

VILLAGE OF HASTINGS-ON-HUDSON

Procedure for Application for Review/Action By The Planning Board



1. **SITE PLAN APPROVAL.** Site Plan approval by the Planning Board is required for:
 - (1) The construction, reconstruction, alteration, renovation, demolition, enlargement, moving or removing of any building, or structure, with the exception of most single-family dwellings; or,
 - (2) Any land use not involving a building or structure.All applications for Site Plan Approval must comply with the requirements of Article XII, Site Plan Approval, of the Village of Hastings-on-Hudson Zoning Code. (Copy of relevant code sections is attached)
2. Effective June 1, 2012, all applications are required be completed on line. Follow link to the application and instruction on our website www.hastingsgov.org. Application forms for the Site Plan, Steep Slopes and Subdivision along with the Full or Short Environmental Assessment Form (EAF) as required under NYS Environmental Quality Review Act (SEQRA), may also be obtained from the Building Department. **However please note that all data will still be required to be entered in our system on line.**

FILING THE APPLICATION. The applicant must submit a total of thirteen (13) sets {two (2) original plus eleven (11) copies of the completed applicant and all supporting material with an applicable fee as shown on attached schedule, **NO LESS THAN SIX (5) WEEKS PRIOR TO THE SCHEDULED MEETING DATE.**

Once the Building Inspector has deemed the application complete, a public hearing will be scheduled before the Planning Board, which usually meets the third (3rd) Thursday of each month. At least 10 days prior to the date of the public hearing, the applicant must notify by certified mail (return receipt requested) all property owners within a radius of 300 feet of the scheduled public hearing. The Building Inspector will provide the applicant with a list of property owners and other persons or agencies who must be informed.

4. **VIEW PRESERVATION DISTRICT.** If an applicant is located in the View Preservation (VP) District, photos and a key map must be submitted showing the impact of the proposed work on the views of the Hudson River and the Palisades from neighboring properties and adjacent public properties. A View Preservation application, available from the Building Department, must be submitted to the Planning Board for a recommendation and to the Zoning Board of Appeals for a final decision. Thirteen (13) sets of photos and maps must be submitted to the Planning Board.
5. **STEEP SLOPES LAW.** Building Permit applications on lots that contain slopes of 15% or greater over a ground area of at least 1,000 square feet must include the information required by Chapter 249, §249-7, of the Village Code and must receive Steep Slopes approval from the Planning Board. A copy of the Steep Slopes Law is available from the Building Department.
6. **TREE PRESERVATION LAW.** A Tree Removal Permit is required, in accordance with the Tree Preservation Law, Chapter 273 of the Village Code, on a lot of one acre or more, or a combination of adjoining lots of one acre or more owned by the same entity, if any tree with a diameter of 12 inches or more (measured at a point 4-1/2 feet above the ground) is to be removed or potentially injured during construction. A copy of the Tree Preservation Law is available from the Building Department.
7. **SITE PLAN APPROVAL.** Upon approval of a Site Plan application, the applicant must submit two (2) copies of the final Site Plan with changes or conditions noted thereon, to be endorsed by the Chair of the Planning Board and filed with the Building Inspector.

VILLAGE OF HASTINGS-ON-HUDSON
Application for the Planning Board Review/Action
for Site Plan, Subdivision
Steep Slopes and/or View Preservation



STATE OF NEW YORK
COUNTY OF WESTCHESTER ss.:

The undersigned applicant states that he/she has read all applicable code sections of the Village of Hastings-on-Hudson and is herewith submitting this application complete with all such documentation and information as is necessary and required under the code and is hereby requesting the aforementioned action/approval/s by the Planning board of the Village of Hastings-on-Hudson.

