

June 27, 2016

Planning Board
Village of Hastings on Hudson, NY

Re: 169 Warburton Avenue

Dear Board Members,

I am writing this note on behalf of my clients, Maya Elbaum and Patrick Heenan. Their home is a charming (if small) mission style gem located on the west side of Warburton at the extreme south end of Hastings.

Like many authentic mission style homes, theirs is very dark. I think the term "cozy" applies. Uniquely, though, this house sits in front of an absolutely world class view of the Hudson River, yet turns its back on that view, as it were.

The effort here is to rebuild an unfortunate existing one-story hodge-podge rear porch enclosure and extension to that, with a two story addition that will maximize the views and the light to the west. We propose to connect the house to the garage with a vestibule and mudroom sequence.

Most importantly the second floor addition will create an additional bedroom (total 4) so their two young kids will each have their own room, and there will be room for grandma to stay over and help out from time to time.

Thank you for your consideration in this matter.

Yours Truly,

A handwritten signature in black ink that reads "Mitchell Koch". The signature is written in a cursive, flowing style.

Mitchell Koch, R.A.

VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this 26 day
of June, 2016

Mitchell Koch
Signature of the Applicant

Kathleen Boyd
Notary Public

KATHLEEN BOYD
NOTARY PUBLIC STATE OF NEW YORK
WESTCHESTER COUNTY
LIC. #01BO6217237
COMM. EXP. 2-8-2018

STATE OF NEW YORK
COUNTY OF WESTCHESTER

Name : MAYA ELBAUM, being duly sworn, deposes and says that he/she resides at 169 Warburton Ave in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet Parcel 4.130-138-7 Block 7 and Lot 7 of the tax map, and that he/she hereby authorized Mitchell Koch Architects to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Sworn to before me this June day
of 26, 2016

Maya Elbaum
Signature of the Owner

Kathleen Boyd
Notary Public

KATHLEEN BOYD
NOTARY PUBLIC STATE OF NEW YORK
WESTCHESTER COUNTY
LIC. #01BO6217237
COMM. EXP. 2-8-2018

Submit eleven (13) sets of this application with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.

HASTINGS-ON-HUDSON VIEW PRESERVATION APPLICATION AND CHECKLIST



The View Preservation applications are reviewed by both Planning and Zoning Boards. Planning board generally meets on the third Thursday of each month. The Zoning Board of Appeals meets on the fourth Thursday of each month except in the month of September and December. In September and December, ZBA meets on the second Thursday of the respective months. Please note that ZBA does not have any meeting in August and November.

Complete and submit 21 sets of this application with all required/supporting documents and a fee as per attached fee schedule to Hastings-on-Hudson Buildings Department, no later than 4 weeks before the date of the meeting.

Applicant's Name: <i>Mitchell Koch Architects</i>		Date: <i>6/24/2016</i>
Tel. <i>(914)623-0230</i>	Fax: <i>(914)219-1929</i>	E-mail: <i>mitch@mkastudio.com</i>
Property Owner's Name: <i>Maya Elbaum</i>		Property Address: <i>169 Warburton Ave. Hastings-on-Hudson. NY 10706</i>
Brief Project Description:	<i>Remove existing enclosed porch and extensions including existing foundation below. Provide 2-story addition at removed area max +/-28'. Provide 1-story addition at adjacent garage.</i>	

View Preservation Approval Application Requirements Checklist

Items	Item Specifics	Indicate how the checklist items are addressed*
Application	Complete application with supporting documents	<i>Attached here with</i>
Application Fee	Prescribed fee for the requested review/action	<i>Attached here with</i>
Plans	Plans, Site Plans, Elevations Sections and details as necessary to describe the full scope of proposed work	<i>See DWG A0, A1</i>
	A plan showing the location from where the photos were taken and general direction of the field of vision	<i>See Location Map and Photos of Property</i>
Photographs	Photographs from various vantage points showing the current views of the Palisades and Hudson river, without the proposed development/work	<i>Attached here with</i>
	Photographs from various vantage points showing the current views of the Palisades and Hudson river, with the proposed development/work simulated in the photographs	<i>Attached here with</i>
Additional Requirements	Board/s may require a Mock-up at the proposed site simulating the height, bulk or outline of the proposed construction/development to help them with their deliberations and decisions	<i>....To be provided as and if needed...</i>

*Indicate by notes such as, "see Note/Detail on Dwg #___", "attached herewith", or "NA", etc. where "NA" stands for "Not applicable".

