

bkla studio

June 14, 2016

Planning Board
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

**RE: Steep Slopes Application for the Danziger Residence,
220 Mt. Hope Blvd, Hastings-on-Hudson, NY**

Dear Members of the Board,

Enclosed please find the application for the steep slopes permit for the above captured property.

The proposed activities will include installation of stand-alone, self-supporting Swim-Spa and construction of wood deck & steps, stone retaining walls, stone terrace and outdoor fireplace and kitchen. It will also involve installing pool enclosure fence in compliance with local and state codes.

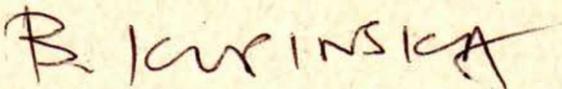
The proposed work would disturb the existing steep slopes on the site to its minimum. The re-grading will be limited to an area of a permanent improvement and a proposed drainage structure handling the increase runoff. Best Management Practices will be used during construction to control soil erosion. An area for a temporary access road will be restored and seeded after a project's completion. Increase water runoff will be fully detain on site in the proposed recharger system. To minimize the impact of changes in topography we are utilizing existing and proposed retaining stone walls. Proposed plantings will not only beautify the site but stabilize the slopes and prevent soil erosion.

We believe the proposed activity will have minimal impact on the topography of the site and on the adjacent and nearby properties. It will not only preserve the natural value of the site, but will enhance the surrounding neighborhood as well.

We look forward to presenting this project to the Planning Board and its Members during the next scheduled meeting.

Please do not hesitate to contact us with any questions or comments.

Sincerely,

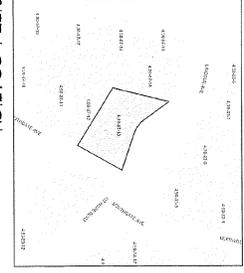


Bozena (Genna) Kupinska, ASLA, RLA, LEED AP, CPESC
for BKLA Studio

CC. Dr. & Mrs. Marc Danziger
Eliot Senior, Gabriel E. Senior, P.C.

LEGEND

LA	Landscaper/Architect	CB	Coal Basin
LC	Pool Contractor	UV	Underwater
TC	Trench Contractor	W6	Wall Removal
LC	Landscaping Contractor	W6	Proposed Spot Elevation
EC	Electric Contractor	W6	Existing Spot Elevation
PC	Plumber Contractor	W6	Proposed Contour
BM	Best Mark	100	Proposed Contour
BM	Best Mark	100	Existing Contour
Int	Inset elevation		Existing tree to remain
TW	Top of wall elevation		Existing tree to be removed
RD	Right of way		
R	Radius		
P.T.	Point of tangency		