Sworn to before me this 11th day
of November, 2016

F Engelbertz [Signature]
Signature of the Applicant

Kathleen Boyd
Notary Public

KATHLEEN BOYD
NOTARY PUBLIC STATE OF NEW YORK
WESTCHESTER COUNTY
LIC. #01BO6217237
COMM. EXP. 2-8-2018

STATE OF NEW YORK
COUNTY OF WESTCHESTER

Name : Ethan Arrow & Fabian Engelbertz, being duly sworn, deposes and says that he/she resides at 4 West Main Street in the Village of Hastings-on-Hudson in the County of Westchester, in the State of New York, that he/she is the owner of all that certain lot, parcel of land, in fee, lying and being in the Village of Hastings-on-Hudson aforesaid and known and designated as Sheet 00407000480100000000 Block _____ and Lot _____ of the tax map, and that he/she hereby authorized Mitchell Koch Architects to make the annexed application in his/her behalf and that the statement of fact contained in said application are true.

Sworn to before me this 11th day
of November, 2016

F Engelbertz [Signature]
Signature of the Owner

Kathleen Boyd
Notary Public

KATHLEEN BOYD
NOTARY PUBLIC STATE OF NEW YORK
WESTCHESTER COUNTY
LIC. #01BO6217237
COMM. EXP. 2-8-2018

Submit eleven (13) sets of this application with all necessary documents, plans, surveys, photographs, applicable checklists and any other data that you deem critical to make your case before the Planning Board.

Appendix C

State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
 For UNLISTED ACTIONS Only

PART I - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR Ethan Arrow & Fabian Engelbertz	2. PROJECT NAME Additions to 3-Family Residence
3. PROJECT LOCATION: Municipality Hastings on Hudson County Westchester	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) 4 West Main St, Hastings on Hudson	
5. PROPOSED ACTION IS: <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: Provide dining addition (1 story) on south side of existing kitchen. Provide a stair hall (2 story) from basement to second floor. Provide a new roof deck on top of existing second floor roof.	
7. AMOUNT OF LAND AFFECTED: Initially <u>0.007</u> acres Ultimately <u>0.007</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) name and permit/approvals:	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) name and permit/approvals:	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Fabian Engelbertz</u> <u>Ethan Arrow</u> Date: <u>11/11/2016</u>	
Signature: <u>F. Engelbertz</u> <u>Ethan Arrow</u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)?
 Yes No If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If Yes, explain briefly:

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts **AND** provide, on attachments as necessary, the reasons supporting this determination.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

HASTINGS-ON-HUDSON VIEW PRESERVATION APPLICATION AND CHECKLIST



The View Preservation applications are reviewed by both Planning and Zoning Boards. Planning board generally meets on the third Thursday of each month. The Zoning Board of Appeals meets on the fourth Thursday of each month except in the month of September and December. In September and December, ZBA meets on the second Thursday of the respective months. Please note that ZBA does not have any meeting in August and November.

Complete and submit 21 sets of this application with all required/supporting documents and a fee as per attached fee schedule to Hastings-on-Hudson Buildings Department, no later than 4 weeks before the date of the meeting.

Applicant's Name: Ethan Arrow & Fabian Engelbertz		Date:
Tel. (646)784-3952	Fax:	E-mail: ethanarrow@gmail.com; engelbertz@gmail.com
Property Owner's Name: Ethan Arrow & Fabian Engelbertz		Property Address: 4 West Main Street, Hastings on Hudson NY 10706
Brief Project Description:	Provide dining addition (1 story) on south side of existing kitchen. Provide a stair hall (2 story) from basement to second floor. Provide a new roof deck on top of existing second floor roof.	

View Preservation Approval Application Requirements Checklist

Items	Item Specifics	Indicate how the checklist items are addressed*
Application	Complete application with supporting documents	Included
Application Fee	Prescribed fee for the requested review/action	Included
Plans	Plans, Site Plans, Elevations Sections and details as necessary to describe the full scope of proposed work	A0, A1
	A plan showing the location from where the photos were taken and general direction of the field of vision	A2
Photographs	Photographs from various vantage points showing the current views of the Palisades and Hudson river, without the proposed development/work	A2
	Photographs from various vantage points showing the current views of the Palisades and Hudson river, with the proposed development/work simulated in the photographs	A2
Additional Requirements	Board/s may require a Mock-up at the proposed site simulating the height, bulk or outline of the proposed construction/development to help them with their deliberations and decisions	Installed on site To be provided as and if needed...