	<i>6/24/2016</i>	<i>Mitchell Koch</i>	<i>Architect</i>
Signature	Date	Name	Title

June 27, 2016

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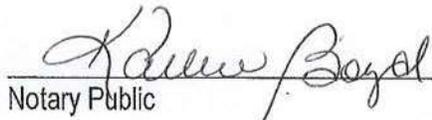


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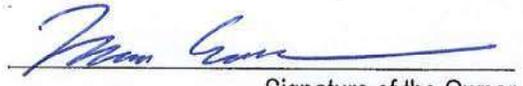

Notary Public

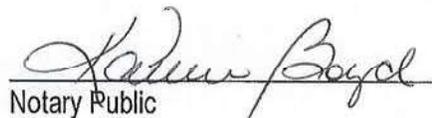
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Signature of the Owner


Notary Public

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HOME ALTERATION AND ADDITION
SBL: 4.130-138-7
 MAYA ELBAUM
 169 WARBURTON AVENUE
 HASTINGS ON HUDSON, NY 10706

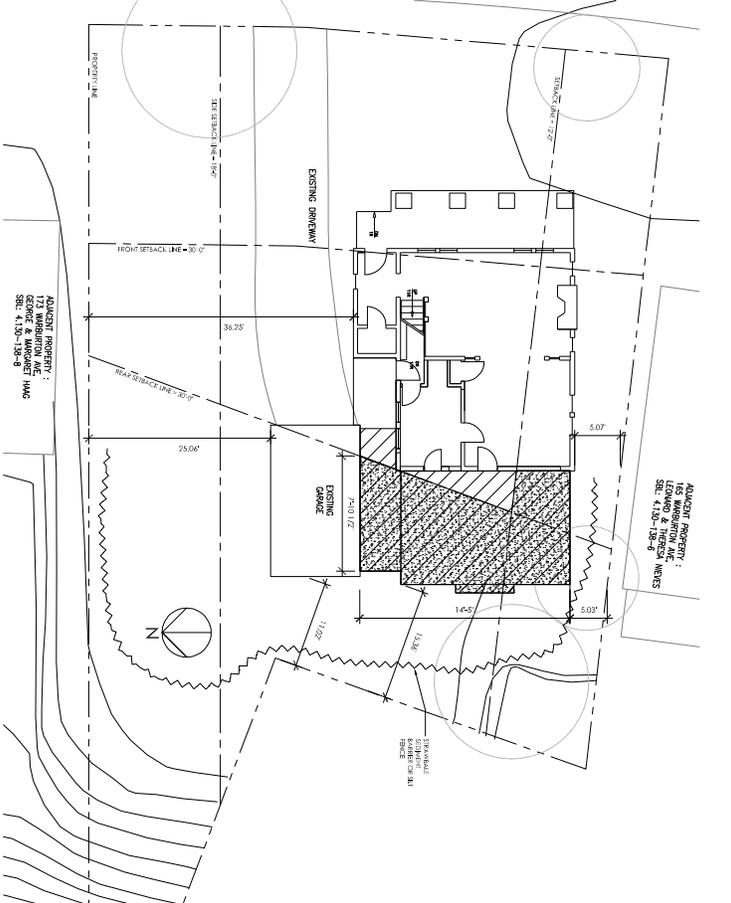
02/20/18	DRINK
02/27/18	FRANKING
03/01/18	REVISIONS