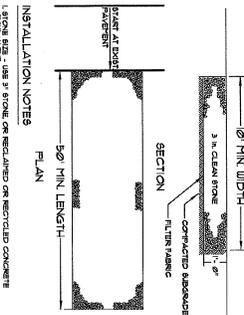
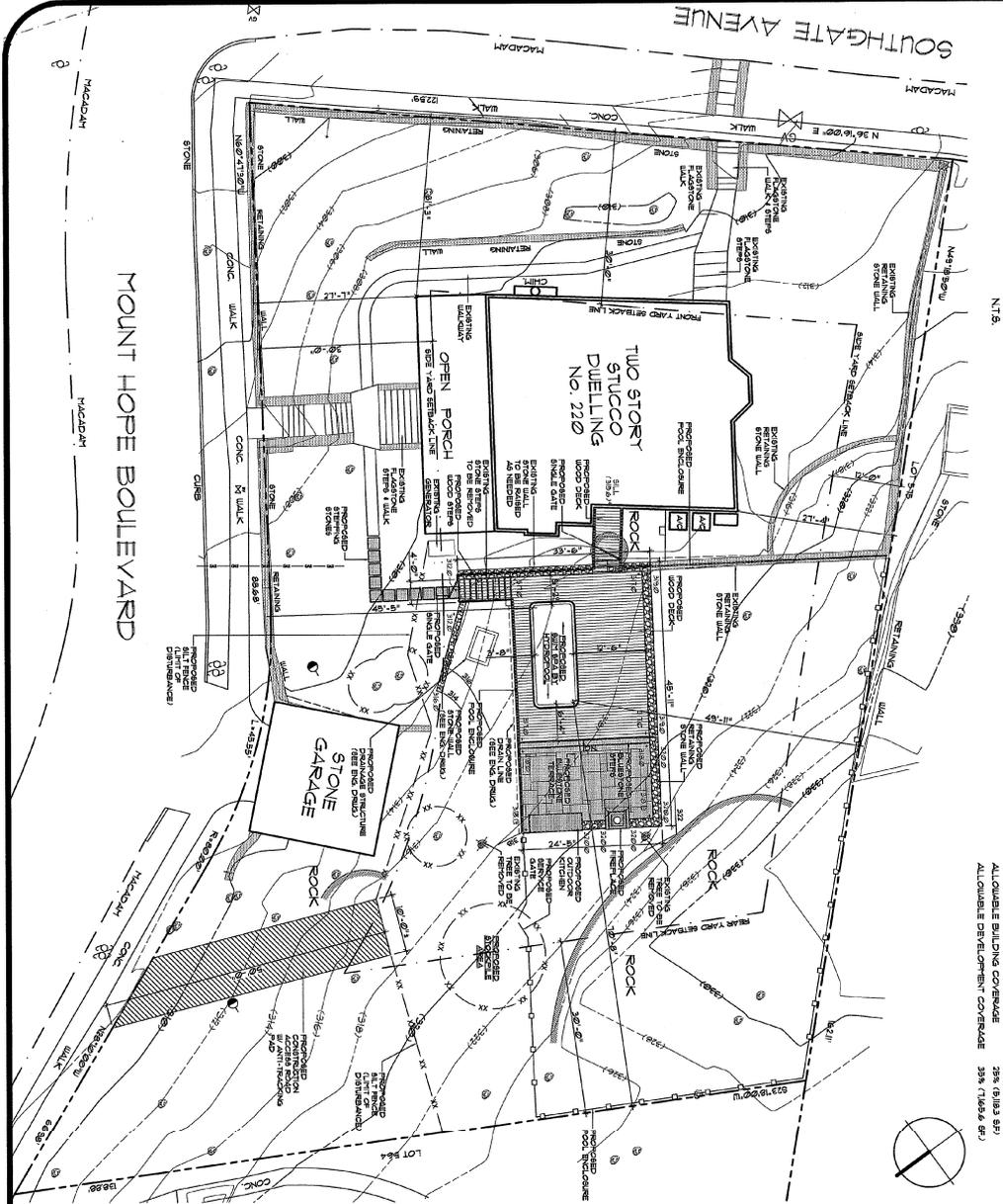


ADDRESS: 220 MT. HOPE BLVD
CITY: HASTINGS-ON-HUDSON, NY
OWNER: DR. MARC DANZIGER
LOT ID: 4.30-91-13
ZONE: R-10
LOT SIZE: 0.41 AC

GENERAL NOTES:
 THE EXISTING AND PROPOSED OPERATIONS TAKEN FROM THIS DRAWING SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE TOWN OF HASTINGS-ON-HUDSON, NY. THE PROPOSED OPERATIONS SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE TOWN OF HASTINGS-ON-HUDSON, NY. THE PROPOSED OPERATIONS SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS OF THE TOWN OF HASTINGS-ON-HUDSON, NY.

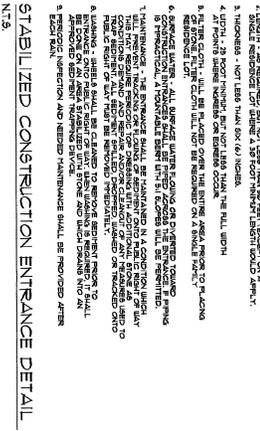
LOT COVERAGE CALCULATIONS

	EXISTING	PROPOSED	ALLOWED
BUILDING COVERAGE	314 SF	214 SF	3193 SF
GARAGE	494 SF	424 SF	
DRIVEWAY	14 SF	14 SF	
TOTAL	2682 SF	2392 SF	1936 SF
DEVELOPMENT COVERAGE	2682 SF	2392 SF	1936 SF
STONE TERRACE & STAIRS		61 SF	
POOL DECK & STAIRS	532 SF	957 SF	
WALKS	497 SF	464 SF	
SERVICE COUNTER & HUBBARD	51 SF	51 SF	
TOTAL	4263 SF	5297 SF	



