

VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this _____ day
of _____, 201_

Signature of the Applicant

Notary Public

STATE OF NEW YORK
COUNTY OF WESTCHESTER

Name : Bryan Murphy, being duly sworn, deposes and says that he/she resides at 1156 N Broadway, Yonkers, NY 10701 in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 4.140 Block 150 and Lot 2 of the tax map, and that he/she hereby authorized Gary Spilatro to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Sworn to before me this _____ day
of _____, 201_

Signature of the Owner

Notary Public

Submit eleven (13) sets of this application with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.



PHOTO 1



PHOTO 2



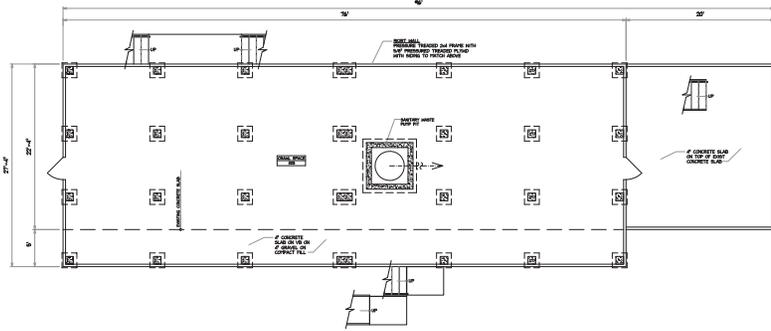
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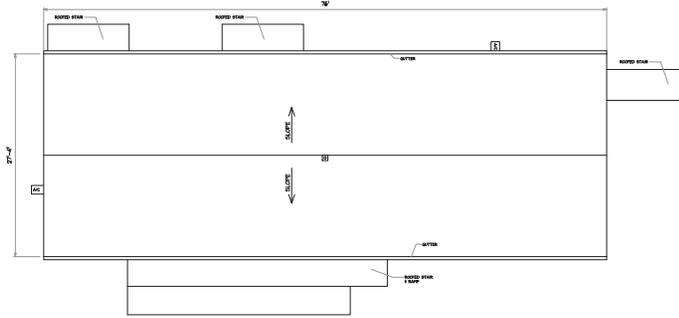
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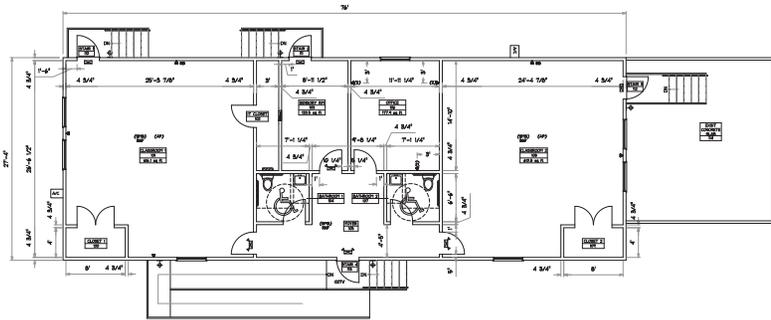
PHOTO 5