*Indicate by notes such as, "see Note/Detail on Dwg #___", "attached herewith", or "NA", etc. where "NA" stands for "Not applicable".

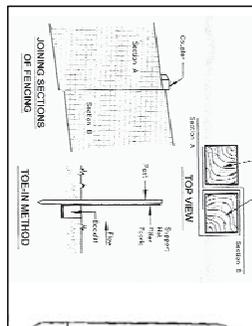
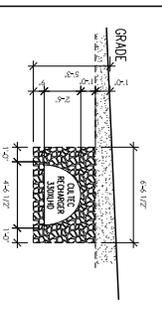
	11/11/2016	Fabian Engelbertz	
Signature	Date	Name	Title
	11/11/2016	Ethan Arrow	

SITE DATA		AREA (SQ)	
101 AREA	EXISTING DEVELOPMENT	980	
DECK	EXISTING DEVELOPMENT TO BE REMOVED	40	
DECK	EXISTING DEVELOPMENT TO BE REMOVED	40	
NET DEVELOPMENT			
1 1.500' DINING ROOM		148	
2 2.500' STAIR HALL		110	
ROOF DECK		150	

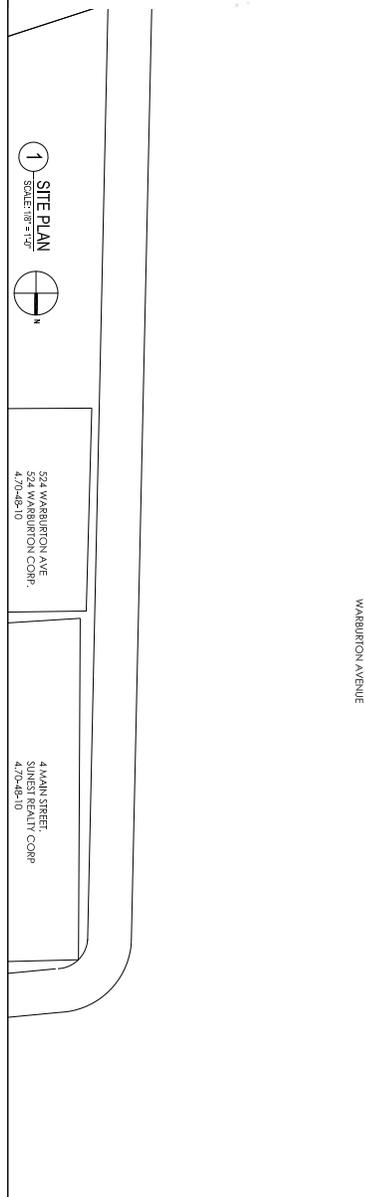
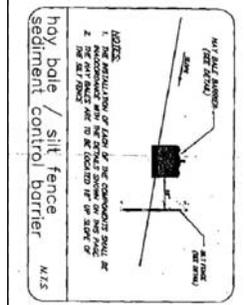
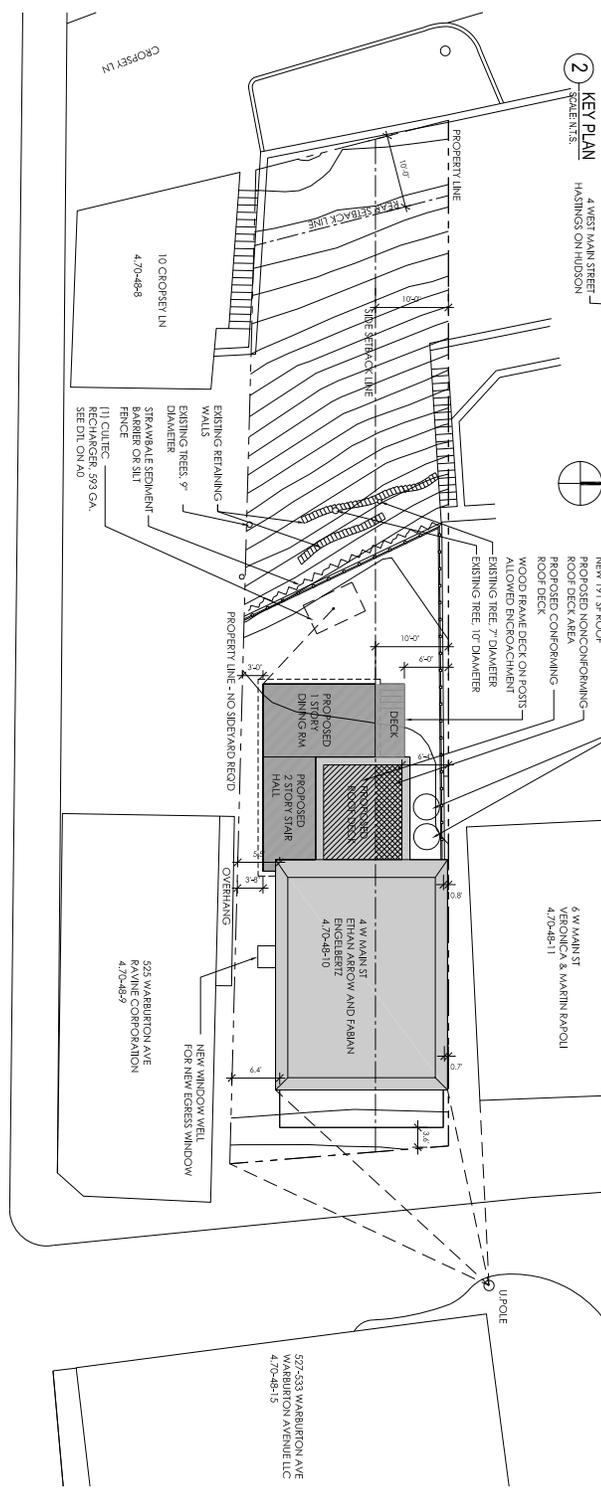
ZONING CALCULATIONS	
LOCATION	4 W MAIN STREET
ZONING DISTRICT	OC
SEC.	470-48-10
USE	RESIDENTIAL
PERMITTED TO ADJUSTMENTS	PROPOSED TO ADJUSTMENTS
ONE FAMILY RES.	ONE FAMILY RES. NO CHANGE
FRONT	14'
REAR	10'
SIDE (L)	10'
SIDE (R)	10'