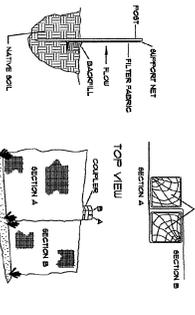
INSTALLATION NOTES

- STONE SIZE - USE 3' STONE OR EQUIVALENT ON RECYCLED CONCRETE
- INSTALLATION - SEE DETAIL FOR REINFORCED CONCRETE



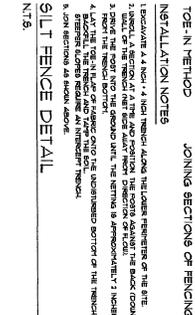
INSTALLATION NOTES

- INSTALLATION - SEE DETAIL FOR REINFORCED CONCRETE



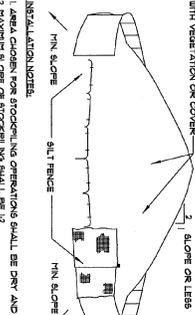
TOP-IN METHOD

- INSTALLATION - SEE DETAIL FOR REINFORCED CONCRETE



SILT FENCE DETAIL

- INSTALLATION - SEE DETAIL FOR REINFORCED CONCRETE



SOIL STOCKPILE DETAIL

- INSTALLATION - SEE DETAIL FOR REINFORCED CONCRETE

INSTALLATION NOTES

- AREA CHOWN FOR PROTECTING OPERATIONS SHALL BE DRY AND STABLE
- PROTECT AREA OF PROTECTING SHALL BE 1' MINIMUM
- MINIMUM 1' MINIMUM OR STABILIZED, THEN STABILIZED WITH VEGETATION OR COVERED
- SEE DETAIL FOR FENCE

City of Hastings-on-Hudson

Department of Planning & Zoning

Application No. 2016-001

Project Name: S-1

Site Plan

FOR THE DANZIGER RESIDENCE

220 MT. HOPE BOULEVARD

HASTINGS-ON-HUDSON, NY

APRIL 2, 2016

Scale: 1" = 10'-0"

City of Hastings-on-Hudson

Department of Planning & Zoning

Application No. 2016-001

Project Name: S-1

Site Plan

FOR THE DANZIGER RESIDENCE

220 MT. HOPE BOULEVARD

HASTINGS-ON-HUDSON, NY

APRIL 2, 2016

Scale: 1" = 10'-0"