1 NEW (2) CLASSROOM BASEMENT PLAN
SCALE = 1/8"=1'-0"



3 NEW (2) CLASSROOM ROOF PLAN
SCALE = 1/8"=1'-0"



2 NEW (2) CLASSROOM FLOOR PLAN
SCALE = 1/8"=1'-0"

DATE	REVISION	BY

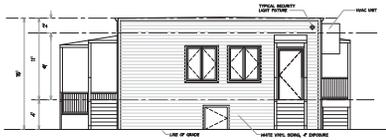
DATE	DISTRIBUTION	BY

GARY SPILATRO, ARCHITECT
62 NORTH AVENUE
NEW ROCHELLE, NY 10801
PHONE 914.735.7949 FAX 914.735.7940

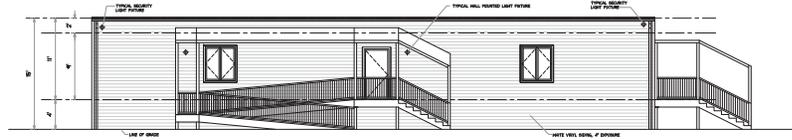
PROPOSED
(2) NEW CLASSROOMS
118K NORTH BROADWAY
TONEERS, NY

DRAWING NO.
A1
NO. 4 OF 6
JOB NO. 1610
DATE: 9-22-16
DRAWN BY: GS

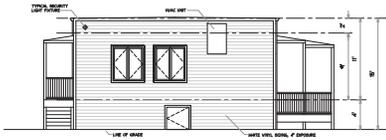
PLANS



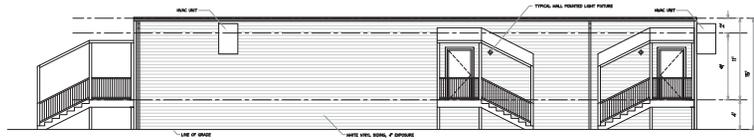
1 NEW (2) CLASSROOM SOUTH ELEVATION
SCALE = 1/8"=1'-0"



3 NEW (2) CLASSROOM WEST ELEVATION
SCALE = 1/8"=1'-0"



2 NEW (2) CLASSROOM NORTH ELEVATION
SCALE = 1/8"=1'-0"



4 NEW (2) CLASSROOM EAST ELEVATION
SCALE = 1/8"=1'-0"

GENERAL NOTES AND SPECIFICATIONS

1. Contractor shall comply with the latest edition of the "Residential Code of New York State", "Energy Conservation Construction Code of New York State" and all Local Codes.
2. Wood Lumber standard grade or better 1200 PSI min..
3. Wood that rest on concrete or masonry shall be pressure treated.
4. All conditions, locations, and dimensions shall be field verified and the Architect shall be immediately notified of any discrepancies.
5. All dimensions on drawings shall take precedence over any scaled dimensions.
6. Sealant shall be silicone: color to match finish adjacent material.
7. The Architect shall approve all changes made to the plans, and any such changes in the field shall be amendments to the original building permit.
8. The Contractor shall supervise and direct all work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for all portions of work under the contract.
9. The Architect shall not be responsible for the supervision of the construction.

10. The Contractor shall be solely responsible for on and off site safety.
11. No changes shall be made to these plans, as per NYS Law and Local Codes.
12. The contractor shall be responsible to the owner for the acts and omissions of his/her employees, subcontractors, and their performing any work under a contract with the contractor.
13. All electrical work shall comply with the N.Y.S. board of Fire Underwriter; contractor shall provide owner with certificate of inspection.
14. Concrete shall be min. of 3,500 psi at 28 days.
15. All plumbing work shall comply with N.Y.S. " State Uniform Fire Prevention and Building Code", N.Y.S. Energy Code" and all Local Codes. The contractor shall provide owner with certification of inspection.
16. All posts to be solid to foundation or beam.
17. LVL'S: $F_b = 2,900$, $F_v = 285$ & $E = 2.0 \times 10^6$
18. All water supply lines to be run in heated areas only.
19. All walls, floors & ceiling with batt insulation to have 6 Mil plastic Vapor Barrier installed on the warm side
20. 5/8" plywood is 3/8" not 1/2"

ELECTRICAL NOTE

Electrical subcontractor to review all construction documents and will install all electrical fixtures, outlets, switches and ect. as require by all codes. The electrical layout shown on these plans are the min. and no change orders for additional code items will be given. all code items are base bid.