SETBACK	10'
DECK	10'
ROOF DECK	10'
WOOD FRAME DECK ON POSTS	10'
ALLOWED ENCROACHMENT	10'
EXISTING TREE 10" DIAMETER	10'

REAR YARD, 20' RECD ABOVE GROUND FLOORS = 2,224 SF	
1 5.000' DINING ROOM (ROOF) 11' 0" X 7' 10" X 7' 5" = 746 GALONS	
2 5.000' STAIR HALL (ROOF) 10' 0" X 7' 10" X 7' 5" = 520 GALONS	
TOTAL PERMITTED CALCULATIONS REQ'D: 1273 GALONS	
OVERWELL CALCULATIONS:	
REAR YARD AREA: 399 SF	
RAIN FALL RATE = 7"/hour (ASSUME 100% STORM)	
RECD REFINANCE = 2935.77"/min/1254"/796"OUT" = 1273 GALONS	
PERCOLATION = 1.50" @ 989.67"/296" = 216	
7.5" OUT "1" X 2 UNITS X 7.50" = 110 GA PERCOLATION PREMIUM	
USE TWO (2) CULTIC 330000 UNITS @ 993 GA EACH OR	
(2) ABOVE GROUND STORAGE TANKS TO 993 GA TOTAL IN LEU	
1 CULTIC 330000	

SETBACK LEGEND		
[Symbol]	EXISTING BUILDING COVERAGE	980 S.F.
[Symbol]	PROPOSED CONFORMING ADDITION	268 S.F.
[Symbol]	PROPOSED NON-CONFORMING ADDITION	50 S.F.



