

Members of the Hastings Planning Board
Village of Hastings-on-Hudson
7 Maple Avenue
Hastings-on-Hudson, NY 10706

Re:
Resubdivision of 196 Warburton Avenue to develop 1-family residence.

Oct 5th, 2016

Dear Chairperson and Members of the Planning Board,

Please find attached survey at the drawing sheet A1 describing our intention to subdivide property know as a 196 Warburton Ave consisting of Tax Lot 17 and Tax Lot 18. I look forward to presenting this concept at the October 20, 2016 Planning Board meeting.

Thank you for your time and consideration to review our proposal.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lopinski', written in a cursive style.

Tomasz Lopinski

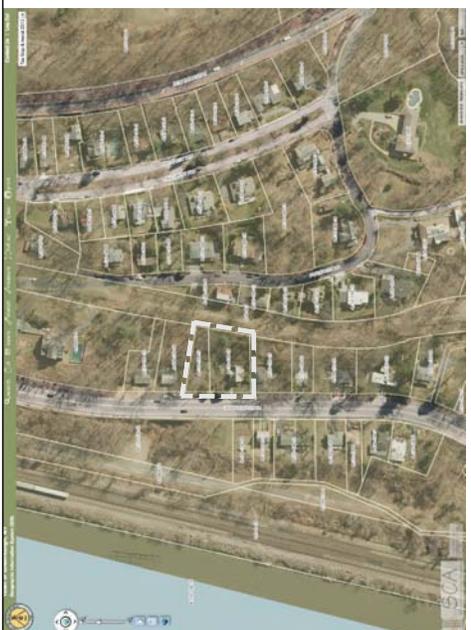
cc:

Dean Wetherell
Paul Petretti



NEIGHBORHOOD

**RESUBDIVISION
 PLAN
 ELEVATION
 SECTION
 ZONING ANALYSIS**



NEIGHBORHOOD

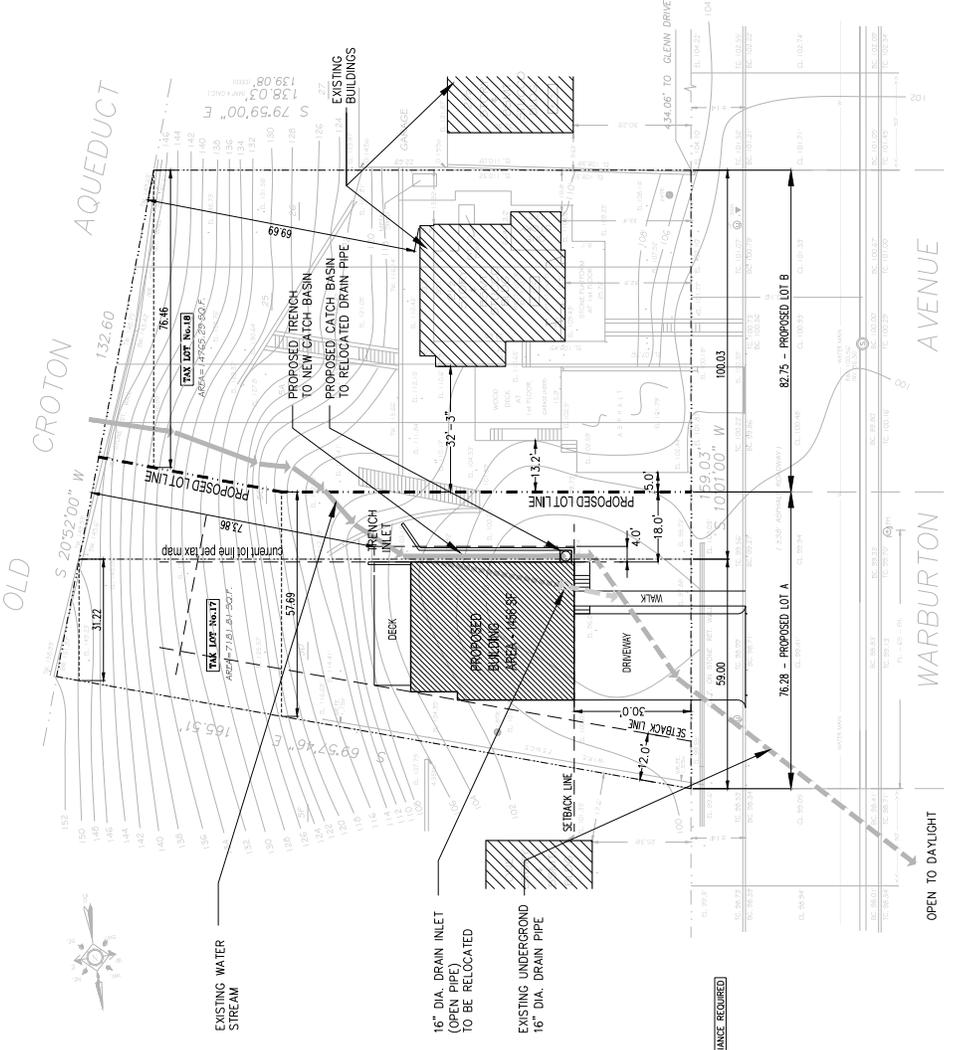
zoning analysis

OWNER: DEAN & MARIE METHERELL
 ZONING DISTRICT: R-10
 PRESENTLY CONFORMING: YES

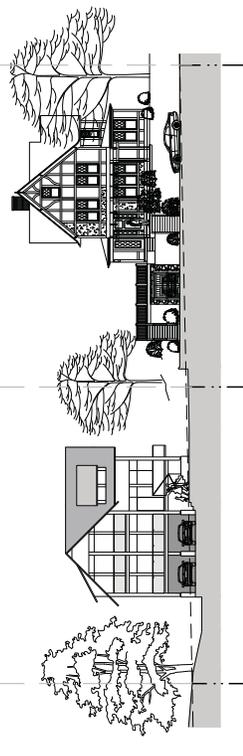
SECTION: 10 SURVEYED BY: BIG APPLE LAND SURV.D.
 BLOCK: 606 SURVEY DATE: OCT 20 2015
 LOT: 30 3C 3A 25 26 MUNICIPALITY: HASTINGS-ON-HUDSON, NY

CODE REQUIREMENT
 single family

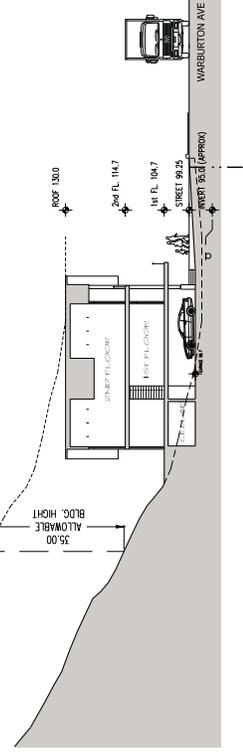
MINIMUM LOT AREA:	10,000 SF	EXISTING	single family	PROPOSED	no change
MINIMUM LOT FRONTOAGE:	70% OF 100 FT	TAX LOT NO.17	single family	LOT A	LOT B
MAXIMUM LOT COVERAGE (%):	25%	781.81 SF	w/ exist. house	w/ new house	w/ exist. house
Building Coverage:	35%	450.00 SF	100.03 FT	100.03 FT	1185.24 SF
Development Coverage:	35%	590.00 FT	76.28 FT	76.28 FT	1326.24 SF
SETBACK DIMENSIONS:					
Front:	30 FT.				
Side (Min.):	30 FT.				
Side (Total):	30 FT.				
Rear:	30 FT.				
	6 FT deck projection allowed				