SMOKE & CARBON MONOXIDE LOCATION NOTE

- 1) One smoke detector and carbon monoxide detector in each room
- 2) Smoke and carbon monoxide detectors to be hardwired

DATE	REVISION	BY

DATE	DISTRIBUTION	BY

GARY SPILATRO, ARCHITECT 42 NORTH AVENUE NEW ROCHELLE, NY 10801 PHONE 914.735.7949 FAX 914.735.7940	PROPOSED (2) NEW CLASSROOMS 1184 NORTH BROADWAY TONEAWAY, NY	ELEVATIONS & NOTES
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DRAWING NO. A2	NO. 5 OF 6	JOB NO. 1610	DATE: 4-22-16	DRAWN BY: GS
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VILLAGE OF HASTINGS-ON-HUDSON
 Site Plan Approval Application Requirements Checklist



Code section	Code Section Provisions	Indicate how the applicable provisions are addressed*
§ 295-106.A	The application for site plan approval on official Village forms signed by the fee owner of the property, which application shall include, among other things: (1) The names of all record owners of all adjacent properties and the sheet, lot, block and section number of those properties and the property to be developed. (2) A list of any deviations from the requirements of this chapter. (3) A completed New York State Environmental Quality Review Act assessment form. None Attached.....
§ 295-106.B	Any covenants or deed restrictions that are intended to cover all or any part of the property to be developed.	None
§ 295-106.C	A planting plan prepared by an architect or landscape architect certified by the State of New York.	Yes
§ 295-106.D	A vicinity map, at a scale of not less than 200 feet to the inch, showing buildings on contiguous lots.	No planting proposed
§ 295-106.E	A detailed site plan showing, at a scale of not less than 20 feet to the inch on sheets not to exceed 30 inches by 40 inches, the applicant's entire property and adjacent properties and existing streets and indicating: 1. The title of the development, if any; the date the plan was prepared; the North point; the scale; and the name and address of the record owner, the engineer, the architect, the land planner, the surveyor and the person who prepared the site plan. 2. The location of all existing and proposed lot lines, easements, reservations and areas dedicated to public uses. 3. All existing municipal school district, zoning district and special district boundaries 4. The location of yards required by this chapter and indicating whether and by how much such yards are greater or less than the actual proposed yards. 5. The location and dimensions of all existing and proposed buildings and structures, including, without limitation, the height of all buildings and structures and the width of all courts. 6. The existing and proposed use of all land and the existing and proposed use and exterior design of all existing and proposed buildings and structures, including, without limitation, the proposed grades, facades and other architectural features, and the location and attachment of mechanical equipment and other appurtenances to the exterior or at the roof. 7. The existing and proposed division of all existing and proposed buildings and structures into units of separate occupancy. 8. The location of all existing watercourses, marshes, wooded areas, rock outcrops, single trees with a diameter of eight inches or more measured three feet above the base of the trunk, and all other significant existing land features. 9. The location, layout and surfacing of all existing and proposed driveways, paving and off-street parking and loading areas, including individual parking spaces. 10. The location, size and type of all landscaping, screening and buffer areas. See Sheets T1 & S1 See Sheet S1 See Sheet S2 See Sheet T1 & S1 See Sheet A1 & A2 See Sheet S1 N/A See Sheets S1 & S2 See Sheets S1 & S2 No planting proposed

VILLAGE OF HASTINGS-ON-HUDSON
 Site Plan Approval Application Requirements Checklist



<p>§ 295-106.E (Cont'd)</p>	<p>11. The location of all existing and proposed outdoor storage areas, including snow storage in parking areas. 12. The location of all proposed streets, with profiles indicating grading and cross-sections showing the width of the roadway, the location and width of all sidewalks and the location and size of utility lines. 13. The location of all existing and proposed water mains, valves, hydrants, culverts, drains and sewer lines, or alternate means of water supply and sewer disposal and treatments, with pipe sizes, grades, direction of flow and location of connection to public utilities. 14. The location, height and design of all existing and proposed fences and retaining walls. 15. The location, direction, power, design and time of all existing and proposed exterior lighting. 16. The location, design and size of all existing and proposed signs. 17. The location of all other existing and proposed site improvements. 18. Existing soils and existing and proposed topography of the site, including existing and proposed contours, with intervals of five feet or less, referred to a datum satisfactory to the Planning Board. Where the variations in the proposed elevation above or below the average level of the street in front of the property exceed 10 feet, the application shall be accompanied by a map, certified by a licensed surveyor, showing the contours at two-foot intervals. 19. All other pertinent information</p>	<p>See Sheet S1 N/A See Sheet S1 N/A See Sheets A1 & A2 N/A See Sheet 1 N/A Attached</p>
<p>§ 295-106.F</p>	<p>A fee in the amount set by the Board of Trustees pursuant to § 295-152 of this chapter. The application shall not be considered as complete or officially submitted until all of the information, documents and fees required by this section have been received, in proper form, by the Building Inspector.</p>	<p>Submitted</p>
<p>§ 295-106.G</p>	<p>Any other information or documents required by the Planning Board for a review of the site plan</p>	<p></p>
<p>§ 295-106.H</p>	<p>A stormwater pollution prevention plan (SWPPP), if required by Chapter 250 of the Code of the Village of Hastings-on-Hudson.</p>	<p>See Sheet 1</p>