General Notes

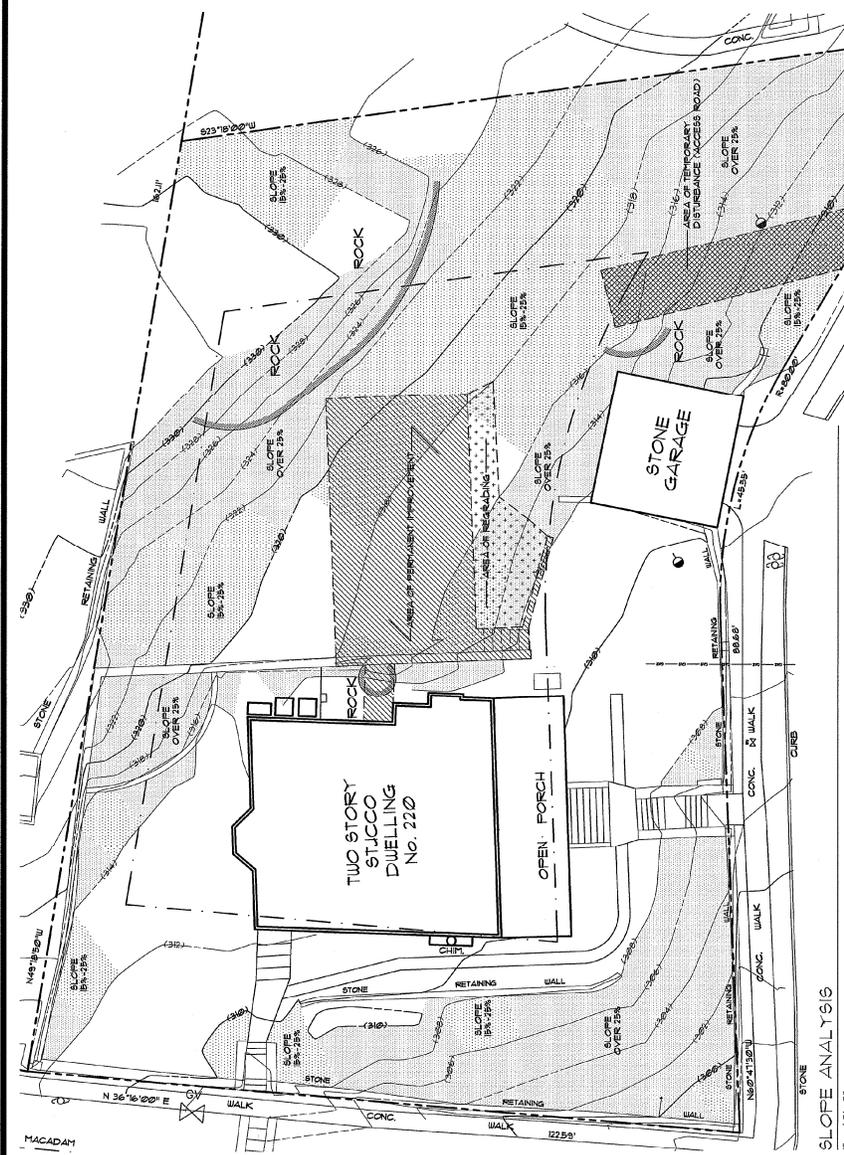


No.	1	Slope analysis	6/17/16
Date		Revised/Issue	

bkila studio
 3 stevens street
 danbury, ct 06810
 phone: 917.750.4886
 fax: 203.826.9601

Project: **THE DANZIGER RESIDENCE**
 280 MT. HOPE COLLEARD
 HASTINGS-ON-Hudson, NY

Sheet: **S-2**
 Date: **APRIL 2, 2016**
 Status: **AS SHOWN**



SLOPE ANALYSIS
 F = 10' = 1"

- LEGEND**
- LA Landscape Architect
 - CK Catch Basin
 - WV Water Valve
 - TC Tennis Court Contractor
 - UG Underground
 - EC Electric Contractor
 - MC Masonry Contractor
 - SM Stone Mason Contractor
 - TR Top of rock elevation
 - TW Top of wall elevation
 - SSE Soil elevation
 - RP Building point
 - B Building
 - P.T. Point of tangency
 - CA Catchment Area
 - W Well
 - U/G Underground
 - E Elevation
 - ES Existing Spot Elevation
 - 100 Proposed Contour
 - 1000 Existing Contour
 - Existing tree to remain
 - Existing tree to be removed

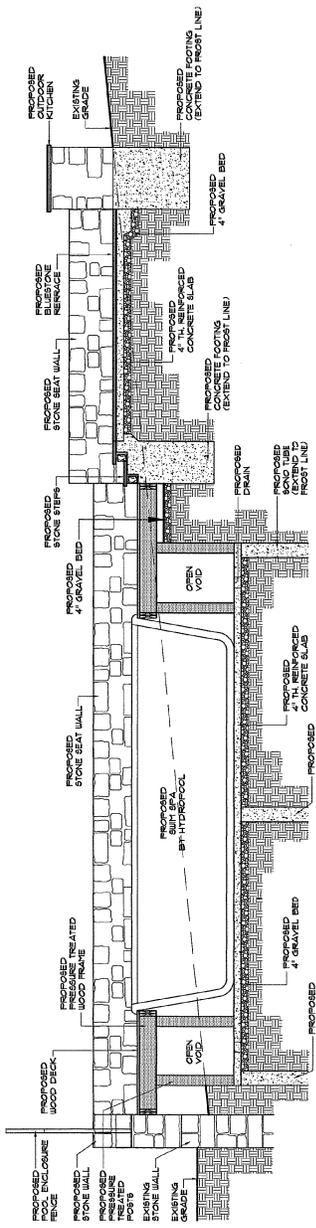
- █ SLOPE 18%-25%
- █ SLOPE GREATER THAN 25%
- █ AREA OF PERMANENT IMPROVEMENT
- █ AREA OF REGRADING
- █ AREA OF TEMPORARY DISTURBANCE (ACCESS ROAD)