2 KEY PLAN
4 WEST MAIN STREET
HASTINGS ON HUDSON



1 SITE PLAN
SCALE 1/8" = 1'-0"

521 WARBURTON AVE
521 WARBURTON CORP.
470-48-10

4 MAIN STREET
SUNSET SITS CORP
470-48-10

ARCHITECT
200 WEST 10TH STREET
HASTINGS ON HUDSON
NY 10706
TEL: 914-281-1000
WWW.AMCELLOTT.COM

ADDITIONS TO 3 FAMILY RESIDENCE
OF ETHAN ARROW + FABIAN ENGELBERTZ
4 WEST MAIN STREET
HASTINGS ON HUDSON, NY 10706

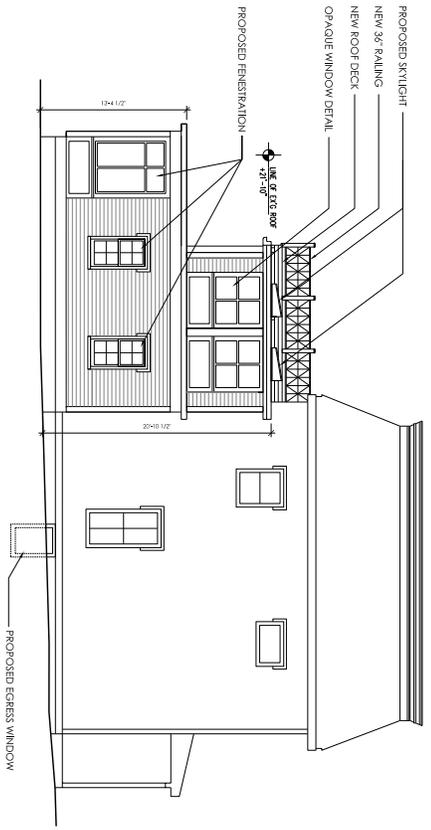
REVISION
10/13/16 COR DENIAL
11/11/16 PLANNING BD.
ZBA



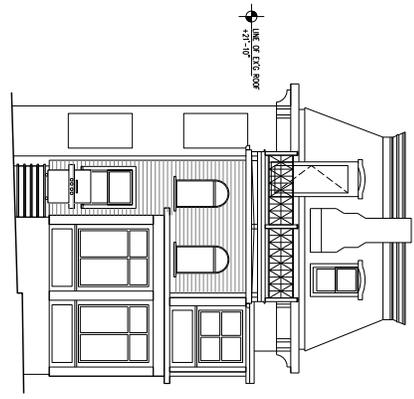
ZONING DATA, SITE PLAN
DRYWELL INFO + CALCS,
KEY PLAN, SETBACK LEGEND
RECHARGER/SEDIMENT DTL'S

A0
DRAWING NO.

