

CONSTRUCTION PACKAGE

SAW MILL LOFTS - AMENDED SITE PLAN

SAW MILL RIVER ROAD

VILLAGE OF HASTINGS-ON-HUDSON

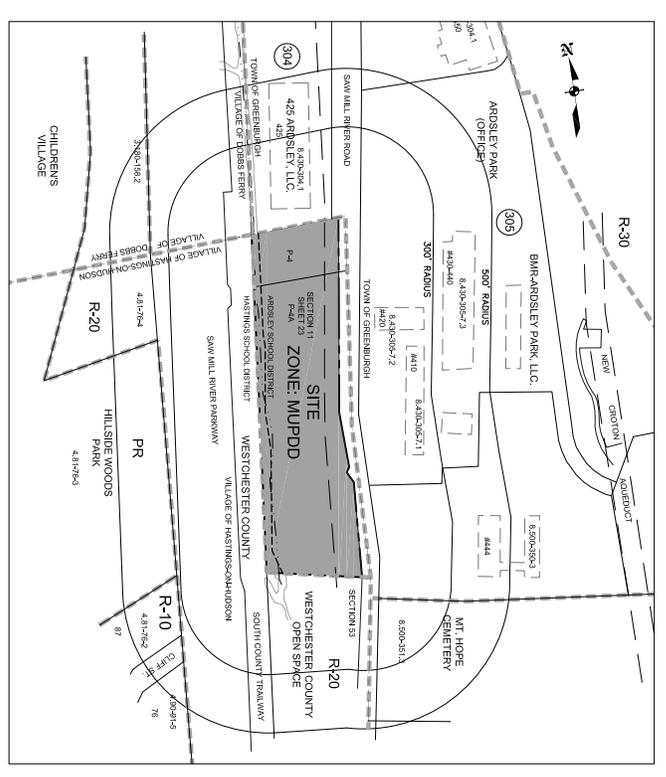
WESTCHESTER COUNTY, NEW YORK

TITLE: DRAWING INDEX

SHEET NO. EC-1

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ZONE CODE	PERMITTED USES	MINIMUM SETBACKS	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	MINIMUM LOT COVERAGE	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	MINIMUM LOT COVERAGE
RESIDENTIAL SINGLE-FAMILY (R-10)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-20)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-30)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-40)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-50)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-60)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-70)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-80)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-90)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%
RESIDENTIAL SINGLE-FAMILY (R-100)	ONE-FAMILY RESIDENTIAL	35 FT. FRONT, 10 FT. SIDE, 10 FT. REAR	10,000 SF	35 FT.	100 FT.	25%	10,000 SF	35 FT.	100 FT.	25%



NOTES:
 1. SITE LOCATED ON STATE ROUTE 9A, AT THE INTERSECTION OF STATE ROUTE 9A AND STATE ROUTE 202.
 2. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 3. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 4. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 5. ALL DISTANCES ARE MEASURED FROM THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.



REFERENCE:
 1. ZONING REGULATIONS, WESTCHESTER COUNTY, NEW YORK, CHAPTER 200-1.
 2. ZONING REGULATIONS, WESTCHESTER COUNTY, NEW YORK, CHAPTER 200-2.
 3. ZONING REGULATIONS, WESTCHESTER COUNTY, NEW YORK, CHAPTER 200-3.
 4. ZONING REGULATIONS, WESTCHESTER COUNTY, NEW YORK, CHAPTER 200-4.
 5. ZONING REGULATIONS, WESTCHESTER COUNTY, NEW YORK, CHAPTER 200-5.