107'x141' LOT AREA
 26,413.2 SF
 SLOPE GREATER THAN 25% 2,168 SF (8% OF TOTAL LOT AREA)
 SLOPE GREATER THAN 35% 6,343 SF (23.6% OF TOTAL LOT AREA)

SLOPED DISTURBANCE TABLE

DISTURBANCE	SLOPE	SLOPE 18%-25%	SLOPE GREATER THAN 25%
AREA OF PERMANENT IMPROVEMENT	474 SF	84 SF	
AREA OF REGRADING	89 SF	146 SF	
AREA OF TEMPORARY DISTURBANCE (ACCESS ROAD)	124 SF	246 SF	
TOTAL DISTURBANCE	613 SF	516 SF	

CONCLUSION
 PERMANENT IMPROVEMENT, REGRADING AND CONSTRUCTION OF A TEMPORARY ACCESS ROAD WILL DISTURBE 516 SF (1.9%) OF SLOPES GREATER THAN 25%



WEST-EAST CROSS SECTION
 N.T.S.

GENERAL NOTES:
 1. THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF BKILA STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE DRAWING TITLE. NO PORTION OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BKILA STUDIO. THIS DRAWING IS THE PROPERTY OF BKILA STUDIO AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BKILA STUDIO. THIS DRAWING IS THE PROPERTY OF BKILA STUDIO AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BKILA STUDIO.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: THE DANZIGER RESIDENCE			
Project Location (describe, and attach a location map): 220 MT. HOPE BLVD, HASTINGS-ON-HUDSON, NY			
Brief Description of Proposed Action: TO GRADE PORTION OF THE SITE, TO INSTALL STAND-ALONE, SELF-SUPPORTING SWIM-SPA, TO CONSTRUCT: WOOD DECK WITH WOOD STEPS, STONE RETAINING WALLS, STONE TERRACE AND OUTDOOR FIREPLACE & KITCHEN, TO INSTALL POOL ENCLOSURE FENCE			
Name of Applicant or Sponsor: BKLA STUDIO - BOZENA KUPINSKI		Telephone: 917.750.4886 E-Mail: GENNA@BKLASTUDIO.COM	
Address: 3 STEVENS ST			
City/PO: DANBURY,		State: CT	Zip Code: 06810
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<u>0.47</u> acres	
b. Total acreage to be physically disturbed?		<u>0.045</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>0.47</u> acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: <u>BKLA STUDIO</u></p>	<p>Date: <u>6/14/16</u></p>	
<p>Signature: <u>[Signature]</u></p>		

Hydropool Self-Cleaning 19fX AquaSport

The AquaSport 19fX has four full body massage hydrotherapy seats with dual zones that deliver the flexibility, fun and benefits for the whole family. This swim spa is also a fiberglass reinforced acrylic one piece mini-pool that provides you the ultimate room to swim, jog, exercise or just play with the entire family. The one thing we can't mention enough of is that this model and all of our swim spas come with our exclusive self-cleaning system, you won't find another swim spa like ours anywhere.