*Indicate by notes such as, "see Note/Detail on Dwg #___", "See PE certification/note in the attached letter", or "NA", etc. where "NA" stands for "Not applicable".


 Date: 10/3/16 Name: Gary Spilatro Title: Architect.

ANODUS MODULAN

MILLENNIUM FINITE™ FN SERIES

PRODUCT FEATURES:

- Full cut-off LED wall-pack with classic design aesthetic
- Type II, III and IV optical distribution options
- High-efficiency, high-power LED sources
- Available two-circuit and cold-weather battery pack options
- Peace of Mind Guarantee®

SPECIFICATIONS

HOUSING: High-impact resistant, UV-stabilized injection molded polycarbonate. Marine-grade die-cast aluminum driver housing.

DOOR: High-impact resistant, UV-stabilized injection molded polycarbonate with detachable hinge. Secured to housing with four (4) captive, recessed Torx® (or optional Phillips head) stainless steel screws. Lens sealed with closed-cell silicone gasket and secured to door frame with heavy gauge stainless steel brackets.

GASKETING: Closed cell, silicone "O" ring gasket seals joint between polycarbonate housing and die-cast aluminum driver housing and joint between polycarbonate housing and polycarbonate lens frame assembly. Thick gauge, die-cut, closed cell neoprene with self-adhesive gasket seals joint between housing and mounting surface or accessory surface conduit adapter.

ELECTRICAL: Serviceable high-brightness LED array. See Ordering Information for color temperature and CRI options. 70 CRI minimum. 120-277 VAC or 347VAC. 50/60Hz single-phase input; constant-current dimming driver; <10% THD, >0.95 PF. Minimum 85% electrical efficiency. 0-10V dimming protocol with 1-100% range, 200mA source current. Replaceable surge suppressor rated to 10kAVV per IEEE/ANSI C62.41 Cat. A. EMC compliant with FCC 47 CFR Part 15, Class A.

INSTALLATION: Fixture is factory pre-wired and includes gasketed, 16-gauge stainless steel quick mounting plate. Once four-point mounted to wall (required for Peace of Mind Guarantee®) or accessory surface conduit adapter, allows quick mounting with hook-and-lock mechanism. Quick mounting plate bolts to wall (fasteners by other), fixture attaches to mounting plate with two (2) captive Torx® (or optional Phillips head) screws, which are concealed but accessible from bottom. Suitable for ambient temperature applications from -40°C (-40°F) to 40°C (104°F) environments, except as noted.

SURFACE CONDUIT ADAPTER (ACCESSORY): Marine-grade die-cast aluminum construction includes die-cut gaskets and two 3/8" threaded connection ports. Once four-point mounted to wall (required for Peace of Mind Guarantee®) allows same quick mounting (hook-and-lock) capability as described in the installation section above.

PHOTOMETRICS: Photometry tested to the IESNA LM-79-08 standard by an ILAC/ISO17025 accredited laboratory. For additional photometric information, go to www.kenall.com.

WARRANTY: One (1) year warranty against defects in materials and workmanship. Five (5) year warranty on LED lamps and driver for defects resulting in a fixture lumen depreciation of 30% or greater.

LISTINGS: Laminaire is certified to UL Standards by either Underwriters Laboratory or Intertek Testing Laboratory for Wet Location. UL certified IP65 per IEC 60598. IESNA-designated full cut-off.