REV	DATE	DESCRIPTION

DATE: 6/6/16 JOB NO. 8346

SESI SOILS / FOUNDATIONS
 CONSULTING ENGINEERS, P.C.
 ENVIRONMENTAL

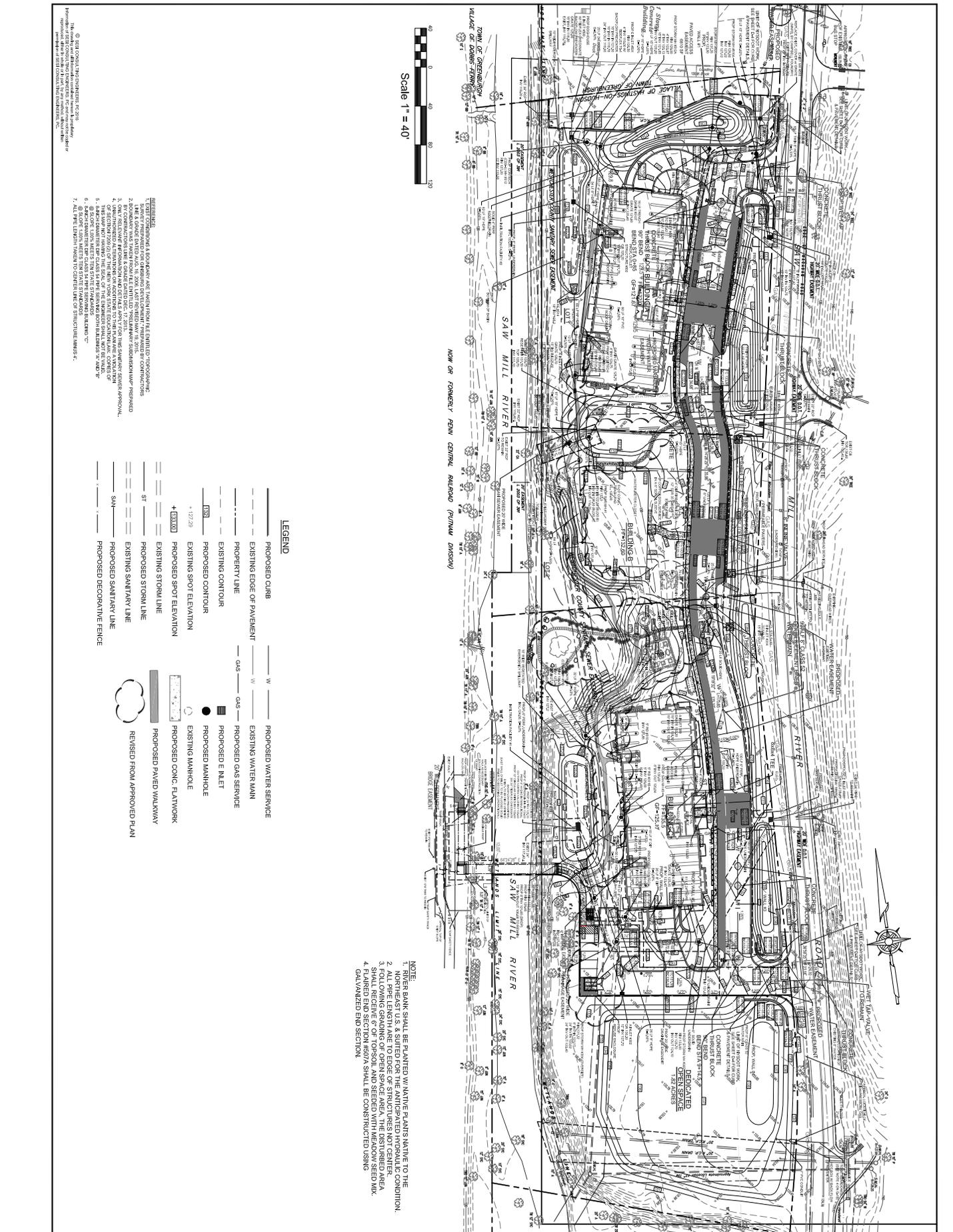
172A MAIN E AVE, 7TH FLOOR, BROOK, N.Y. 07080 PH: 973-3408-0050

APPLICANT OWNER:
 GHSURGO DEVELOPMENT PARTNERS, LLC
 100 SUMMIT LAKE DRIVE, SUITE 100
 VALHALLA, NY 10958
 PH: (914) 747-5800 FAX: (914) 747-1808

CIVIL AND GEOTECHNICAL ENGINEER:
 SESE CONSULTING ENGINEERS, PC
 124 MAIN E AVE
 BROOK, NY 07080
 PH: (973) 888-8800 FAX: (973) 888-8099

LANDSCAPE ARCHITECT:
 BERKSHIRE ARCHITECTS
 881 OLD POST ROAD
 BEDFORD VILLAGE, NY 10506
 PH: (914) 234-8666 FAX: (914) 234-8682

CONTRACTORS: LINE & GRADE SOUTH LLC
 9 NORTH GOODWIN AVE, SUITE #3
 PH: (914) 347-5114 FAX: (914) 347-3120



Scale 1" = 40'

- REVISIONS**
1. PREPARED FOR ORIGINAL DEVELOPER. PREPARED BY CONTRACTOR.
 2. REVISIONS MADE FROM THE BILLED "FINAL" SUBMITTAL. PREPARED BY CONTRACTOR.
 3. ONLY REVISIONS FROM THE BILLED "FINAL" SUBMITTAL ARE SHOWN.
 4. APPROVED AT THE DESIGNER'S OFFICE TO THE FINAL PLAN AND SPECIFICATIONS.
 5. THIS PLAN IS THE PROPERTY OF THE DESIGNER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON.
 6. NO PART OF THIS PLAN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
 7. ALL RIGHTS RESERVED BY THE DESIGNER.