SEAL

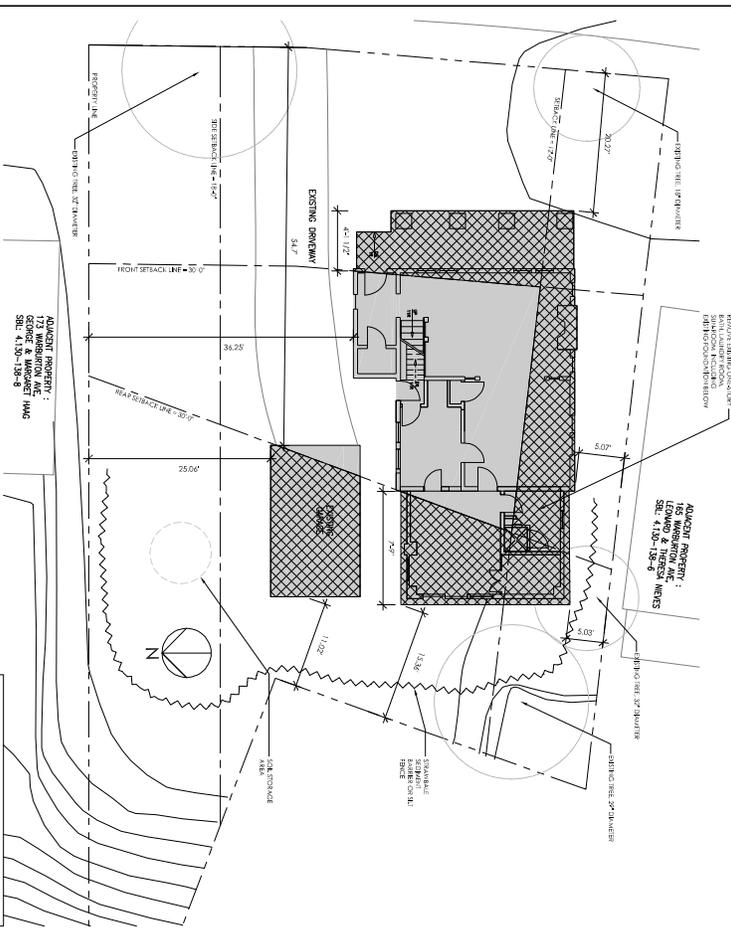
GENERAL NOTES
1ST FL DEMO / EXCAVATION
& PLOT PLAN

A0

PERMITS ONLY



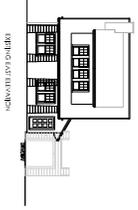
2 2ND FL 1ST FL PROPOSED CONSTRUCTION / ENCROACHMENT PLOT PLAN
 SCALE: 1/8" = 1'-0"



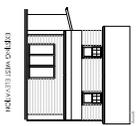
1 1ST FL EXISTING CONDITIONS / ENCROACHMENT & PLOT PLAN
 SCALE: 1/8" = 1'-0"

SETBACK LEGEND

- EXISTING SETBACK ENCROACHMENTS
- PROPOSED CONSTRUCTION
- PROPOSED ENCROACHMENT



3 EXISTING ELEVATIONS
 SCALE: 1/8" = 1'-0"



Certification

I, Michael Koch, hereby certify that the above information was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of New York.

Michael Koch, P.E.
 License No. 10000
 State of New York
 Professional Engineer

ZONING CALCULATIONS

PROPERTY ADDRESS	PERMITS	REQUIREMENTS	EXISTING	PROPOSED**
169 WARBURTON AVE	4.130-138-7	ONE-FAMILY RES.	NO CHANGE	NO CHANGE
LOT AREA	60,073 sq ft	20,227 sq ft	54,727 sq ft	20,227 sq ft
FLOOR AREA	30'	19,361 sq ft	11,097 sq ft	11,097 sq ft
FLOOR AREA	30'	4,517 sq ft	5,010 sq ft	5,010 sq ft
FLOOR AREA	30'	28'	11,645 sq ft	28'
LOT AREA	30'	6,735 sq ft	288 sq ft	6,735 sq ft
DEVELOPABLE AREA	28%	17,211 sq ft	45 sq ft	17,211 sq ft
FLOOR AREA	1977 sq ft	210 sq ft	31%	31%

**4001.660 SF (~24% SLOPE) NOT USED IN CALCULATIONS
 ***ACCESSORY BUILDING TO BE JOINED WITH PRINCIPAL BLDG. PROPOSED NUMBERS ONLY FOR PURPOSES OF PERMITTING.

WALL TYPES

- EXISTING TO REMAIN
- REMOVE EXISTING
- NEW REINFORCED CONCRETE WALL
- NEW INT. PARTITION
- NEW EXT. PARTITION

NOTE:
 ALL ALTERATIONS AND ADDITIONS SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS AND ALL APPLICABLE CODES. ALL ALTERATIONS SHALL BE NOT LIMITED TO THE EXISTING FOUNDATION HEIGHTS AND ALL HEIGHTS.