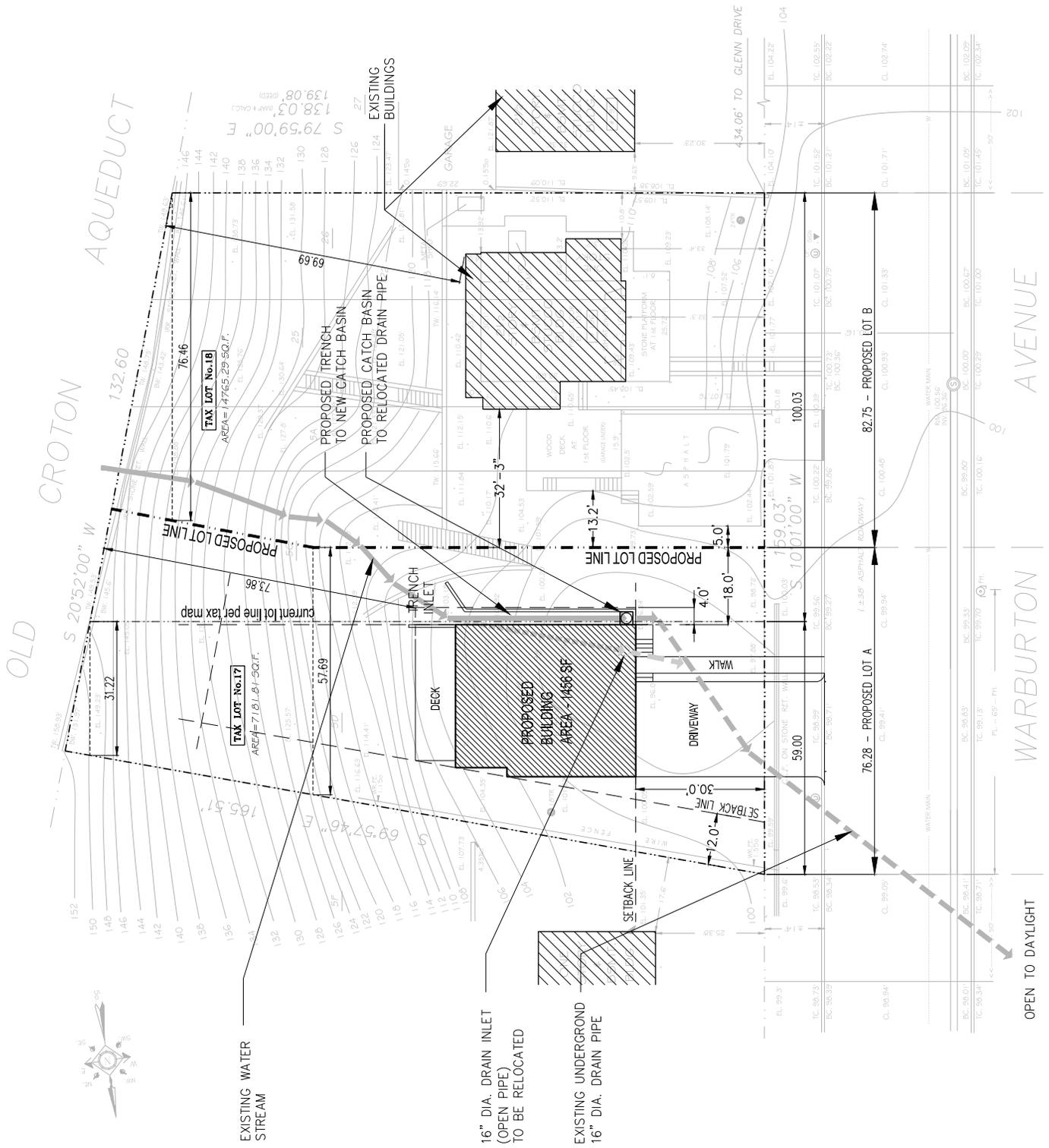
① PROPOSED RESUBDIVISION & SITE PLAN
 SCALE 1" = 15'



② STREET FACADE - looking east
 SCALE 1" = 15'



③ LOT SECTION - looking south
 SCALE 1" = 15'



EXISTING WATER STREAM

16" DIA. DRAIN INLET (OPEN PIPE) TO BE RELOCATED

EXISTING UNDERGROUND 16" DIA. DRAIN PIPE

OPEN TO DAYLIGHT

TAX LOT No.18
AREA = 14765.29 SQ.F.

TAX LOT No.17
AREA = 7181.81 SQ.F.

76.28 - PROPOSED LOT A
(± 3.58' ASPHALT ROADWAY)

82.75 - PROPOSED LOT B

100.03
S 10°01'00" W

CROTON AVE

CROTON AQUEDUCT

WARBURTON AVENUE

WARBURTON AVENUE

OPEN TO DAYLIGHT

S 79°59'00" E
138.03
139.08

434.06' TO GLENN DRIVE

80

101

100

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102

103

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zoning analysis

OWNER: DEAN & MARIE WETHERELL SECTION: 10
 ZONING DISTRICT: R-10 BLOCK: 606
 PRESENTLY CONFORMING: YES LOT: 5D 5C 5A 25 26 MUNICIPALITY: HASTINGS-ON-HUDSON, NY

SURVEYED BY: BIG APPLE LAND SURV.D.
 SURVEY DATE: OCT 20 2015

CODE REQUIREMENT
 single family

EXISTING
 single family

PROPOSED
 no change

ZONING DISTRICT USE

TAX LOT NO.17

TAX LOT NO.18
 w/ exist. house

LOT A
 w/ new house

LOT B
 w/ exist. house

MINIMUM LOT AREA: 10,000 SF
 MINIMUM LOT WIDTH: 1000 FT
 MINIMUM LOT FRONTAGE: 70% OF 100 FT

14765.29 SF
 100.03 FT
 100.03 FT

10088.76 SF
 66.90 FT
 76.28 FT

11858.34 SF
 79.60 FT
 82.75 FT

MAXIMUM LOT COVERAGE (%)

