6 FT
MIN. REAR YARD	30 FT	7.4 FT	7.4 FT
MIN. SIDE 1 YARD	12 FT	23.3 FT	23.3 FT
MIN. SIDE 2 YARD	18 FT	29.4 FT	29.4 FT
MIN. 2 SIDE YARDS	30 FT	52.7 FT	52.7 FT
MAXIMUM HEIGHT	35 FT / 2.5 STORIES	35 FT / 2 STORIES	35 FT / 2 STORIES
TOTAL FINISHED FLOOR AREA	1,426.6 SF	1,501.33 SF	

GENERAL NOTES

1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.

2. All construction shall comply fully with the 2015 International Residential Code, 2015 International Existing Building Code, local building code, fire department regulations, and all other agencies having jurisdiction over project.

3. Approved stamped set of building plans must be present on site for all inspections.

4. A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.

5. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.

6. Licensed electrician to file electrical permit.

7. Licensed plumber to file plumbing permit.

8. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.

9. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.

10. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.

11. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.

12. All indicated survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of any of the indicated material.

13. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.

14. All construction sites shall conform to the 2015 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.

15. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.

16. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical &
17. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.

18. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with The Architect for questions regarding final dimensions and locations.

19. All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.

20. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.

21. The Architect is not responsible for workmanship, construction methods, or any omissions or deviations from the drawings during construction.

22. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.

23. The drawings and notes are intended to be complete. Should anything be omitted from the drawing necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.

24. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.

25. The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.

26. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.

27. Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.

28. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or
36. Finish materials and paint colors shall be reviewed and approved by the homeowner.

37. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.

38. Energy Notes R-Values & U-Factors
2015 International Energy Conservation Code
Climate Zone 4A

	Required	Proposed
Ceiling	R-49	R-38"
Wall	R-20	R-21
Glazing	0.40	0.32
Floor	R-19	R-30

Design Criteria:
5750 Degree Days
10% Maximum Glazing
* R402 2.1 CEILING WITH ATTIC SPACES - Installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation whenever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves.

Certification
I, Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2015 International Residential Code, and the 2015 International Energy Conservation Code.
- a) Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.

b) Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.

c) Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.

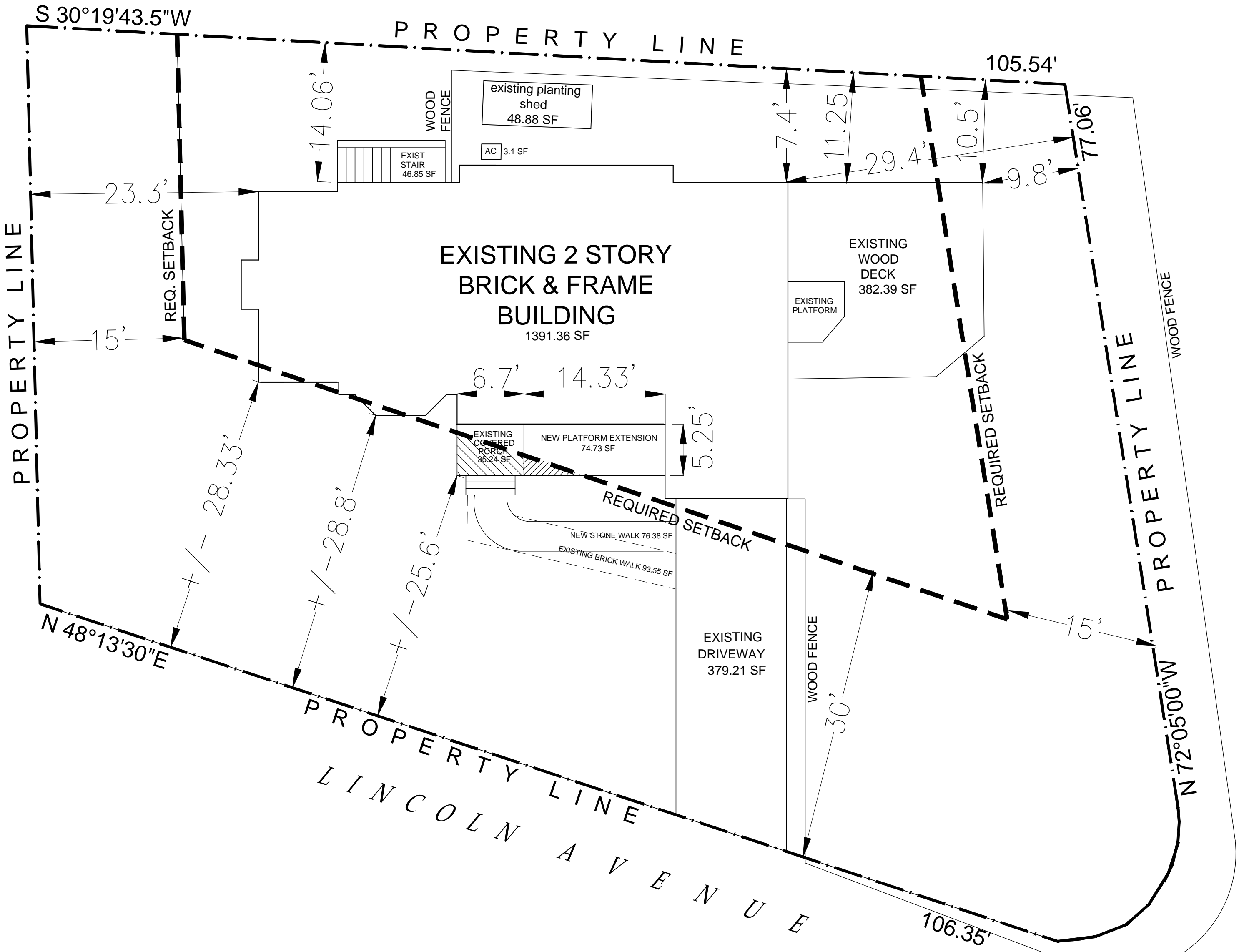
d) Final cleaning of all chrome and aluminum metal work.

e) Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged backdrop.

Christina Griffin

DESIGN REQUIREMENTS for the 2015 RESIDENTIAL CODE of NEW YORK STATE
CLIMATIC & GEOGRAPHIC CRITERIA

SUBJECT TO DAMAGE FROM									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 psf	100-110 MPH	C	severe	42 inch min	medium to heavy	slight to medium	7 degree Fahrenheit	yes	NO
								AIR FREEZING INDEX	816



SITE PLAN

SCALE: 1/8" = 1'-0"

CHRISTINA GRIFFIN ARCHITECT

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ZONING BOARD SUBMISSION 2-21-17

Drawing Title
SITE PLAN

Scale:
AS SHOWN

NEW PORCH & ALTERATIONS TO THE

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S-1