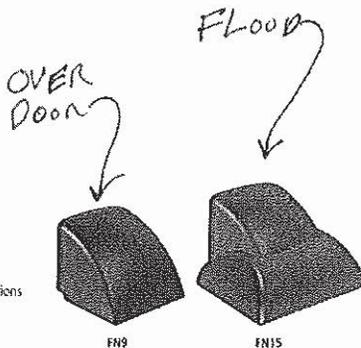
PROJECT INFORMATION

Job Name _____

Fixture Type _____

Catalog Number _____

Approved by _____



FN9

FN15

In Stock SKU
FN9-4-7-08-1GL-40K7-DV
FN15-4-7-08-1GL-40K7-DV

ORDERING INFORMATION (Ex: FN9-4-7-MB-24L-40K8-DV)

Model	Optic System	Lens Type	Finish	Lamp Power	Lamp Color	Voltage	Options	Accessories
		7						
Model				Lamp Power			Options	
FN9	9" Full Cutoff			9" 16 Watt LED			CEL1 Integral Cold Weather Battery Pack (-20°C min ambient)	
FN15	15" Full Cutoff			16L 16 Watt LED			LE11 Integral Emergency Battery Pack (0°C min ambient)	
				24L 24 Watt LED			BPC* Photo Control - Shielded Button Type (120V or 277V only)	
Optic System				15" 24L 24 Watt LED			FS Single Fuse & Holder	
2	Type II			36L 36 Watt LED			PH Phillips Head Fasteners	
3	Type III			47L 47 Watt LED			2C* Two-Circuit Wiring	
4	Type IV			49L 49 Watt LED				
Lens Type							Accessories	
7	187" Clear Polycarbonate						9500 Torx® Screwdriver	
Finish				Lamp Color			SA Die-Cast Surface Adapter	
DB	Dark Bronze			40K7 4000K, 70 CRI				
MB	Matte Black			40K8 4000K, 80 CRI			† Available only with FN15-24L model (cannot be combined with 347V or 2C options)	
MW	Matte White			50K7 5000K, 70 CRI			* Available only with FN15-24L and 49L models. Option provides separately powered drivers/LED modules	
CC	Custom Color (Ceruzzi factory)						‡ SA Accessory required	
				Voltage				
				DV 120-277 Volts				
				120 120 Volts				
				277 277 Volts				
				347 347 Volts				



www.kenall.com

P: 800-4-Kenall

F: 262-891-9701

10200 55th Street Kenosha, Wisconsin 53144

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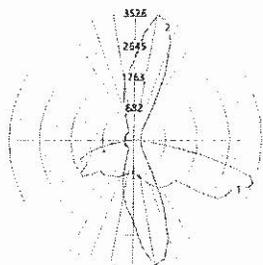
For additional photometry, go to www.kenall.com

MILLENIUM FINITE™
FN SERIES – Technical Data
PERFORMANCE

Model	Lamp Type	Initial Delivered Lumens (lm)			Efficacy (lm/W)	Input Power (W)	Drive Current (mA)	Estd. L70 LED Life (hrs)
		Type 2	Type 3	Type 4				
FN9	16L-40K7	1855	2109	2078	93-105	20	350	150,000
	16L-40K8	1788	2024	2003	89-101	20	350	150,000
	16L-50K7	1968	2228	2204	98-111	20	350	150,000
	24L-40K7	2598	2942	2911	96-109	27	350	125,000
	24L-40K8	2573	2914	2883	95-108	27	350	125,000
	24L-50K7	2756	3121	3088	102-116	27	350	125,000
FN15	24L-40K7	2823	3186	3169	101-114	28	350	150,000
	24L-40K8	2789	3148	3131	100-112	28	350	150,000
	24L-50K7	2995	3380	3362	107-121	28	350	150,000
	36L-40K7	4071	4594	4570	99-112	41	525	125,000
	36L-40K8	3984	4497	4473	97-110	41	525	125,000
	36L-50K7	4279	4830	4804	104-118	41	525	125,000
	47L-40K7	5073	5726	5695	92-104	55	700	100,000
	47L-40K8	5016	5661	5630	91-103	55	700	100,000
	47L-50K7	5383	6075	6042	98-110	55	700	100,000
	49L-40K7	5543	6256	6222	102-116	54	350	150,000
	49L-40K8	5425	6123	6090	100-113	54	350	150,000
	49L-50K7	5881	6637	6601	109-123	54	350	150,000