PROVIDE PROTECTIVE FENCING TO REMAIN TO PROTECT ALL EXISTING UTILITIES AND SERVICES. PROVIDE PROTECTIVE FENCING TO REMAIN TO PROTECT ALL EXISTING UTILITIES AND SERVICES. PROVIDE PROTECTIVE FENCING TO REMAIN TO PROTECT ALL EXISTING UTILITIES AND SERVICES.

2. ALL INTERSECTIONS BETWEEN SPACES IN 3.1M CIRCULAR SPACES SHALL BE 9" DIA. SPACERS AT THE TOP & BOTTOM OF WALL.

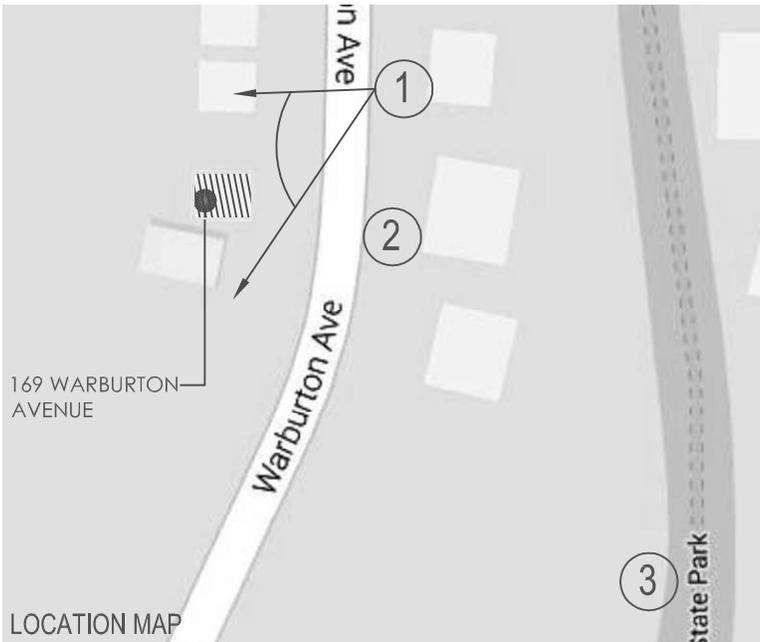


PHOTO 1
 VIEW FROM NORTHEAST W/ NEW ADDITION OUTLINE

LOCATION MAP