LEGEND

—	PROPOSED CURB	— W —	PROPOSED WATER SERVICE
—	EXISTING EDGE OF PAVEMENT	— W —	EXISTING WATER MAIN
—	PROPERTY LINE	— GAS —	PROPOSED GAS SERVICE
—	EXISTING CONTOUR	—	PROPOSED E INLET
—	EXISTING CONTOUR	—	PROPOSED MANHOLE
+ 127.20	EXISTING SPOT ELEVATION	—	EXISTING MANHOLE
+ 127.20	PROPOSED SPOT ELEVATION	—	PROPOSED CONC. FLATWORK
—	EXISTING STORM LINE	—	PROPOSED PAVED WALKWAY
—	PROPOSED STORM LINE	—	REMOVED FROM APPROVED PLAN
—	EXISTING SANITARY LINE	—	
—	PROPOSED SANITARY LINE	—	
—	PROPOSED DECORATIVE FENCE	—	

- NOTE:**
1. RIVER BANK SHALL BE PLANTED WITH NATIVE PLANTS MATIVE TO THE NORTHEAST U.S. & SUITED FOR THE ANTICIPATED HYDRAULIC CONDITION.
 2. ALL PIPE LENGTHS ARE TO EDGE OF STRUCTURES NOT CENTER LINE.
 3. SHALL RECEIVE 6" OF TOPSOIL AND SEEDED WITH MEADOW SEED MIX.
 4. FLARED END SECTION #507A SHALL BE CONSTRUCTED USING GALVANIZED END SECTION.

project: SAW MILL LOFTS - AMENDED SITE PLAN
SECTION 11, SHEET 23, PARCELS 4 & 4A
HASTINGS - ON - HUDSON, WESTCHESTER COUNTY, NY

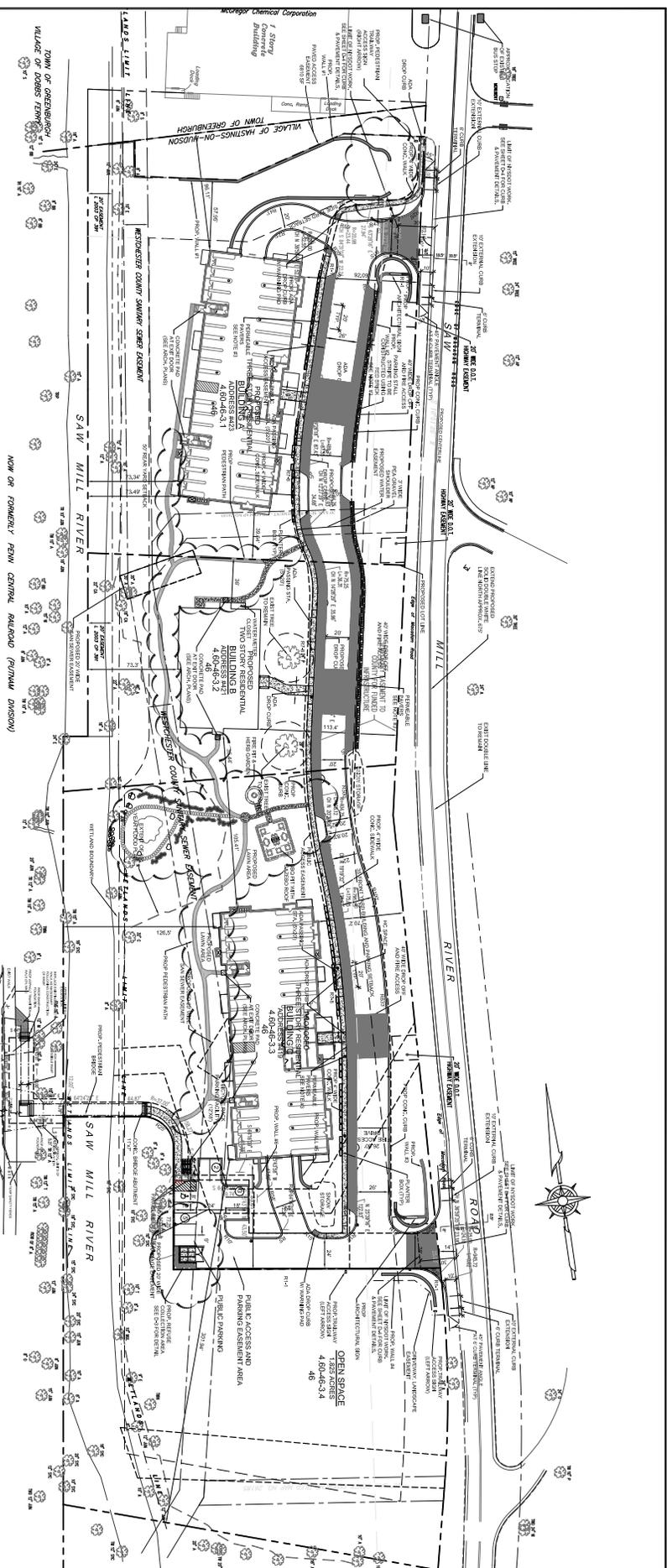
drawing title: OVERALL GRADING & UTILITIES PLAN