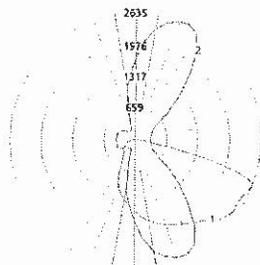
Information above was tested with the Clear Polycarbonate lens. Subject to change without notice. Visit www.kenall.com for IES files and additional information.

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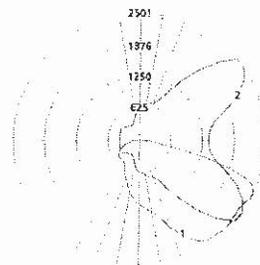
Maximum Candela = 3526 Located At Horizontal Angle = 60, Vertical Angle = 70
 1 - Vertical Plane Through Horizontal Angles (80-260) (Through Max. Cd)
 2 - Horizontal Cone Through Vertical Angle (70) (Through Max. Cd)

Model: FN15-3-7-DB-49L-40K8-DV



Maximum Candela = 2635 Located At Horizontal Angle = 65, Vertical Angle = 67.5
 1 - Vertical Plane Through Horizontal Angles (55-245) (Through Max. Cd)
 2 - Horizontal Cone Through Vertical Angle (67.5) (Through Max. Cd)

Model: FN15-4-7-DB-49L-40K8-DV



Maximum Candela = 2501 Located At Horizontal Angle = 35, Vertical Angle = 65
 1 - Vertical Plane Through Horizontal Angles (35-215) (Through Max. Cd)
 2 - Horizontal Cone Through Vertical Angle (65) (Through Max. Cd)



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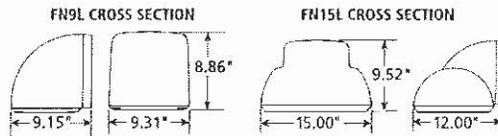
F: 262-891-9701

10200 55th Street Kenosha, Wisconsin 53144

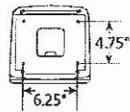
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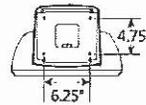
MILLENIUM FINITE™
FN SERIES – Technical Data
DIMENSIONAL DATA



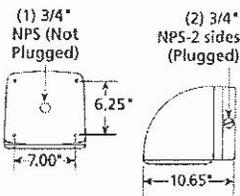
MOUNTING HOLES



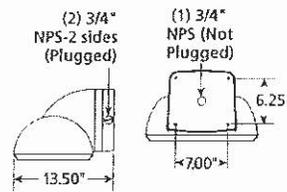
MOUNTING HOLES



SURFACE ADAPTER



SURFACE ADAPTER



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P: 800-4-Kenall

F: 262-891-9701

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FN_9_15-092016

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
New Classroom Bldg at 1156 N Broadway, Yonkers, NY for Julia Dyckman Memorial			
Name of Action or Project: New Classroom Bldg			
Project Location (describe, and attach a location map): 1156 N Broadway, Yonkers, NY 10701			
Brief Description of Proposed Action: Demo existing one story masonry 1 classroom and storage building. Build a new 2 classrooms, 2 HC Toilets, 1 Sensor Room and 1 Office.			
Name of Applicant or Sponsor: Gary Spilatro		Telephone: 914.738.7949 E-Mail: gary@spilatroarchitect.com	
Address: 92 North Ave, Suite 204			
City/PO: New Rochelle		State: NY	Zip Code: 10801
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		28.619989 acres	
b. Total acreage to be physically disturbed?		0.083 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		98.969989 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): Cemetery <input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>