 PHOTOS OF PROPERTY

N.T.S.
 06/27/16

MAYA ELBAUM
 169 WARBURTON AVENUE, HASTINGS ON HUDSON, NY 10706

mitchell koch architects
 hastings on hudson, ny

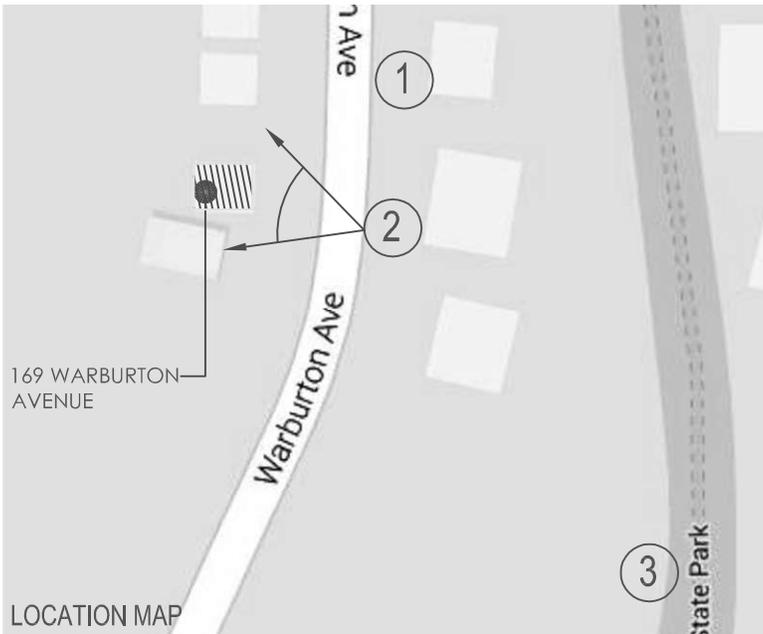


PHOTO 2
 VIEW FROM EAST - NO CHANGE

LOCATION MAP
 PHOTOS OF PROPERTY

N.T.S.
 06/27/16

MAYA ELBAUM
 169 Warburton Avenue, Hastings on Hudson, NY 10706

mitchell koch architects
 hasting's on hudson, ny

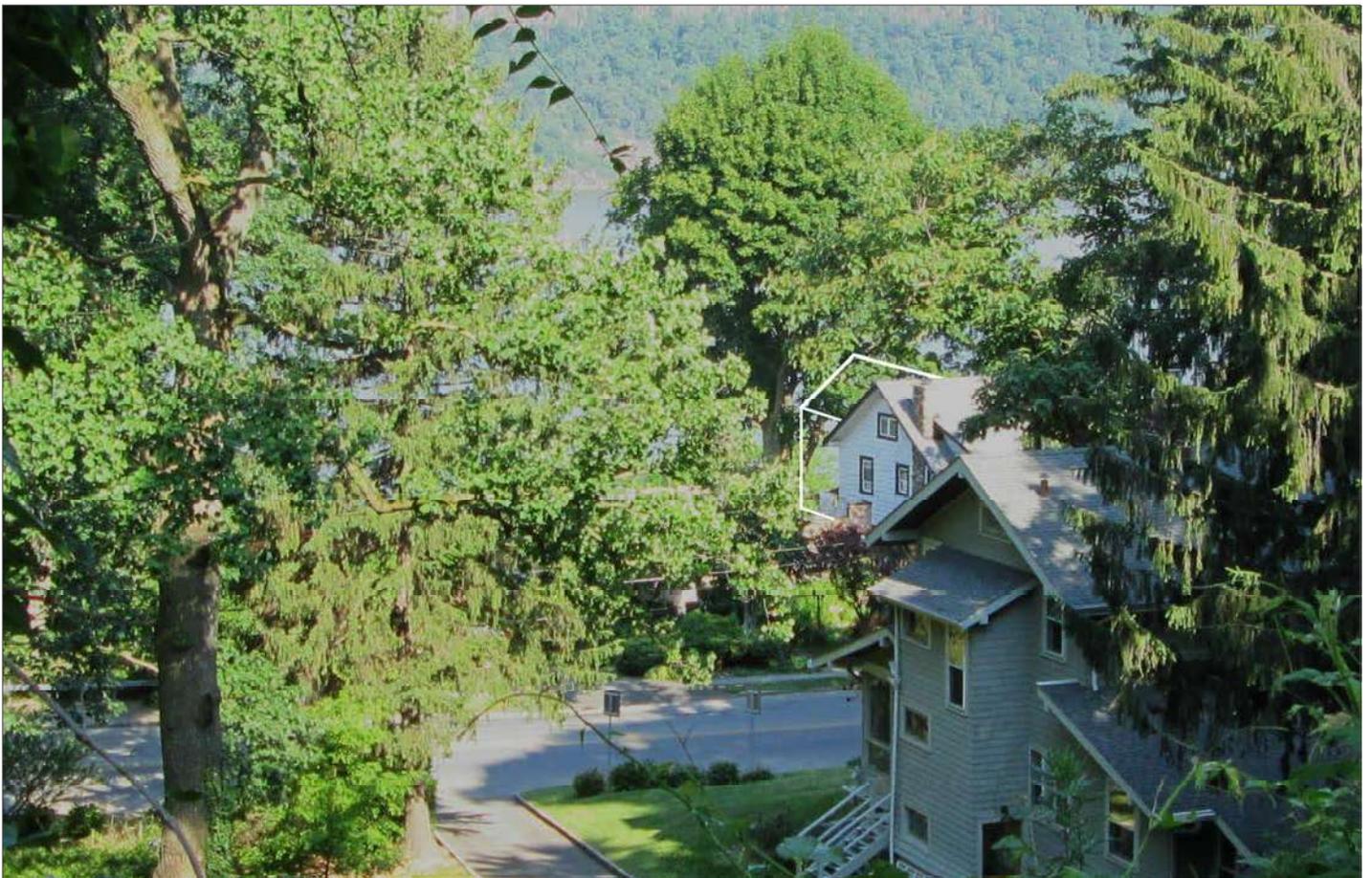
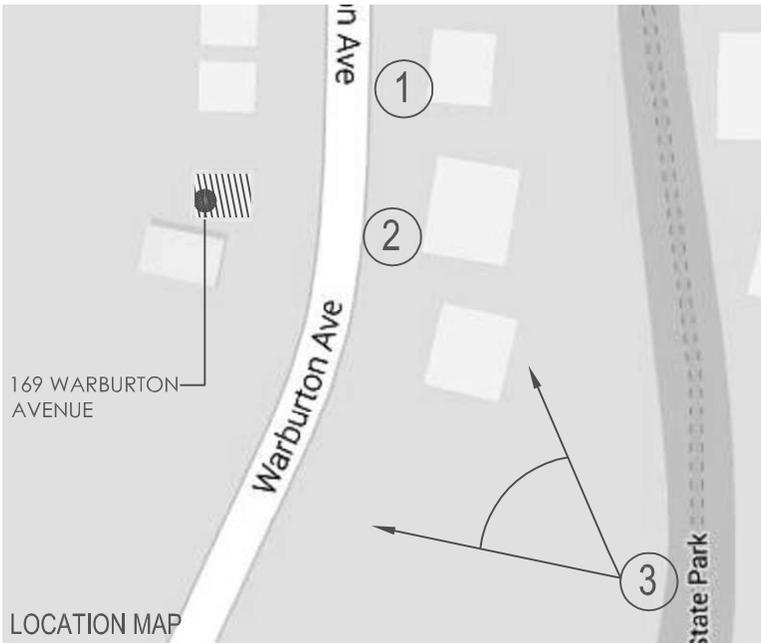