- Shell Dimensions:**
220" X 93" / 558 cm x 236 cm
- Height:**
53" / 135 cm
- Volume:**
2439 US gallons / 9233 Liters
- Weight Full:**
23,382 lbs / 10,609 Kg
- Weight Empty:**
3,028 lbs / 1,376 Kg
- Size Category:**
19'
- Hydrotherapy Seating:**
4 Persons

HYDROGUIDE	
SELF-CLEAN AQUASPORT 19fX	MONTHLY COST:
<small>This swim spa meets or exceeds the energy efficiency standards defined by the California Energy Commission.</small>	LOW: 45° F / 7° C \$60.88
	HIGH: 75° F / 24° C \$27.49
N. American Wattage / 100 Gallons: 15.50 W	Europe Wattage / Cubic Metres: 44.54 W



VILLAGE OF HASTINGS-ON-HUDSON
 Application for the Planning Board Review/Action
 for Site Plan, Subdivision
Steep Slopes, View Preservation, Special Use Permit Advisory



Case number: Date of application:

Planning Board action requested for: Site Plan (§295-104) Subdivision (Article XIII)
 (Check all that apply) Special Use Permit (Article X) Steep Slopes (§295-147) View Preservation (§295-82)

Property owner: DR. MARC DANZIGER
 Property address: 220 MT. HOPE BLVD, HASTINGS-ON-HUDSON, NY 10706
 Name all streets on which the property is located: MT. HOPE BLVD / SOUTHGATE AVE
 Sheet: 4.90 Block: 87 Lot/Parcel: 13 Zoning District: R-10

Applicant: BKLA STUDIO - BOZENA KUPINSKA
 Standing of applicant if not owner: LANDSCAPE ARCHITECT
 Address: 3 STEVENS ST, DANBURY, CT 06810
 Daytime phone number: 917.750.4886 Fax number: 203.826.9601
 E-mail address: GENNA @ BKLASTUDIO.COM

Total Area of subject Land/property: 0.47 AC
 Is the subject Property in View Preservation District? yes No
 Does Property currently contain or will contain Steep Slopes? yes No
 Is the subject property within 500 ft. of any other jurisdiction? yes No
 Will the project affect (remove or Injure) any designated trees? yes No

Please provide brief description of proposed work:

TO GRADE PORTION OF THE SITE, TO INSTALL
 STAND-ALONE, SELF-SUPPORTING SWIM-SPA,
 TO CONSTRUCT: WOOD DECK WITH WOOD STEPS,
 STONE RETAINING WALLS, STONE TERRACE,
 AND OUTDOOR FIREPLACE, TO INSTALL POOL
 ENCLOSURE FENCE, TO BUILD OUTDOOR KITCHEN

VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



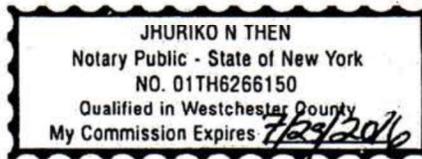
STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this 22ND day
of MARCH, 2016

B. KUPINSKA
Signature of the Applicant

Jhuriko N. Then
Notary Public



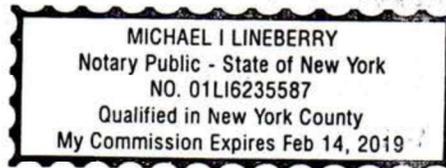
STATE OF NEW YORK
COUNTY OF WESTCHESTER

Name: DR. MARC DANZIGER, being duly sworn, deposes and says that he/she resides at 220 MT. HOPE BLVD in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 9.90 Block 87 and Lot 13 of the tax map, and that he/she hereby authorized BOZENA KUPINSKA to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Sworn to before me this 22ND day
of MARCH, 2016

Michael I. Lineberry
Signature of the Owner

Michael I. Lineberry
Notary Public



Submit eleven (13) sets of this application with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.