Building Coverage 25%
 Development Coverage 35%

14.4 %
 13.1 %

10.8 %
 22.9 %

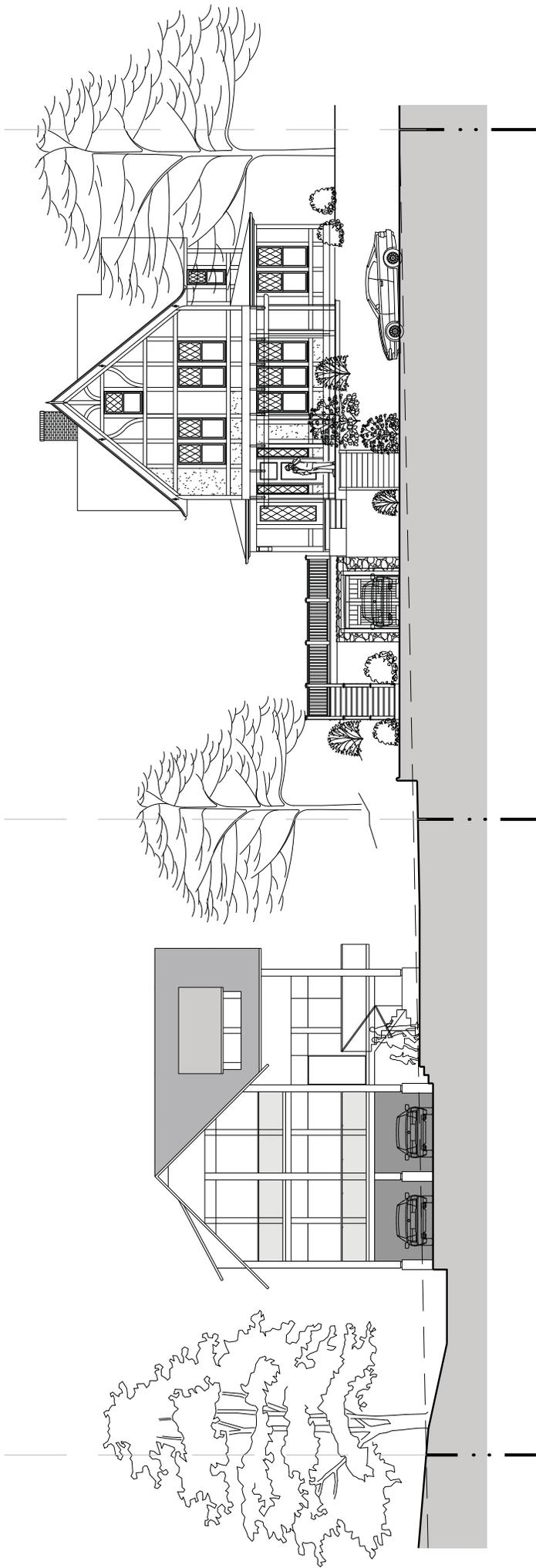
SETBACK DIMENSIONS

Front 30 FT.
 Side (Min.) 12 FT.
 Side (Total) 30 FT.
 6 FT deck projection allowed
 Rear 30 FT.

30 FT.
 10.8 FT.
 41.05 FT.
 24 FT to deck
 69.7 FT.

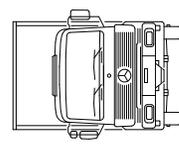
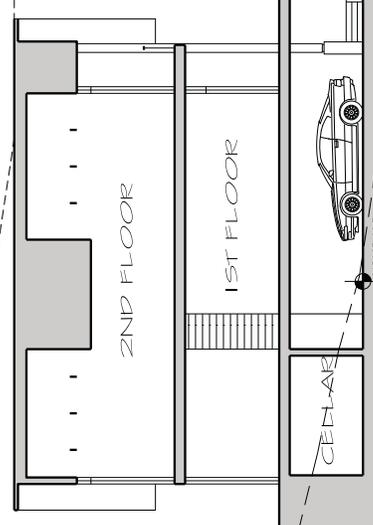
30 FT.
 12 FT.
 30 FT.
 26 FT. to deck
 73.8 FT.

30 FT.
 10.8 FT.
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35.00
ALLOWABLE
BLDG. HEIGHT

ROOF 130.0
2nd FL. 114.7
1st FL. 104.7
STREET 99.25
INVERT 95.0 (APPROX)



WARBURTON AVE

GARAGE 96.7