PHOTO 3
 VIEW FROM SOUTHEAST W/ NEW ADDITION OUTLINE

LOCATION MAP
 PHOTOS OF PROPERTY

N.T.S.
 06/27/16

MAYA ELBAUM
 169 WARBURTON AVENUE, HASTINGS ON HUDSON, NY 10706

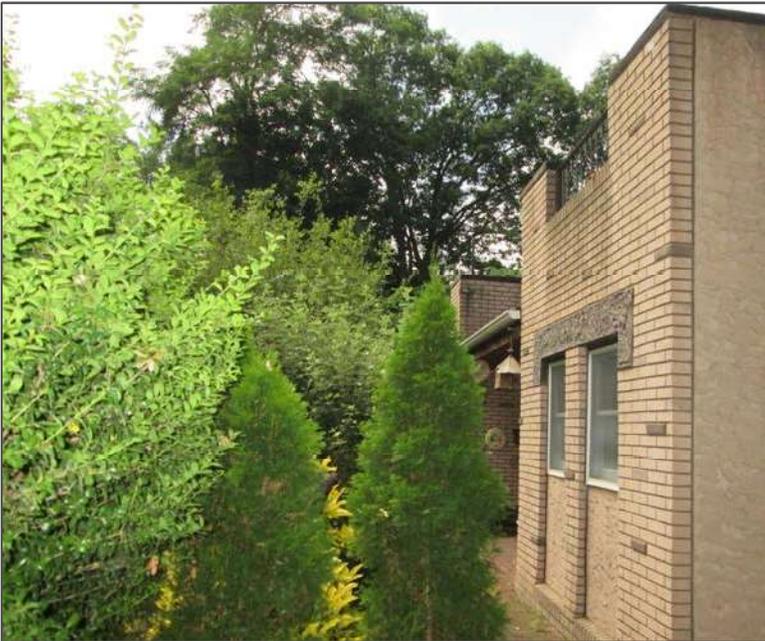
mitchell koch architects
 hastings on hudson, ny



VIEW FROM HOUSE TO EAST
SHOWING ADJACENT PROPERTY



VIEW FROM HOUSE TO NORTH
SHOWING ADJACENT PROPERTY



VIEW FROM HOUSE TO SOUTH
SHOWING ADJACENT PROPERTY



VIEW FROM HOUSE TO WEST
SHOWING THE HUDSON

LOCATION MAP
PHOTOS OF PROPERTY

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169 WARBURTON AVENUE, HASTINGS ON HUDSON, NY 10706

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