VILLAGE OF HASTINGS-ON-HUDSON
 Steep Slopes Application Checklist



Code Section	Code Section Provisions	Indicate how the provisions are addressed*
§ 249-7(1)	A detailed site plan of the property showing, at a scale of not less than 10 feet equals one inch, the applicant's entire property, the adjacent properties, and existing streets and showing the following information: (a) The location of all existing and proposed structures and paved surfaces on the applicant's property and any existing septic systems and wells on such property; (b) The location of the proposed area of disturbance on the applicant's property and its relation to neighboring properties' structures, roads, watercourses and wetlands; (c) The location on the applicant's property of all existing watercourses, wetlands, marshes, wooded areas, rock outcrops, single trees with a diameter of eight inches or more measured three feet above the base of the trunk, and all other significant existing land features; and (d) The existing grades on the applicant's property with contour lines at two-foot intervals and proposed grades within the area of the proposed construction or alteration.	SEE DRWGS: S-1, S-2, S-3 & S-4
§ 249-7(2)	A landscaping plan for the applicant's property, indicating proposed paved areas, storm drainage facilities, retaining walls and ground cover, as well as the location of trees and ornamental shrubs.	SEE DRWG S-3
§ 249-7(3)	Architectural plans, elevations, sections of the structures and related improvements.	SEE SPEC. BY HYDROPOOL
§ 249-7(4)	A statement prepared by a licensed architect, registered landscape architect or engineer describing: (a) The methods to be used in overcoming foundation and other structural problems created by slope conditions, in preserving the natural watershed and in preventing soil erosion; (b) The methods to be used to eliminate or mitigate water runoff on all adjacent properties and any other property that will be naturally affected by increased water runoff; and (c) The methods used to minimize the impact of changes in topography on adjacent and nearby properties through landscaping, retaining walls and terracing of gardens	SEE L.A. LETTER
§ 249-7(5)	A plan submitted under the seal of a licensed professional engineer showing and certifying the following: (a) All existing and proposed natural and artificial drainage courses and other features for the control of drainage, erosion and water. (b) The calculated volume of water runoff from the slope(s) and from the lot in question, as unimproved. (c) The calculated volume of water runoff from the slope(s) and from the lot in question, as improved. (d) The existence, location and capacity of all natural and artificial drainage courses and facilities within 500 feet of the lot which are or will be used to carry or contain the water runoff from the slope(s) and the lot.	SEE DRWGS S-4
§ 249-7(6)	A statement made under the seal of a licensed professional engineer certifying that: (a) The proposed activity will disturb the steep slope area to the minimum extent possible; and (b) The proposed mitigation measure will prevent, to the maximum extent practical, the adverse effect of any disturbance of the steep slope area on the environment and any neighboring properties.	SEE NOTE IN DRWG S-4
§ 249-7(7)	Proof that all adjacent property owners have been notified of the steep slope application and of the Planning Board meeting at which it will be considered. Notice shall be provided in accordance with § 295-143C, except that only adjacent property owners need be notified.	MAILING LIST TO BE PROVIDED BY TOWN
§ 249-7(8)	The Planning Board may, at its discretion, waive any of the requirements of Subsection A except Subsection A(7). Indicate if any waivers are being requested	NA

*Indicate by notes such as, "see Note/Detail on Dwg # _____", "See PE certification/note in the attached letter", or "NA", etc. where "NA" stands for "Not applicable".

Signature: BOZENA KUPINSKA Date: 6/14/16 Name: BOZENA KUPINSKA Title: LANDSCAPE ARCHITECT



bkla studio

TRANSMITTAL

date: June 14, 2016

to: Planning Board
Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

project: The Danziger Residence
220 Mt. Hope Blvd
Hastings-on-Hudson, NY 10706

copies	drawing no.	description	date
3		Letter to Planning Board	6/14,/2016
3		Steep Slopes Application	N/A
3		Short Environmental Assessment Form-Part 1	6/14/ 2016
3		Location Map	N/A
3		Blank SEAF-Part 2 & 3	N/A
3		Specification for Swim-Spa by Hydropool	N/A
3	S-1	Site Plan	Rev. 6/13/ 2016
3	S-2	Slope Analysis & Cross Section	Rev. 6/13/ 2016
3	S-3	Planting Plan & Details	Rev. 6/13/ 2016
3	S-4	Storm water Pollution Prevention & Erosion Control Plan	6/13/2016
3		Topographic Map	2/4/ 2016

For your use.

Sincerely,
Bozena (Genna) Kupinska, ASLA, RLA, LEED AP, CPESC
for BKLA Studio

MEMORANDUM

To : Kathleen Sullivan, Planning Board Chairperson
Hastings-on-Hudson

From : James J. Hahn, P.E.