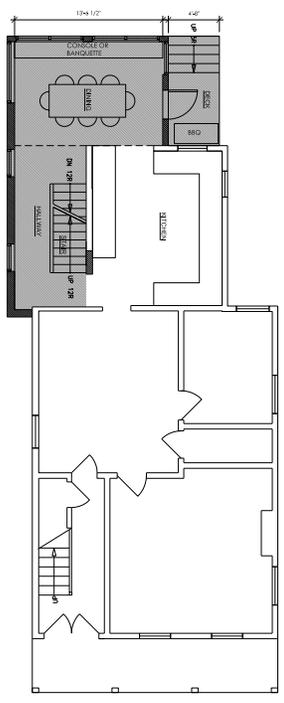
PROJECT #



2 PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"



3 PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



1 PARTIAL PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



MARC ELLIOTT
200 WEST 10TH STREET
HASTINGS ON HUDSON, NY 10706
TEL: 914.481.1000
WWW.MARCELLIOTT.COM

ADDITIONS TO 3 FAMILY RESIDENCE
OF ETHAN ARROW + FABIAN ENGELBERTZ
4 WEST MAIN STREET
HASTINGS ON HUDSON, NY 10706

REVISION

10/13/16	KOR CORRAL
11/17/16	PLANNING BD.
ZBA	



PROPOSED PLAN,
ELEVATIONS

A1

HASTINGS, NY

PROJECT #

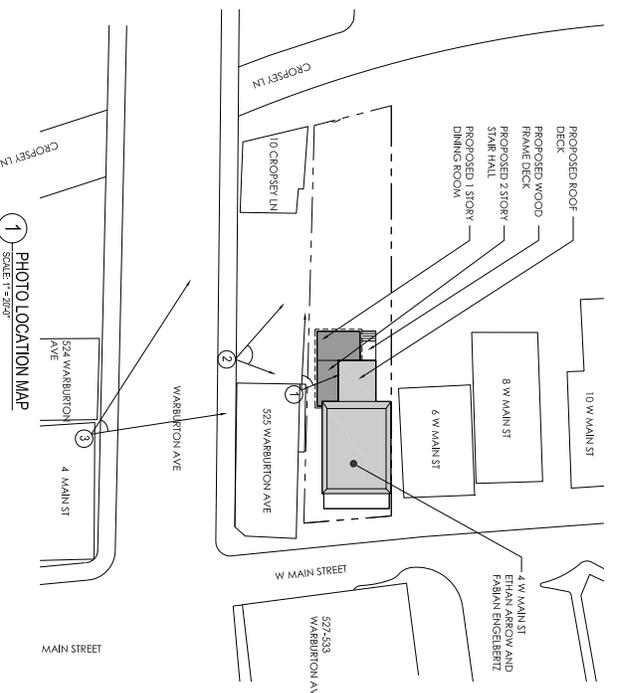


PHOTO 1 - VIEW FROM 525 WARBURTON AVE

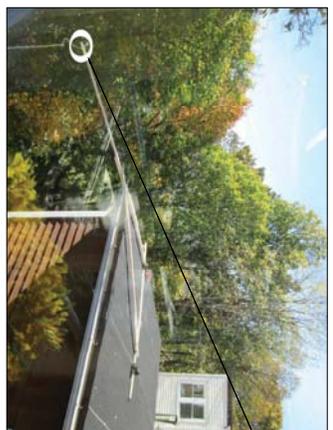


PHOTO 1 - (WITHOUT ADDITION OUTLINE)

MOCK UP -
CURRENTLY
INSTALLED
DELINEATING
THE
SOUTHEAST CORNER
OF 2 STORY HALL
ADDITION



PHOTO 2 - VIEW FROM WARBURTON AVE



PHOTO 2 - (WITHOUT ADDITION OUTLINE)

MOCK UP - CURRENTLY
INSTALLED, DELINEATING
THE SOUTHEAST CORNER
OF 2 STORY HALL
ADDITION

MOCK UP - CURRENTLY
INSTALLED, DELINEATING
THE SOUTH-EAST CORNER
OF 1 STORY DINING
ROOM

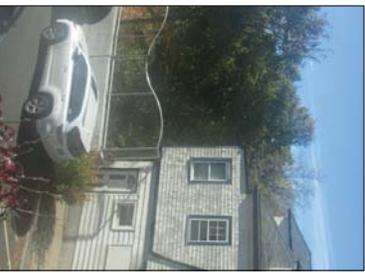


PHOTO 3 - VIEW FROM 4 W MAIN STREET
(NO VIEW OBSTRUCTION)