job no.: 8346
drawing no.: G-1

ANTHONY VILLO, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC#NO. 064421

SESI SOILS / FOUNDATIONS
CONSULTING ENGINEERS, P.C. SITE DESIGN ENVIRONMENTAL
12A MAPLE AVE. PINE BROOK, N.J. 07058 PH: 973-806-9050

desig by:	yy		
chk by:	RH		
scale:	1" = 40'		
date:	6/6/16		
rev	date	description	by



SOUTH COUNTY TRAILWAY



NOTE: SEE DETAIL SHEET D-4 FOR ENTRANCE SIGN

NOTE: SEE SITE PLAN FOR ARROW DIRECTION

- LEGEND**
- PROPOSED CURB
 - - - EXISTING EDGE OF PAVEMENT
 - - - PROPERTY LINE
 - - - SETBACK LINE
 - PROPOSED NO. OF PARKING SPACES
 - TRAFFIC CIRCULATION
 - PROPOSED RETAINING WALL
 - PROPOSED TRAFFIC CONTROL SIGN & NYSDOT DESIGNATION
 - PROPOSED DECORATIVE FENCE
 - PROPOSED PAVED WALKWAY
 - PROPOSED ADA CURB FLUSH CURB
 - REVISED FROM APPROVED PLAN

REFERENCE:

1. EXISTING CONDITIONS & BOUNDARY, TAKE FROM FILE ENTITLED 'TOPOGRAPHIC SURVEY OF THE PROPOSED TRAILWAY' PREPARED BY CONTRACTORS T&E ENGINEERS, INC. DATED AUG. 18, 2016.
2. REVISIONS ARE TAKEN FROM THE ENTITLED 'PRELIMINARY SUBDIVISION MAP' PREPARED BY CONTRACTORS T&E ENGINEERS, INC. DATED AUG. 18, 2016, LAST REVISED MAY 18, 2015.
3. SURVEY ARE TAKEN FROM FILE ENTITLED 'SUBDIVISION MAP FOR LOTS AT SAW MILL RIVER' PREPARED BY CONTRACTORS T&E ENGINEERS, INC. DATED DEC. 16, 2013, LAST REVISED JUNE 17, 2015.

NOTES:

1. GROSS EASEMENTS TO BE PROVIDED OVER RESIDENTIAL LOTS 1, 2, AND 3, BENEFITTING ALL 3 LOTS, FOR VEHICULAR AND PEDESTRIAN ACCESS, UTILITY SERVICES AND STORM WATER MANAGEMENT, USE OF THE COMMUNITY BARBECUE AREA, OPEN SPACE PARCEL, AND TO THE PEDESTRIAN BRIDGE TO THE SOUTH COUNTY TRAILWAY.
2. A NYSDOT PERMIT WILL BE REQUIRED FOR WORK IN THE STATE RIGHT-OF-WAY.
3. AUTUMN BLEND ECO POROUS PAVEMENTS SHALL BE USED FOR THE PARKING STRIP AND PEWTER BLEND ECO POROUS PAVEMENTS SHALL BE USED FOR THE REMAINDER OF THE PAVED AREA.

ZONE: MIXED USE PLANNED DEVELOPMENT DISTRICT (MUPDD)