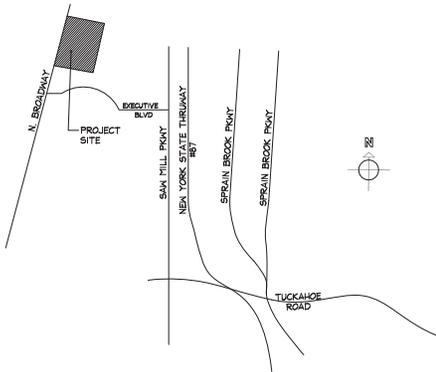
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

Applicant/sponsor name: Gary Spilato Date: 9-22-16

Signature: 

JULIA DYCKMAN ANDRUS MEMORIAL PROPOSED NEW (2) CLASSROOMS 1156 NORTH BROADWAY YONKERS, NEW YORK 10701

VICINITY MAP



LOCALITY MAP



ZONING

HASTING ON THE HUDSON

Zoning	R-20
Sheet	4.140
Block	150
Parcel	1

	Required/Min./Max.	Existing	Proposed	
Lot Area	4 Acres	28.619989 Acres	28.619989 Acres	OK
Yards				
Front	40'-0"	±822'	±820'	OK
Side 1	20'-0"	±535'	±535'	OK
Side Combined	50'-0"	±2,313'	±2,313'	OK
Rear	40'-0"	±1,100'	±1,102'	OK
Coverage				
Bldg. Coverage	15%	±3.93%	±3.95%	OK
Land Coverage	40%	±11.598%	±11.61%	OK
Bldg. Ht.				
	2.5 stories/ 35'	1 story/ 11'7"	1 story/ 15'	OK

SYMBOLS

- DEMO HALL
- NEW HALL 8'-1/2" 28 @ 8' 1/2" @ 1/2" BOTH SIDES
- EXISTING HALL
- ⊕ SWITCH
- ⊙ OUTLET
- ⊕ QUADRUPLEX OUTLET
- GFI Ⓜ GROUND FAULT INTERRUPTER
- ⊕ SMOKE DETECTOR
- ⊕ CORNICE EXIT SIGN & EMERGENCY LIGHT FIXTURE
- ⊕ EXIT SIGN
- ⊕ EMERGENCY LIGHT FIXTURE
- ⊕ FLOOD LIGHT FIXTURE
- ⊕ HALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING LIGHT FIXTURE
- ⊕ SUPPLY REGISTER
- ⊕ RETURN REGISTER
- ⊕ 2'x4' FLUORESCENCE SURFACE MOUNTED LIGHT FIXTURE
- ⊕ 2'x2' FLUORESCENCE SURFACE MOUNTED LIGHT FIXTURE
- ▽ TEL. OUTLET
- ⊕ ELEC. PANEL
- ▽ DATA OUTLET
- ⊕ TELECOM. PANEL

DRAWING INDEX TITLE

GENERAL

- T1 GENERAL NOTES, DRAWING INDEX, MAP LOCATION, ZONING INFORMATION & SYMBOLS

SITE

- S1 SITE PLAN
- S2 SITE PLAN

ARCHITECTURAL

- A1 PLANS
- A2 ELEVATIONS AND SECTIONS
- A3 DETAILS AND TOPO/TREE SITE PLAN

DATE	REVISION	BY
DATE	DISTRIBUTION	BY

DRAWING NO.	T1	NO. 1 OF 6	JOB NO. 8110
DATE: 9-22-16			DATE: 9-22-16
DRAWN BY: GS			DRAWN BY: GS

GARY SPILATRO, ARCHITECT 42 NORTH AVENUE NEW ROCHELLE, NY 10801 PHONE 914.736.7949 FAX 914.736.7940	JULIA DYCKMAN ANDRUS MEMORIAL 1156 NORTH BROADWAY YONKERS NEW YORK 10701-1108	JULIA DYCKMAN ANDRUS MEMORIAL PROPOSED (2) NEW CLASSROOMS 1156 NORTH BROADWAY YONKERS NEW YORK 10701-1108 GENERAL NOTES, DRAWING INDEX, MAP LOCATION, ZONING INFORMATION & SYMBOLS
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