MURIEL LOCH
200 WEST MAIN STREET
HASTINGS ON HUDSON, NY
10706
TEL: 845.221.1000
WWW.MURIELLOCH.COM

**ADDITIONS TO 3 FAMILY RESIDENCE
OF ETHAN ARROW + FABIAN ENGELBERTZ**
4 WEST MAIN STREET
HASTINGS ON HUDSON, NY 10706

REVISION

10/7/31/16	FOR ORINAL
1/1/17/16	PLANNING BD.
ZNA	



**PHOTO LOCATION MAP
PHOTOGRAPHS W/
ADDITION OUTLINE
AERIAL MAP**

A2
PLANNING BD.

PROJECT #

BEARING BASIS:
 NORTH ORIENTATION IS BASED ON DATUM ESTABLISHED FROM DEED OF RECORD.
DEED OF RECORD:
 BEING LIBER 8722 PAGE 131 FILED WITH OFFICE OF THE WESTCHESTER COUNTY CLERK.
TAX LOT DESIGNATION:
 SHEET 9, BLOCK 621, LOT 21, AS SHOWN ON THE VILLAGE OF HASTINGS-ON-HUDSON TAX MAPS.

GENERAL MAP NOTES:
 1. THIS SURVEY IS SUBJECT TO ANY RECORDED AND/OR UNRECORDED COVENANTS, RESTRICTIONS, EASEMENTS, RIGHTS-OF-WAYS, AND AGREEMENTS, IF ANY.
 2. UNLESS ILLUSTRATED AND NOTED BY A POINT OF REFERENCE, UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
 3. ALL BUILDING AND IMPROVEMENT OF FEET'S SHOWN ARE AT RIGHT ANGLES TO PROPERTY LINES.
 4. ALL FENCES AND GROUND COVER ON THE SITE MAY NOT BE SHOWN ON THIS SURVEY.