Dated : July 14, 2016

Subject : Steep Slopes Review
220 Mt. Hope Blvd.
Village of Hastings-on-Hudson, NY

Drawings Reviewed : “Topographic Map”, Dated 2/4/16.
“Site Plan”, Revised 6/13/16, Sheet S-1.
“Slope Analysis & Cross Section”, Revised 6/13/16, Sheet S-2.
“Planting Plan & Details”, Revised 6/13/16, Sheet S-3.
“Stormwater Pollution Prevention & Erosion Control Plan,
Revised 6/13/16, Sheet S-4.

Documents Reviewed : Letter from BKLA Studio, Dated 6/14/16.
Application for the Planning Board Review/Action, Not Dated.
Short EAF Part 1, Dated 6/14/16.
Location Map.
Short EAF Part 2.
Pool Data.

The referenced plans have been reviewed for compliance with Chapter 249, steep slopes, of the Village Code. The applicant proposes to construct a patio, deck, and spa on 0.47 acres in the R-10 Zoning District. The improvements include grading, drainage, retaining walls, landscaping, and tree removal.

Pursuant to our review, the following items should be addressed by the applicant.

1. The proposed increase in coverage is 1,269 sf which should be reflected in the stormwater calculations. While the wood deck has gaps and allows stormwater to pass, however the water is concentrated and a portion appears to be collected with a drain, therefore should be included.

2. The proposed construction entrance will temporarily disturb the steep slope. The potential impact and mitigation should be identified by the applicant. Any temporary grading should be shown along with restoration.
3. The construction entrance may negatively impact the root zone of 3 to 5 trees. This should be addressed.
4. The applicant should protect the Village sidewalk while the entrance is in use, and a sidewalk restoration detail should be provided.
5. A detail should be shown for the proposed catch basin.
6. The proposed infiltration system should have a minimum separation distance of 10 feet from the retaining wall.
7. All proposed improvements should be highlighted on the site plan using heavier line weights, or the existing site features should be lighter than the proposed.
8. The height and details of all proposed walls and fences, including the proposed materials should be shown. Top and bottom wall elevations should be shown at all changes in elevation of the retaining wall.
9. The “area of disturbance” should be delineated.
10. The name and address of the surveyor should be shown.
11. A detailed description of any existing drainage system should be provided.
12. Deep test pits and percolation tests used in the stormwater calculations should be provided.
13. The infiltration system must not be connected until construction is complete and the site is stabilized. A note, stating as much, should be added to the plans.
14. Inspection ports should be shown on the plans.
15. The location of all existing utilities should be shown (i.e. water, gas, electric, storm, sewer, cable, etc.) or the design professional should verify that no utilities will be disturbed. If so, a note should be added to the plan that indicates no utilities will be disturbed by proposed work.

16. The north arrow on Drawings S-1 and S-4 appear to be in different directions. This should be addressed.
17. Drawing S-4 should be shown at a larger scale for clarity (1"=10').
18. The construction entrance detail on Drawing S-4 does not match the detail on Drawing S-1.
19. The proposed gravel trench shown on S-4 does not appear to match the detail labeled "slot drain". The label for the detail and on the plan should match.
20. The quantity of cut/fill material to be imported/exported should be stated on the plans or provide the following note on the plan:

"Cut/fill material shall not be imported to or exported from the site."

21. The following notes should be shown on the plan.

"The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils."

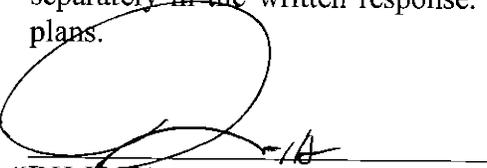
"As-Built" drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining Certificate of Occupancy."

"Infiltration system access ports shall be shown on the as-built."

"Proposed soil slopes exceeding 1 on 2 shall be rip-rapped and shall not exceed 1 on 1."

"The restoration work for the roadway and shoulder construction within the Village Right-of-Way shall be performed to the satisfaction of the Village Engineer and Village Highway Department."

A written response and revised plans responding to the above comments should be submitted by the applicant for review. Any changes made that do not pertain to our comments should be identified separately in the written response. Additional comments may be generated based on the revised plans.



DH:JAH:ay