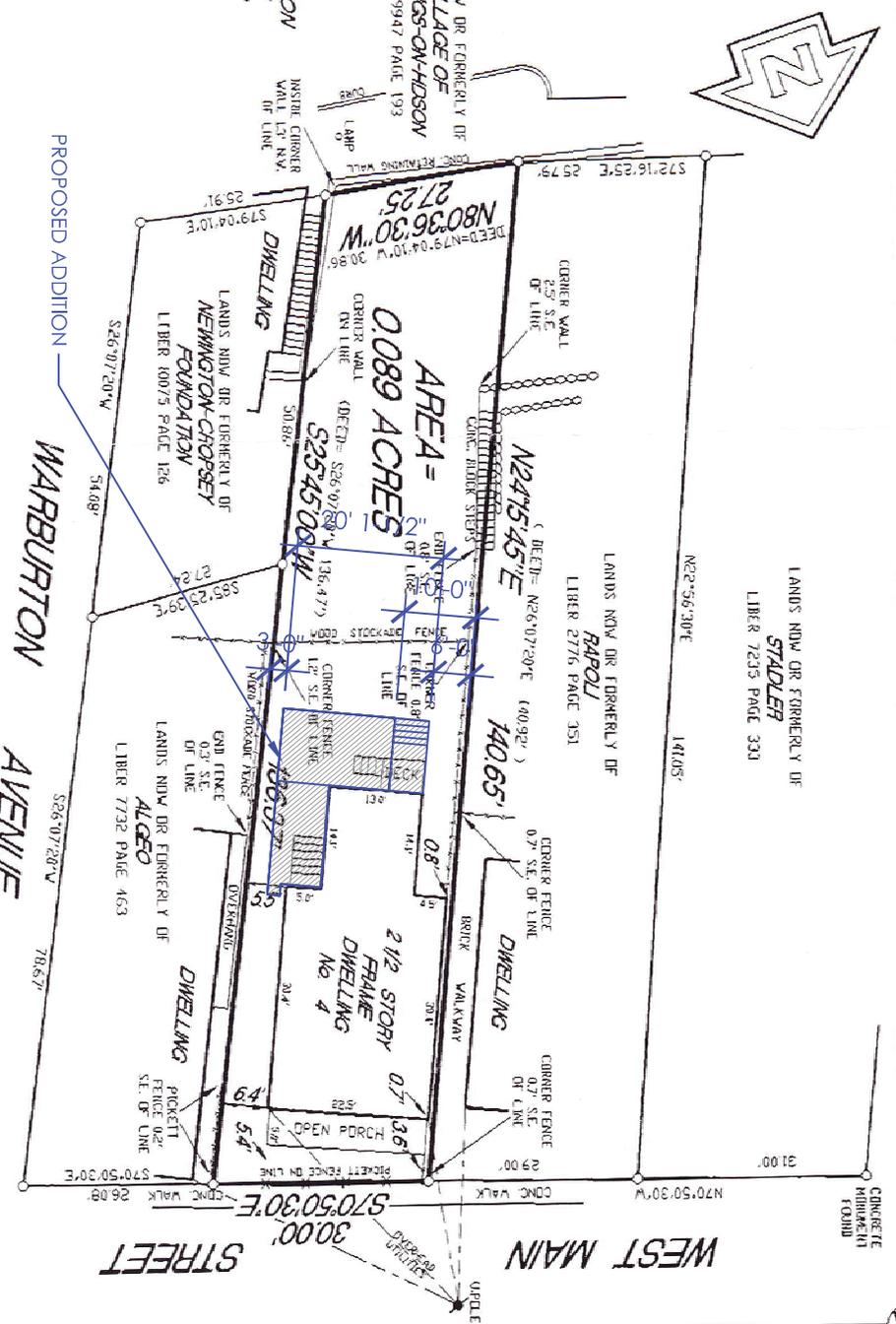
MAP REFERENCES:
 SURVEY BY HAROLD R. BECKER, DATED MAY 8, 1957.
TITLE POLICY:
 ISSUED BY STEWART TITLE INSURANCE COMPANY, DATED MARCH 3, 1997 AS TITLE NO. 97A-7701-W.

LAND SURVEY PREPARED FOR
TIMOTHY A. JUNE
 LOCATED IN THE VILLAGE OF HASTINGS-ON-HUDSON
 WESTCHESTER COUNTY
 SCALE 1" = 20'
 MARCH 10, 1997

REVISIONS:

CERTIFICATION:
 I, ANTHONY A. SPORCE, P.L.S., DO HEREBY CERTIFY IN MY PROFESSIONAL OPINION, ONLY TO PARTIES LISTED BELOW THAT THIS SURVEY IS THE RESULT OF AN ACTUAL FIELD SURVEY COMPLETED ON MARCH 10, 1997, AND COMPLIES WITH MINIMUM STANDARDS FOR SURVEYS EXCEPT BY NEW YORK STATE ASSOCIATION OF LAND SURVEYORS. THIS CERTIFICATION DOES NOT RUN WITH TITLE TO THE LAND.

• TIMOTHY A. JUNE
 • STEWART TITLE INSURANCE COMPANY
 • FIRST FEDERAL SAVINGS BANK / ITS SUCCESSORS AND/OR ASSIGNS
SURVEY No. 9722



SURVEYOR:
Anthony A. Sporce
 ANTHONY A. SPORCE, P.L.S., LIC. No. 50887

THE ATTENTION OF THE SURVEYOR BY THIS SURVEY MAP IS LIMITED TO THE INFORMATION PROVIDED TO HIM BY THE CLIENT. THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED TO HIM BY THE CLIENT. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS SURVEY MAP. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS SURVEY MAP. THE SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS SURVEY MAP.

(914) 496-0367
ANTHONY A. SPORCE, P.L.S.
 PROFESSIONAL LAND SURVEYOR
 NEW WINDSOR, NEW YORK 12553
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